



County of Fresno


DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: March 7, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Development Services and Capital Projects, Attn: William M. Kettler,
Deputy Director of Planning
Development Services and Capital Projects, Attn: Chris Motta,
Division Manager
Development Services and Capital Projects, Attn: Tawanda Mtunga
Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David Randall,
Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn:
Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn:
Daniel Gutierrez, Senior Planner
Development Services and Capital Projects, Site Plan Review, Attn:
James Anders, Senior Planner
Development Services and Capital Projects, Building & Safety/Plan Check, Attn:
Arnold Valdivia, Supervising Building Inspector
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: Wendy Nakagawa/Nadia Lopez
Design Division, Transportation Planning Unit, Attn: Hector Luna
Water and Natural Resources Division, Attn: Augustine Ramirez/Roy Jimenez
Department of Public Health, Environmental Health Division, Attn:
Deep Sidhu/Kevin Tsuda
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Patricia Cole,
Division Supervisor
CA Regional Water Quality Control Board, Attn:
centralvalleyfresno@waterboards.ca.gov
CA Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov
State Water Resources Control Board, Division of Drinking Water, Fresno District,
Attn: Cinthia Reyes
Fresno Irrigation District, Attn: Lawrence Kimura
North Kings GSA, Attn: Kassy Chauhan
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric
Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey/Cultural
Resources Director
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/
Hector Franco, Director/Shana Powers, Cultural Specialist II
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director/Kim
Taylor, Cultural Resources Department/Sara Barnett, Cultural Resources
Department

San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division),
Attn: PIC Supervisor
Fresno County Fire Protection District, Attn: fku.prevention-planning@fire.ca.gov

FROM:


Ejaz Ahmad, Planner
Development Services and Capital Projects Division

SUBJECT:

Initial Study Application No. 8539, General Plan Amendment Application No. 573;
Amendment Application No. 3865, Director Review and Approval Application No.
4761

APPLICANT: Arturo Nava

DUE DATE: March 20, 2024

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject applications proposing to amend the Land Use Element of the County General Plan by changing the land use designation of a 11.27-acre parcel from 'Agriculture' to Heavy Industrial, and change the zoning of the subject parcel from the AE-20 (Exclusive Agricultural; 20-acre minimum parcel size) Zone District to the M-3 (c) (Heavy Industrial, Conditional) Zone District to allow a truck yard terminal (freight classification).

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **March 20, 2024**. Any comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to General Plan Amendment to me, Alexander Pretzer, Planner, Policy Unit, Development Services Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or contact me at (559) 600-4205, or email: apretzer@fresnocountyca.gov

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Ejaz Ahmad, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4204, or email eahmad@fresnocountyca.gov.

EA:

G:\4360Devs&Pln\PROJSEC\PROJDOCS\AA\3800-3899\3865-See GPA 573, DRA 4761\ROUTING\AA 3865 Routing Ltr.doc

Activity Code (Internal Review): 2369; 2364

Enclosures



Fresno County Department of Public Works and Planning

Date Received: 2/21/24

AA 3865 (Application No.)

MAILING ADDRESS: Department of Public Works and Planning Development Services Division 2220 Tulare St., 6th Floor Fresno, Ca. 93721

LOCATION: Southwest corner of Tulare & "M" Streets, Suite A Street Level Fresno Phone: (559) 600-4497 Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class)/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

CHANGE FROM AE-20 EXISTING ZONE DISTRICT TO M3-HEAVY INDUSTRIAL USE: TO ALLOW (N) MTL. BLDG. & TRUCK YARD TERMINAL

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: SOUTH side of AMERICAN AVE. between S. CEDAR and RAILROAD Street address: 2045 E. AMERICAN AVE.

APN: 33A-04-35 Parcel size: 11.27 Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s):

I, Kulwant S. Romana (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Owner (Print or Type) Address City Zip Phone

Applicant (Print or Type) Address City Zip Phone

Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: AA3865/GPA573 Fee: \$ 6,214.00
Application Type / No.: Pre-app credit Fee: \$ -247.00
PER/Initial Study No.: IS 8539 Fee: \$ 5,151.00
Ag Department Review: Fee: \$ 42.00
Health Department Review: Fee: \$ 1,180.00
Received By: EJ Invoice No.: TOTAL: \$ 12,340.00

UTILITIES AVAILABLE:

WATER: Yes [] / No [X]
Agency:
SEWER: Yes [] / No [X]
Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: - T S/R E

Related Application(s):

APN #
APN #
APN #
APN #

Zone District: AE-20

Parcel Size: 11.27



Fresno County Department of Public Works and Planning

DRA 4761

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class)/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

DRA TO ALLOW 'FREIGHT CLASSIFICATION YARDS' IN M3 ZONE DISTRICT

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: EAST side of AMERICAN between E. AMERICAN and E. JEFFERSON Street address: 2045 E. AMERICAN AVE. FRESNO, CA.

APN: 384-041-35 Parcel size: 11.07 ACRES Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s):

I, Kenneth S. Roman (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Owner (Print or Type) Address City Zip Phone

Applicant (Print or Type) Address City Zip Phone

Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Table with columns for Application Type / No., Fee, Received By, Invoice No., and TOTAL.

UTILITIES AVAILABLE:

WATER: Yes No
Agency:
SEWER: Yes No
Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Related Application(s): AA 3865 / IS 8539
Zone District: AE-20
Parcel Size: 11.27 acres

Sect-Twp/Rg: - T S/R E
APN # - -
APN # - -
APN # - -
APN # - -



Development Services
and
Capital Projects
Division

Email To: americantrans2003@gmail.com
Mail to: 299 N Haney Ave Reedley, CA 93654

Pre-Application Review

Department of Public Works and Planning

NUMBER: 22-000000
APPLICANT: Arturo Nava
PHONE: 559-643-7136

PROPERTY LOCATION: 2045 E AMERICAN, FRESNO, California, 93725, USA
APN(s): 334-041-35 ALCC: No Yes # VIOLATION NO. N/A
CNEL: No Yes (level) LOW WATER: No Yes WITHIN 1/2 MILE OF CITY: No Yes
ZONE DISTRICT: AE-20; SRA: No Yes HOMESITE DECLARATION REQ'D.: No Yes
LOT STATUS:

Zoning: () Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No Yes ZM# Initiated In process
Map Act: () Lot of Rec. Map; () On '72 rolls; () Other See below; () Deeds Req'd (see Form #236)
SCHOOL FEES: No Yes DISTRICT: Washington Union Unified PERMIT JACKET: No Yes
FMFCD FEE AREA: () Outside () District No.: FLOOD PRONE: No Yes

PROPOSAL

AA TO REZONE AN EXISTING 18.07 ACRE PARCEL WITHIN THE AE-20 ZONE DISTRICT TO M3 - HEAVY INDUSTRIAL ZONING TO ALLOW A TRUCK YARD TERMINAL.

COMMENTS: Deed doc 2021-0067050
ORD. SECTION(S): 845.2.C.1 BY: G. Sanders DATE: 8/15/22

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: AGRICULTURE. ()
COMMUNITY PLAN: -
REGIONAL PLAN: -
SPECIFIC PLAN: -
SPECIAL POLICIES: -
SPHERE OF INFLUENCE: -
ANNEX REFERRAL (LU-G17/MOU): -

PROCEDURES AND FEES:

() GPA: ~~\$8,000.00~~ - \$10,000.00 () MINOR VA: +\$432.00
() AA: \$6,214.00 () HD: \$1,180.00
() CUP: () JAG COMM: \$42.00
() DRA: \$1,338.00 () ALCC: -
() VA: () IS/PER*: \$5,151.00
() AT: () Viol. (35%): -
() TT: () Other: -

COMMENTS: -

Filing Fee: \$ 14,357.00
Pre-Application Fee: - \$247.00
Total County Filing Fee: \$ 14,110.00

FILING REQUIREMENTS:

- Land Use Applications and Fees
- This Pre-Application Review form
- Copy of Deed / Legal Description
- Photographs
- Letter Verifying Deed Review
- IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Project Description / Operational Statement (Typed)
- Statement of Variance Findings
- Statement of Intended Use (ALCC)
- Dependency Relationship Statement
- Resolution/Letter of Release from City of _____
- Nitrogen Loading Analysis or RWQCB supplemental treatment

OTHER FILING FEES:

- Archaeological Inventory Fee: \$75 at time of filing (Separate check to Southern San Joaquin Valley Info. Center)
- CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,548) (Separate check to Fresno County Clerk for pass-thru to CDFW. Must be paid prior to IS closure and prior to setting hearing date.)

PLU # 113 Fee: \$247.00
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

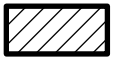
BY: EJAZ AHMAD DATE: 08/17/22
PHONE NUMBER: (559) 600-4204

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

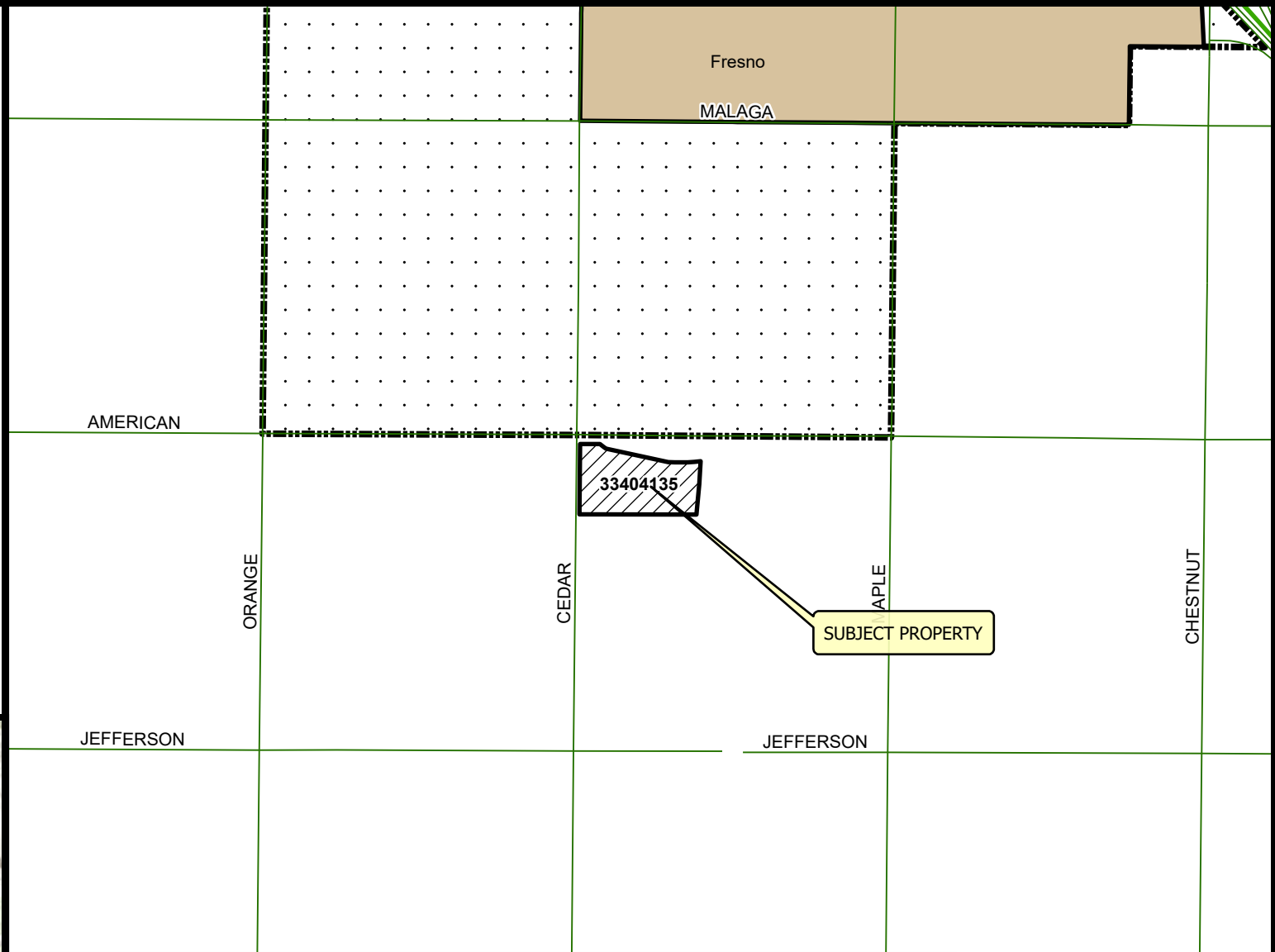
- COVENANT
- MAP CERTIFICATE
- PARCEL MAP
- FINAL MAP
- FMFCD FEES
- ALUC or ALCC
- SITE PLAN REVIEW
- BUILDING PLANS
- BUILDING PERMITS
- WASTE FACILITIES PERMIT
- SCHOOL FEES
- OTHER (see reverse side)

