



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: February 3, 2023

TO: Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David A. Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel Gutierrez/James Anders
Development Services and Capital Projects, Site Plan Review, Attn: Tawanda Mtunga
Development Services and Capital Projects, Building & Safety/Plan Check, CASp, Attn: Dan Mather
Resources Division, Solid Waste, Attn: Amina Flores-Becker, Christopher Bump
Development Engineering, Attn: Kevin Nehring, Senior Engineer
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: Nadia Lopez/Wendy Nakagawa
Design Division, Attn: Mohammad Alimi, Design Division Engineer
Transportation Planning, Attn: Hector Luna, Brody Hines, Senior Planner
Water and Natural Resources Division, Attn: Augustine Ramirez, Division Manager; Roy Jimenez, Senior Planner
Department of Public Health, Environmental Health Division, Attn: Kevin Tsuda/Deep Sidhu
Sheriff's Office, Attn: Captain Mark Padilla, Captain Ryan Hushaw, Lt. Ron Hayes, Lt. Robert Salazar, Lt. Brandon Pursell, Lt. Kathy Curtice
Sierra Resource Conservation District, Attn: Steve Haze, District Manager
Fresno County Fire Protection District, Attn: FKU.Prevention-Planning@fire.ca.gov
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Matthew Nelson/Patricia Cole
Santa Rosa Rancheria Tachi-Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman; Shana Powers, Cultural Director
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey, Cultural Resources Director
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division), Attn: PIC Supervisor
CA Regional Water Quality Control Board, Attn: centralvalleyfresno@waterboards.ca.gov
CA Department of Fish and Wildlife, Attn: Craig Bailey, Environmental Scientist & R4CEQA@wildlife.ca.gov
State Water Resources Control Board, Division of Drinking Water, Fresno District, Attn: Jose Robledo/Cinthia Reyes
Southern California Edison Company, Attn: Brian Thoburn, Cindy Calemno, Jeff Clark

FROM: Alyce Alvarez, Planner
Development Services and Capital Projects Division

SUBJECT: Conditional Use Permit No. 3757 and Initial Study No. 8354

APPLICANT: Linda Dineen

DUE DATE: **February 20, 2023**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to amend CUP 3467 to allow expansion of existing observatory facilities constructing fourteen additional buildings (thirteen Observatory Buildings, one Breakroom Building) and eight mini-Domes/Observatory buildings on a 4.95-acre parcel in the RR (Rural Residential, two-acre minimum parcel size) Zone District.

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

The project site is located on the west side of Bald Mountain Rd., approximately 1,074 feet south of its intersection with Auberry Rd, and approximately 17 miles north of the City of Clovis (APN: 128-740-07) (42140 Bald Mountain Rd.) (Sup. Dist. 5).

We must have your comments by **February 20, 2023**. Any comments received after this date may not be used.

If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).

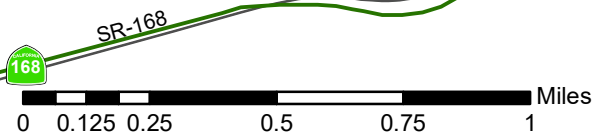
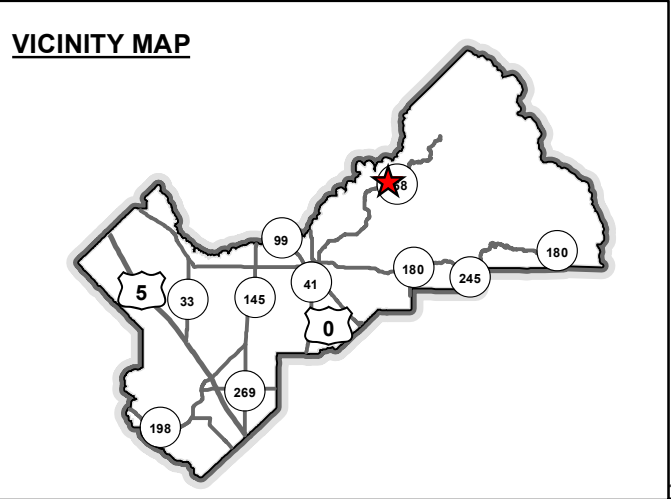
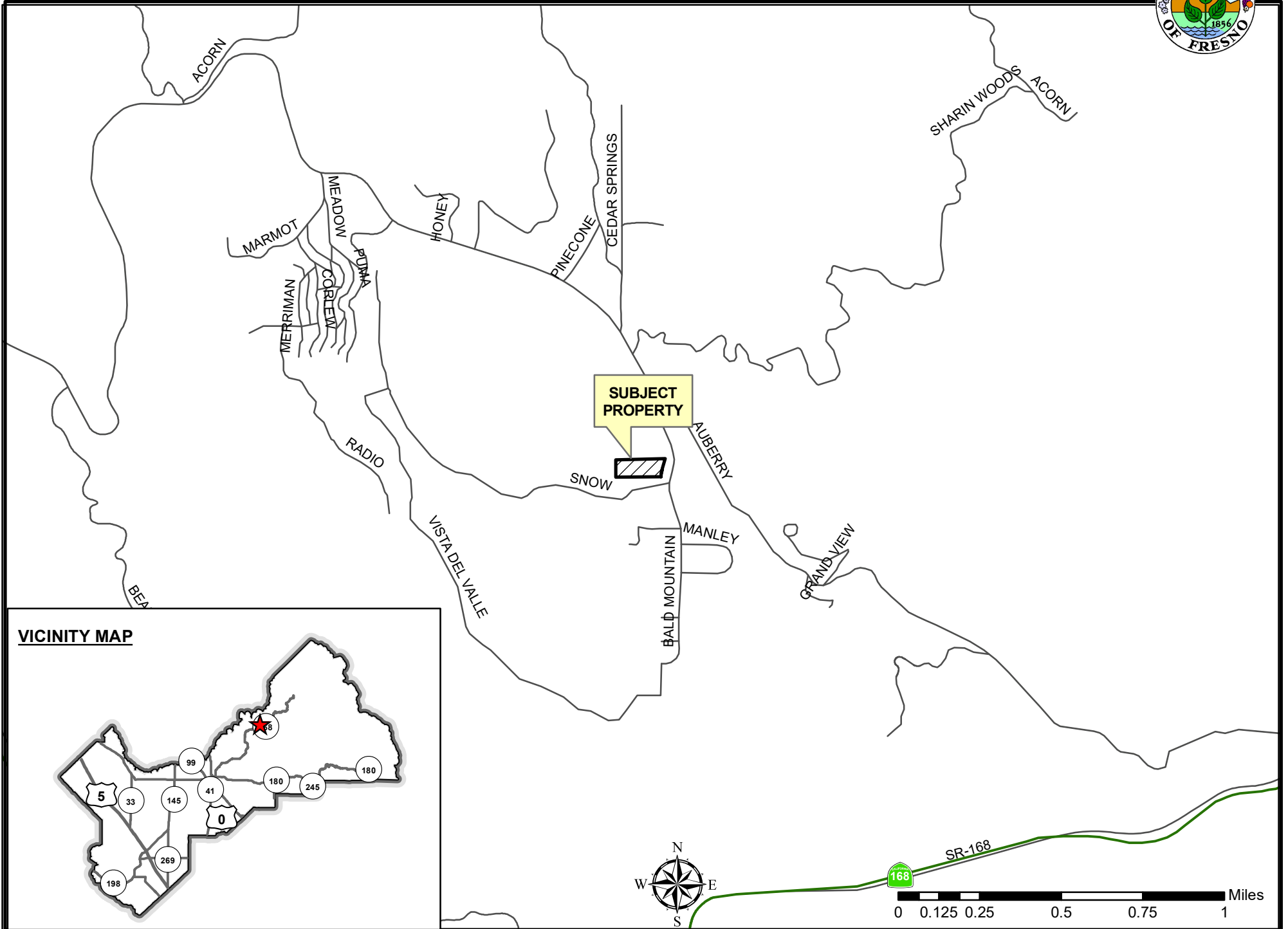
Please address any correspondence or questions related to environmental and/or policy/design issues to me, Alyce Alvarez, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, STE. A Street Level, Fresno, CA 93721, or call (559) 600-9669 or alyalvarez@fresnocountyca.gov via email.

AA
G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3700-3799\3757\Routing\CUP 3757 Routing Letter.docx

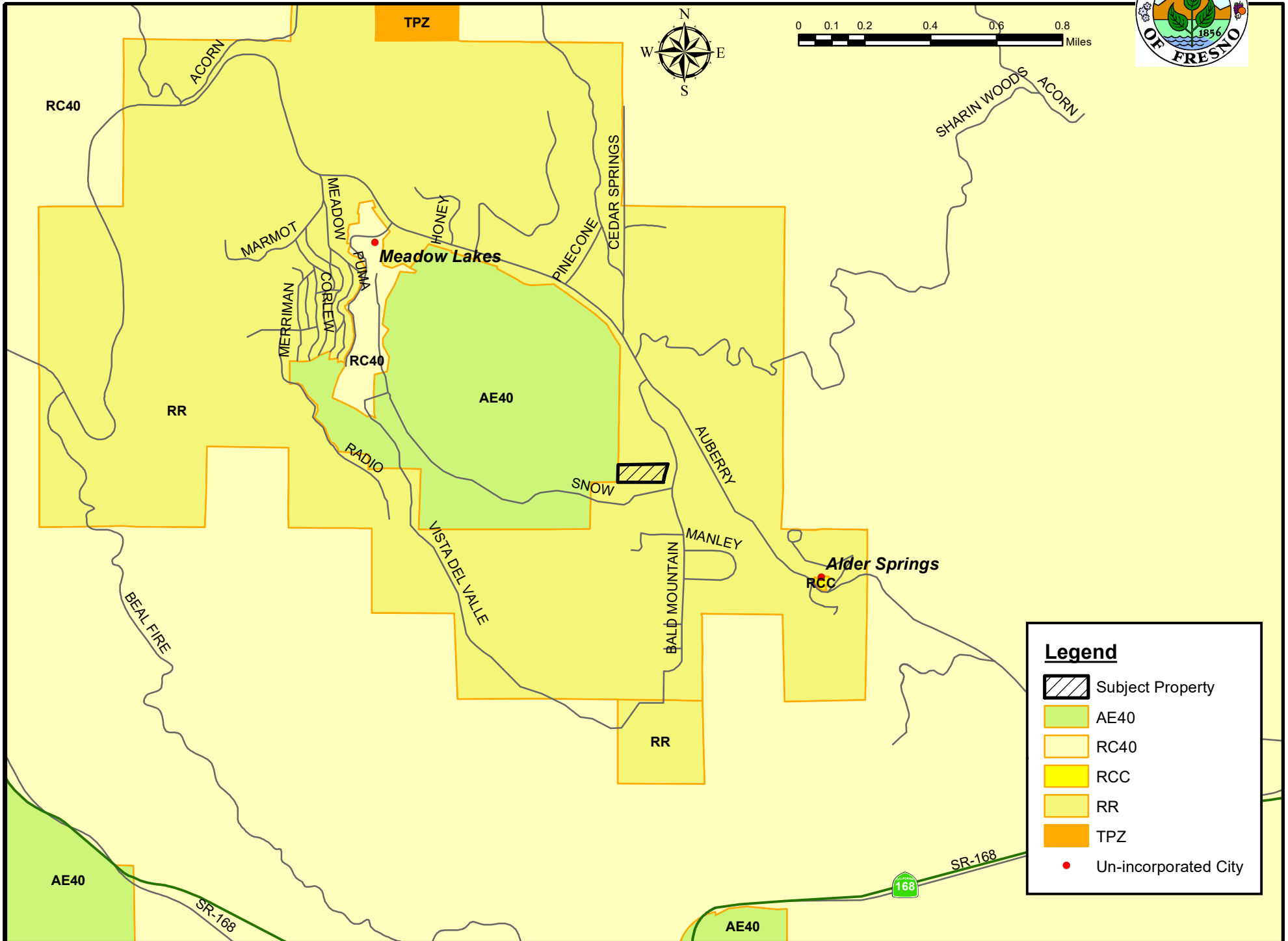
Activity Code (Internal Review): 2392

Enclosures

LOCATION MAP

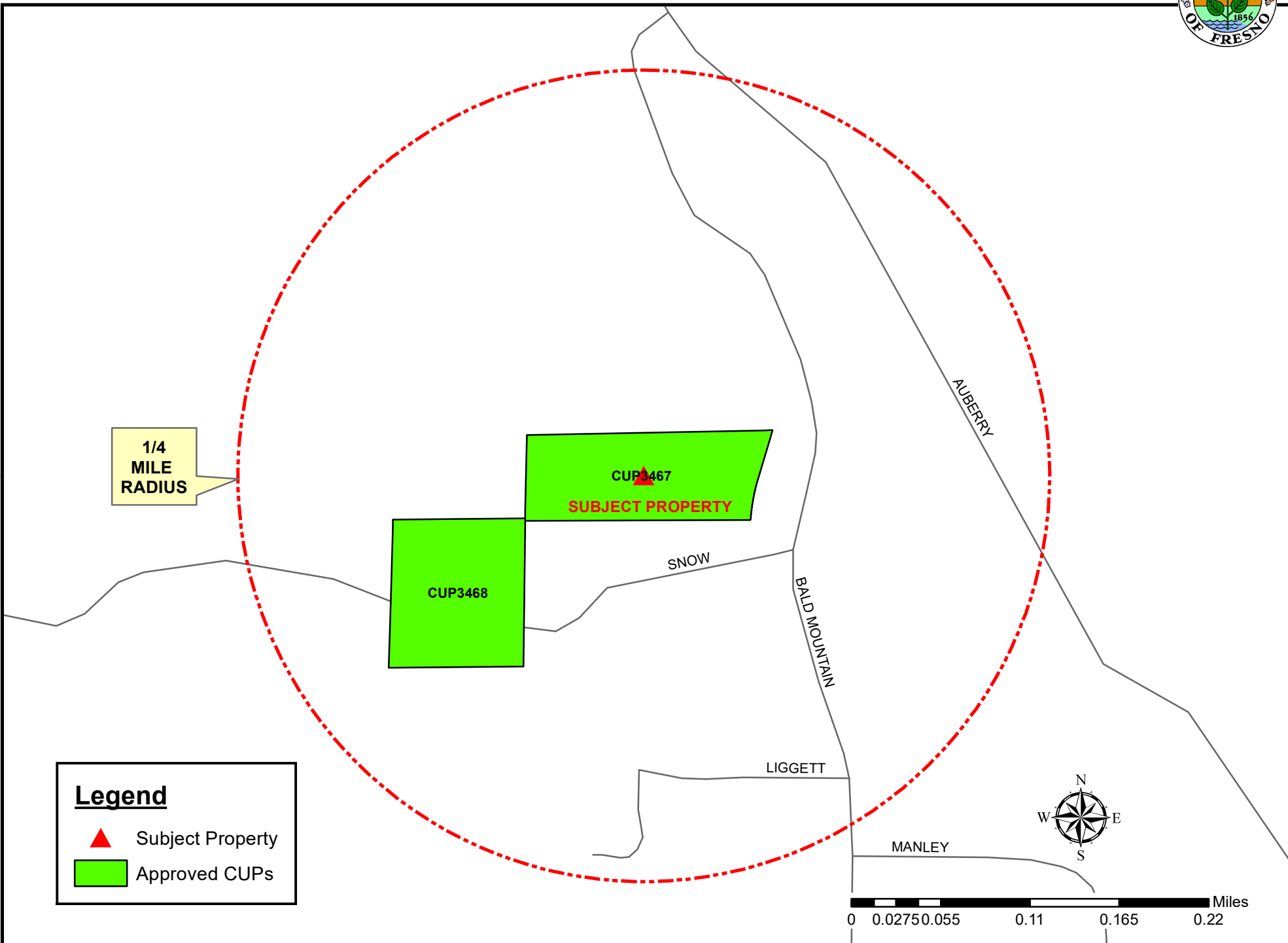


EXISTING ZONING MAP



APPROVED CONDITIONAL USE PERMITS WITHIN A QUARTER MILE RADIUS

CUP 3757

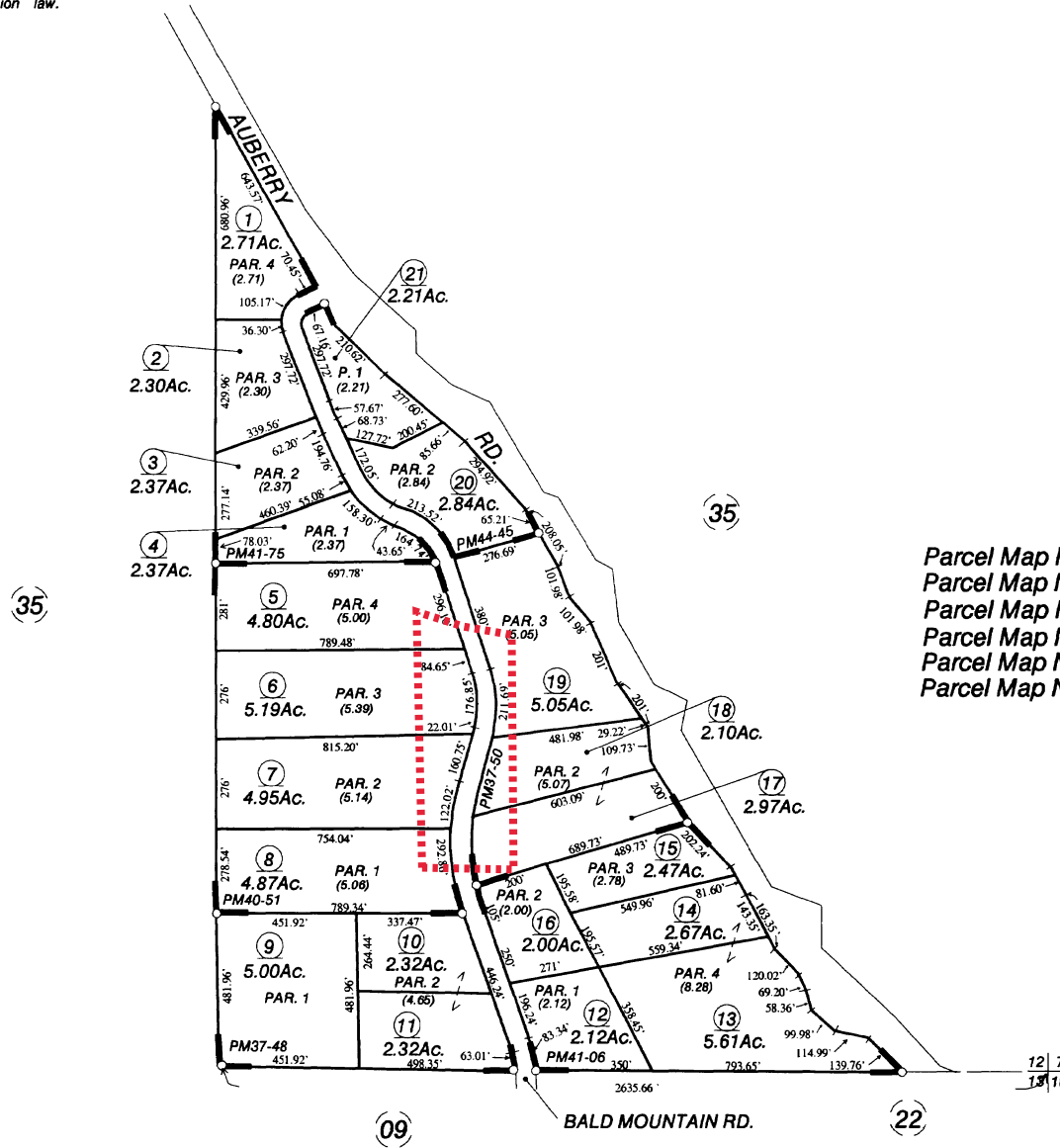


--- NOTE ---
 This map is for Assessment purposes only.
 It is not to be construed as portraying
 legal ownership or divisions of land for
 purposes of zoning or subdivision law.

SUBDIVIDED LAND IN POR. SEC'S 11 & 12, T.10 S., R.23 E., M.D.B. & M.

Tax Rate Area
 199-004

128-74



Parcel Map No. 5333 - Bk. 37, Pg. 48 & 49
 Parcel Map No. 5334 - Bk. 37, Pg. 50 & 51
 Parcel Map No. 6229 - Bk. 40, Pg. 51
 Parcel Map No. 6261 - Bk. 41, Pg. 06
 Parcel Map No. 6419 - Bk. 41, Pg. 75
 Parcel Map No. 6624 - Bk. 44, Pg. 45

Assessor's Map Bk.128 - Pg. 74
 County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.
 Assessor's Parcel Numbers Shown in Circles.



Fresno County Department of Public Works and Planning

Date Received: 01/24/2023

CUP No. 3757
IS No. 8354
(Application No.)

MAILING ADDRESS:
Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:
Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type) revised CUP # 3467
Amendment Application
Amendment to Text
Conditional Use Permit revised
Variance (Class)/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

[Empty box for description of proposed use or request]

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: West side of Bald Mountain Road
between Liggert and Snow Road
Street address: 42140 Bald Mountain Road

APN: 128-740-07 Parcel size: 4.95 acres Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s):

I, Linda Dineen (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Table with 5 columns: Name, Address, City, Zip, Phone. Rows for Owner (Sveira Remote Observatories), Applicant (Linda Dineen), and Representative (Same).

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: Amendment to CUP Application Fee: \$ 2,284.50
Application Type / No.: Pre-Application Credit Fee: \$ -247.00
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
PER/Initial Study No.: Initial Study Application Fee: \$ 3,901.00
Ag Department Review: Fee: \$
Health Department Review: Fee: \$ 654.00
Received By: Alyce Alvarez Invoice No.: 253445 TOTAL: \$ 6,592.50

UTILITIES AVAILABLE:

WATER: Yes [] / No []
Agency:
SEWER: Yes [] / No []
Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: - T S/R E

Related Application(s):

APN # - - -

Zone District:

APN # - - -

Parcel Size:

APN # - - -

APN # - - -

SRO



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

AGENT AUTHORIZATION

AUTHORIZATION OF AGENT TO ACT ON BEHALF OF PROPERTY OWNER

The Agent Authorization form is required whenever a property owner grants authority to an individual to submit and/or pursue a land use entitlement application on their behalf. This form must be completed by the property owner and submitted with the land use entitlement application to confirm that the property owner has granted authority to a representative to sign application forms on their behalf and represent them in matters related to a land use entitlement application.

The below named person is hereby authorized to act on my behalf as agent in matters related to land use entitlement applications associated with the property listed below.

LINDA DINEEN
Agent Name (Print or Type)

DINEEN DRAFTING & DESIGN
Company Name (Print or Type)

2985 E. WILLIS AVE.
Mailing Address

FRESNO, CA 93726
City / State / Zip Code

(559) 226-6053
Phone Number

archangel2985@sbcglobal.net
Email Address

128-740-07
Project APN

42140 BALD MOUNTAIN RD.
Project Street Address

A list consisting of ____ additional properties is attached (include the APN for each property).

Project Description (Print or Type):

ADDENDUM TO CUP #3467 TO ALLOW ADDITIONAL OBSERVATORY BUILDINGS ON THE EXISTING SITE

The undersigned declares under penalty of perjury that they own, possess, control or manage the property referenced in this authorization and that they have the authority to designate an agent to act on behalf of all the owners of said property. The undersigned acknowledges delegation of authority to the designated agent and retains full responsibility for any and all actions this agent makes on behalf of the owner.

Owner Signature

Date

Owner Name (Print or Type)

Phone Number

Email Address

** If the legal owner of the property is a corporation, company, partnership or LLC, provide a copy of a legal document with this authorization form showing that the individual signing this authorization form is a duly authorized partner, officer or owner of said corporation, company, partnership or LLC.*

RECORDING REQUESTED BY
AND WHEN RECORDED, MAIL TO:

John J. McGregor, Esq.
McCormick Barstow LLP
P. O. Box 28912
Fresno CA 93728-8912



FRESNO County Recorder
Paul Dictos, C.P.A.
DOC- 2013-0131133

Check Number 4404
Monday, SEP 16, 2013 14:46:52
Ttl Pd \$22.00 Rcpt # 0003973972
CRR/R2/1-2

SPACE ABOVE THIS LINE FOR RECORDER'S USE-----

APN: 128-740-07

GRANT DEED

THE UNDERSIGNED GRANTORS DECLARE

DOCUMENTARY TRANSFER TAX IS \$ NONE

The grantors and the grantees in this conveyance are comprised of the same parties who continue to hold the same proportionate interest in the property. Revenue & Taxation Code § 11923(d).

KEITH QUATTROCCHI, an unmarried man, as to an undivided 1/3 interest,
LAWRENCE VAN VLEET, an unmarried man, as to an undivided 1/3 interest, and
MELVIN R. HELM, JR., and ANNA M. HELM, Trustees of the MELVIN R. HELM AND ANNA M. HELM LIVING TRUST dated July 7, 2006, as to an undivided 1/3 interest,

hereby GRANT to

SIERRA REMOTE OBSERVATORIES, LLC, a California limited liability company,

the following described real property in the County of FRESNO, State of California:

Parcel 2 of Parcel Map 6228, in the unincorporated area, County of Fresno, State of California, as per Map recorded in Book 40, Page 51, of Parcel Maps, in the Office of the Fresno County Recorder

DATED

8/15/13

KEITH QUATTROCCHI

LAWRENCE VAN VLEET

MELVIN R. HELM, JR., Co-Trustee of the MELVIN R. HELM AND ANNA M. HELM LIVING TRUST

ANNA M. HELM, Co-Trustee of the MELVIN R. HELM AND ANNA M. HELM LIVING TRUST

02652-00002 2584835.1

MAIL TAX STATEMENTS TO:

Sierra Remote Observatories, LLC, 1865 E. Alluvial Ave., Suite 102, Fresno CA 93720



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. _____

Project No(s). _____

Application Rec'd.: _____

GENERAL INFORMATION

- Property Owner : SIERRA REMOTE OBSERVATORIES Phone/Fax _____

Mailing Address: 42120 BALD MOUNTAIN RD. AUBERRY, CA. 93602

Street City State/Zip
- Applicant : LINDA DINEEN Phone/Fax: (559) 221-6053

Mailing Address: 2985 E. WILUS AVE. FRESNO CA 93726

Street City State/Zip
- Representative: SAME Phone/Fax: _____

Mailing Address: _____

Street City State/Zip
- Proposed Project: AMENDMENT TO CUP # 3467 TO ALLOW ADDITIONAL TELESCOPE BUILDINGS OF THE SAME PLAN AND CONSTRUCTION AS EXISTING BUILDINGS
- Project Location: 42140 BALD MOUNTAIN RD. AUBERRY, CA. 93602
- Project Address: SAME WEST SIDE OF BALD MTN. RD. SOUTH OF AUBERRY RD.
- Section/Township/Range: 1 1 8. Parcel Size: 4.95 ACRES
- Assessor's Parcel No. 128-740-07 OVER.....

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

<u>NO</u> LAFCo (annexation or extension of services)	<u>NO</u> SJVUAPCD (Air Pollution Control District)
<u>NO</u> CALTRANS	<u>NO</u> Reclamation Board
<u>NO</u> Division of Aeronautics	<u>NO</u> Department of Energy
<u>NO</u> Water Quality Control Board	<u>NO</u> Airport Land Use Commission
Other _____	

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? _____ Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: CG

14. Existing General Plan Land Use Designation¹: _____

ENVIRONMENTAL INFORMATION

15. Present land use: observatory buildings

Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

Propose to add 15,634 sq. ft. observatory buildings to existing site 14 New buildings

Describe the major vegetative cover: sparse low vegetation

Any perennial or intermittent water courses? If so, show on map: no

Is property in a flood-prone area? Describe:
no

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Ag

South: Ag

East: Residential

West: unimproved open land

17. What land use(s) in the area may be impacted by your Project?: None

18. What land use(s) in the area may impact your project?: None

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes ✓ No

B. Daily traffic generation:

I. Residential - Number of Units _____
Lot Size _____
Single Family _____
Apartments _____

II. Commercial - Number of Employees 1-2
Number of Salesmen 0
Number of Delivery Trucks 0
Total Square Footage of Building 0

III. Describe and quantify other traffic generation activities: None

20. Describe any source(s) of noise from your project that may affect the surrounding area: None

21. Describe any source(s) of noise in the area that may affect your project: None

22. Describe the probable source(s) of air pollution from your project: None

23. Proposed source of water:

(✓) private well

() community system³--name: _____ OVER.....

24. Anticipated volume of water to be used (gallons per day)²: - 0 -
25. Proposed method of liquid waste disposal:
 septic system/individual
 community system³-name N/A
26. Estimated volume of liquid waste (gallons per day)²: N/A
27. Anticipated type(s) of liquid waste: N/A
28. Anticipated type(s) of hazardous wastes²: N/A
29. Anticipated volume of hazardous wastes²: N/A - 0 -
30. Proposed method of hazardous waste disposal²: N/A
31. Anticipated type(s) of solid waste: N/A
32. Anticipated amount of solid waste (tons or cubic yards per day): - 0 -
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): - 0 -
34. Proposed method of solid waste disposal: N/A
35. Fire protection district(s) serving this area: _____
36. Has a previous application been processed on this site? If so, list title and date: YES -
COP # 3467 & SPR # 818 AND 818-R
37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No
38. If yes, are they currently in use? Yes _____ No

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

Junda Dineen
 SIGNATURE AUTHORIZED AGENT FOR SRO

12/9/22
 DATE

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2023: \$3,839.25 for an EIR; \$2,764.00 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

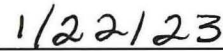
- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature



Date

DINEEN DRAFTING & DESIGN

2985 E. Willis Ave,
Fresno, CA 93726

OPERATIONAL STATEMENT 1/23/2023

Owner: Sierra Remote Observatories

Job Address: 42140 Bald Mountain Road
Auberry, CA 93602
APN: 128-740-07

Amendment to CUP #3467

1. Nature of the operation:

This property has established unmanned observatory buildings which contain telescopes of various sizes remotely operate by individuals and institutions around the world. We are proposing to build 14 additional conservatory buildings of various sizes to total 15,634 sq.ft. of building area. Added to the existing building area of 6,576 sq.ft. this totals 22,210 sq.ft. of lot coverage which equals 10% coverage. As other buildings on the site, these will contain telescopes of various sizes which will be provide by others. The building roofs retract automatically in the evening giving an unobstructed view of the night sky. The property owners have been inundated with requests for telescope space from agencies worldwide.

2. Operation time limits:

This observatory operates 24 hours a day, 7 days a week however, most action occurs at night.

3. Number of customers or visitors:

There are no customers or any public access to the property. Owners operate their telescopes remotely.

4. Number of employees:

There are no more than 1-2 employees on site and not full time. They only perform maintenance to the property.

5. Service and delivery vehicles:

There are no service or delivery vehicles.

6. Access to the site:

The site is on the south side of Auberry Road and accessed by private unpaved gravel driveway approximately ¼ mile south on Bald Mountain Road. The site is 4.95 acres of which less than 1 acre is developed.

7. Number of parking spaces for employees, customers, and service/delivery vehicles:

Due to the low number of employees, a parking lot is not required. Previously, the 1-2 employees parked on dirt areas around the buildings. Four parking spaces are proposed for occasional use in order to not disturb the telescope sites.

8. Are any goods to be sold on-site?

No goods will be sold on-site.

9. What equipment is used?

The only equipment on site are the telescopes within the buildings.

10. What supplies or materials are used and how are they stored?

The only supplies are extra telescope parts. These are stored in two storage containers.

11. Does the use cause an unsightly appearance?

The telescopes are contained inside simple building structures. There will be no exterior lights, dust or odor generated.

12. List any solid or liquid wastes to be produced.

No solid or liquid waste will be produced.

13. Estimated volume of water to be used (gallons per day).

There is no water used on this site. The only water usage will be in the proposed Breakroom.

14. Describe any proposed advertising including size, appearance, and placement.

Since this is an operation that does not involve the public, there is no advertising or signs.

15. Will existing buildings be used or what portion of buildings will be used in the Operation.

Fourteen new buildings are proposed at this time to operate along with the other buildings already constructed. These are single level, wood frame buildings for the sole purpose of housing telescopes.

16. Explain which buildings or what portion of buildings will be used in the Operation.

See #15 above

17. Will outdoor lighting or an outdoor sound amplification system be used?

Due to the necessity of having darkness at night for this operation, absolutely no outdoor lighting will be installed. Telescopes are very quiet. Outdoor sound amplification is not applicable.

18. Landscaping or fencing proposed?

None will be installed.

19. Any other information that will provide a clear understanding of the project or operation?

The 14 proposed buildings are totally consistent with the other buildings constructed on site in appearance and operation. The dome observatories would be the same 120 sq.ft. size as the smaller "mini" buildings already on site.

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

<u>NO</u>	LAFCo (annexation or extension of services)	<u>NO</u>	SJVUAPCD (Air Pollution Control District)
<u>NO</u>	CALTRANS	<u>NO</u>	Reclamation Board
<u>NO</u>	Division of Aeronautics	<u>NO</u>	Department of Energy
<u>NO</u>	Water Quality Control Board	<u>NO</u>	Airport Land Use Commission
	Other _____		

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: CG

14. Existing General Plan Land Use Designation¹: _____

ENVIRONMENTAL INFORMATION

15. Present land use: observatory buildings
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:
Propose to add 15,634 sq. ft. observatory buildings
to existing site 14 New buildings
Describe the major vegetative cover: sparse low vegetation
Any perennial or intermittent water courses? If so, show on map: no

Is property in a flood-prone area? Describe:
no

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):
North: Ag
South: Ag
East: Residential
West: unimproved open land

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2023: \$3,839.25 for an EIR; \$2,764.00 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

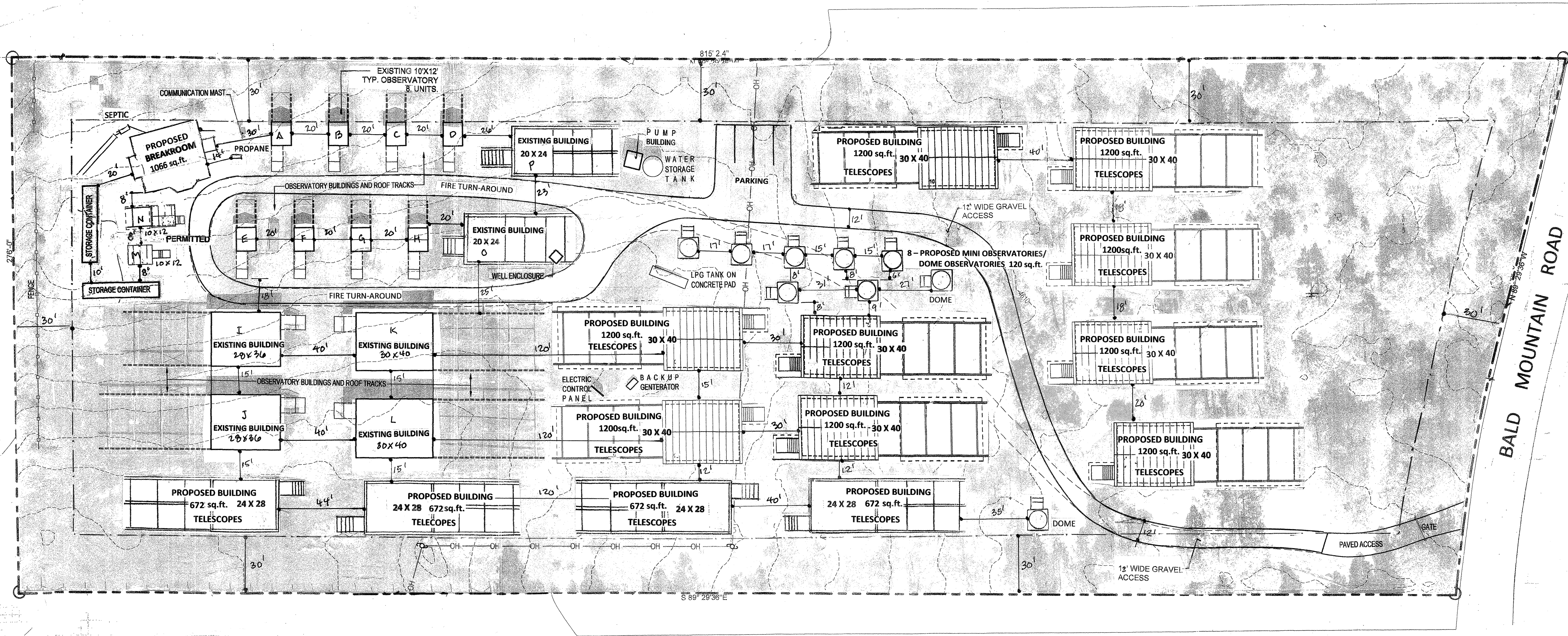
Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

1/22/23

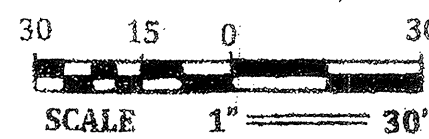
Date



NOTE:
Sierra Remote Observatories would like the option of replacing any of the large (30x40) buildings with equivalent building area in smaller buildings or domes.

SITE STATISTICS:
APN: 128-740-07
Zoning: CG
Lot Size: 4.95 Acres
Occupancy: U
Type of Construction: VB

SITE PLAN



LOT COVERAGE:
Parcel Size = 4.95 Acres = 215,622 sq.ft.
Total Existing Building Area = 6,576 sq.ft.
Total Proposed Building Area = 15,634 sq.ft.
Total Building Area = 22,210 sq.ft.
Percent Coverage = 10%

California Green Building Standards

Indoor Water Use
Water conserving plumbing fixtures and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:
Water closets - The effective flush volume of all water closets shall not exceed 1.28gal/flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for tank-type toilets.
The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.
Urinals - The effective flush volume of urinals shall not exceed 0.5 gal/flush.
Showerheads - Single showerhead. Showerheads shall have a min flow rate of not more than 2.0 gpm at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for showerheads. Multiple showerheads serving one shower - When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gpm at 80psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
A hand-held shower shall be considered a showerhead.
Faucets - Residential lavatory faucets. The max. flow rate of residential lavatory faucets shall not exceed 1.5 gpm at 60psi. The min. flow rate of residential lavatory faucets shall not be less than 0.8 gpm at 20 psi.
Lavatory faucets in common public use areas. The max. flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gpm at 60psi.
Kitchen faucets. The max. flow rate of kitchen faucets shall not exceed 1.8 gpm at 60psi. Kitchen faucets may temporarily increase the flow above the max. rate, but not to exceed 2.2 gpm at 60psi, and must default to a max. flow rate of 1.8 gpm at 60psi.
Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code and shall meet the applicable standards referenced in Table 1401.1 of the CPC.
Enhanced Durability and Reduced Maintenance
Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
Construction Waste Reduction, Disposal and Recycling
Construction waste management plan. Submit a construction waste management plan in conformance with items 1-5. The construction waste management plan shall be updated a necessary and shall be available during construction for examination by the enforcing agency.
1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse On the project or salvage for future use or sale.
2. Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk Mixed (single stream).
3. Identify diversion facilities where the construction and demolition waste material will be taken.
4. Identify construction methods employed to reduce the amount of construction and demolition waste Generated.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
6. Waste Management Company. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4-408.1.
Pollutant Control
Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all ducts and other related air distribution component openings shall be covered with top, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris, which may enter the system.
Finish material pollutant control - Finish materials shall comply with this section.
Adhesives, sealants and caulks. Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

- Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2 as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in subsection 2 below.
 - Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code Regulations, Title 17, commencing with Section 94507.
 - Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat or Nonflat High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36 and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat High Gloss VOC limit in Table 4.504.3 shall apply.
 - Aerosol paints and coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(3) and (d)(2) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the Percent VOC by weight of product limits of Regulation 8, rule 49.
 - Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to the following:
 - Manufacturer's product specification.
 - Field verification of on-site product containers.
- Interior Moisture Control**
General building shall meet or exceed the provisions of the California Building Standards Code.
Concrete slab foundations. Concrete slab foundations required to have a vapor retarder by the California Building Code, Chapter 19 or concrete slab-on-grade floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.
Capillary break - a capillary break shall be installed in compliance with at least one of the following:
1. A 4-inch-thick (101.6 mm) base of 1 inch (12.7mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage and curling, shall be used. For additional information, see American Concrete Institute ACI 302.2R-06.
2. Other equivalent methods approved by the enforcing agency.
3. A slab design specified by a licensed design professional. 4.505.3 Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following:
a. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.
b. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece to be verified.
c. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
Indoor Air Quality and Exhaust
Bathroom exhaust fans - Each bathroom shall be mechanically ventilated and shall comply with the following:
1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
a. Humidity controls shall be capable of adjustment between a relative humidity range of 50% to a max. 80%. A humidity control may utilize manual or automatic means of adjustment.
b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e. built in).
For the purposes of this section, a bathroom is a room which contains a bathtub, shower, or Tub/shower.
Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

SITE NOTES:

- Chemical toilet to be provided on site during construction.
- Provide 2% min. slope away from structure for a min. of 5'.
- Driveways and private roads shall have a maximum slope of 12%.
- Install street address numeral at least 4" high with min. 1/2" stroke on contrasting background clearly visible from the street.
- No on-site water retention.
- No drainage to adjacent property.
- Changes from the approved plans during the course of construction shall cause construction to be suspended until such time as the plans can be amended by the designer and submitted to the County for Review and approval.
- The Construction Waste Management Plan must be finalized prior to occupancy.

GOVERNING CODES:

2019 CBC	CALIF. BUILDING CODE
2019 CFG	CALIF. FIRE CODE
2019 CEG	CALIF. ELECTRICAL CODE
2019 CFC	CALIF. PLUMBING CODE
2019 CMG	CALIF. MECHANICAL CODE
2019 C	ENERGY CODE (NON-RESIDENTIAL ENERGY STANDARDS)
2019 CGREC	CALIF. CALGREEN CODE, SECTION 5 (NON-RESIDENTIAL MANDATORY MEASURES)

OWNER: Sierra Remote Observatories
42140 Bald Mountain Road
Auberry, CA 93602

DESIGNER: Linda Dineen
Dineen Drafting & Design
2985 E. Willis Ave.
Fresno, CA 93726
(559) 221-6053

ENGINEER: David Lehman
7948 N. Maple, Ste. 113
Fresno, Calif. 93720
(559) 325-8470

CONTRACTOR: Jon Thiele Construction
42026 Bretz Camp Lane
Shaver Lake, CA 93664
(559) 288-3561