OVER.....

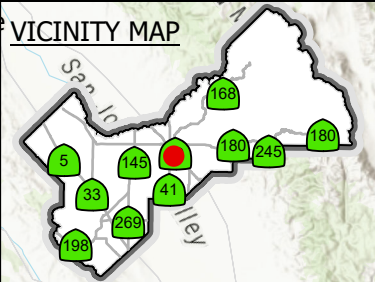
Legend



Subject Property



VICINITY MAP



LOCATION MAP

AA 3865 & IS 8539

2024



Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
Person Prepared by : chuang
On Date : 2/9/2024



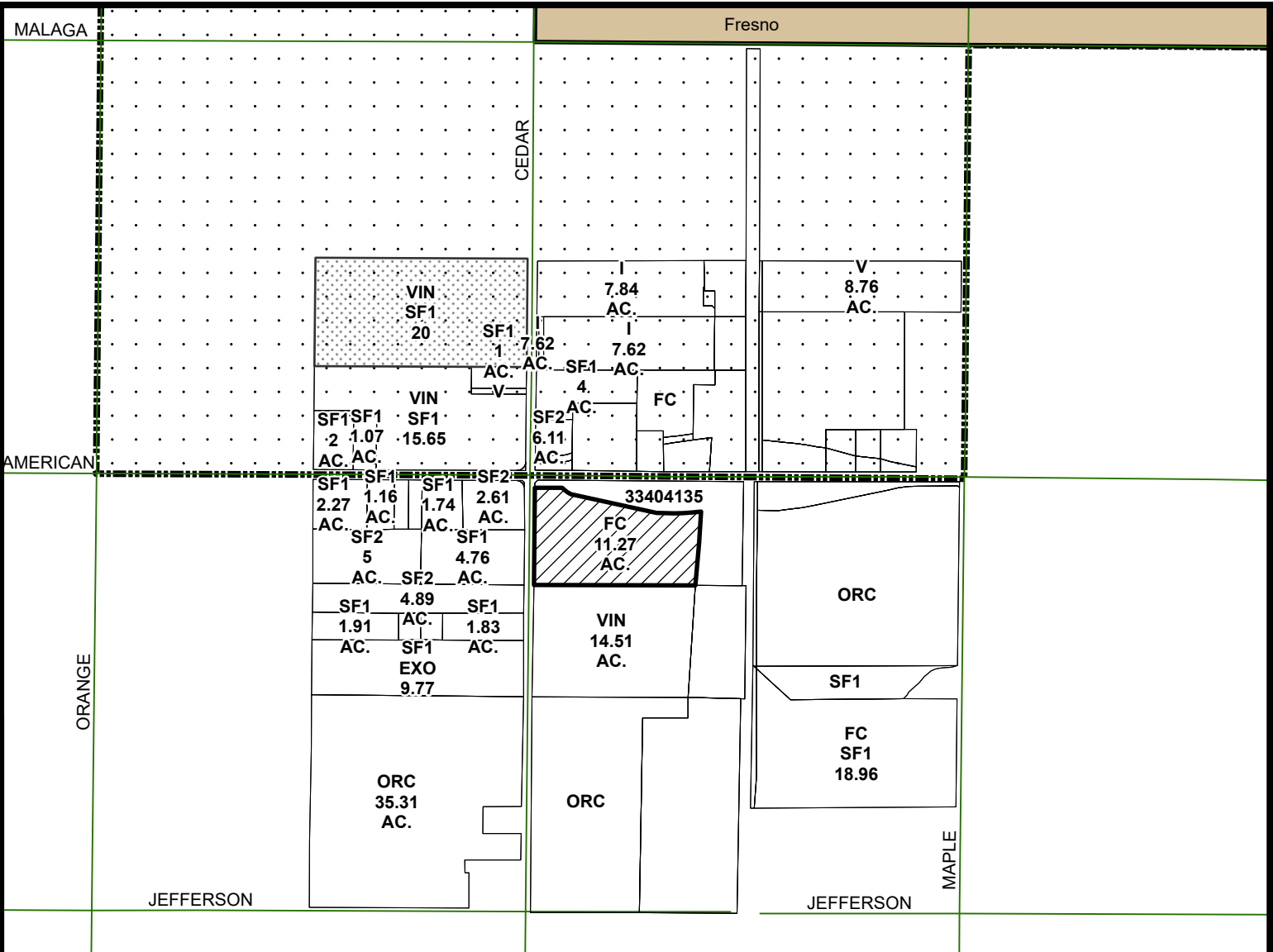
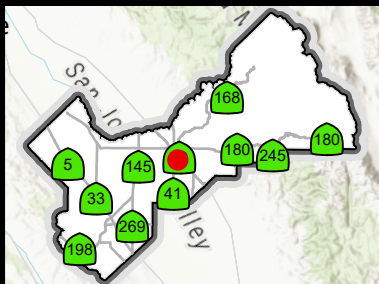
0 0.15 0.3 Mi

0 1,000 2,000 Feet

LEGEND:

-  Subject Property
-  Ag Contract Land

LEGEND	
EXO - EXOTIC CROP	
FC - FIELD CROP	
I - INDUSTRIAL	
ORC - ORCHARD	
SF#- SINGLE FAMILY RESIDENCE	
V - VACANT	
VIN - VINEYARD	

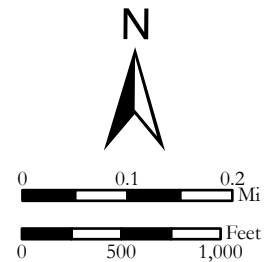


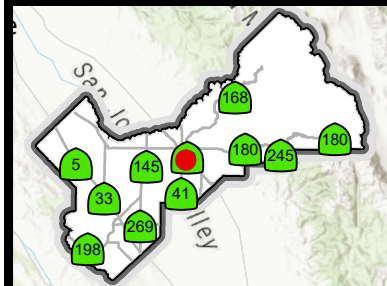
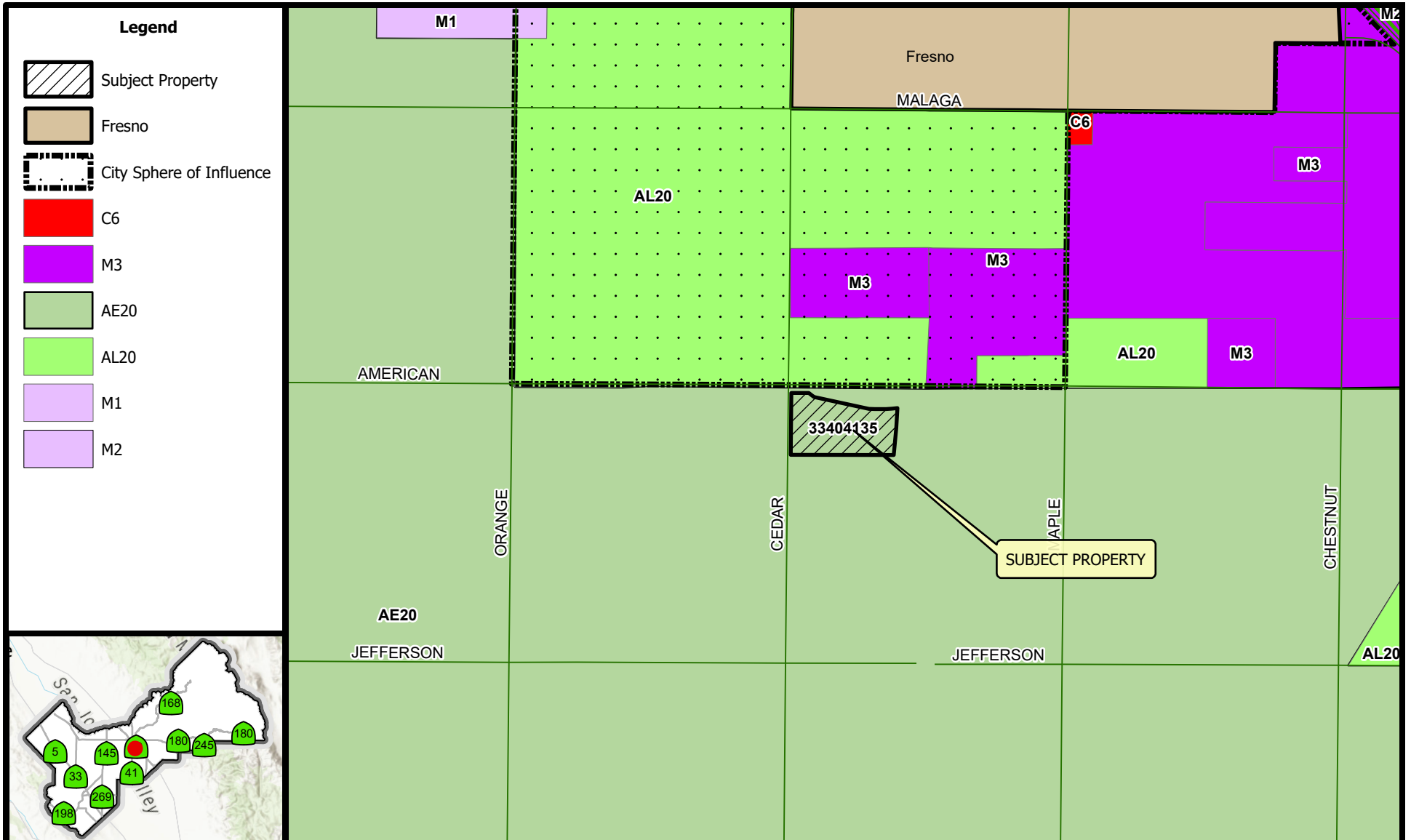
Existing Land Use Map