DINEEN
drafting & design

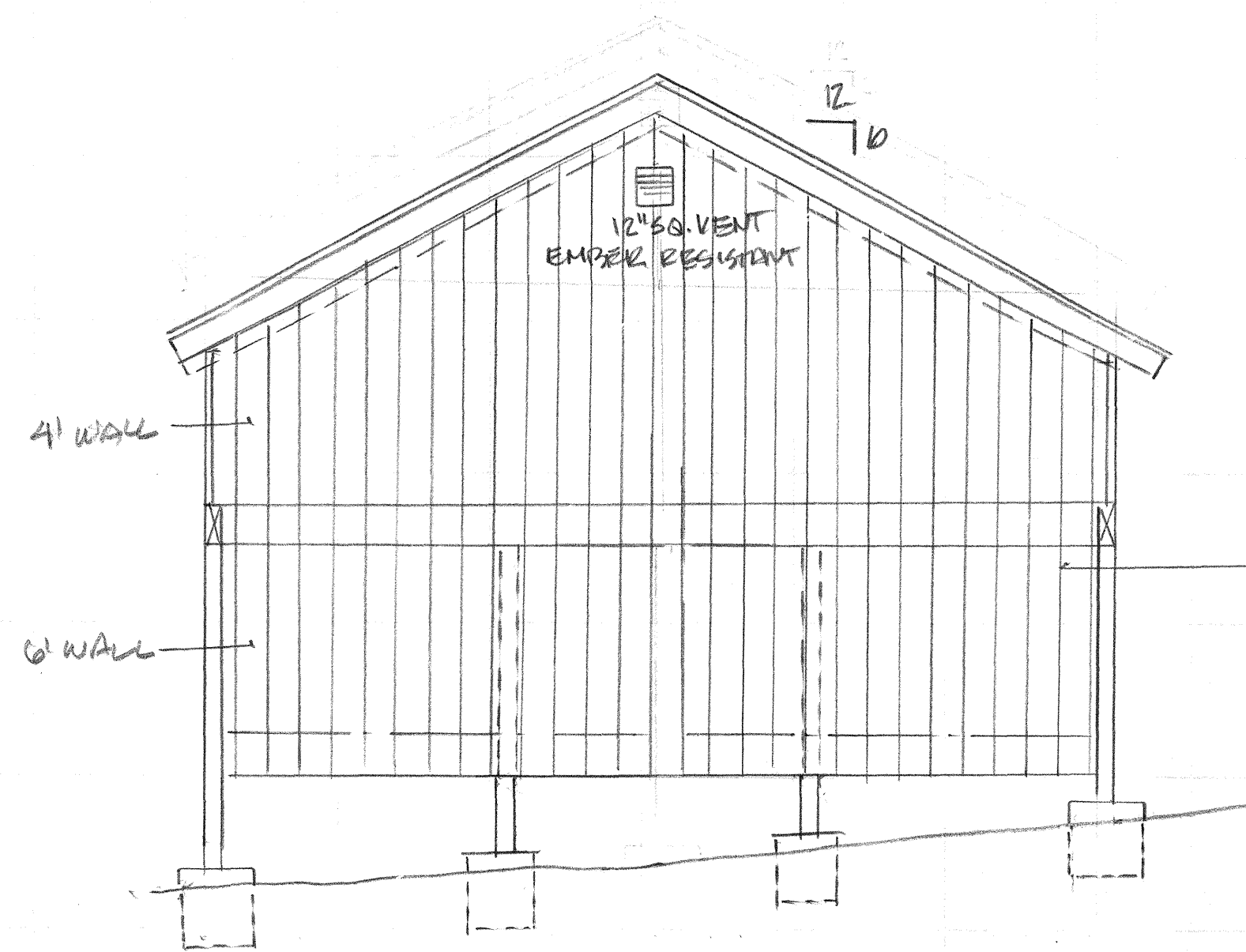
Linda Dineen
(559) 221-6053

PROPOSED SITE PLAN FOR:
SIERRA REMOTE OBSERVATORIES
AUBERRY, CA
42140 BALD MOUNTAIN ROAD

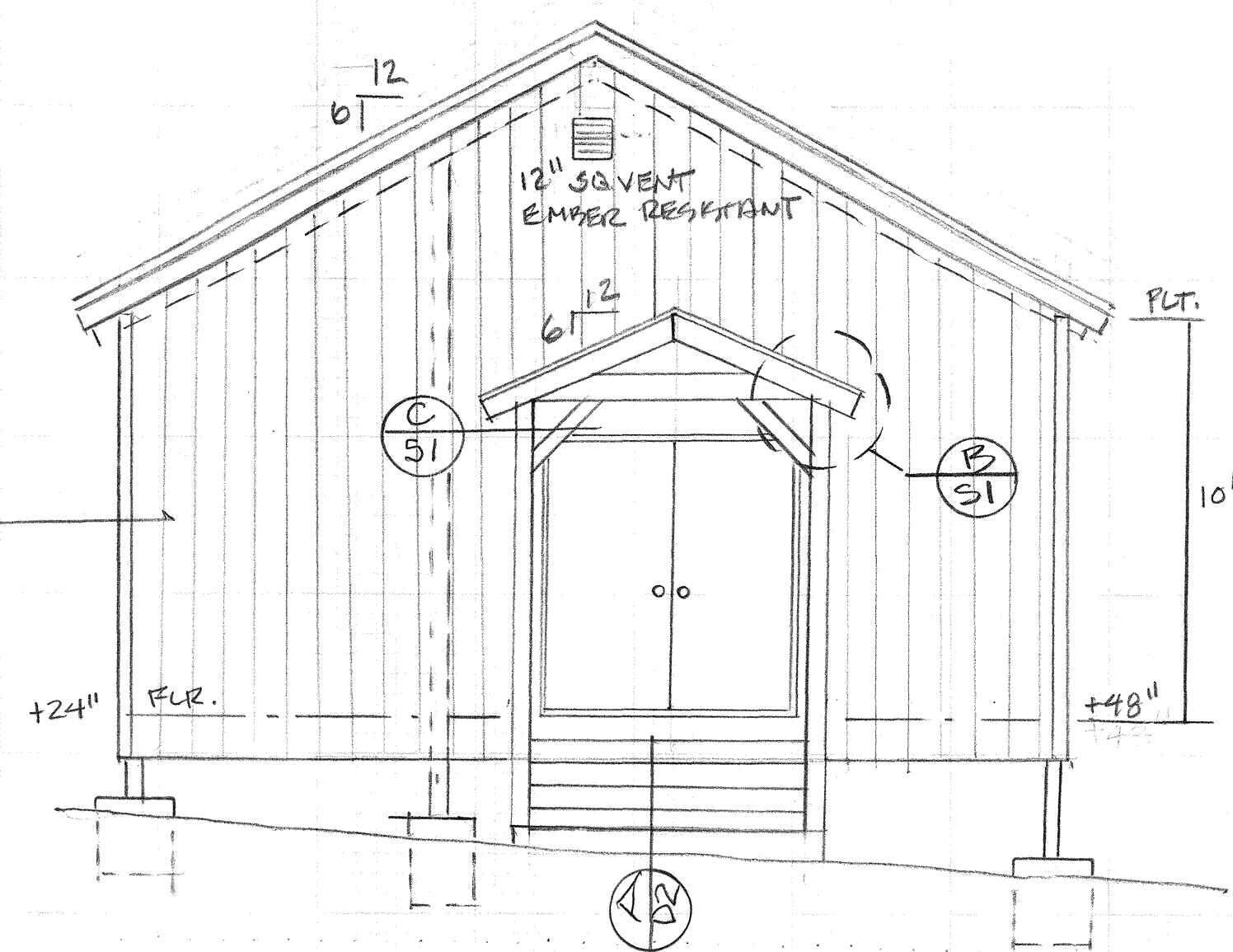
JANUARY 2023

SP1

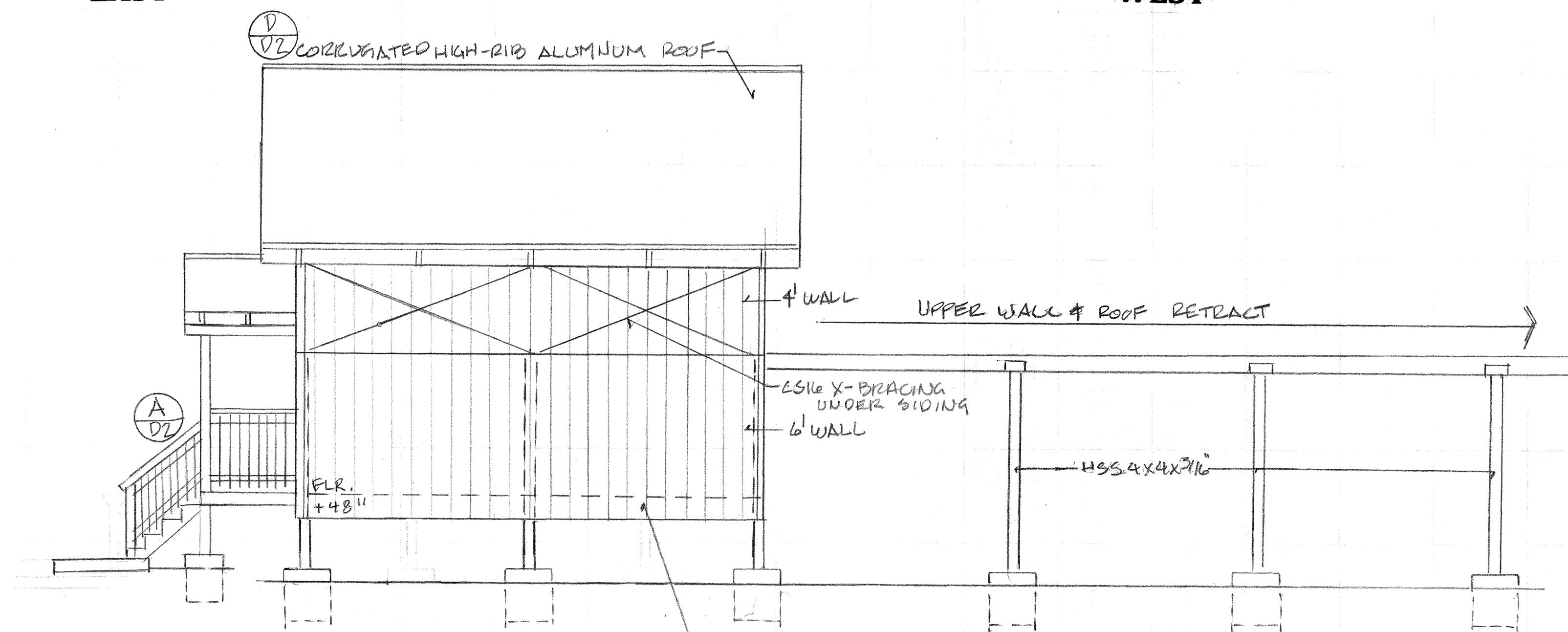
L.D. Dineen



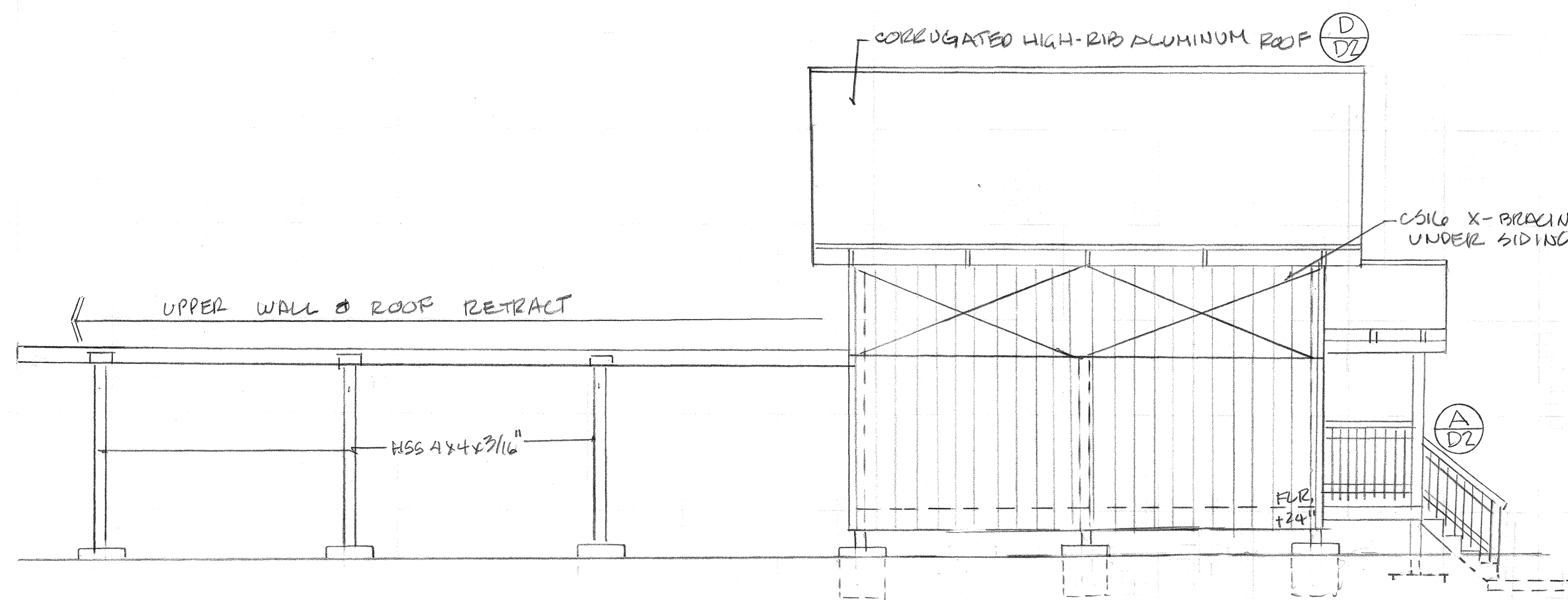
EAST



WEST



SOUTH

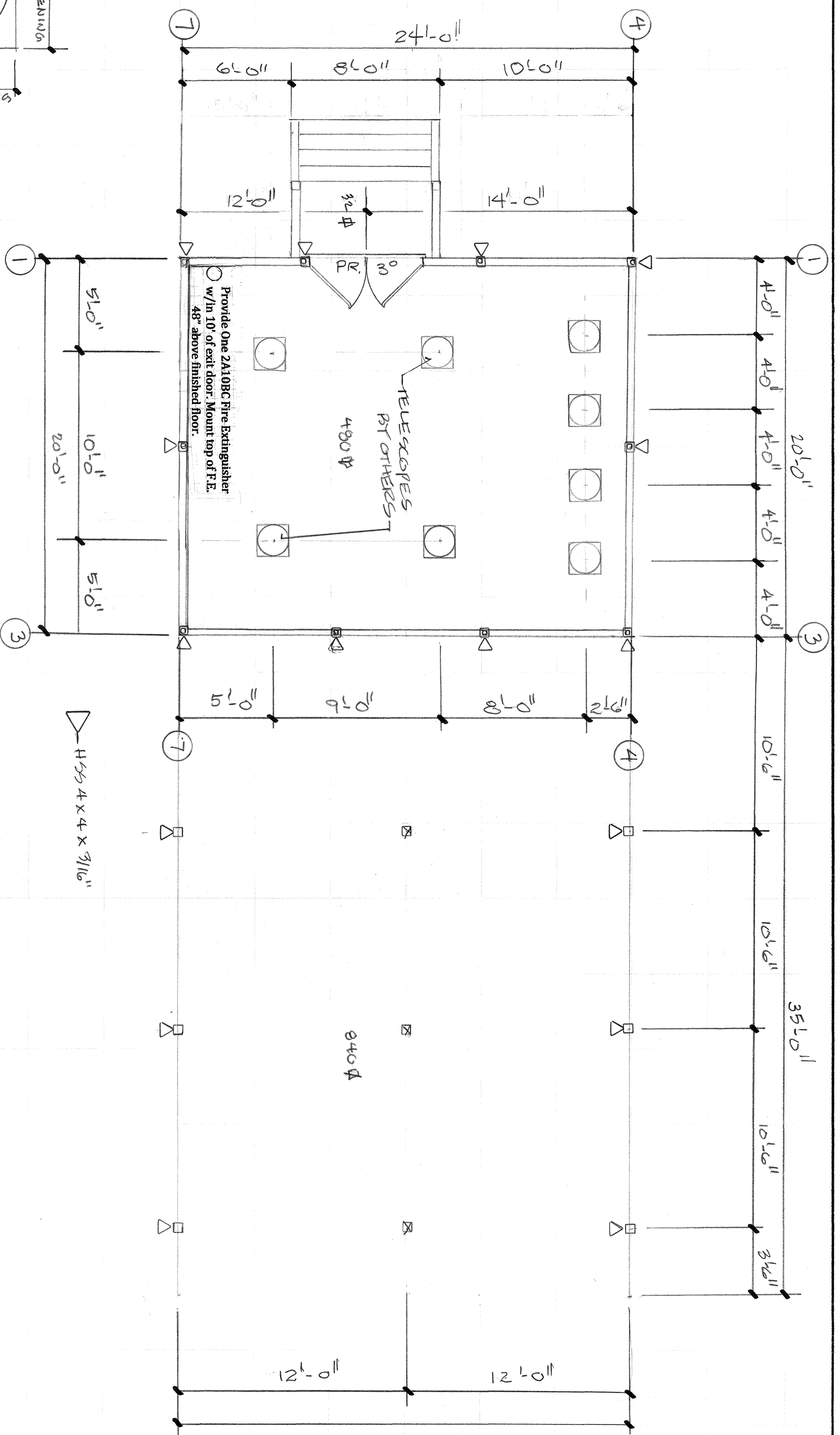
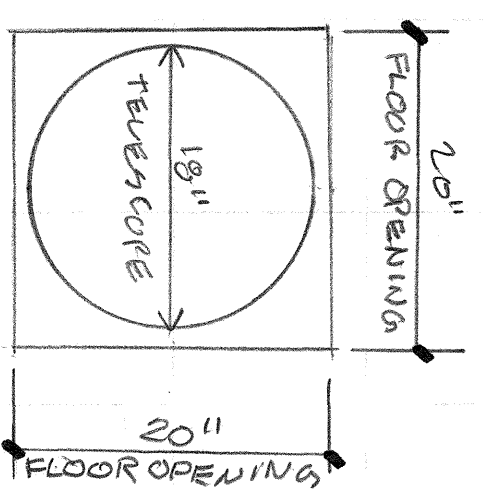


NORTH

ELEVATIONS

SCALE: 3/4" = 1'-0"

L. Dineen



FLOOR PLAN

480 SQ. FT.

SCALE: 1/4" = 1'-0"

L. Dineen

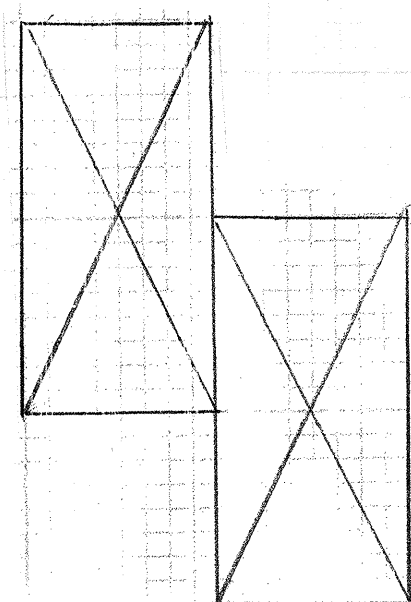


Linda Dineen
(559) 221-6053

PROPOSED OBSERVATORY BUILDING FOR:
SIERRA REMOTE OBSERVATORIES
42140 BALD MOUNTAIN ROAD AUBERRY, CA

FEBRUARY 2022

A2



Diaphragm

Provide 1/8" gap @ all panel edges

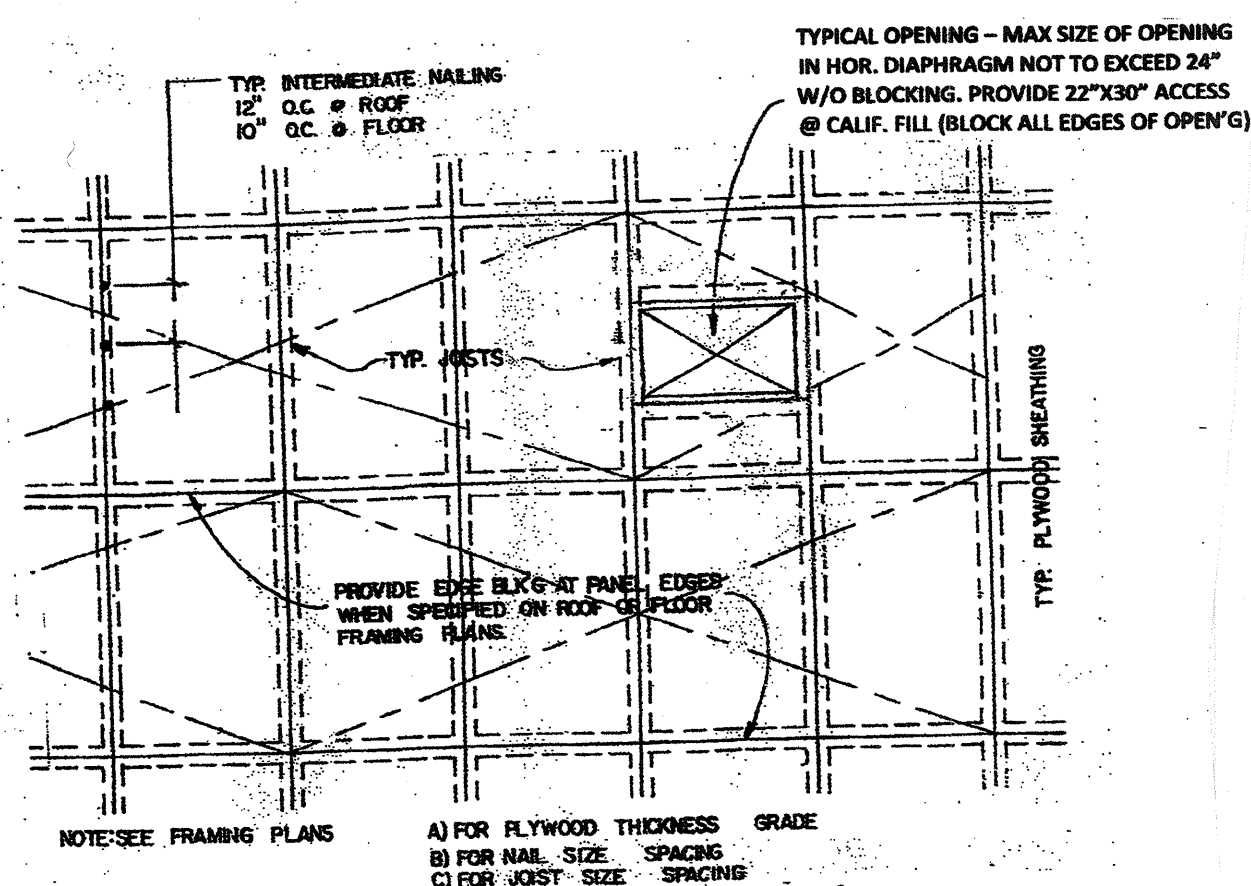
Roof Diaphragm: 1/2" plywood, APA 24/0 or 7/16 OSB, APA 24/1.6, w/8d common nails at 6" o/c at edges, unblocked, and 12" o/c int. field.

NOTE:

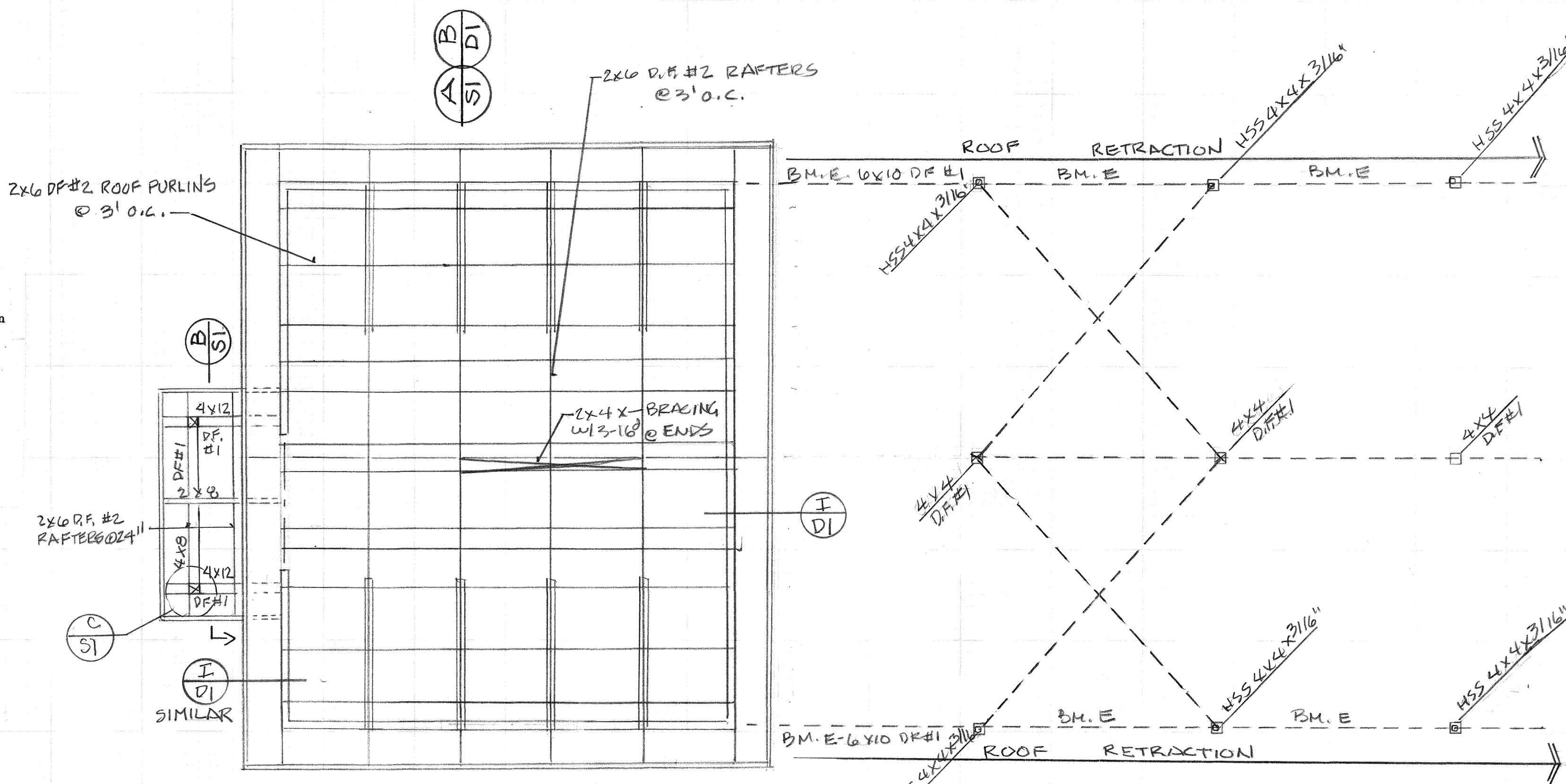
Diaphragm only applicable on porch roof and floor.
No diaphragm on main building roof.

Diaphragm Notes

- 1) Sheets used in the construction of diaphragms and shearwall shall be not less than 4' x 8' in size.
- 2) Minimum size of sheets at boundaries and changes in framing shall be 24" unless blocked. Specify location of oversized piece on framing plan.
- 3) All shearwalls require framing members or blocking at all panel edges.
- 4) All shearwalls to extend to roof sheathing, unless noted otherwise.
- 5) Holddown straps to be installed over plywood sheathing (except at TI-11 siding).
- 6) At roof diaphragm provide 1/8" gap at all panel edges.
- 7) Provide plywood under all California fill framing and provide 22" x 30" opening for access and ventilation (block all edges of opening).
- 8) Eave vents are not allowed at shearwalls where the frieze block is required for shear transfer.



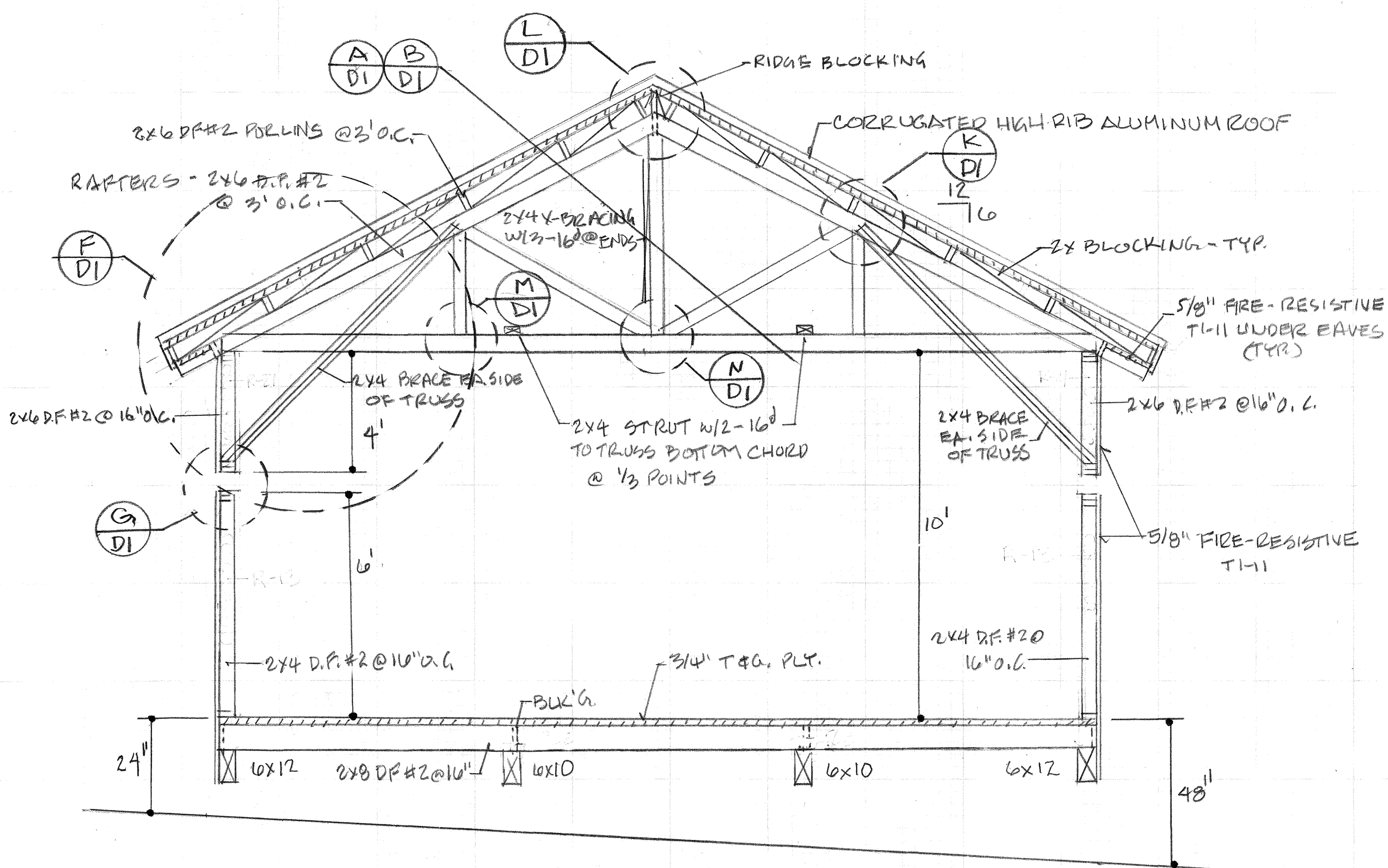
Typical Plywood Floor or Roof Sheathing



CS14 ROOF X-BRACING @ TOP CHORD
ALTERNATE:
1/4" STEEL CABLE, SECURE TO TRUSS W/ 3/8" EYE BOLT W/ HILLSIDE WASHER

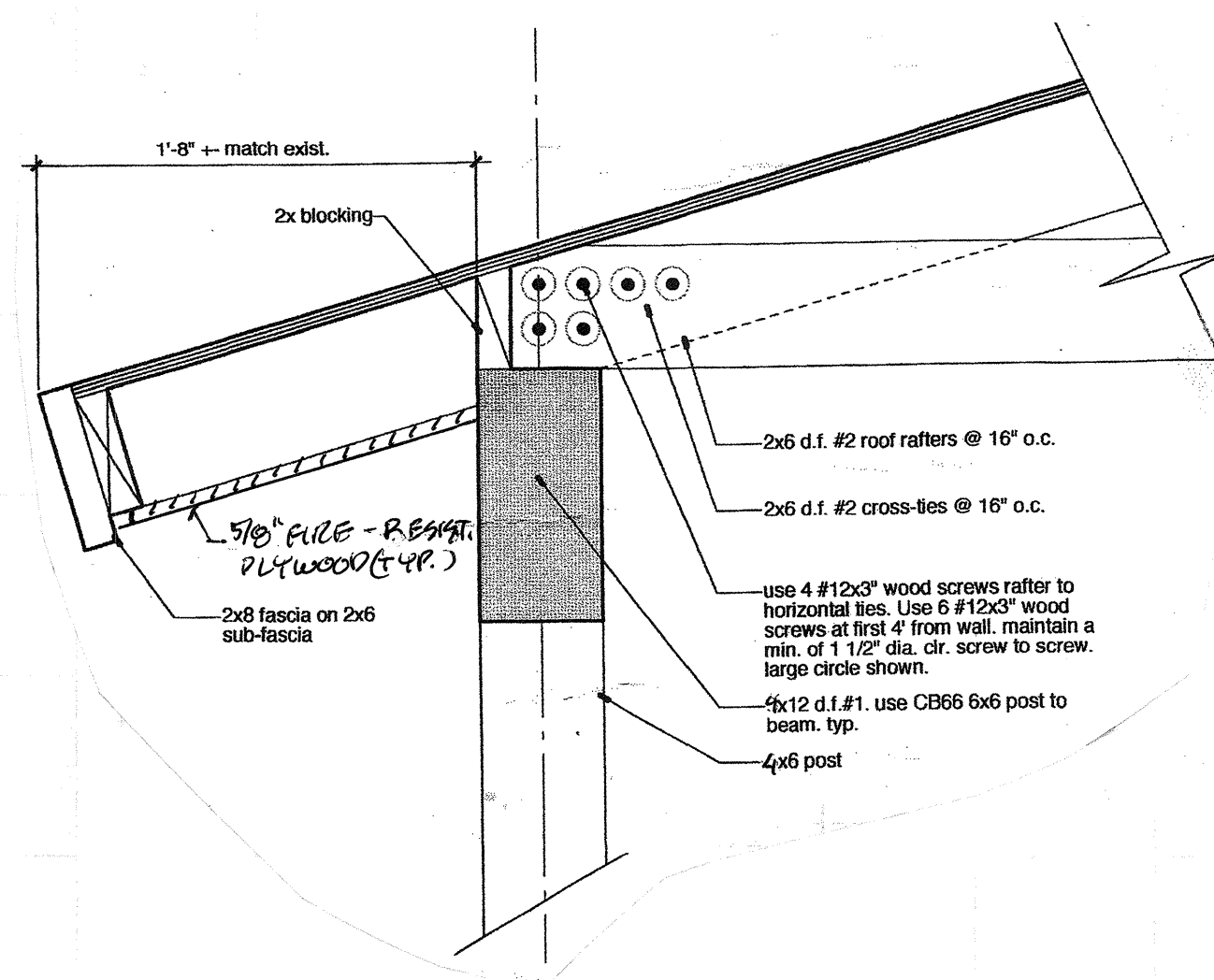
ROOF FRAMING PLAN

SCALE: 3/4" = 1'-0"



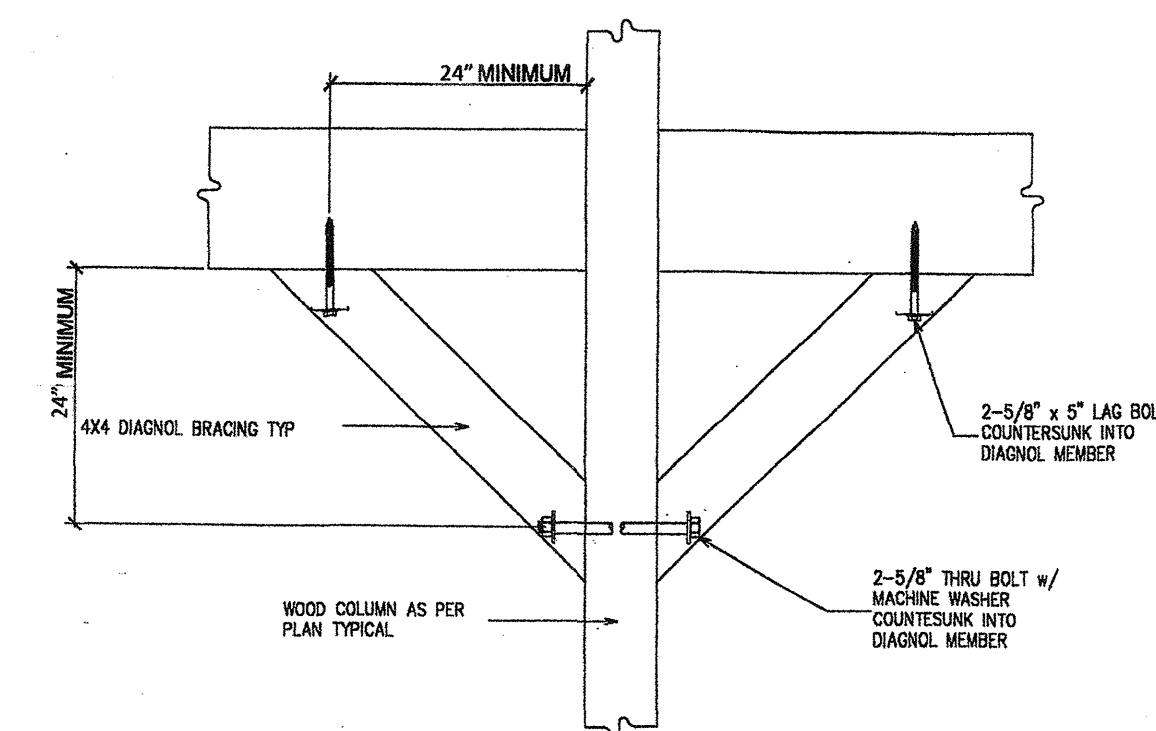
SECTION A S1

SCALE: 3/8" = 1'-0"

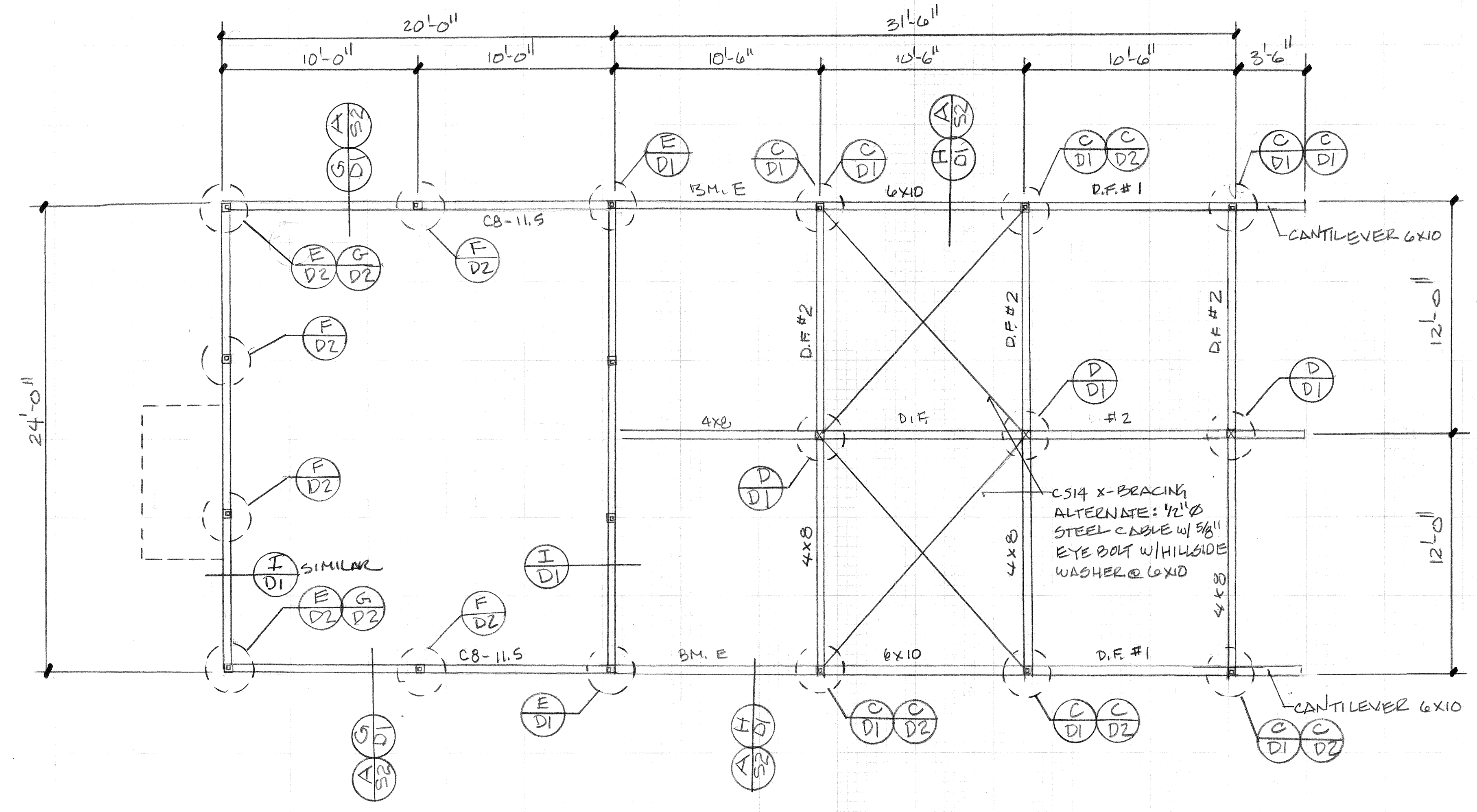


DETAIL B S1

PORCH EAVE

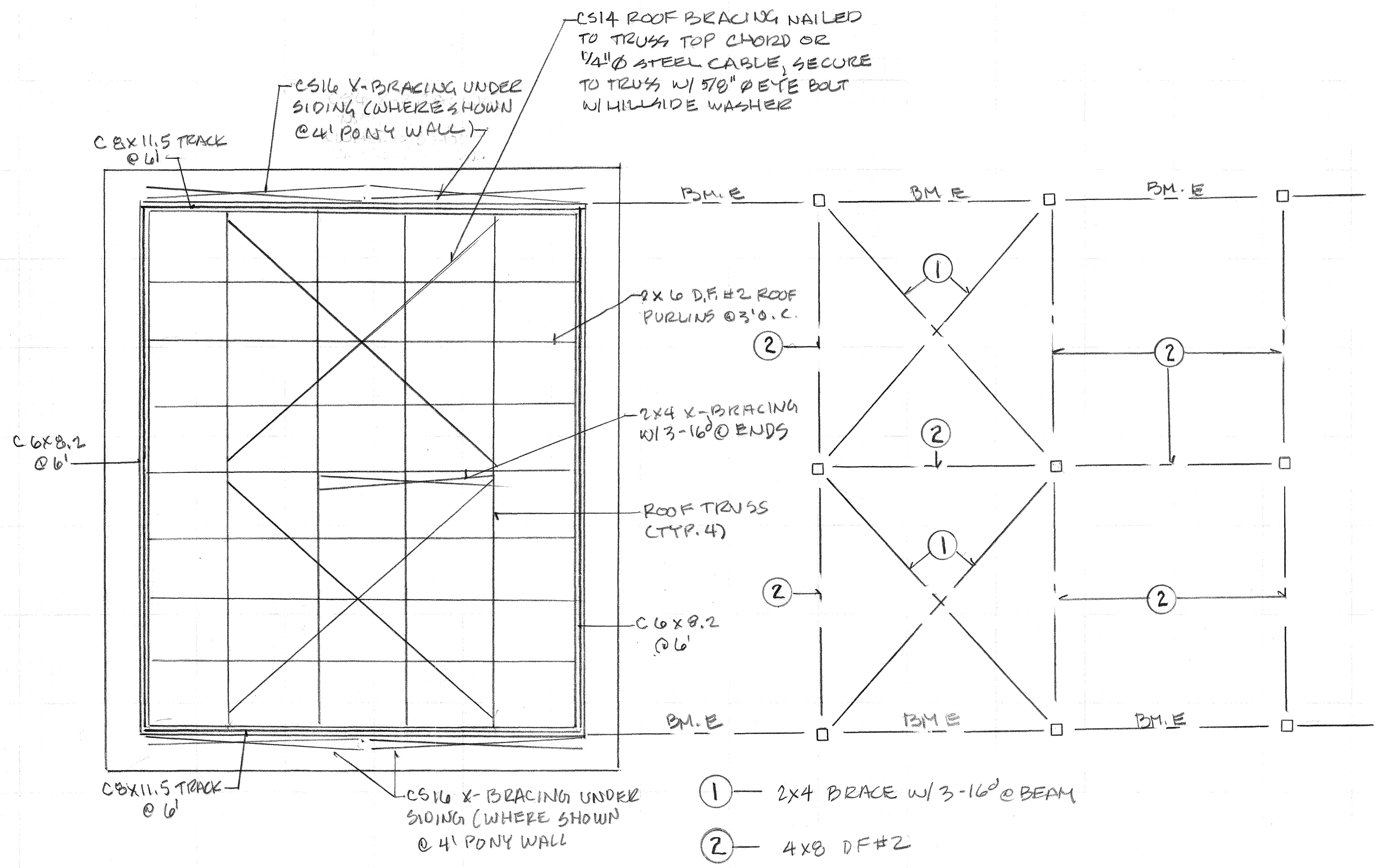


DIAGONAL KNEE BRACING C S1



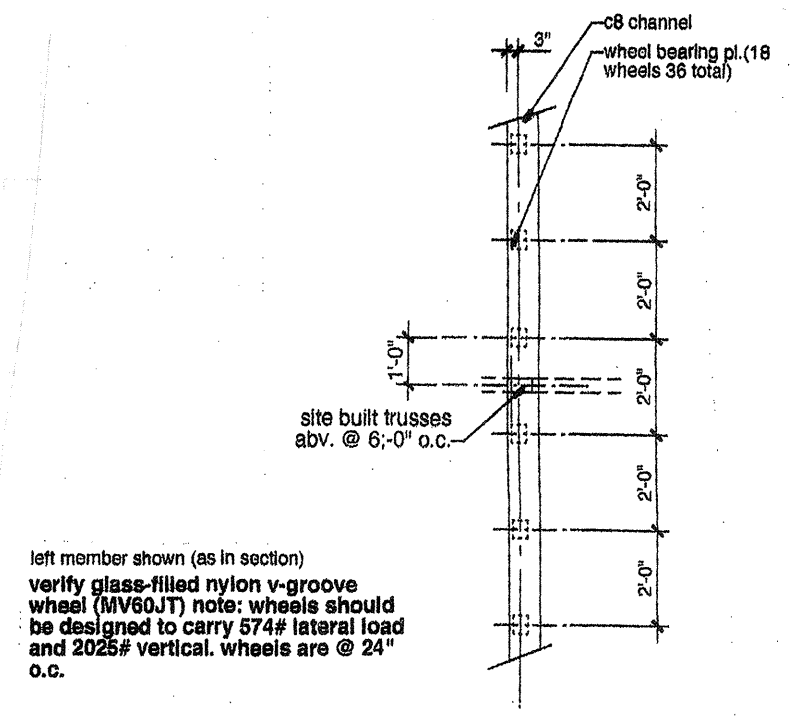
LOWER WALL & EXTERIOR RAIL PLAN

SCALE: 1/4" = 1'-0"