AA 3865 & IS 8539

2024

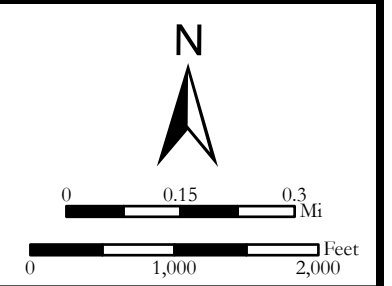
Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : chuang
 On Date : 2/9/2024





Existing Zoning Map

AA 3865 & IS 8539 STR 1 - 15S / 20E	2024
Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division Person Prepared by : chuang On Date : 2/9/2024	

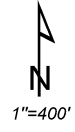
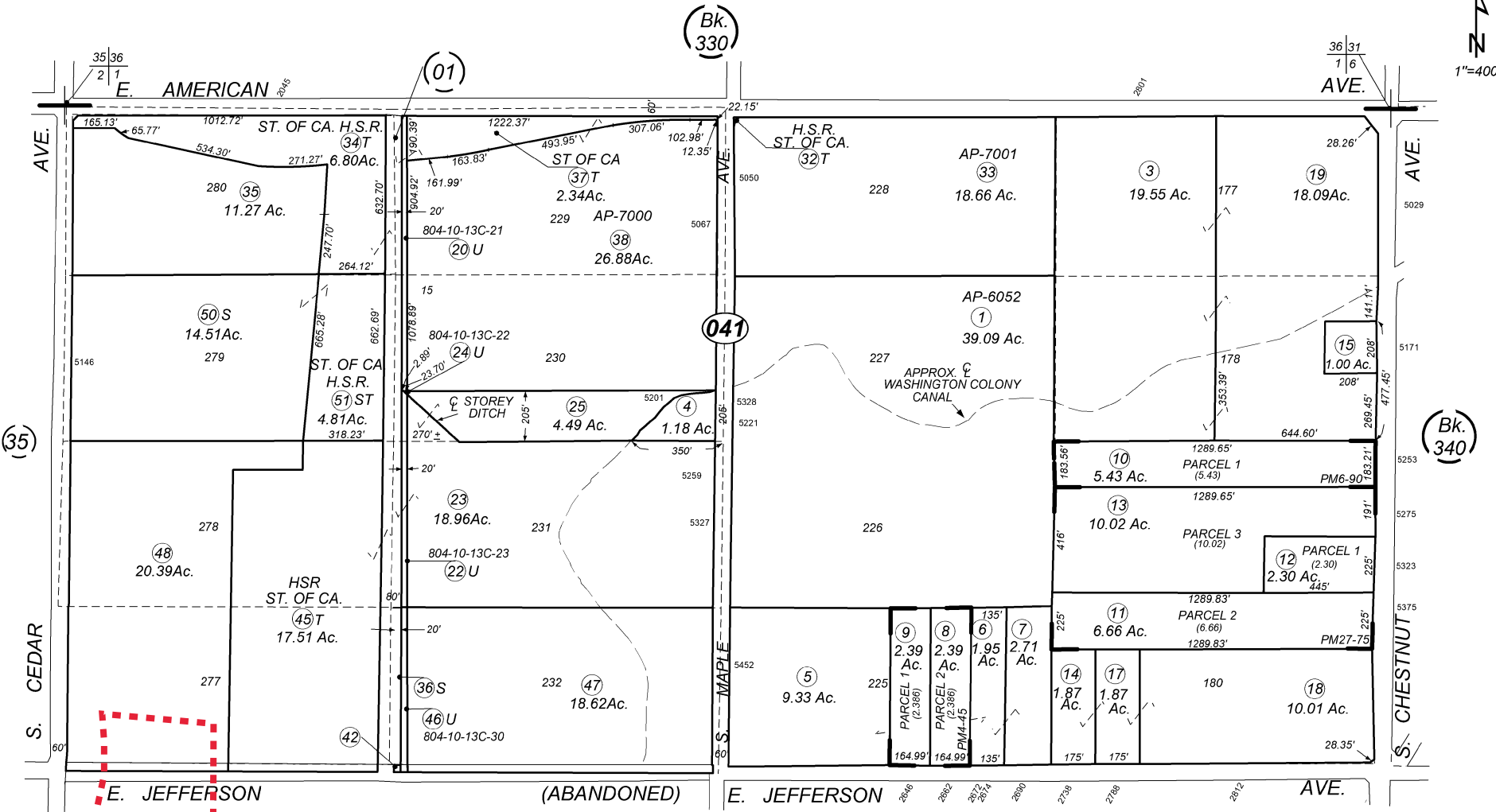


-NOTE-
This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.

SUBDIVIDED LAND IN POR. SEC. 1, T. 15S., R. 20E., M.D.B. & M.

Tax Rate Area
95-006
157-000

334-04



Agricultural Preserve
Parcel Map No. 991 - Bk. 4, Pg. 45
Parcel Map No. 1337 - Bk. 6, Pg. 90
Parcel Map No. 3154 - Bk. 20, Pg. 80
Parcel Map No. 4488 - Bk. 27, Pg. 75
Washington Irrigated Colony - Plat Bk. 2, Pg. 4

Assessor's Map Bk. 334 - Pg. 04
County of Fresno, Calif.

Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

OPERATIONAL STATEMENT:

Mr. Kulwant Romana
6149 W. Ashlan Ave.
Fresno, CA 93723
(559) 347-7911

July 14, 2022

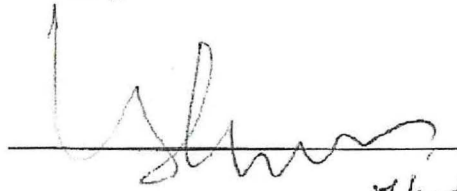
County of Fresno
Department of Public Works and Planning
Development Services Division
2220 Tulare St.
Fresno, CA 93721

Project Name/Location: New Metal Building and Truck Yard Terminal
2045 E. American Ave.
Fresno, CA. 93725
APN: 334-041-35
Existing Zone: AE-20
Proposed Zoning: M3
Occupancy Type: 'S-2' and 'B'

Mr. Sidhu Kulwant Romana (Owner) is proposing the change of Zoning from AE-20 to M3 to allow the construction of a metal building for repair and maintenance of agricultural, and motor-equipment, and also, a Truck Yard terminal for loading and unloading of farm products (No sales of any products will be open to the public). There will be offices in the proposed building, and the operation hours will be from 8:00am to 5:00pm from Monday to Fridays, during the entire year. There will be 6 employees working full time, and there will be enough parking for employees and customers. The site is located with immediate access by Cedar Ave. and American Ave.

CONDITIONAL

Sincerely,


7/15/2022

OPERATIONAL STATEMENT:

Mr. Kulwant Romana
6149 W. Ashlan Ave.
Fresno, CA 93723
(559) 347-7911

July 14, 2022

County of Fresno
Department of Public Works and Planning
Development Services Division
2220 Tulare St.
Fresno, CA 93721

Project Name/Location: New Metal Building and Truck Yard Terminal
2045 E. American Ave.
Fresno, CA. 93725
APN: 334-041-35
Existing Zone: AE-20
Proposed Zoning: M3
Occupancy Type: 'S-2' and 'B'

1. Nature of Operation:

Mr. Sidhu Kulwant Romana (Owner) is proposing the change of Zoning from AE-20 to M3 to allow the construction of a metal building for repair and maintenance of agricultural, and motor-equipment. Also, a Truck Yard terminal for loading and unloading of farm products.

CONDITIONAL

2. Operational time limits:

8:00am to 5:00pm from Monday to Fridays.

3. Number of customers or visitors:

10 per day max.

4. Number of Employees:

6 full-time employees.

5. Service and delivery vehicles:

N/A.

6. Access to the Site:

Thru Cedar Ave. (Local).

7. Number of Parking Spaces for Employees, customers, and service/delivery vehicles:

Employees and customers: 8 parking spaces.

8. Any goods to be sold on-site?

No.

9. what equipment is used?

Air compressors.

10. What supplies or materials are used and how are they stored?

N/A.

11. Does the use cause an unsightly appearance?

N/A.

12. List any solid or liquid wastes to be produced:

Solid waste: Paper, cardboard, from office use.

Liquid: Oil from Oil changes, to be stored and recycled. Also, a septic tank will be required for the proposed restrooms and break room.

13. Estimated volume of water to be used (gallons per day):

Less than 10 gal. per day.

14. Describe any proposed advertising including size, appearance, and placement:

6'x6' approx. illuminated company sign and address at front of property.

15. Will existing buildings be used or will new buildings be constructed?

A new Building will be constructed, there are not existing buildings in the parcel.

16. Explain which buildings or what portion of buildings will be used in the operation:

The completely new building will be used.

17. Will any outdoor lighting or outdoor sound amplification system be used?

No.

18. Landscaping or fencing proposed?

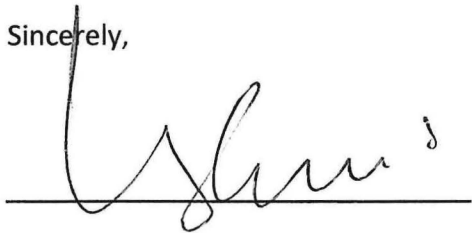
Yes, landscaping at the front of the property, over S. Cedar Ave., and a fence will be installed around the proposed improved area (from the front and around the parking)

19. Any other information that will provide a clear understanding of the project or operation?

N/A.

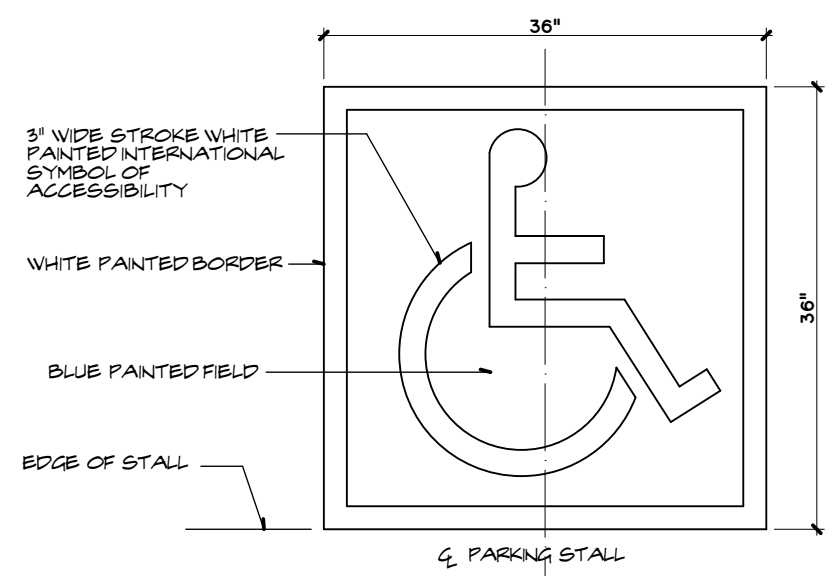
20. Identify all owners, offices and/or Board members for each application submitted; this may be accomplished by submitting a cover sheet letter in addition to the information provided on the signed application forms.

Sincerely,



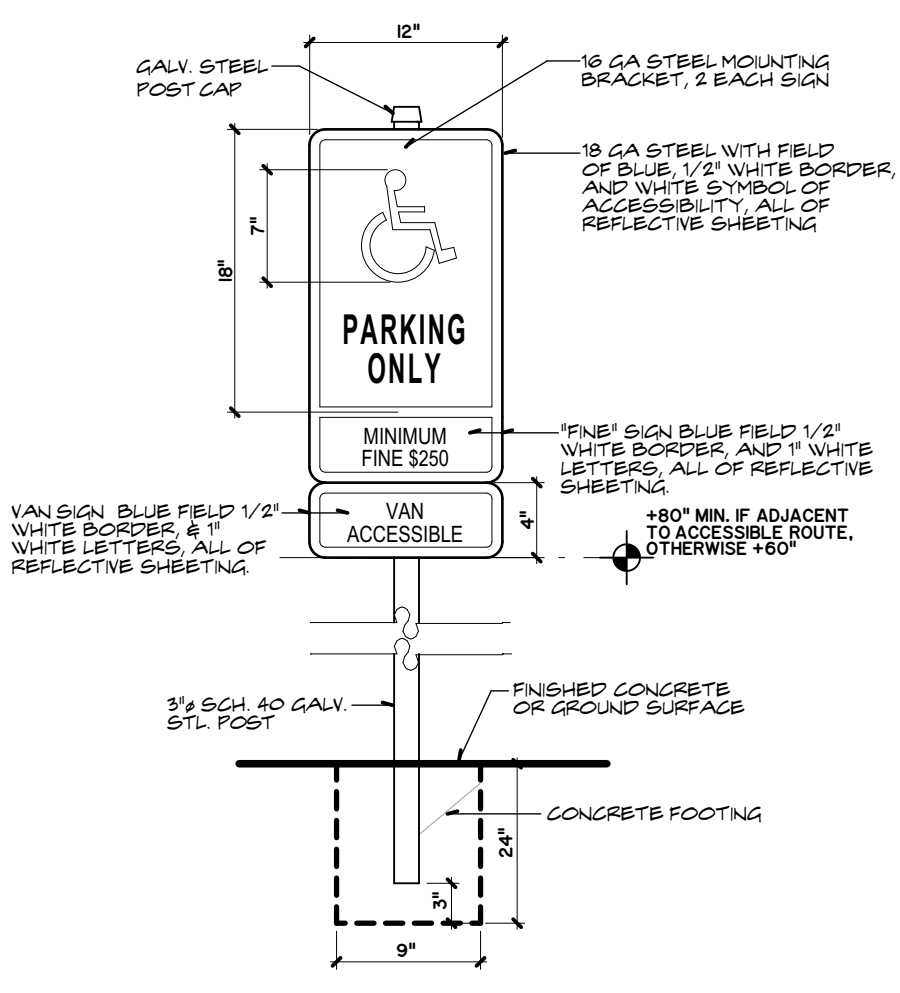
Kulwan T.S. ROMANA

1/25/2024

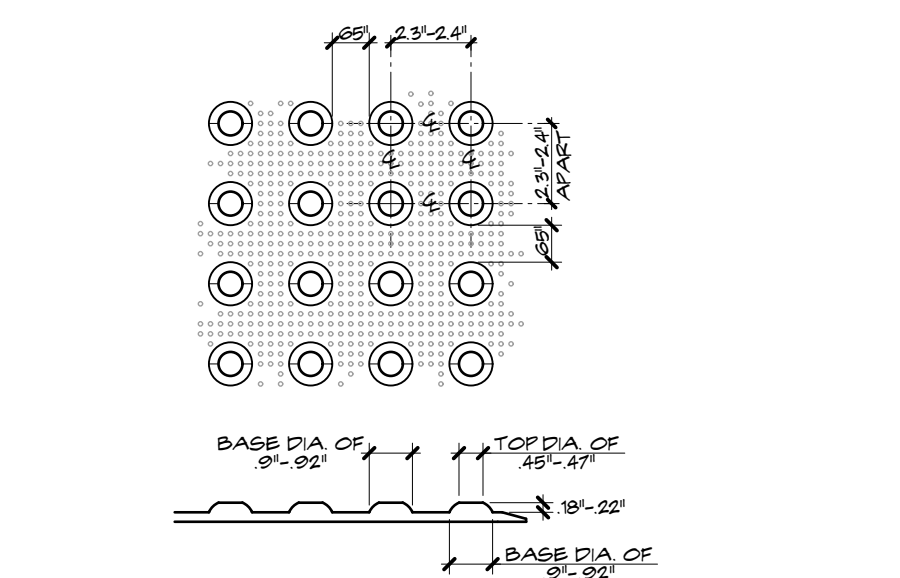


IDENTIFICATION OF PARKING SPACES FOR OFF-STREET PARKING FACILITIES. THE SURFACE OF EACH ACCESSIBLE PARKING SPACE OR STALL SHALL HAVE A SURFACE IDENTIFICATION DUPLICATING THE FOLLOWING SCHEME BY OBTAINING A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON BLUE BACKGROUND. THE PROFILE VIEW SHALL BE LOCATED SO THAT IT IS VISIBLE TO A TRAFFIC ENFORCEMENT OFFICER WHEN A VEHICLE IS PROBABLY PARKED IN THE SPACE AND OCCUPANT IS NOT VISIBLE.

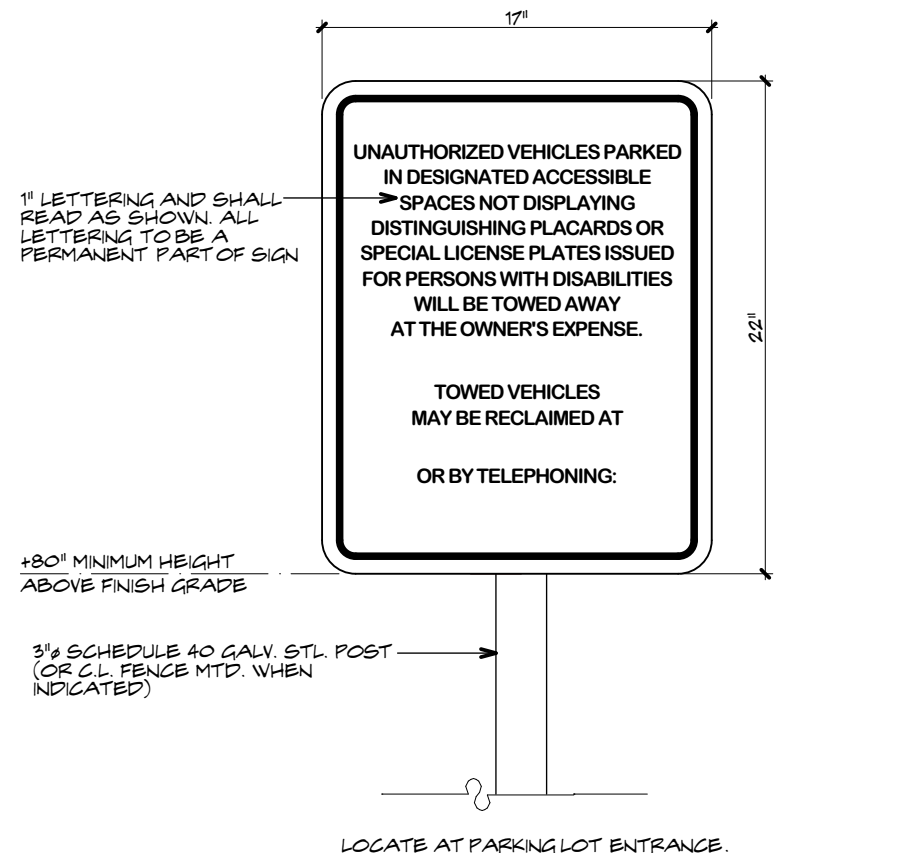
1 ACCESSIBLE PAVEMENT SYMBOL
SCALE: 3" = 1'-0"



2 ACCESSIBLE SIGN/VAN
SCALE: 3" = 1'-0"



3 TRUNCATED DOMES
SCALE: 3" = 1'-0"



4 TOW-AWAY SIGN
SCALE: 3" = 1'-0"

ACCESSIBLE PARKING STALL NOTES:

1. ACCESSIBLE SPACES MUST PERMIT USE OF EITHER CAR DOOR WITH AN UNLOADING AREA ON THE PASSENGER SIDE.
2. WHEELSTOPS ARE REQUIRED WHEN NO CURB OR BARRIER IS PROVIDED OR FACES OF BUILDINGS, SIGNS OR OTHER OBJECTS CAN BE DAMAGED.
3. WHEELCHAIR USERS MUST NOT BE FORCED TO GO BEHIND PARKED CARS OTHER THAN THEIR OWN.
4. SURFACE SLOPES OF PARKING AREAS FOR THE DISABLED SHOULD BE MINIMAL BUT ARE REQUIRED NOT TO EXCEED 2% IN ANY DIRECTION.
5. WHEELCHAIR USERS MUST NOT BE FORCED TO GO BEHIND PARKED CARS OTHER THAN THEIR OWN.
6. SURFACE SLOPES OF PARKING AREAS FOR THE DISABLED SHOULD BE MINIMAL BUT ARE REQUIRED NOT TO EXCEED 2% IN ANY DIRECTION.
7. ACCESSIBLE SPACES MUST PROVIDE 9' PARKING AREA AND 9' LOADING AND UNLOADING AREA ON THE PASSENGER SIDE OF THE STALL.
8. WHEN MORE THAN 1 SPACE IS REQUIRED, 2 SPACES CAN BE PROVIDED WITHIN A 23' WIDE AREA.
9. A 3" CLEAR ROUTE IS REQUIRED BETWEEN THE ACCESSIBLE PARKING SIGN & THE ADJACENT BUILDING.
10. 8" HIGH WHEELSTOP WHERE NO RAISED CURB EXISTS AT VAN PARKING.