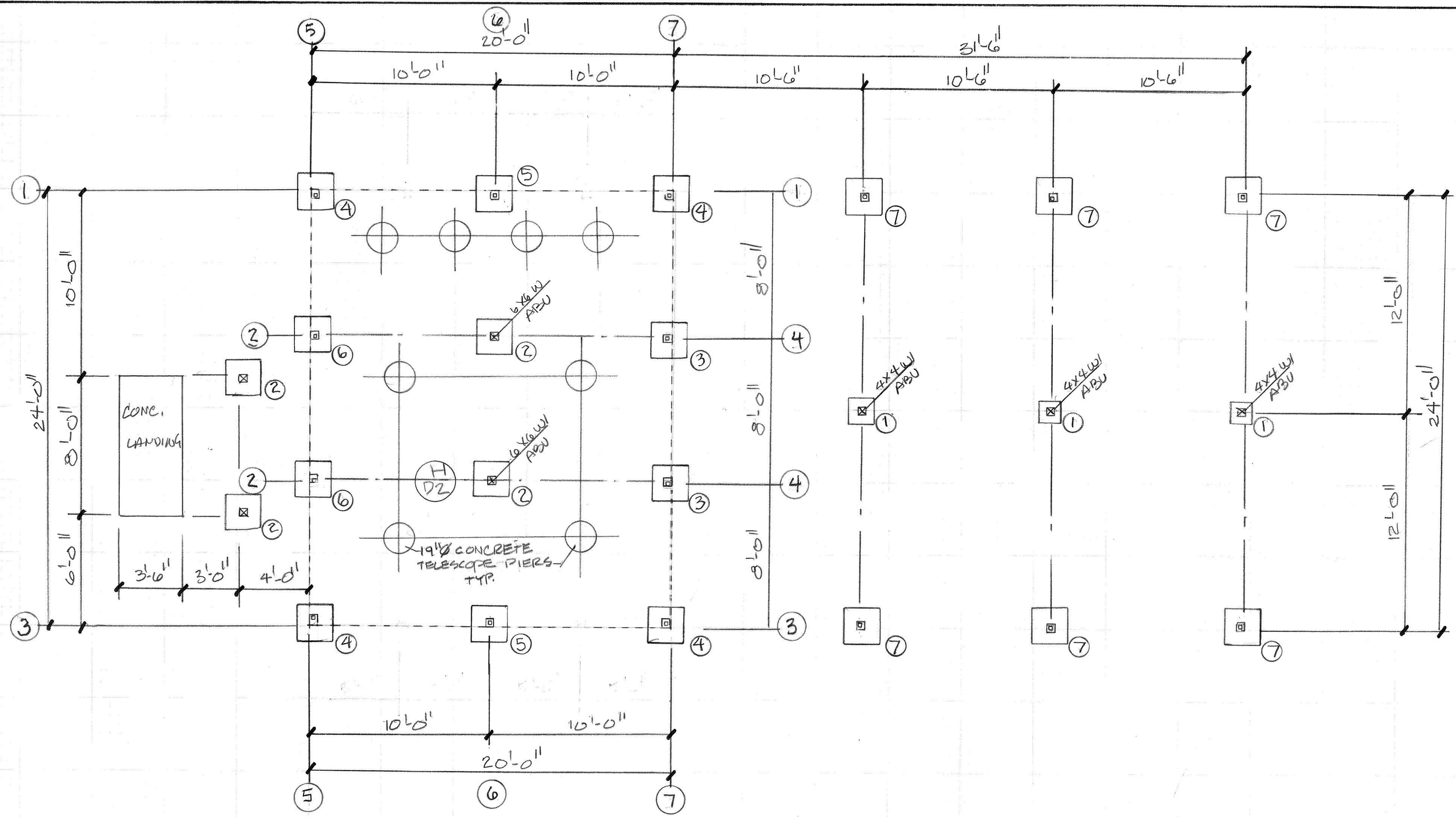
BRACING SYSTEM @ ROOF

SCALE: 1/4" = 1'-0"



DETAIL A
truss-wheel bearing

L. Dineen



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOOTINGS

- | | | |
|---|---|----------------------|
| ① | 18" sq. x 18" Deep | |
| ② | 24" sq. x 18" Deep | |
| ③ | 24" sq. x 3'-6" Deep | } See Calcs. Page 49 |
| ④ | 24" sq. x 4'-6" Deep | |
| ⑤ | 24" sq. x 5'-0" Deep | |
| ⑥ | 24" sq. x 5'-6" Deep | |
| ⑦ | 24" sq. x 4'-6" Deep → See Calcs. Page 58 | |

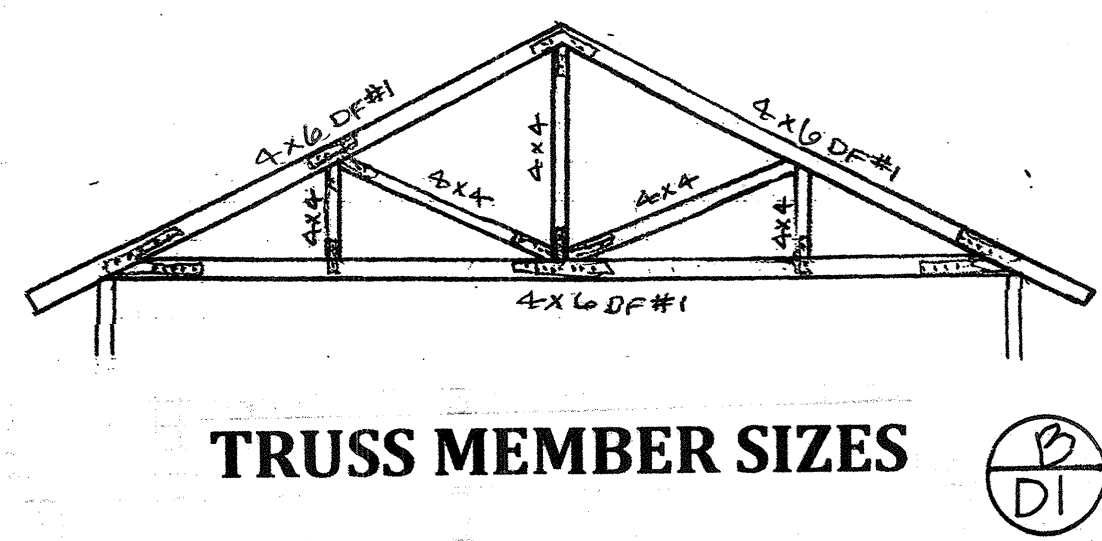
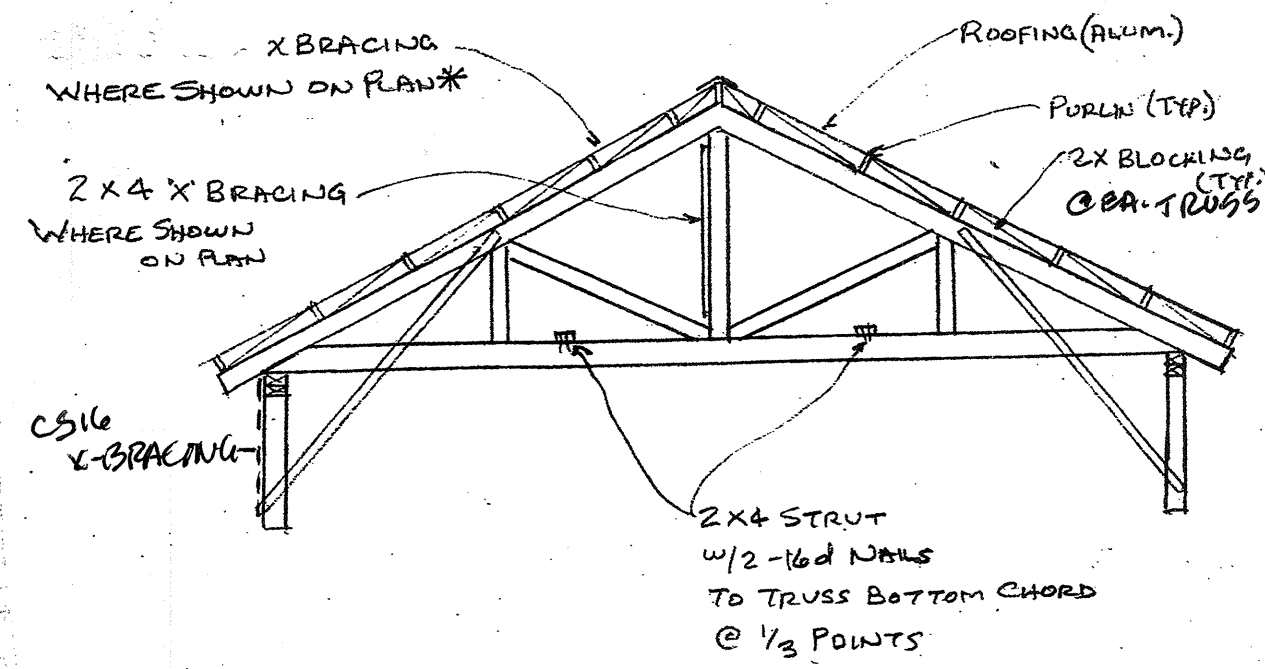
CONCRETE AND FOUNDATION NOTES

- The maximum aggregate size and the minimum compressive strength on Concrete at 28 days shall be as follows:
 Foundations: 2500 psi compressive strength, 1 1/2" agg. size slabs, sidewalks, curbs and gutters - 2500 psi compressive strength 1" agg. size. Min. soil bearing capacity 200 PSF
- Steel reinforcement shall conform to ASTM A615 Grade 40.
- Fasteners & connectors in direct contact with preservative-treated wood shall be of hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper.

Landing Notes:

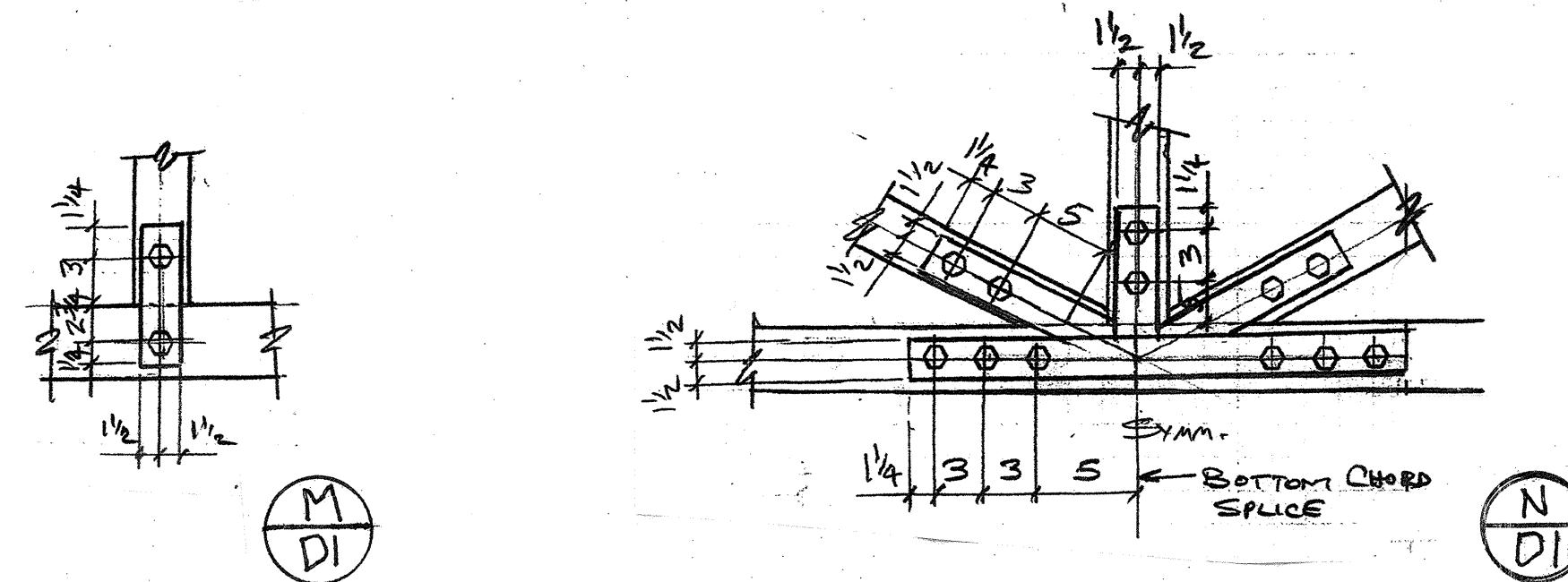
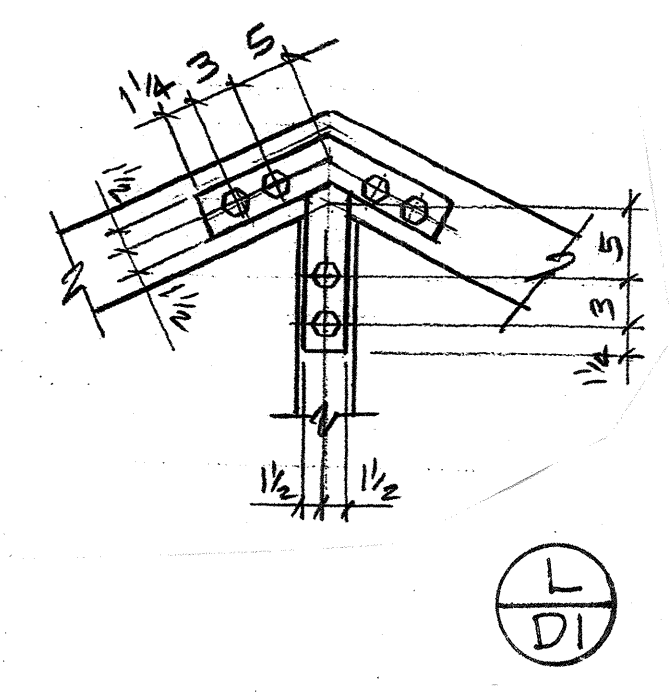
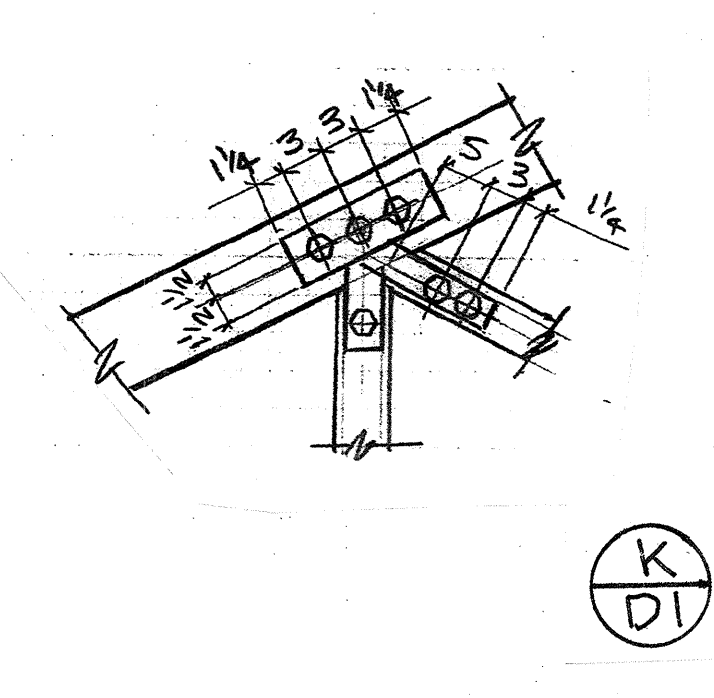
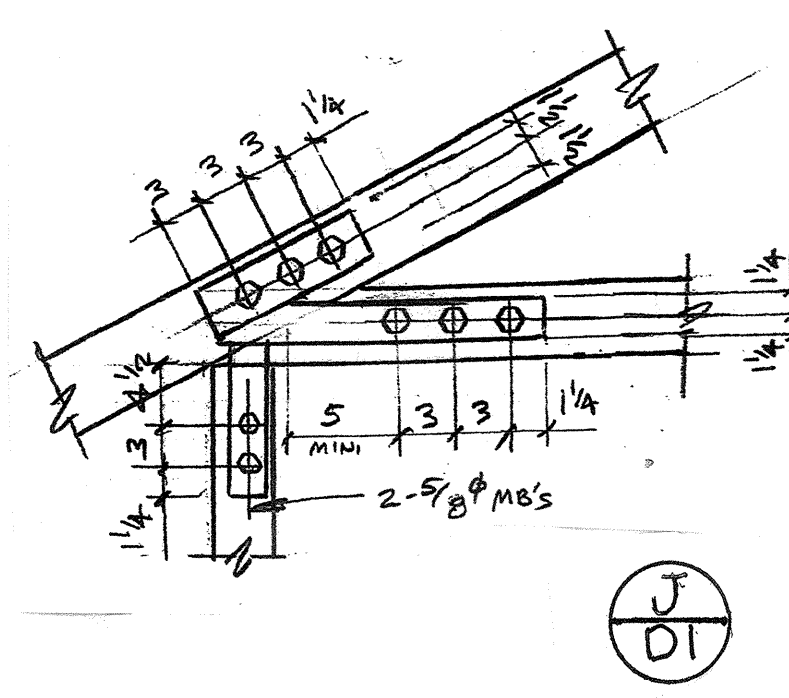
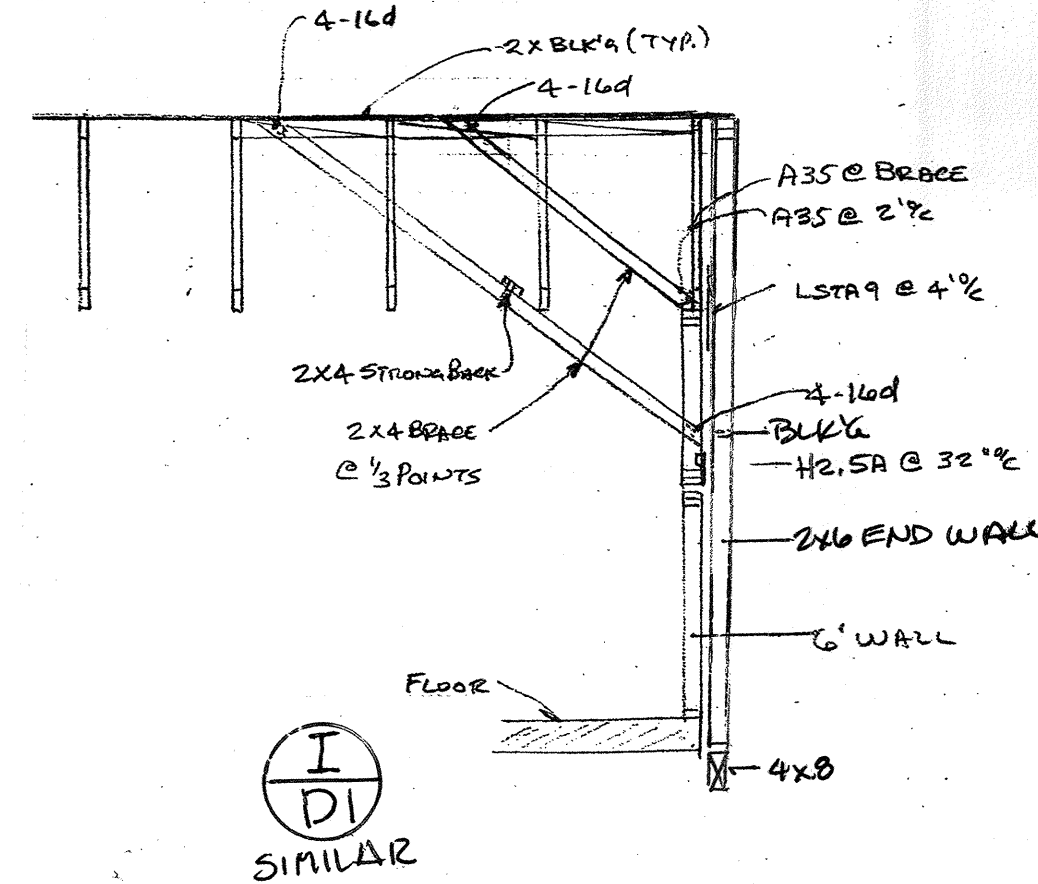
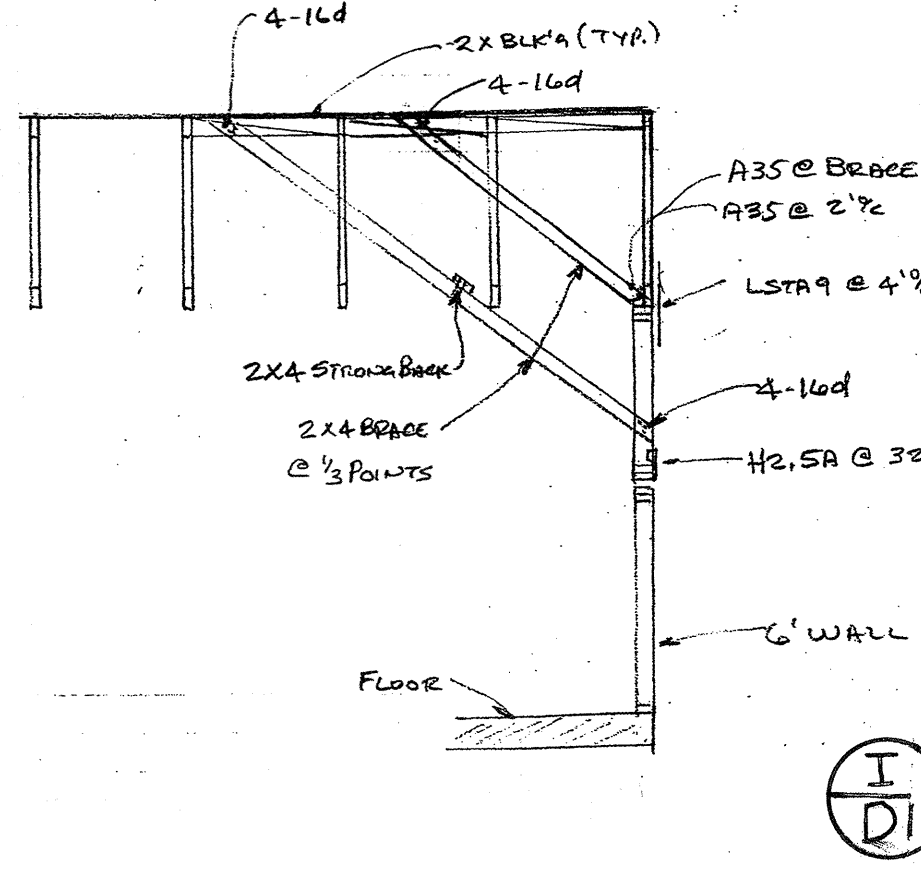
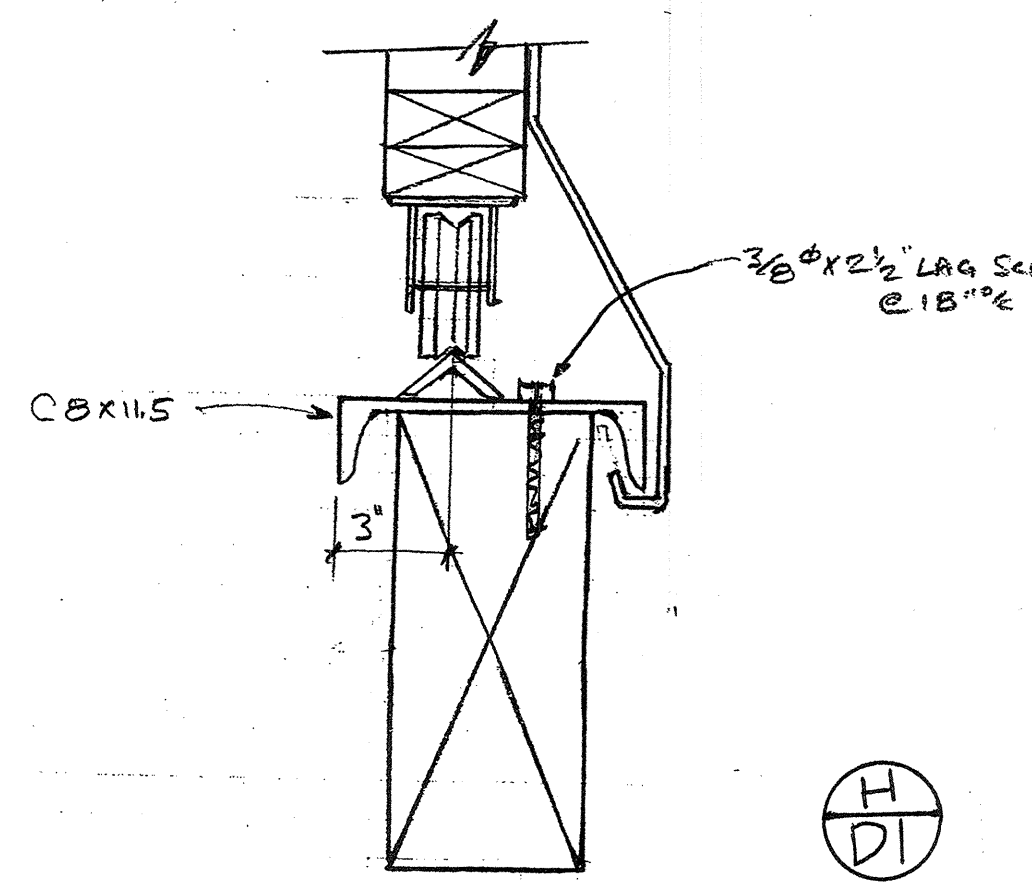
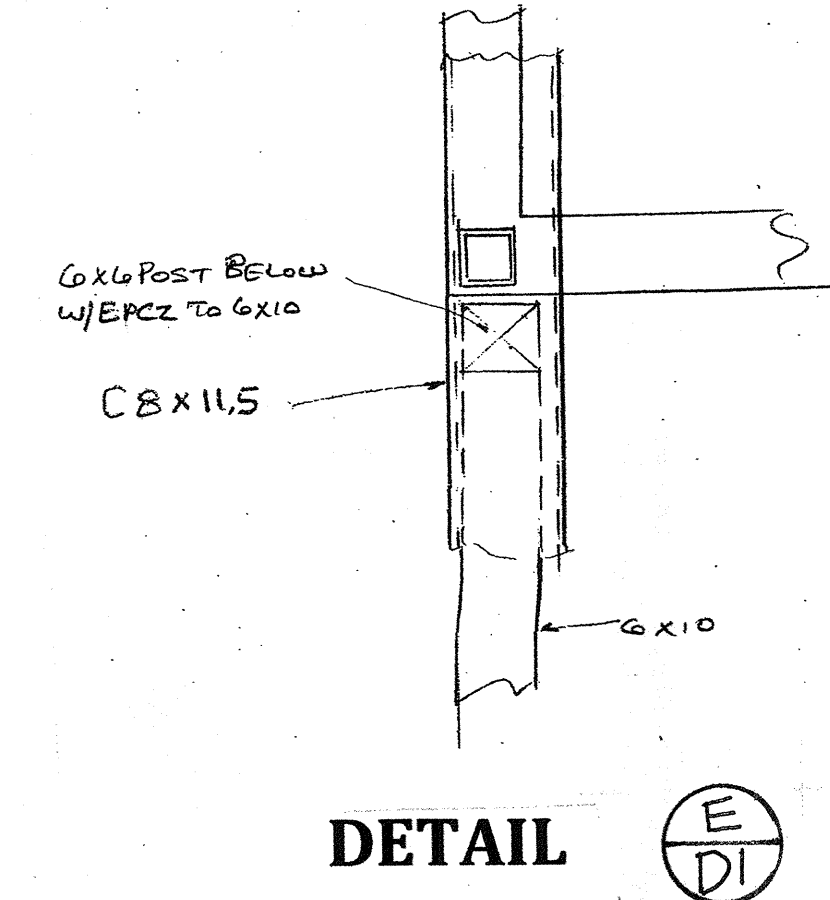
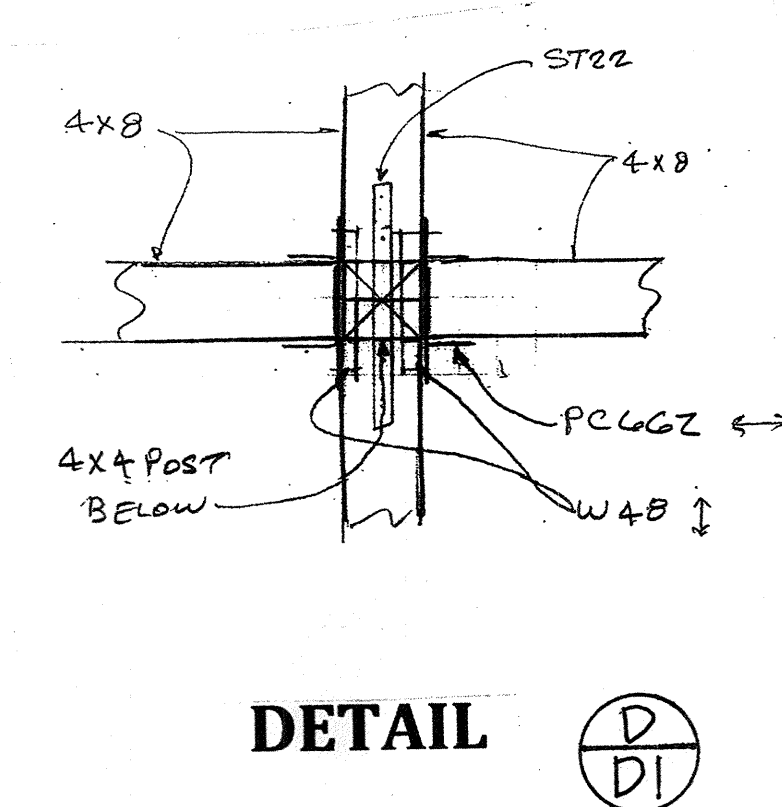
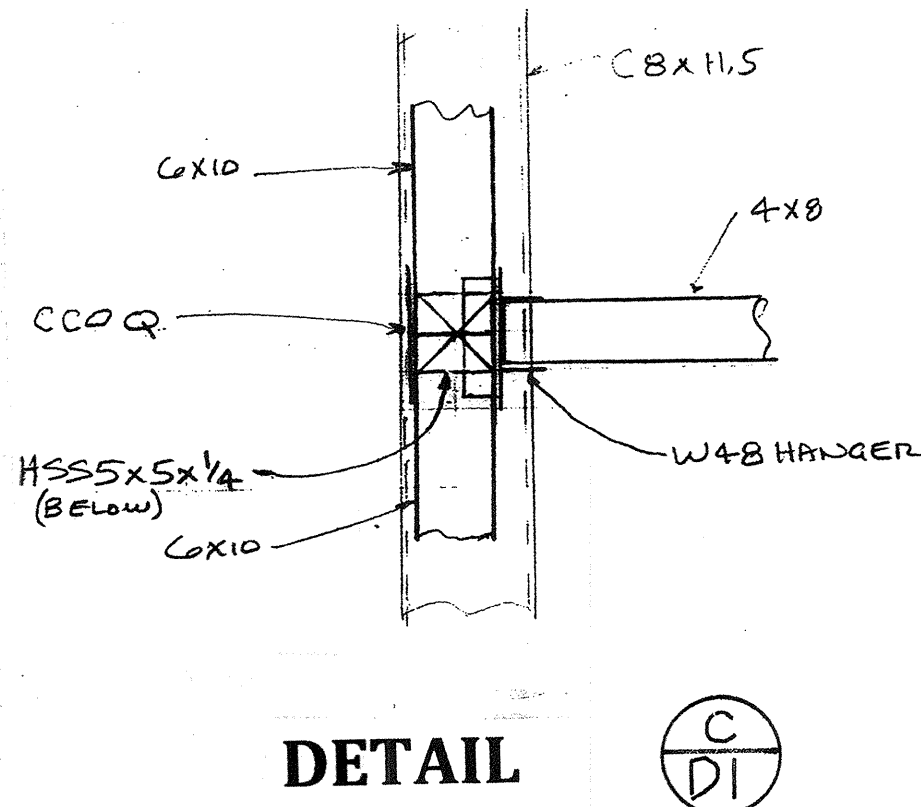
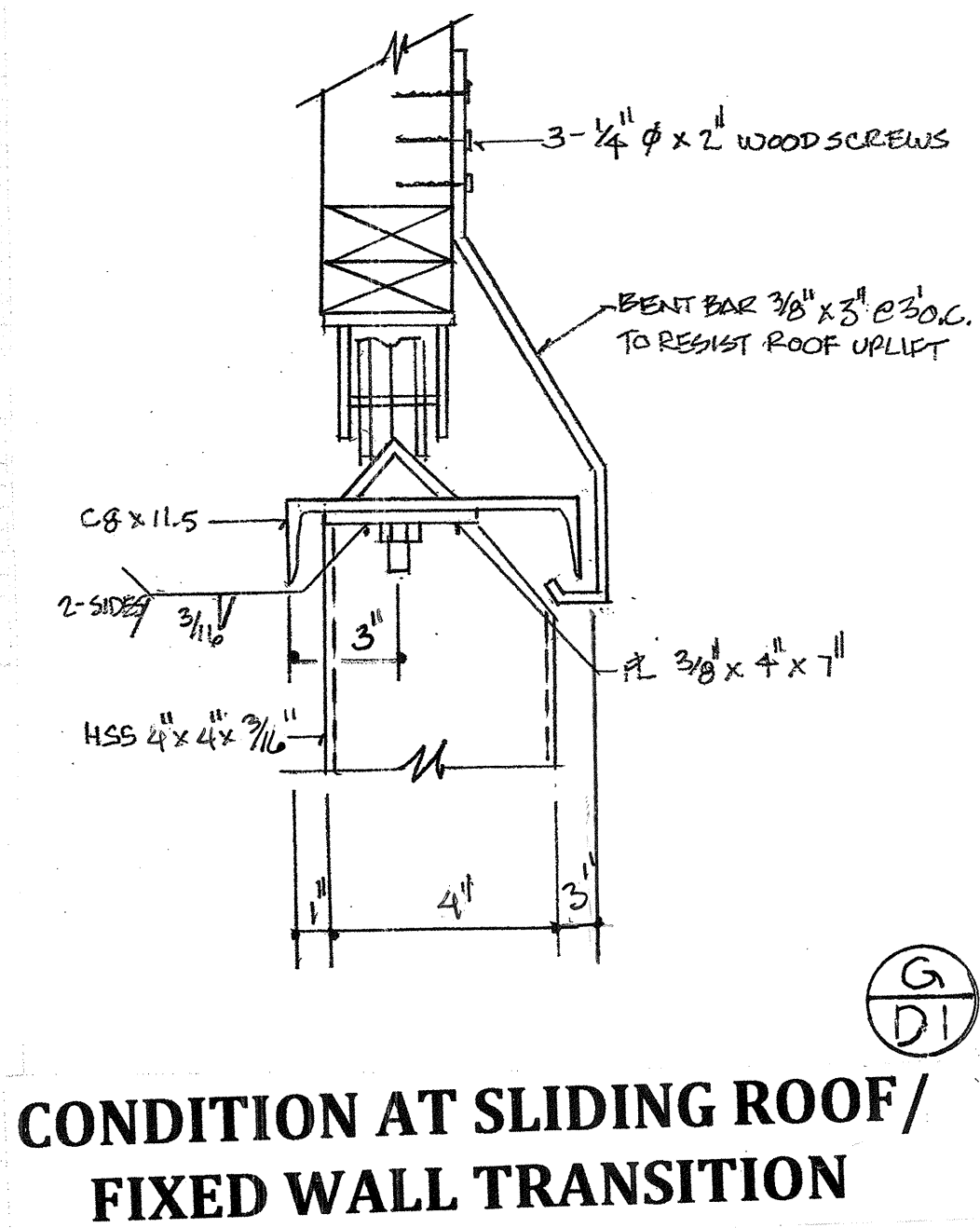
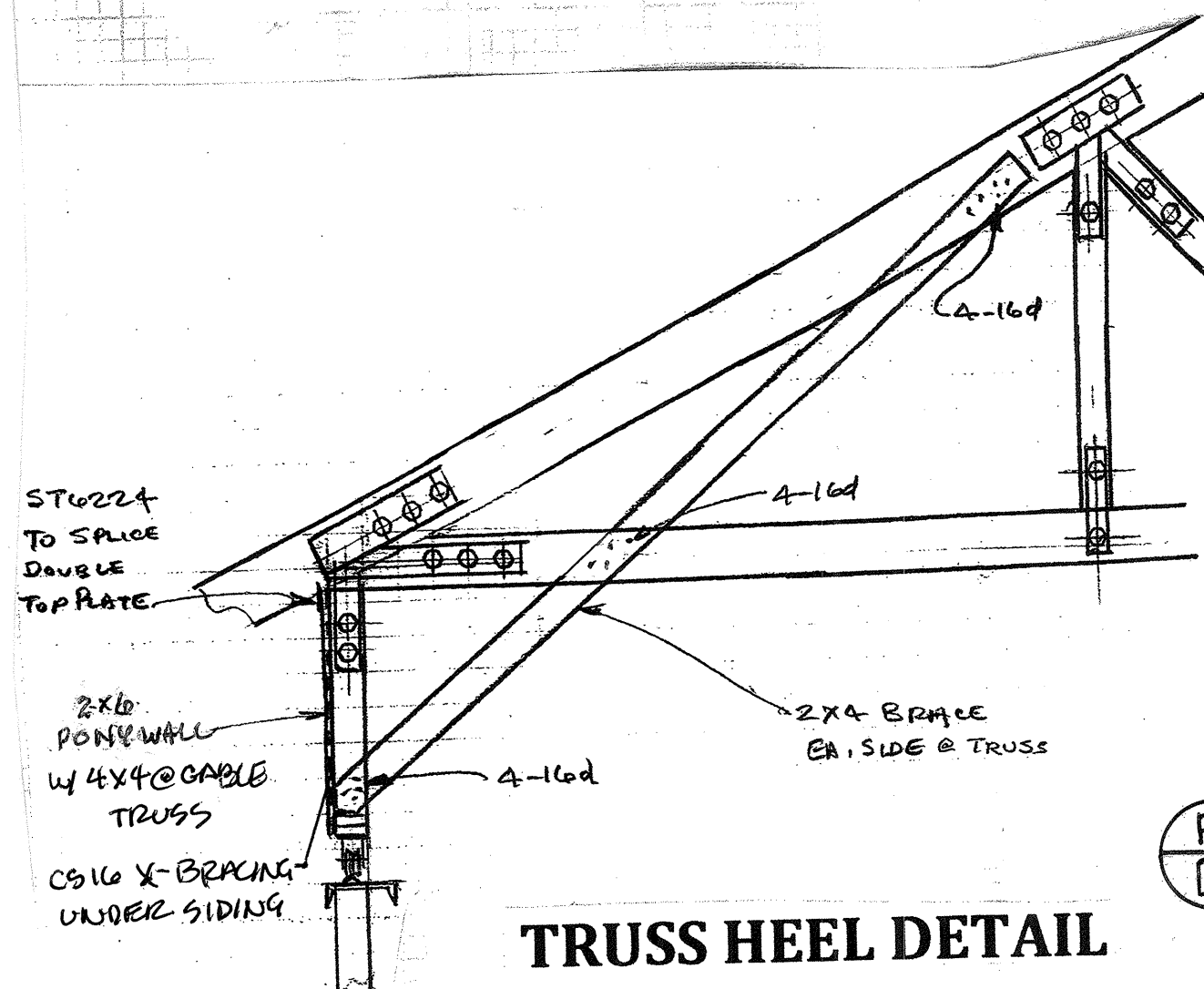
- There shall be a landing or floor on each side of each exterior door.
- The width of each landing shall not be less than the door served.
- Every landing shall have a minimum dimension of 36 inches measured in the direction of travel.
- Exterior landings shall be permitted to have a slope not to exceed 1/4 unit vertical in 12 units horizontal (2-percent). Landings or floors at the required egress doors shall not be more than 1 1/2 inches lower than the top of the threshold. Exception: The exterior landing or floor shall not be more than 7 3/4 inches below the top of the threshold provided the door does not swing over the landing or floor.

LDineen



* AT TOP OF PURLINS. NAIL TO EACH PURLIN & BLOCKING w/ 2-8d NAILS

ROOF CROSS SECTION AT TRUSSES (A/DI)