TOTAL PARKING IN LOT	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1 TO 25	1
26 TO 50	2
51 TO 75	3
76 TO 100	4
101 TO 150	5
151 TO 200	6
201 TO 300	7
301 TO 400	8
401 TO 500	9
501 TO 1000	2 PERCENT OF TOTAL
1001 AND OVER	20 PLUS (1) FOR EACH 100 OVER 1000

SHEET INDEX:

- ARCHITECTURAL:
 SPR-1 SITE PLAN, PROJECT DATA, SCOPE OF WORK & SHEET INDEX
 SPR-2 PROPOSED FLOOR PLAN
 SPR-3 PROPOSED EXTERIOR ELEVATIONS
 SPR-4 PROPOSED EXTERIOR ELEVATIONS

SITE PLAN NOTES:

1. ALL DEVELOPMENT SHALL TAKE PLACE IN ACCORDANCE WITH ALL CITY/COUNTY LAWS AND REGULATIONS.
2. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA.
3. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT PRIOR TO OCCUPANCY.
4. TWO WORKING DAYS BEFORE COMMENSAL OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-882-2444.
5. DIBED (S) OR EASEMENT(S) FOR THE REQUIRED DEDICATION (S) SHALL BE PREPARED BY THE OWNER / DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO ISSUANCE OF BUILDING PERMITS.
6. PROVIDE A MINIMUM PATH OF TRAVEL ALONG THE PUBLIC SIDEWALK DIRECTLY IN FRONT OF PROPERTY, AS REQUIRED BY THE CALIFORNIA ADMINISTRATION CODES (TITLE 24). A PEDESTRIAN EASEMENT MAY BE REQUIRED IF REQUIREMENTS ARE NOT MET.
7. THE PERFORMANCE OF ANY WORK WITHIN THE PUBLIC STREET/R/W REQUIRES A STREET WORK PERMIT FROM THE COMMUNITY OF WORK. ALL REQ'D STREET IMPROVEMENTS MUST BE COMPLETED AND ACCEPTED BY THE CITY/COUNTY PRIOR TO OCCUPANCY.
8. ANY WORK DONE WITHIN THE COUNTY ROAD RIGHT-OF-WAY TO CONSTRUCT A NEW DRIVEWAY OR IMPROVE AN EXISTING DRIVEWAY WILL REQUIRE AN ENCROACHMENT PERMIT FROM THE ROAD MAINTENANCE AND OPERATIONS DIVISION.
9. OFF-STREET PARKING FACILITIES AND GEOMETRIES SHALL CONFORM TO THE COUNTY OF FRESNO PUBLIC WORKS DEPARTMENT PARKING MANUAL AND STANDARD DRAWING(S).
10. SUBMIT STREET LIGHTING PLANS TO PUBLIC WORKS DEPARTMENT, TRAFFIC AND ENGINEERING SERVICES.
11. NO USES OF LAND, BUILDING OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SITE PLAN SHALL BE PERMITTED. FUTURE PERMITS SHALL BE REVIEWED AND APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
12. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIALS IS ENCOUNTERED DURING THE PROJECT SURVEYING, GRADING, EXCAVATING, OR CONSTRUCTION, WORK SHALL STOP IMMEDIATELY.
13. IF THERE ARE SUSPECTED HUMAN REMAINS, THE COUNTY OF FRESNO SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION, PHONE (916) 938-4082 SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE CITY/COUNTY AS TO ANY OTHER FURTHER SITE INVESTIGATION OR SITE AVOIDANCE / RESERVATION.
14. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST, AND IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
15. NO STRUCTURES OF ANY KIND (INCLUDING SIGNS AND/OR FENCES) MAY BE INSTALLED OR MAINTAINED WITHIN THE LANDSCAPED AREAS, NO EXPOSED UTILITY BOXES, TRANSFORMERS, METERS, PIPING (EXCEPTING THE BACKFLOW PREVENTION DEVICES), ETC. ARE ALLOWED TO BE LOCATED IN THE LANDSCAPE AREAS OF SETBACKS OR ON THE STREET FRONTAGES OF THE BUILDING. ALL TRANSFORMERS, AND ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW PREVENTION DEVICES SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
16. PROVIDE A 2% SLOPE AWAY FROM THE PROPOSED BUILDING(S) FOR A MINIMUM OF 5'-0".
17. FINISHED FLOOR ELEVATION IS TO BE ABOVE THE CROWN OF THE STREET. A GRADING PERMIT IS REQUIRED FOR ANY GRADING PROPOSED WITH THIS APPLICATION.

OWNER'S DATA:

KUJUNYAT ROMANA
 2048 E. AMERICAN AVE.
 FRESNO, CA 93725
 (559) 347-7011

PLANNING DEPARTMENT:

COUNTY OF FRESNO
 PLANNING DIVISION
 195 WEST DURAN
 COALINGA, CA 93210
 PHONE: (559) 932-9933

PROJECT DATA	
PROPOSED USE:	COMMERCIAL
SITE ADDRESS:	2048 E. AMERICAN AVE. FRESNO, CA 93725
APN:	334-041-35
EXISTING ZONING:	AGSD (EXCLUSIVE AGRICULTURAL)
PROPOSED CHANGE OF ZONING:	AG (AGRICULTURAL COMMERCIAL)
BUILDING OCCUPANCY GROUP:	IB-1, IB
CONSTRUCTION TYPE BUILDING:	IB-B, IB
REQUIRED FIRE SPRINKLERS:	NOT REQUIRED
REQUIRED ALARM SYSTEM:	NOT REQUIRED
LOT AREA:	490,921 SQ. FT. (11.27 ACRES)
PROPOSED BUILDING AREA:	10,000.00 SQ. FT.
LOT COVERAGE:	0.02%

JURISDICTION:

- JURISDICTION: FRESNO COUNTY
 GOVERNING CODES:
 2019 CALIFORNIA BUILDING CODES
 2019 CALIFORNIA PLUMBING CODES
 2019 CALIFORNIA MECHANICAL CODES
 2019 CALIFORNIA ELECTRICAL CODES
 2019 CALIFORNIA FIRE CODES
 2019 CALIFORNIA ENERGY CODES
 2019 CALIFORNIA ADMINISTRATIVE CODES
 2019 CALIFORNIA HISTORICAL BUILDING CODES
 2019 CALIFORNIA EXISTING BUILDING CODES
 2019 CALIFORNIA GREEN BUILDING STD'S. CODES

SCOPE OF WORK:

1. PROPOSED NEW SHOP WAREHOUSE WITH OFFICES

cdesign
 299 N. HANEY AVE.
 REEDLEY, CA 93654
 PH (559) 643-7136
 cdesign76@gmail.com

SHEET NAME:
SITE PLAN

DATE: _____
 PROJECT No. _____ DATE: _____
 1 _____
 2 _____
 3 _____
 4 _____
 5 _____
 6 _____

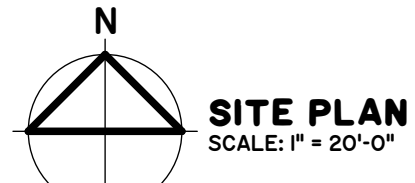
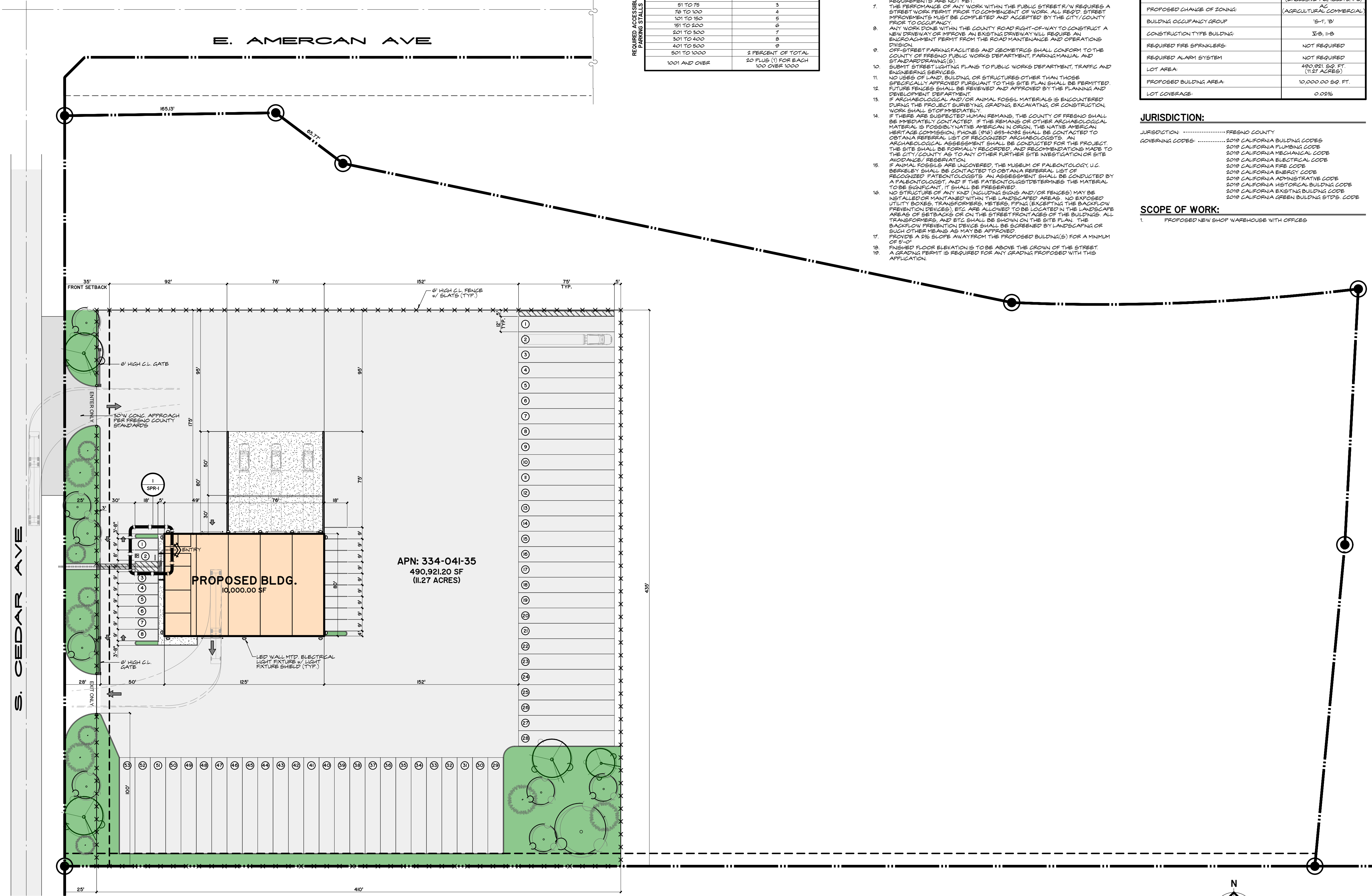
PROJECT NAME:
PROPOSED: SHOP WAREHOUSE & OFFICE
 OWNER: MR. KUJUNYAT ROMANA
 SITE: 2048 E. AMERICAN AVE.
 FRESNO, CA. 93725