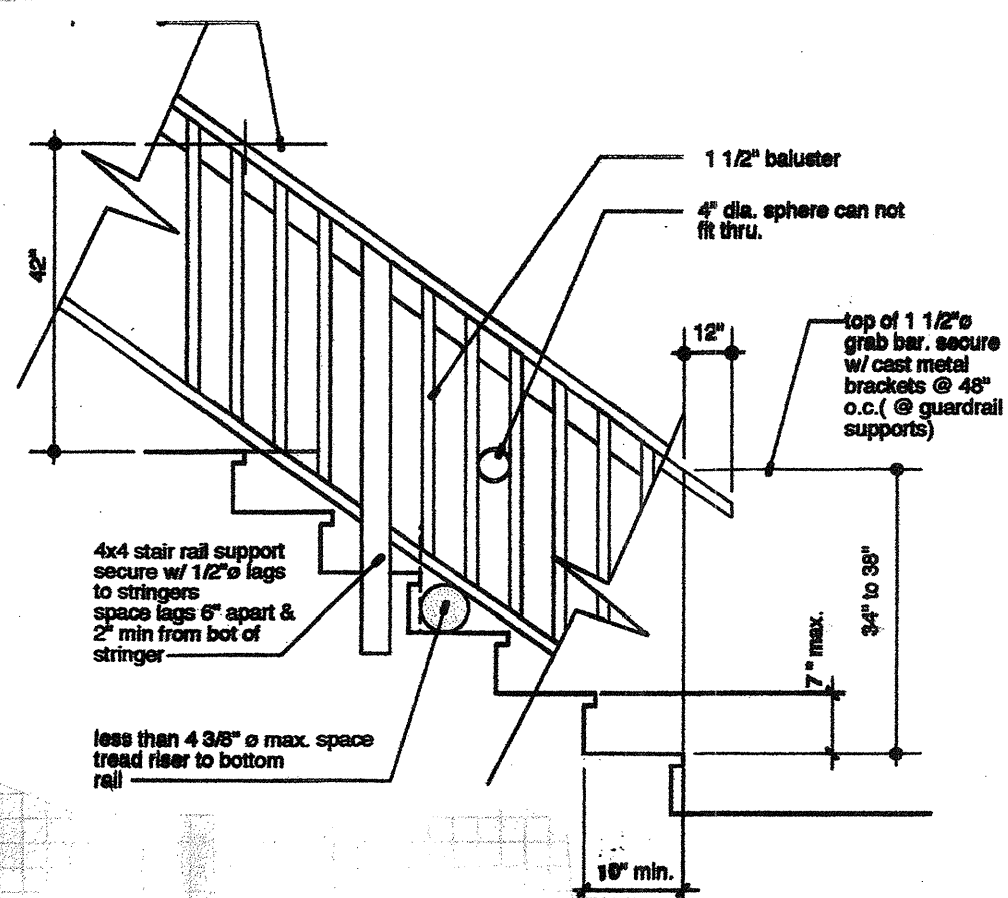
ALL PLATES 1/4" THICK

EA. SIDE

ALL BOLTS ARE 5/8" MB'S

TRUSS PLATE DETAILS

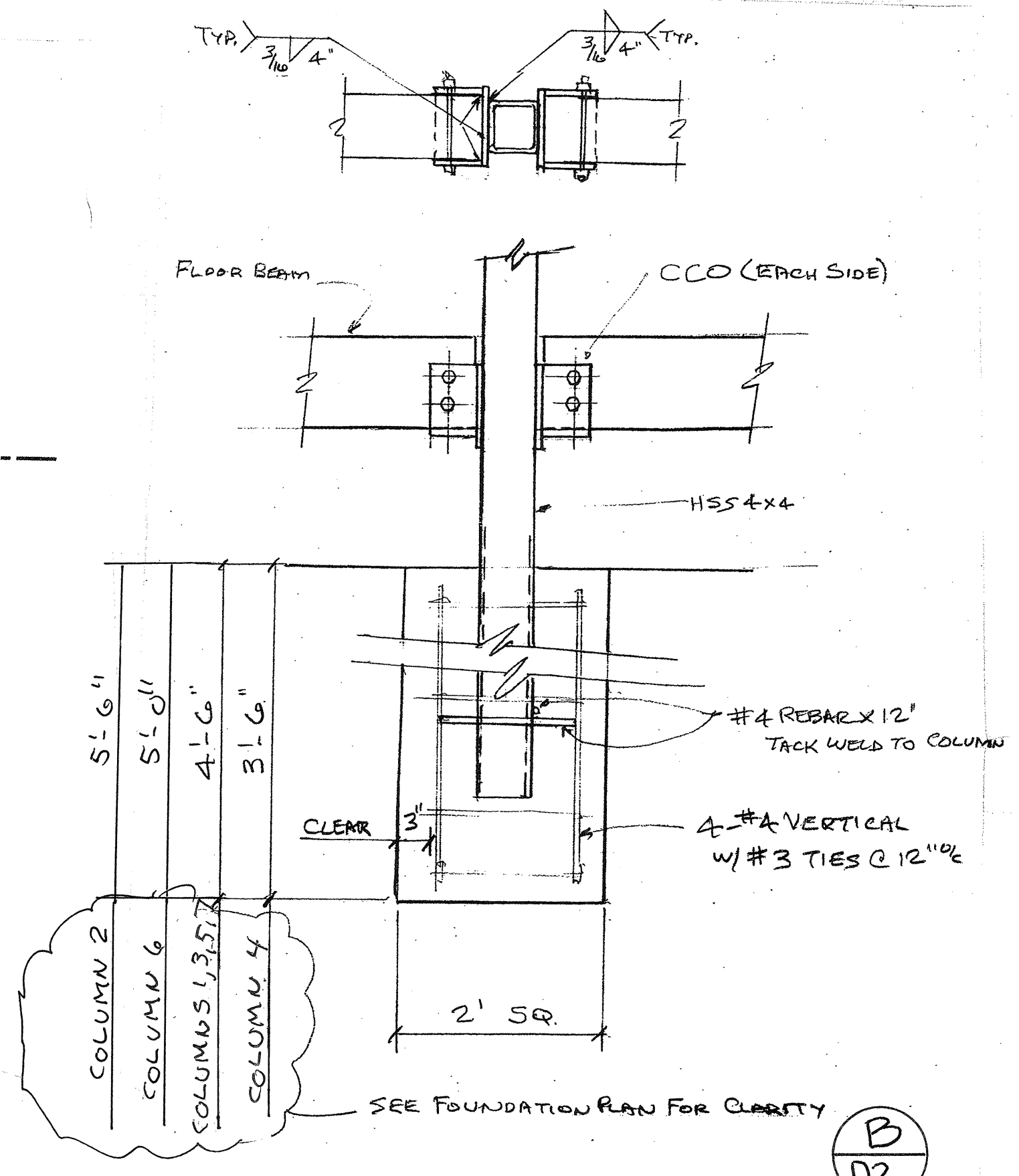
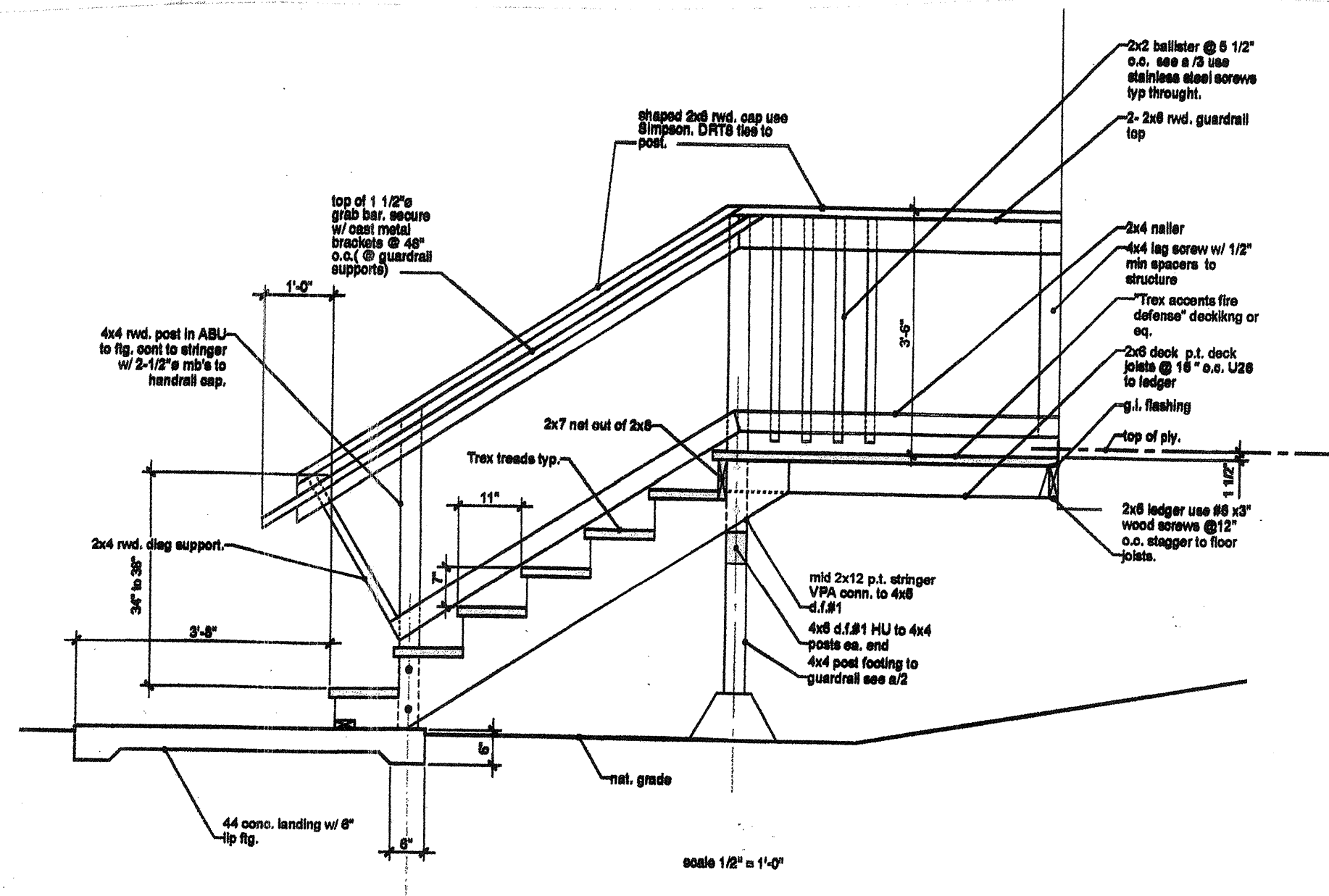
L. Dineen



(Dimensions typ for all stair railings through)
 note:
 All stair treads & risers shall be of uniform size and shape except that the largest in any flight of stairs cannot exceed the smallest by more than 3/8".

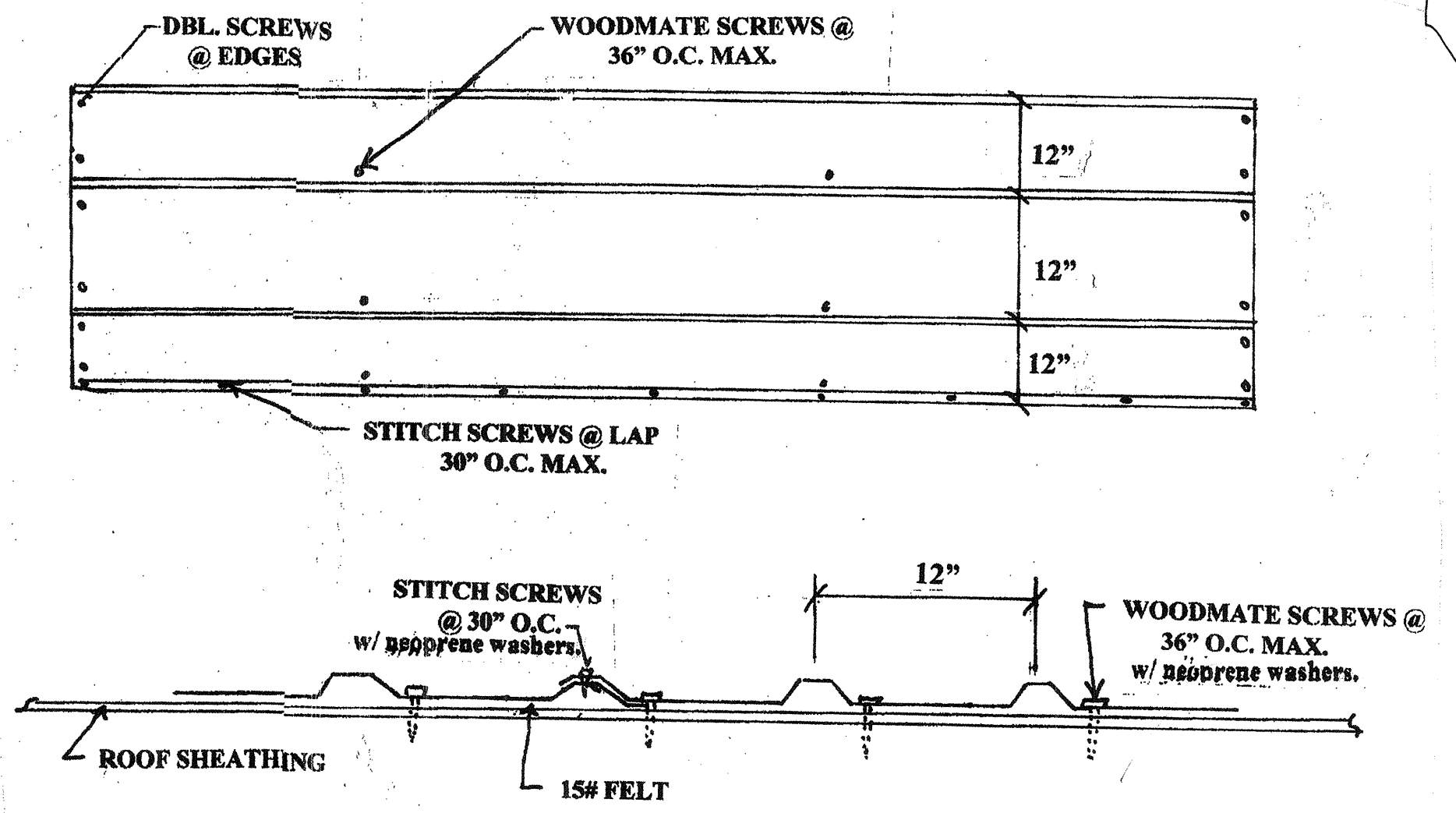
A
D2

EXTERIOR STAIRS

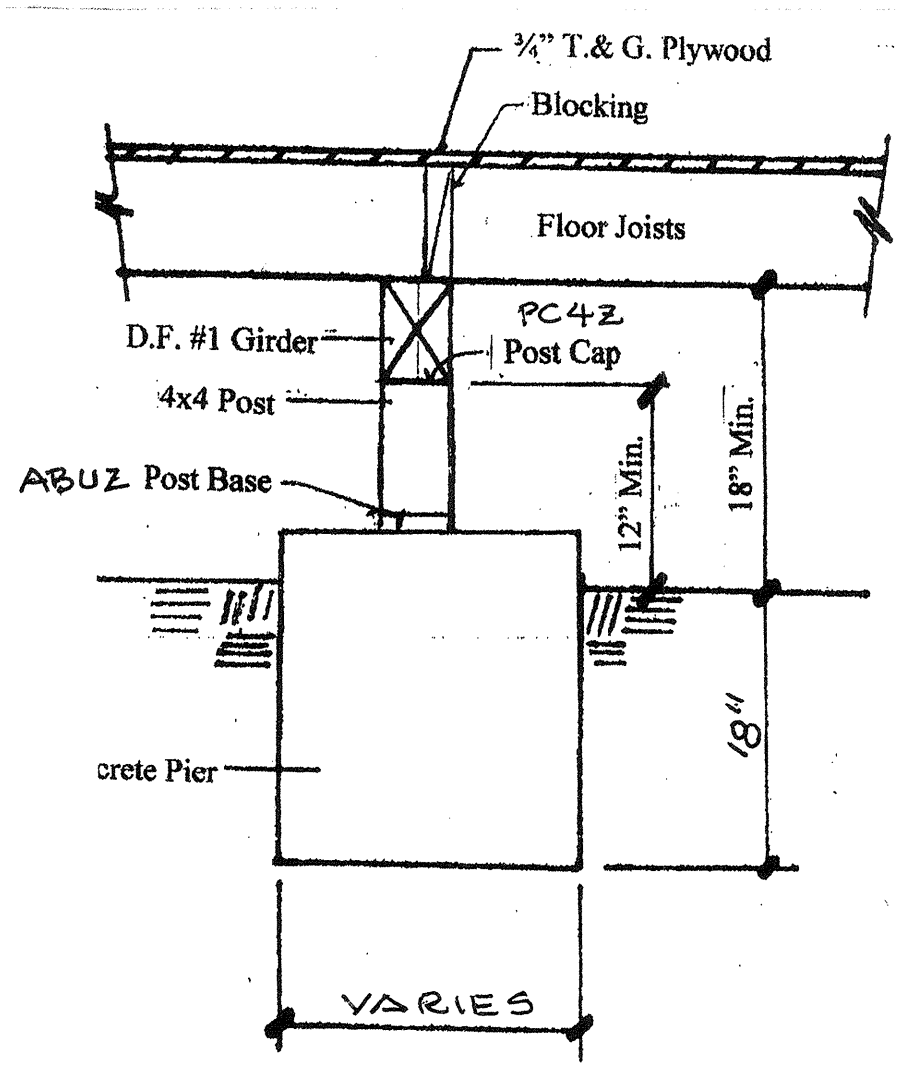


STEEL COLUMN AT FLOOR AND FOUNDATION

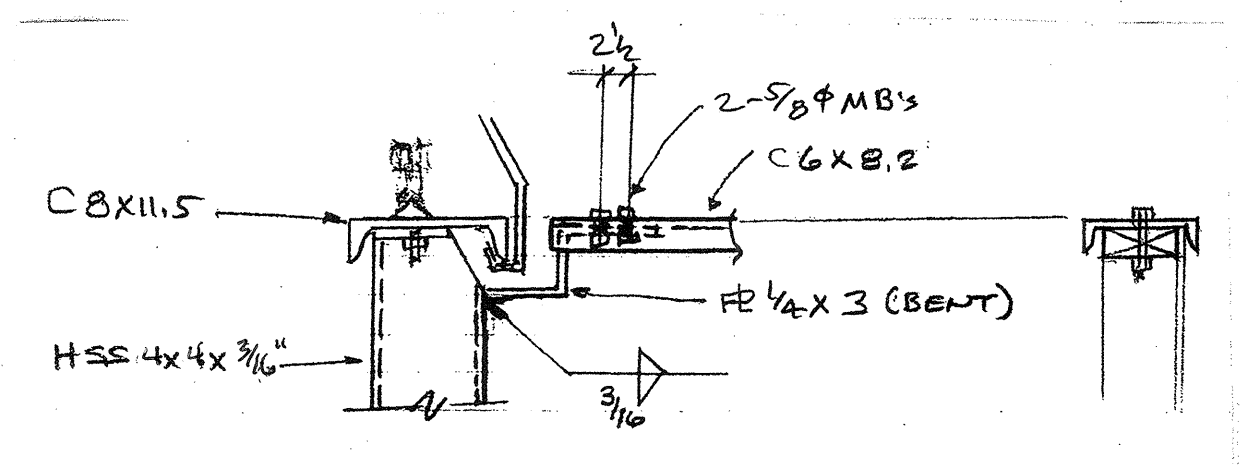
EXTERIOR STEEL COLUMNS



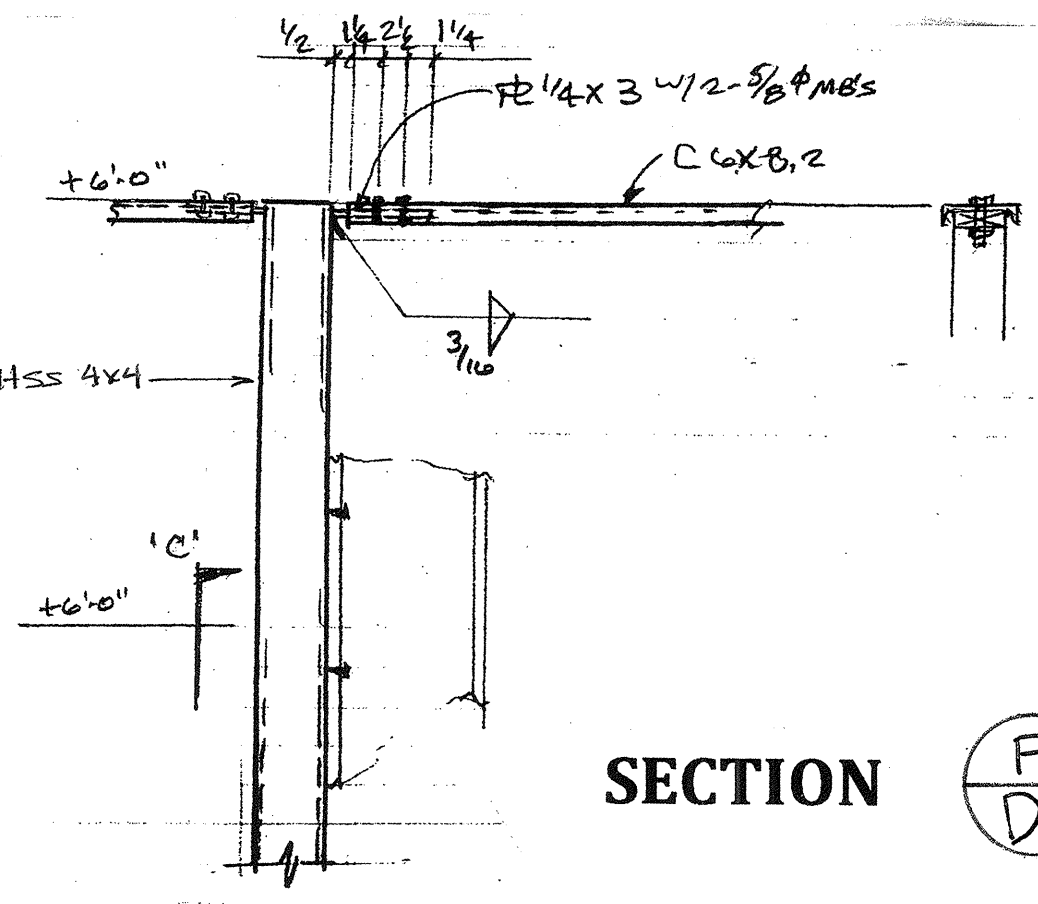
TYPICAL ALUMINUM ROOF PANEL



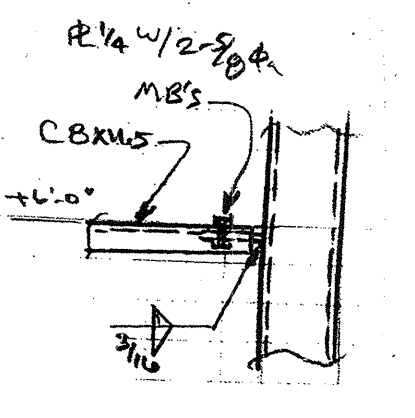
PIER DETAIL



SECTION E



SECTION F



SECTION G

STRUCTURAL STEEL

1. All structural and misc. steel shall be ASTM A-36.
2. All structural tube steel shall be ASTM A500 Grade B.
3. All structural pipe shall be ASTM A-53 or A-501.
4. All machine bolts shall be A307.
5. All high strength bolts shall be A325-N unless noted otherwise.
6. All shop and field welding shall be done by certified welders.
7. All welding shall be done with E70XX electrodes.
8. All steel fabrication shall be done by a licensed fabricator.
9. All high strength bolting and field welding shall be inspected by an approved independent inspection agency retained by the owner.
10. Inspection agency shall submit reports directly to County of Fresno Development Services.
11. Inspection agency to be:

L. Dineen

FASTENING SCHEDULE

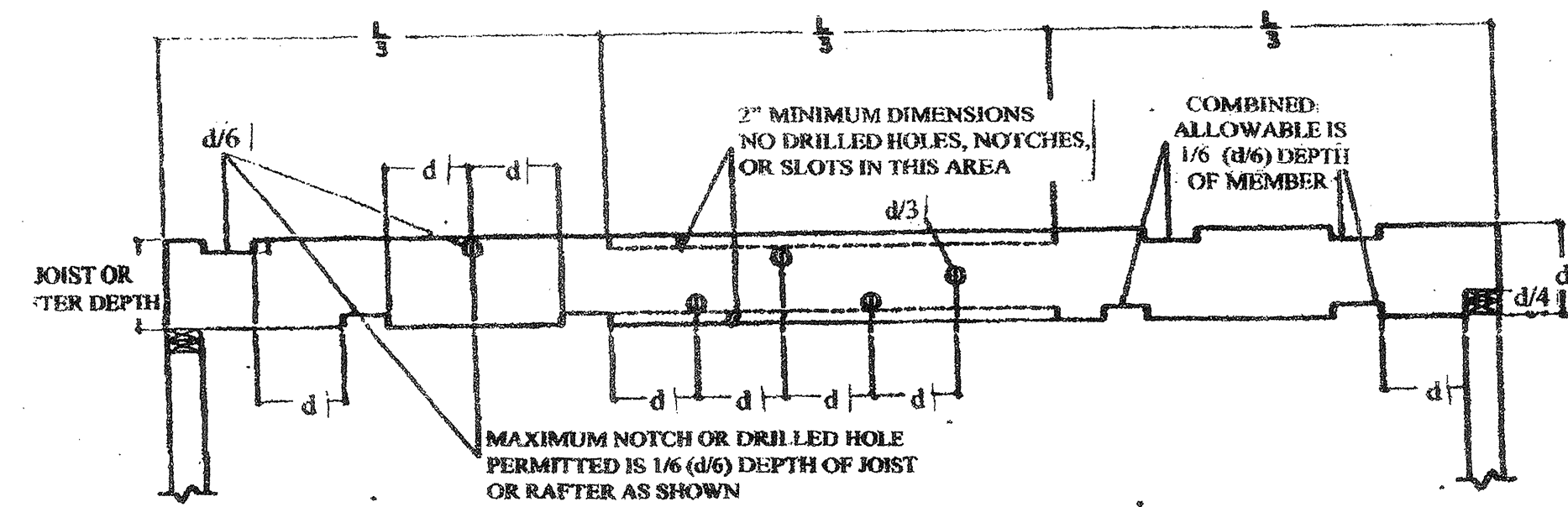
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER**	SPACING AND LOCATION
1	Blocking between ceiling joists or rafters to top plate	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Toe nail
2	Ceiling joists to top plate	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Per joist, toe nail
3	Ceiling joist not attached to parallel rafter; laps over rafters (see Sections R802.3.1, R802.3.2 and Table R802.5.1(9))	4-10d box (3" x 0.128"); or 3-16d common (3 1/2" x 0.162"); or 4-3" x 0.131" nails	Face nail
4	Ceiling joist attached to parallel rafter (heel joint) (see Sections R802.3.1 and R802.3.2 and Table R802.5.1(9))	Table R802.5.1(9)	Face nail
5	Collar tie to rafter, face nail or 1/2" x 20 ga. ridge strap to rafter	4-10d box (3" x 0.128"); or 3-16d common (3 1/2" x 0.162"); or 4-3" x 0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-16d box nails (3 1/2" x 0.135"); or 3-10d common nails (3" x 0.148"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4-16d (3 1/2" x 0.135"); or 3-16d common (3 1/2" x 0.162"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	Toe nail
		3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	End nail