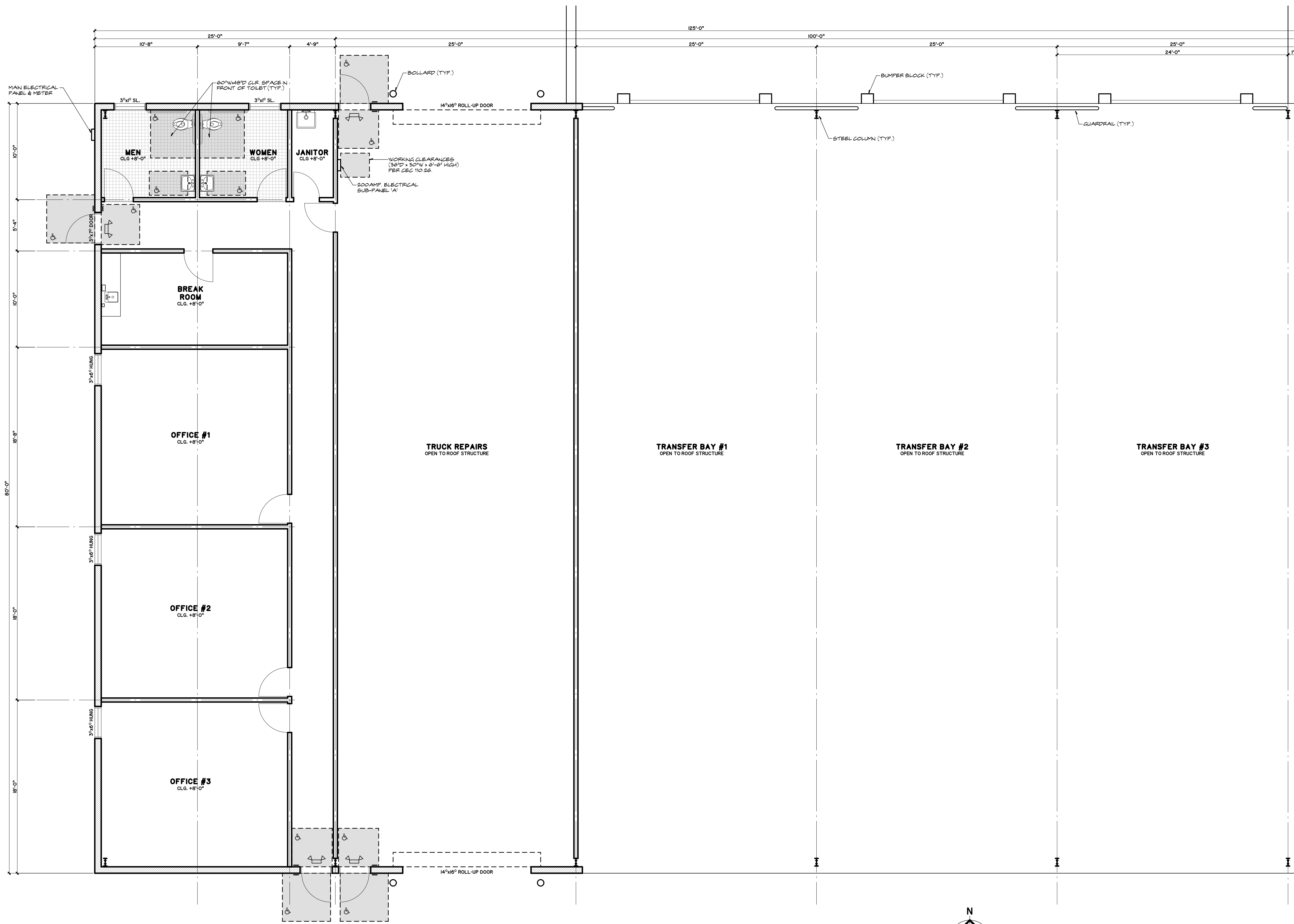


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 aroo

DRAWING:

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- GENERAL FLOOR PLAN NOTES:**
- POST A SIGN ABOVE THE MAIN EXIT DOOR STATING THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED PER 2019 CBC SECTION 1010.10.4 THE SIGN SHALL BE IN LETTERS ONE INCH HIGH ON A CONTRASTING BACKGROUND.
 - THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION 2019 CBC SECTION 1010.10.6.
 - EXITS ARE TO HAVE PANG, LEVER, OR LEVER WITH THUMB TURN OR KEYPED CYLINDER DEAD BOLT INTERCONNECTED HARDWARE 2019 CBC SECTION 1010.10.1.
 - NO THUMB LATCHES OR KEYPED CYLINDER DEAD BOLTS ARE ALLOWED ON ANY DOORS UNLESS OPERATED BY A SINGLE ACTION WITH A LEVER FROM THE INSIDE OF THE AREA SERVED. 2019 CBC SECTION 1010.
 - EXTERIOR DOORS, SERVICE DOORS, AND RESTROOM DOORS SHALL BE EQUIPPED WITH SELF-CLOSING DEVICES (CAL CODE SECTIONS 10416 & 10420) PROVIDE EMERGENCY LIGHTING THROUGHOUT WITH A BATTERY BACKUP OR AN APPROVED ALTERNATE. TESTING OF EMERGENCY LIGHTING REQUIRED. CALL FOR TESTING PRIOR TO FINAL INSPECTION. (TESTING MUST BE BY DISCONNECTING MAN).
 - PROVIDE ILLUMINATED EXIT SIGNS AT ALL EXTERIOR EXIT DOORS WITH A BATTERY BACKUP OR AN APPROVED ALTERNATE. PROVIDE ILLUMINATED ROUTE EXIT SIGNS IF MORE THAN 2 EXIT DOORS ARE REQUIRED OR NO UNRESTRICTED DIRECT ACCESS TO DESIGNATED EXIT DOORS.
 - CONCRETE WITH F'c GREATER THAN 2500 PSI THESE ELEMENTS OF CONSTRUCTION MUST BE INSPECTED BY APPROVED INDEPENDENT INSPECTORS WHO SHALL BE RETAINED BY THE OWNER. INSPECTOR SHALL SUBMIT THEIR REPORTS PROMPTLY TO FRESNO COUNTY DEVELOPMENT SERVICES DIVISION. THESE INSPECTIONS ARE IN ADDITION TO THE REQUIRED FRESNO COUNTY INSPECTIONS.
 - FINISH JOINTED STUDS IN STRUCTURAL WALLS (BEARING OR SHEAR) SHALL BE APPROVED AND ARE NOT ALLOWED AT HOLD-DOWN LOCATIONS.
 - PROVIDE THE FOLLOWING FOR FLOORS AND WALLS IN WATER CLOSET COMPARTMENTS AND SHOWERS:
 - FLOORS: TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS NOT LESS THAN 4" THE BASE IS TO BE SEALED AT THE FLOOR TO PREVENT MOISTURE FROM PENETRATING WALLS.
 - WALLS: WALLS WITHIN 2' OF THE FRONT AND SIDES OF URINALS & WATER CLOSETS SHALL HAVE SMOOTH, HARD NON-ABSORBENT SURFACE OF PORTLAND CEMENT, CONCRETE CERAMIC TILE OR OTHER SMOOTH, HARD NON-ABSORBENT SURFACE TO A HEIGHT OF 4'. THE MATERIALS USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE. PROVIDE TYPE 'N' GYP. BO. AT ALL WALLS.
 - ACCESSORIES PROVIDED ON OR WITH RESTROOM WALLS SHALL BE INSTALLED AND SEALED TO PROTECT THE STRUCTURAL ELEMENTS FROM MOISTURE.
 - ALL FINISHED MATERIALS (ADHESIVES, SEALANTS, GASKETS, PAINTS, CARPETS, RESILIENT FLOORING, COMPOSITE WOOD PRODUCTS) SHALL COMPLY WITH CALGREEN 9.504.4.
 - WATER SUPPLY & DRAIN PIPES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LANS OR SINKS. 2019 CBC 12B-902.8.
 - EXITS ARE TO HAVE PANG, LEVER, OR LEVER WITH THUMB TURN OR KEYPED CYLINDER DEAD BOLT INTERCONNECTED HARDWARE.
 - DOOR SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHERE SERVING AN OCCUPANT LOAD OF 80 OR MORE AND IN GROUP H OCCUPANCIES 2019 CBC SECTION 1010.1.1.
 - PROVIDE WALL MOUNTED LIQUID SOAP & PAPER TOWEL DISPENSER AT NEW RESTROOM PER DETAIL 19.041.
 - OBJECTS 4" LEADING OBJECTS MORE THAN 27" & NO MORE THAN 80" A.F.F. OR GROUND SHALL PROTRUDE 4" MAXIMUM HORIZONTALLY INTO THE CIRCULATION PATH PER 2019 CBC 12B-901.2.
 - PROVIDE ILLUMINATED EMERGENCY POWER PER 2019 CBC SECTION 1008.3.
 - EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOOR/AT FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND BE MAINTAINED BY THE OWNER OR THE OWNER'S AUTHORIZED AGENT. 2019 CBC SECTION 1004.8.
 - PROVIDE EMERGENCY LIGHTING ON EXTERIOR LANDINGS AS REQUIRED BY 2019 CBC SECTION 1010.1.8 FOR EXIT DOORWAYS THAT LEAD DIRECTLY TO THE EXIT DISCHARGE. 2019 CBC SECTION 1008.3.2.
 - MEANS OF EGRESS SHALL BE ILLUMINATED WITH LIGHT HAVING AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE FLOOR LEVEL. WHILE THE STRUCTURE IS OCCUPIED, FIXTURES REQUIRED FOR MEANS OF EGRESS ILLUMINATION SHALL BE SUPPLIED FROM A SEPARATE CIRCUIT OF SOURCE OF POWER. 2019 CBC SECTION 5103.12.1.
 - MAX SLOPE TO BE 1/8" FOR 3'-0" MAX. 4" MANUOVERING CLEARANCE EXTENDED 24" MIN. PAST THE STRIKE EDGE. REMAINDER MAY BE UP TO 2% SLOPE MAX. GENERAL CONTRACTOR TO VERIFY IN FIELD (TYP.)



codes

299 N. HANEY AVE
 REEDLEY, CA 93654
 PH (559) 643-7136
 codesign76@gmail.com

SHEET NAME:
DIMENSIONED FLOOR PLAN

DATE:
 PROJECT No.
 REVISION: DATE:
 1
 2
 3
 4
 5
 6

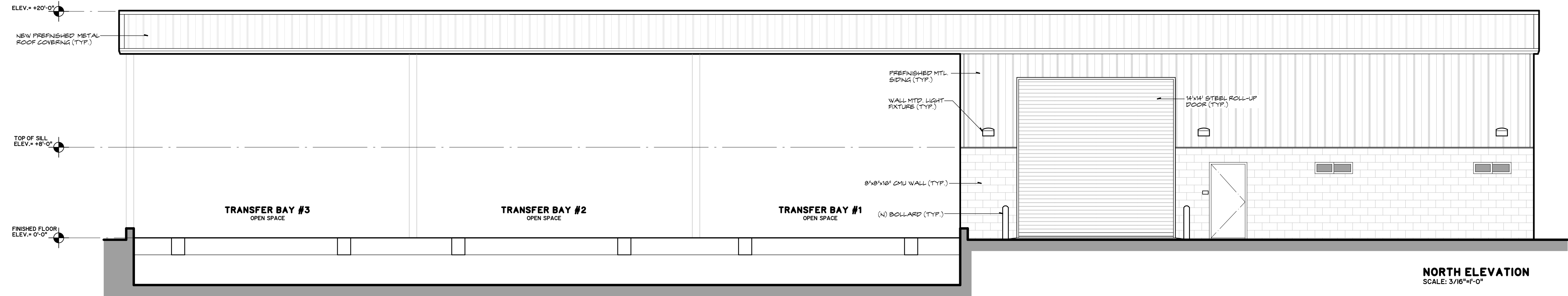
PROJECT NAME:
PROPOSED: SHOP WAREHOUSE & OFFICE

OWNER: MR. & MRS. WATERMAN
 SITE: 204 E. AMERICAN AVE
 FRESNO, CA 93725

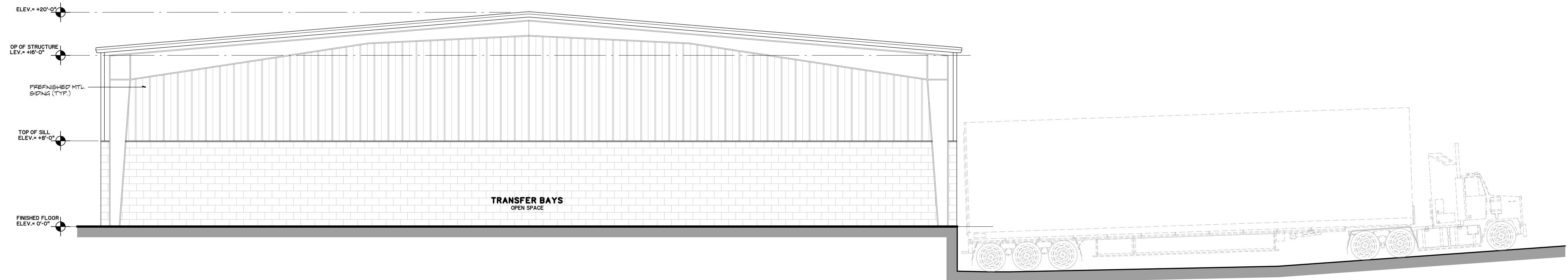


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NORTH ELEVATION
 SCALE: 3/16"=1'-0"



EAST ELEVATION
 SCALE: 3/16"=1'-0"

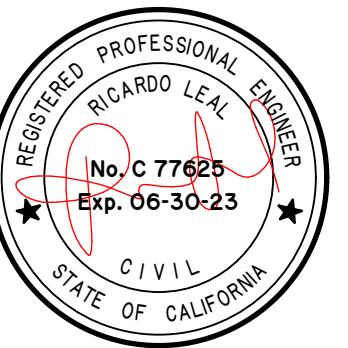
SHEET NAME:
EXTERIOR ELEVATIONS

DATE: _____

PROJECT No. _____

REVISION:	DATE:
1	
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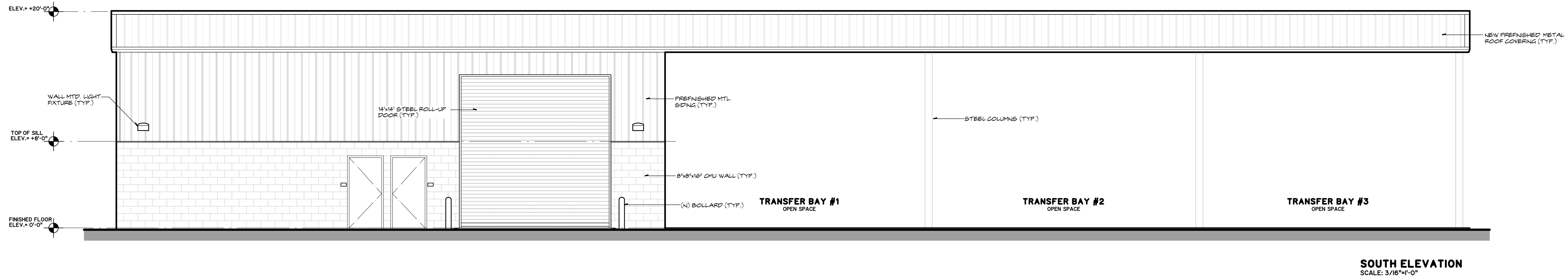
PROJECT NAME:
PROPOSED: SHOP WAREHOUSE & OFFICE
 OWNER: MR. & MRS. WALTERS
 5175 ROAD E. AMERICAN AVE
 FRESNO, CA. 93725



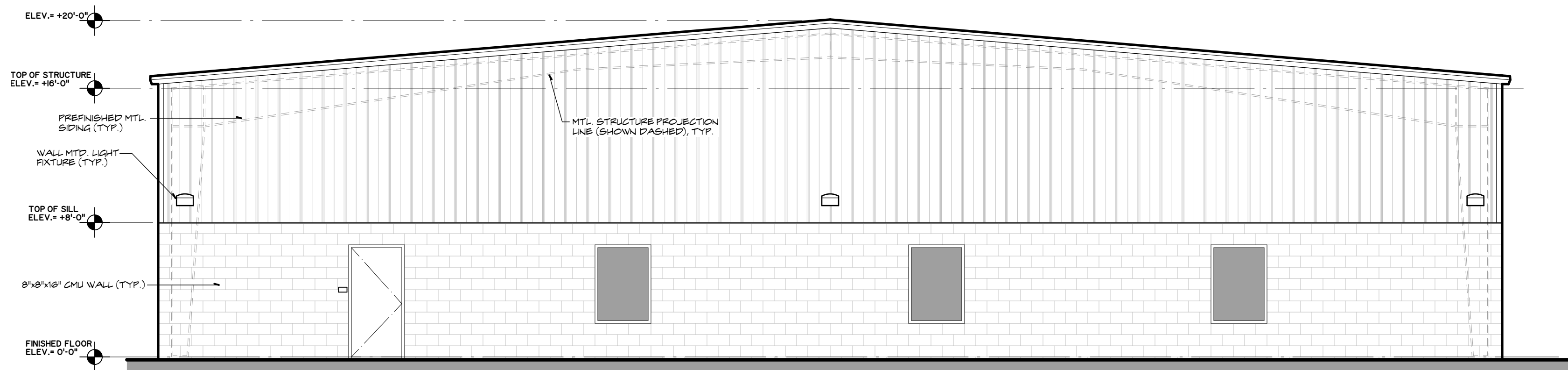
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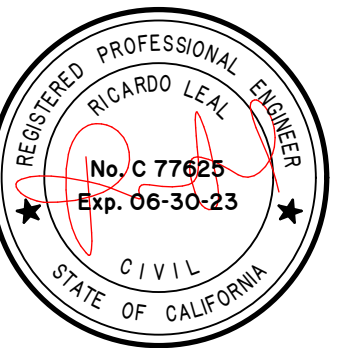
DATE:	PROJECT No.	REVISION:	DATE:
		1	
		2	
		3	
		4	
		5	
		6	



SOUTH ELEVATION
 SCALE: 3/16"=1'-0"



WEST ELEVATION
 SCALE: 3/16"=1'-0"





County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. 8539

Project GPA 573
No(s) DRA 4761

Application Rec'd.:
2/21/24

GENERAL INFORMATION

- Property Owner: SUKHJINDER ROMANA Phone/Fax: (559) 347-7911
Mailing Address: 6149 W. ASHLAN AVE. FRESNO CA, 93723
Street City State/Zip
- Applicant: CADESIGN/ARTURO NAVA Phone/Fax: (559) 643-7136
Mailing Address: 299 N. HANEY AVE. REEDLEY CA, 93654
Street City State/Zip
- Representative: ARTURO NAVA/CADESIGN Phone/Fax: (559) 643-7136 ←
Mailing Address: 299 N. HANEY AVE, REEDLEY CA, 93654
Street City State/Zip
- Proposed Project: PROPOSED NEW SHIP WAREHOUSE W/ OFFICES & A TRUCK YARD FOR AGRICULTURAL PURPOSES. PLUS ADDITIONAL USES.
- Project Location: FRESNO, CA.
- Project Address: 2045 E. AMERICAN AVE
- Section/Township/Range: 1 / 15S / 20E 8. Parcel Size: 11.27 ACRE
- Assessor's Parcel No. 334-041-35 OVER.....

10. Land Conservation Contract No. (If applicable): _____

11. What other agencies will you need to get permits or authorization from:

_____ LAFCo (annexation or extension of services)	_____ SJVUAPCD (Air Pollution Control District)
_____ CALTRANS	_____ Reclamation Board
_____ Division of Aeronautics	_____ Department of Energy
_____ Water Quality Control Board	_____ Airport Land Use Commission
_____ Other _____	

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? _____ Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District: AE-20

14. Existing General Plan Land Use Designation: AGRICULTURAL

ENVIRONMENTAL INFORMATION

15. Present land use: LOT IS EMPTY, USED FOR AGRICULTURE
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:
NO SITE IMPROVEMENTS ARE EXISTING.

Describe the major vegetative cover: VEGETABLE CROPS ←
Any perennial or intermittent water courses? If so, show on map: NONE

Is property in a flood-prone area? Describe:

_____ ←

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):
North: AGRICULTURAL
South: AGRICULTURAL
East: AGRICULTURAL
West: AGRICULTURAL

17. What land use(s) in the area may be impacted by your Project?: NONE

18. What land use(s) in the area may impact your project?: NONE

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes No

B. Daily traffic generation:

I. Residential - Number of Units 0
Lot Size 0
Single Family 0
Apartments 0

II. Commercial - Number of Employees 6
Number of Salesmen 0
Number of Delivery Trucks 0
Total Square Footage of Building 10,000

III. Describe and quantify other traffic generation activities: TRUCK PARKING,
TRUCK DELIVERY (DOCK LOADING/UNLOADING) OF
AGRICULTURAL PRODUCTS

20. Describe any source(s) of noise from your project that may affect the surrounding area: NONE

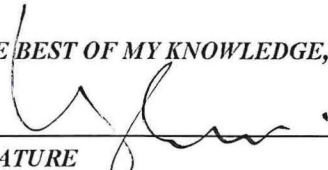
21. Describe any source(s) of noise in the area that may affect your project: NONE

22. Describe the probable source(s) of air pollution from your project: NONE

23. Proposed source of water:
 private well
 community system³--name: _____ OVER.....

24. Anticipated volume of water to be used (gallons per day)²: 5-10 GAL/DAY
25. Proposed method of liquid waste disposal:
 septic system/individual
 community system³-name _____
26. Estimated volume of liquid waste (gallons per day)²: 5-10
27. Anticipated type(s) of liquid waste: BATHROOM & KITCHEN SINK
28. Anticipated type(s) of hazardous wastes²: NONE
29. Anticipated volume of hazardous wastes²: NONE
30. Proposed method of hazardous waste disposal²: NONE
31. Anticipated type(s) of solid waste: OFFICE PAPER, BREAK ROOM FOOD WASTE.
32. Anticipated amount of solid waste (tons or cubic yards per day): LESS THAN 1 YARD
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): _____
34. Proposed method of solid waste disposal: TRASH ENCLOSURE
35. Fire protection district(s) serving this area: FRESNO COUNTY FIRE PROTECTION
36. Has a previous application been processed on this site? If so, list title and date: _____ ←
37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No
38. If yes, are they currently in use? Yes _____ No _____

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.



 SIGNATURE

1/16/2024

 DATE

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

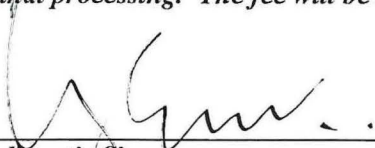
State law requires that specified fees (effective January 1, 2021: \$3,445.25 for an EIR; \$2,480.25 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

1/16/2024

Date

February 2, 2024

Mr. Ejaz Ahmad, Planner
Fresno County Department of Public Works and Planning 2220
Tulare Street, Street Level
Fresno, CA 93721

Subject: Request for Conditional M-3 Zoning

Project Name/Location: New Metal Building and Truck Yard Terminal
2045 E. American Ave.
Fresno, CA. 93725
APN: 334-041-35
Existing Zone: AE-20
Proposed Zoning: M3

Dear Mr. Ahmad:

The intent of the Amendment Application is to entitle the subject property for use as a trucking terminal, and the construction of a Metal Building for the repair and maintenance of Trucks and agricultural motor-equipment. Most of our operations involve the loading/unloading of farm products. Our fleet will consist of 6-10 vehicles. We do not expect that our fleet and customers or visitors will exceed 10 combined average daily trips (ADT). As a result of these conditions, we do not believe that the number of vehicle trips will require the preparation of a traffic impact study (TIS), nor will it result in the need for extensive improvements to abutting or nearby County or City rights-of-way. I am requesting that the County of Fresno apply conditions of zoning approval limiting the prospective uses to those indicated in **Attachment A** to this letter per Fresno County Zoning Ordinance § 843.1(C)(20)(g) and consistent with the parameters described in our operational statement. Should you have any questions, please contact Mr. Kulwant Romana/American Logistics Solution, Inc. at (559) 347-7911 or at americantrans2003@gmail.com. Thank you.

Sincerely,



Kulwant Romana
American Logistics Solution, Inc.

2/9/2024

ATTACHMENT A

Proposed Uses:

NOTE: Strike Through (~~ABCD~~) – Additional Uses Recommend for removal by County of Fresno

M-1 THRU M-3 (M-3 ALLOWS ALL USES FROM M-1 THRU M-3:

A. RELATED USES

- ~~1. Advertising structures.~~
2. Animal hospitals and shelters.
3. Automobile repairs (conducted within a completely enclosed building).
4. Automobile re-upholstery.
5. Automobile service stations.
6. Banks.
- ~~7. Caretaker's residence, which may include an office for the permitted industrial use.
(Amended by Ord. 490.152 adopted 7-10-78)~~
- ~~8. Commercial uses that are incidental to and directly related to and serving the permitted industrial uses.~~
9. Delicatessens.
- ~~10. Electrical supply.~~
- ~~11. Equipment rental or sale~~
- ~~12. Farm equipment sales and service.~~
13. Frozen food lockers.
- ~~14. Grocery stores.~~
15. Boarding and training, breeding and personal kennels.
(Amended by Ord. 490.36 adopted 7-25-67)
16. Ice and cold storage plants
- ~~17. Mechanical car, truck, motor and equipment wash, including self-service.~~

(Added by Ord. 490.23 adopted 12-28-65)

18. Newspaper publishing

~~19. Offices:~~

- a. Administrative.
- ~~b. Business.~~
- c. General.
- d. Medical
- e. Professional

20. New and used recreational vehicle sales and service.
(Added by Ord. 490.129 adopted 1-11-77)

21. Restaurants.

22. Signs, subject to the provisions of Section 843.5-K.

23. Truck service stations.

~~24. Truck driver's training schools.
(Amended by Ord. T-070-341 adopted 4-23-02)~~

B. ADULT BUSINESSES that are licensed under Chapter 6.33 of Ordinance Code, including uses such as:

- 1. Bars.
- 2. Restaurants.
- 3. Theaters.
- 4. Video stores.
- 5. Book stores.
- 6. Novelty sales.

(Added by Ord. T-074-346 adopted 7-30-02)

C. MANUFACTURING

1. Aircraft, modification, storage, repair and maintenance

~~2. Automotive:~~

- a. Painting.
- b. Automotive reconditioning.
- c. Truck repairing and overhauling.
- d. Upholstering.
- e. Battery assembly (including repair and rebuilding) limited to the use of previously manufactured components.

(Added by Ord. 490.33 adopted 1-17-67)

- 3. Boat building and repairs.
- 4. Book binding.

5. Bottling plants.
6. Ceramic products using only previously pulverized clay and fired in kilns only using electricity or gas.
7. Commercial grain elevators.
8. Garment manufacturing.
9. Machinery and shop (no punch presses over twenty (20) tons or drop hammers):
 - a. Blacksmith shops.
 - b. Cabinet or carpenter shops.
 - c. Electric motor rebuilding.
 - d. Machine shops.
 - e. Sheet metal shops.
 - f. Welding shops.
 - g. Manufacturing, compounding, assembly or treatment of articles or merchandise from previously prepared metals.
10. Manufacturing, compounding, processing, packing or treatment of such products as:
 - a. Bakery goods.
 - b. Candy.
 - c. Cosmetics.
 - d. Dairy products.
 - e. Drugs.
 - f. Food products (excluding fish and meat products, sauerkraut, wine, vinegar, yeast and the rendering of fats and oils) if connected with an adequate sewer system.
 - g. Fruit and vegetables (packing only).
 - h. Honey extraction plant.
 - i. Perfume.
 - j. Toiletries.
11. Manufacturing, compounding, assembly or treatment of articles or merchandise from the following previously prepared materials:
 - a. Canvas.
 - b. Cellophane.
 - c. Cloth.
 - d. Cork.
 - e. Felt.
 - f. Fibre.
 - g. Fur.
 - h. Glass.
 - i. Leather.
 - j. Paper, no milling.
 - k. Precious or semi-precious stones or metals.
 - l. Plaster.
 - m. Plastic.
 - n. Shells.
 - o. Textiles.

- p. Tobacco.
- q. Wood.
- r. Yarns.

12. Manufacturing and maintenance of electric or neon signs

13. Novelties.

14. Planing mills.

15. Printing shops, lithographing, publishing.

16. Retail lumber yard.

17. Rubber and metal stamps.

18. Shoes.

19. Stone monument works.

~~20. Storage yards:~~

- a. Contractors storage yard.
- b. Draying and freight yard.
- c. Feed and fuel yard.
- d. Machinery rental.
- e. Motion picture studio storage yard.
- f. Transit storage.
- ~~g. Trucking yard terminal, except freight classifications.~~

21. Textiles.

22. Wholesaling and warehousing.

23. Wholesale meat cutting and packing, provided there shall be no slaughtering, fat rendering or smoke curing.

(Added by Ord. 490.21 adopted 9-14-65)

D. PROCESSING

1. Creameries.

2. Laboratories.

~~3. Blueprinting and photocopying.~~

4. Laundries.

5. Carpet and rug cleaning plants.

6. Cleaning and dyeing plants.

~~7. Tire retreading, recapping, rebuilding.~~

8. Lumber drying kilns; gas, electric or oil fired only. (Added by Ord. 490.77 adopted 8-17-72)
9. Feather cleaning and storage of cleaned feathers within an enclosed structure. (Added by Ord. 490.82 adopted 11-21-72)

E. FABRICATION

1. Rubber, fabrication of products made from finished rubber.
2. Assembly of small electric and electronic equipment.
3. Assembly of plastic items made from finished plastic.

F. OTHER USES

- ~~1. Agricultural uses.~~
2. Communication equipment buildings.
3. Electric transmission substations.
4. Off-street parking.
5. Public utility service yards with incidental buildings.
6. Electric distribution substations.
7. Temporary or permanent telephone booths.
8. Water pump stations.

SECTION 845

"M-3" - HEAVY INDUSTRIAL DISTRICT

The "M-3" Heavy Industrial District is intended to provide for the establishment of industrial uses essential to the development of a balanced economic base.

SECTION 845.1 - USES PERMITTED

The following uses shall be permitted in the "M-3" District. All uses shall be subject to the Property Development Standards in Section 845.5.

- A. All uses permitted in the "M-2" District, Section 844.1.
- B. Alcohol distillation, including wineries and breweries, when connected with adequate public sewers.
- C. Organic fertilizer, bulk sales and storage.
- D. Concrete and cement products.
- E. Ready-mix concrete.

SECTION 845.2 - USES PERMITTED SUBJECT TO DIRECTOR REVIEW AND APPROVAL

- A. MANUFACTURING
 - 1. Aircraft factory.
 - 2. Aluminum foundry.
 - 3. Cinder and cinder blocks.
 - 4. Clay and clay products.
 - 5. Fertilizers (inorganic), the compounding of dried inorganic materials.
 - 6. Fungicides.
 - 7. Glass manufacturing.
 - 8. Oil cloth or linoleum manufacture.
 - 9. Plastic manufacture.
 - 10. Railroad repair shops.
 - 11. Sawmills.
 - 12. Yeast manufacturing.

B. PROCESSING

1. Cotton gin or oil mills.
2. Fruit and vegetable processing.
3. Fungicides processing.
4. Glass blowing (industrial) and glass bottle production.
5. Oils and fats (vegetable) refining.
6. Salt works.
7. Sandblasting.

C. OTHER USES

1. Freight classification yards.
2. Bars and cocktail lounges.
(Added by Ord. 490.34 adopted 3-8-67)
3. Solid waste transfer stations.
(Added by Ord. 490.200 adopted 5-5-80)
4. Second caretaker=s residence to be occupied by an employee.
(Added by Ord. T-047-316 adopted 1-5-93)

SECTION 845.3 - USES PERMITTED SUBJECT TO CONDITIONAL USE PERMIT

The following uses shall be permitted subject to a Conditional Use Permit as provided for in Section 853.

1. Acetylene gas manufacture or storage.
2. Acid manufacture.
3. Alcohol distillation, including wineries and breweries (when not connected with adequate public sewers).
4. Ammonia, bleaching powder or chlorine manufacture.
5. Animal and poultry slaughtering or packing.
6. Automobile wrecking, junk, rag or scrap iron storage or baling.
7. Blast furnace or coke oven.
8. Bone, coal or wood distillation.
9. Brick or tile products manufacture.