Wall			
8	Stud to stud (not at braced wall panels)	16d common (3 1/2" x 0.162")	24" o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d box (3 1/2" x 0.135"); or 3" x 0.131" nails	16" o.c. face nail
10	Built-up header (2" to 2 1/2" header with 1/2" spacer)	16d common (3 1/2" x 0.162")	16" o.c. each edge face nail
11	Continuous header to stud	16d box (3 1/2" x 0.135")	12" o.c. each edge face nail
12	Top plate to top plate	8-16d common (3 1/2" x 0.162"); or 12-16d box (3 1/2" x 0.135"); or 12-10d box (3" x 0.128"); or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
13	Double top plate splice for SDCs A-D, with seismic braced wall line spacing < 25'	8-16d common (3 1/2" x 0.162"); or 12-16d box (3 1/2" x 0.135"); or 12-10d box (3" x 0.128"); or 12-3" x 0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
14	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panels)	16d common (3 1/2" x 0.162")	16" o.c. face nail
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panel)	3-16d box (3 1/2" x 0.135"); or 3-16d common (3 1/2" x 0.162"); or 4-3" x 0.131" nails	3 each 16" o.c. face nail 2 each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8d box (2 1/2" x 0.113"); or 3-16d box (3 1/2" x 0.135"); or 4-8d common (2 1/2" x 0.131"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	Too nail
17	Top plates, laps at corners and intersections	3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162"); or 3-3" x 0.131" nails	End nail
18	1" brace to each stud and plate	3-8d box (2 1/2" x 0.113"); or 2-8d common (2 1/2" x 0.131"); or 2-10d box (3" x 0.128"); or 2 staples 1 1/2"	Face nail
19	1" x 6" sheathing to each bearing	3-8d box (2 1/2" x 0.113"); or 2-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1 1/2" long	Face nail
20	1" x 8" and wider sheathing to each bearing	3-8d box (2 1/2" x 0.113"); or 4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 4 staples, 1" crown, 16 ga., 1 1/2" long	Face nail

Floor			
21	Joist to sill, top plate or girder	4-8d box (2 1/2" x 0.113"); or 3-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 3-3" x 0.131" nails	Too nail
22	Rim joist, band joist or blocking to sill or top plate (roof applications also)	8d common (2 1/2" x 0.131"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	4" o.c. toe nail 6" o.c. toe nail
23	1" x 6" subfloor or less to each joist	3-8d box (2 1/2" x 0.113"); or 2-8d common (2 1/2" x 0.131"); or 3-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1 1/2" long	Face nail
24	2" subfloor to joist or girder	3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162")	Blind and face nail
25	2" planks (plank & beam—floor & roof)	3-16d box (3 1/2" x 0.135"); or 2-16d common (3 1/2" x 0.162")	At each bearing, face nail
26	Band or rim joist to joist	3-16d common (3 1/2" x 0.162"); 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails; or 4-3" x 14 ga. staples, 1 1/2" crown	End nail
27	Built-up girders and beams, 2-inch lumber layers	20d common (4" x 0.192"); or 10d box (3" x 0.128"); or 3" x 0.131" nails	Nail each layer as follows: 22" o.c. at top and bottom and staggered.
28	Ledger strip supporting joists or rafters	4-16d box (3 1/2" x 0.135"); or 3-16d common (3 1/2" x 0.162"); or 4-10d box (3" x 0.128"); or 4-3" x 0.131" nails	At each joist or rafter, face nail
29	Bridging to joist	2-10d (3" x 0.128")	Each end, toe nail

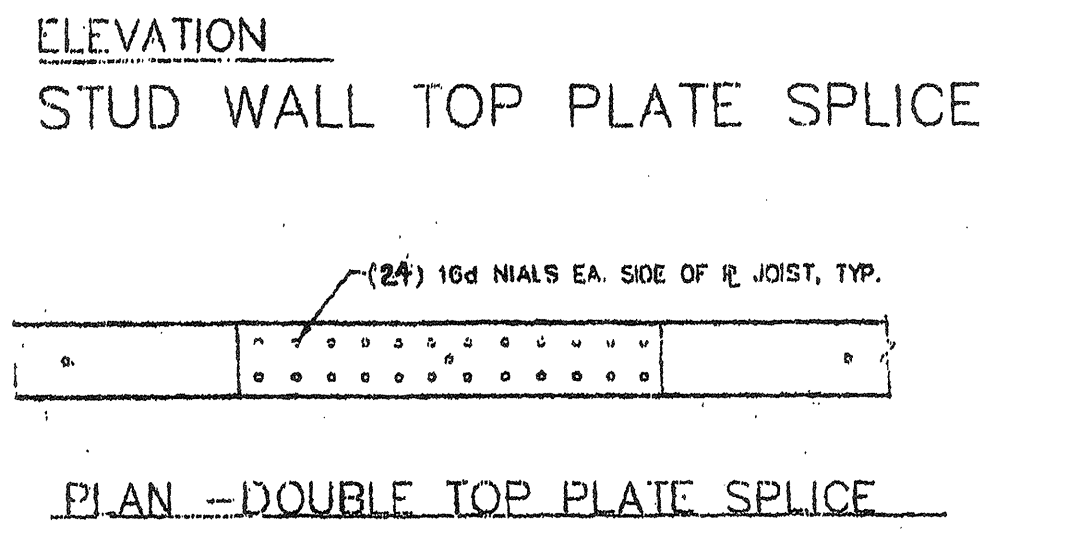
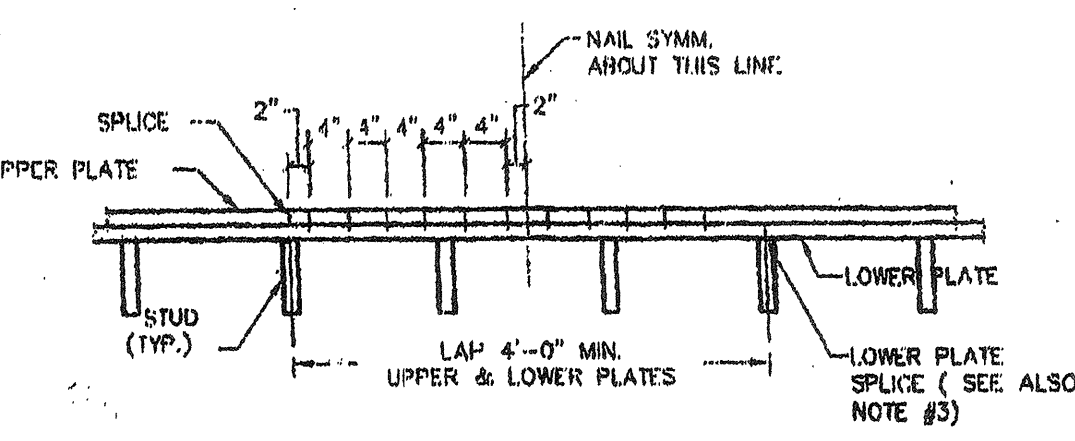
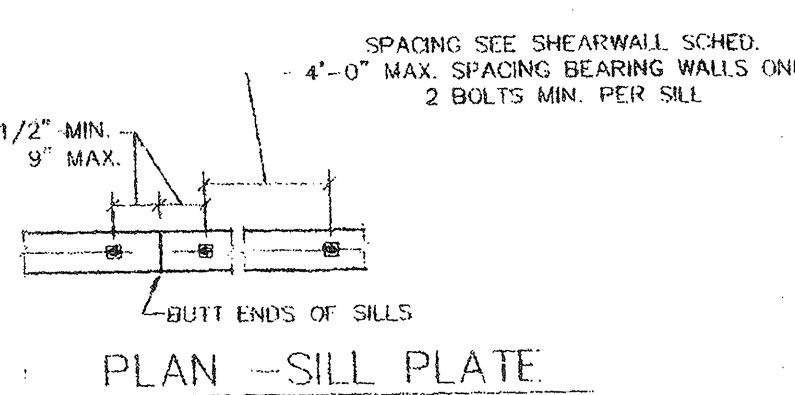
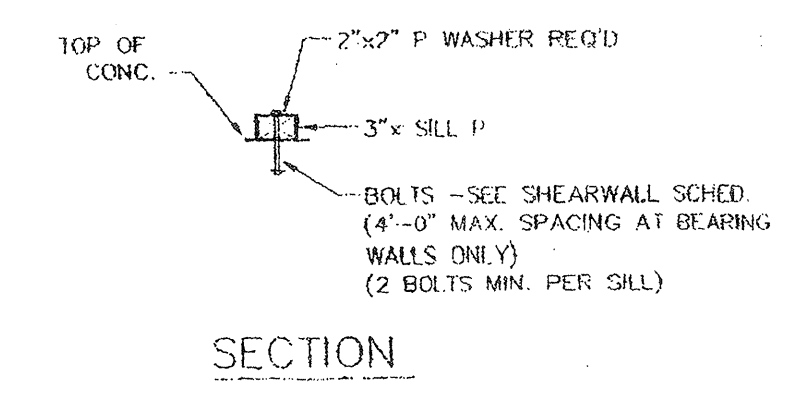
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER**	Edges (inches)	Intermediate supports (inches)
Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing (see Table R802.5.2) for wood structural panel exterior wall sheathing to wall framing)				
30	1/2" - 1/2"	6d common (2" x 0.113") nail (subfloor, wall) 8d common (2 1/2" x 0.131") nail (roof)	6	12"
31	1/2" - 1"	8d common nail (2 1/2" x 0.131")	6	12"
32	1 1/2" - 1 1/2"	10d common (3" x 0.148") nail; or 8d (2 1/2" x 0.131") deformed nail	6	12"
Other wall sheathing				
33	1/2" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail, 1 1/2" head diameter, or 1" crown staple 16 ga., 1 1/2" long	3	6"
34	1/2" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail, 1 1/2" head diameter, or 1" crown staple 16 ga., 1 1/2" long	3	6"
35	1/2" gypsum sheathing	1 1/2" galvanized roofing nail, staple galvanized, 1 1/2" long, 1 1/2" screws, Type W or S	7	7"
36	1/2" gypsum sheathing	1 1/2" galvanized roofing nail, staple galvanized, 1 1/2" long, 1 1/2" screws, Type W or S	7	7"
Wood structural panels, combination subfloor underlayment to framing				
37	1/2" and less	6d deformed (2" x 0.120") nail; or 8d common (2 1/2" x 0.131") nail	6	12"
38	1/2" - 1"	8d common (2 1/2" x 0.131") nail; or 8d deformed (2 1/2" x 0.120") nail	6	12"
39	1 1/2" - 1 1/2"	10d common (3" x 0.148") nail; or 8d deformed (2 1/2" x 0.120") nail	6	12"

Single Family Residential Construction (Floor and Roof)



NOTE:
 1. Holes, notches and slots are not to be located adjacent to unsound or loose knots.
 2. Preferred location of notch is at top of member.

NOMINAL	ACTUAL	d/6	d/4	d/3
4"	3-1/2"	9/16"	7/8"	1-1/8"
6"	5-1/2"	7/8"	1 13/16"	1-13/16"
8"	7-1/4"	1-3/16"	1-13/16"	2-7/16"
10"	9-1/4"	1-1/2"	2-5/16"	3-1/16"
12"	11-1/4"	1-7/8"	2-13/16"	3-3/4"
14"	13-1/4"	2-3/16"	3-5/16"	4-7/16"

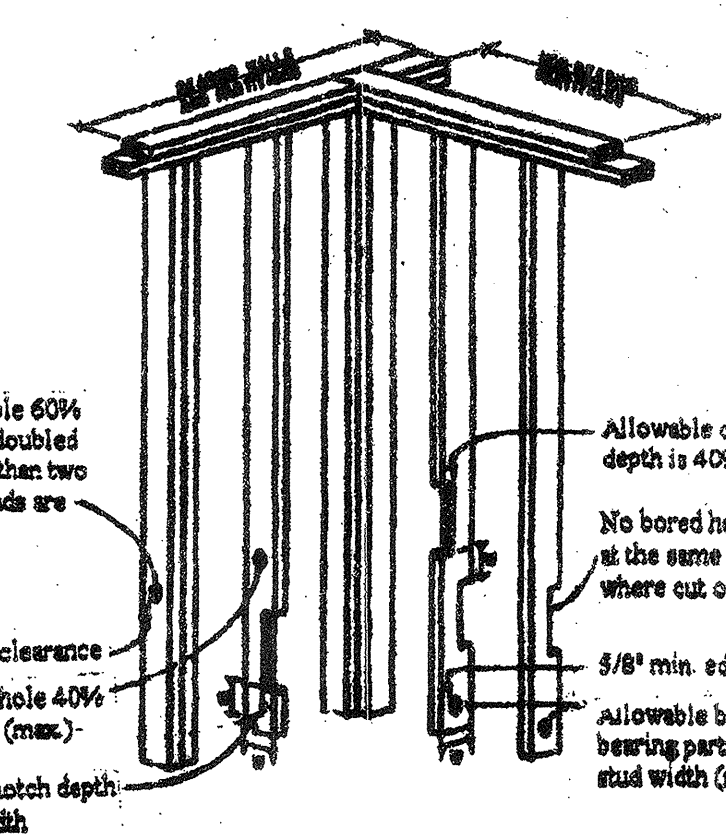


NOTES:
 1. APPLY TO WOOD PLATES OF ALL STRUCTURAL STUD WALLS.
 2. BEFORE PLACING BOLTS, CHECK LOCATIONS OF ALL POSTS, MULLIONS, STUDS, ETC. TO ENSURE THAT SUCH WILL NOT FALL AT BOLT LOCATION.
 3. LOCATE PLATE SPLICE OF DOUBLE TOP PLATE OVER STUD, TYP.

TABLE R802.3(1)-continued FASTENING SCHEDULE

a. Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.
 b. Staples are 16 gauge wire and have a minimum 7/8\"/>

NOTCH-BORING OF STUDS



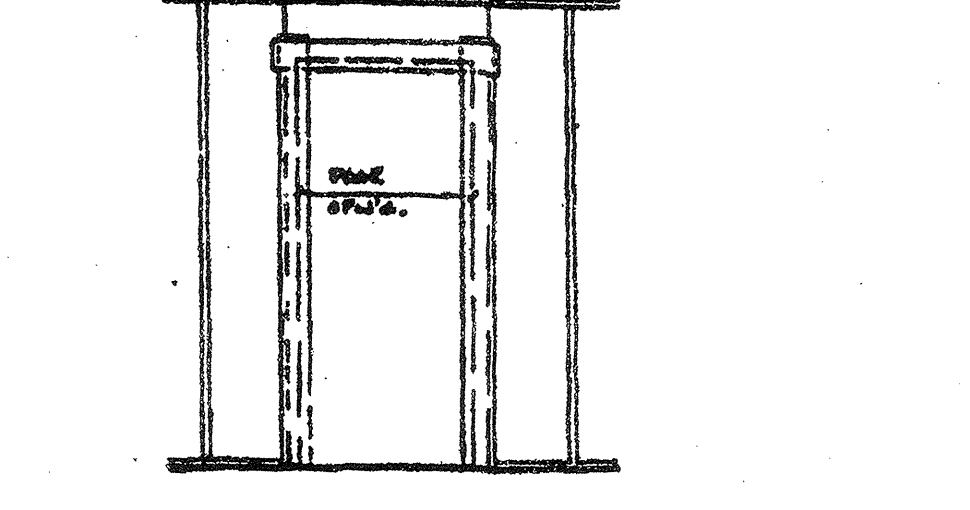
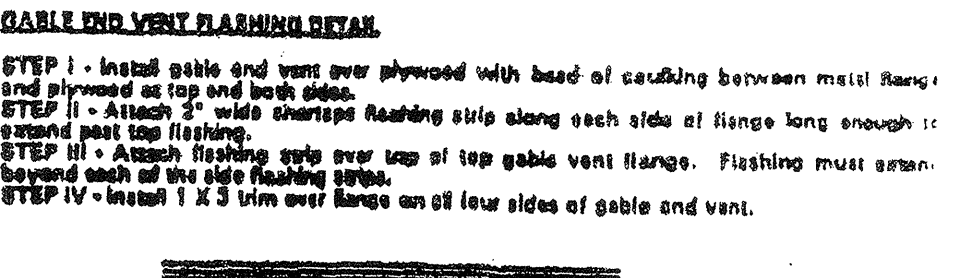
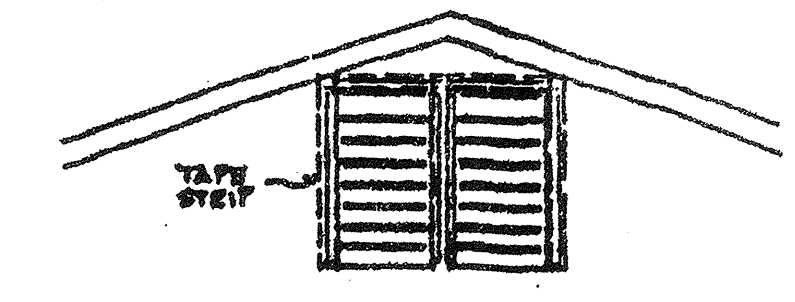
NOTE: Bored holes shall NOT be located in the same section of stud as a cut or notch

SIZE	NOMINAL	ACTUAL	NOTCHING		BORING	
			BEARING	NON-BEARING	BEARING	NON-BEARING
2x4	4"	3-1/2"	7/8"	1-7/16"	1-7/16"	2-1/8"
2x6	6"	5-1/2"	1-3/8"	2-3/16"	2-3/16"	3-5/16"
2x8	8"	7-1/4"	1-13/16"	2-3/8"	2-3/8"	4-3/8"

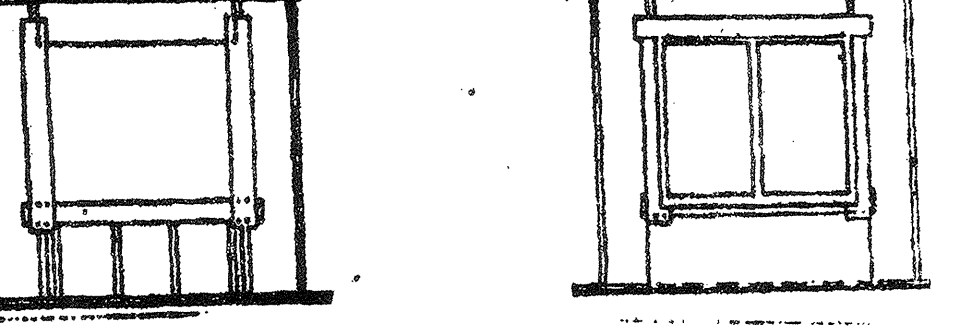
CUTTING & NOTCHING: In exterior walls and bearing partitions, any wood stud may be cut or notched to a depth not exceeding 25% of its width. Cutting or notching of studs to a depth not greater than 40% of the width of the stud is permitted in non-bearing partitions supporting no loads other than the weight of the partition.

BORED HOLES: A hole not greater in diameter than 40% of the stud width may be bored in any wood stud. Bored holes not greater than 60% of the width of the stud are permitted in non-bearing partitions or in any wall where each bored stud is doubled, provided not more than two such successive doubled studs are so bored. In no case shall the edge of the bored hole be nearer than 5/8\"/>

Typical Window or Door Flashing Details

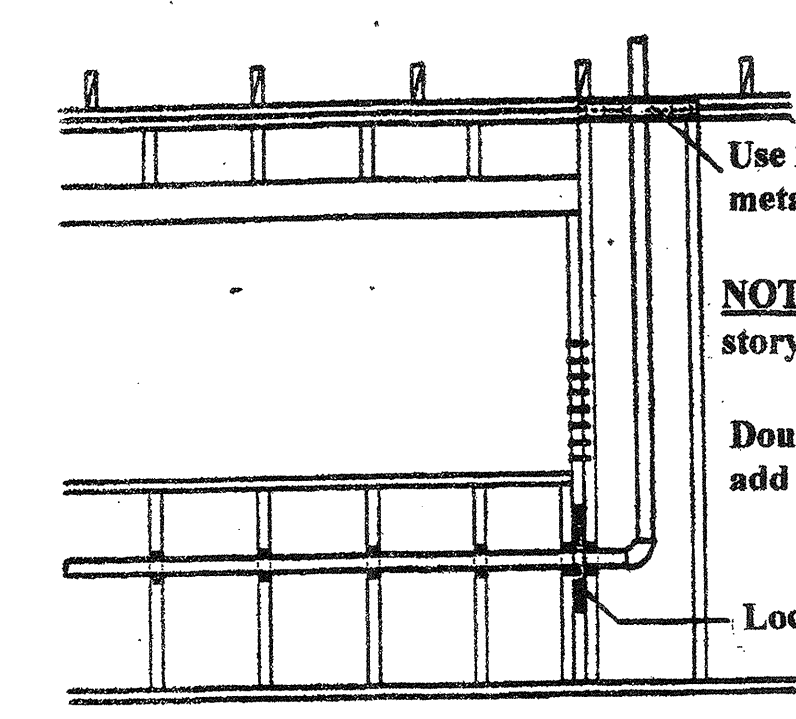


EXTERIOR DOOR FLASHING DETAIL
 STEP I - Prior to installing plywood, attach 8\"/>



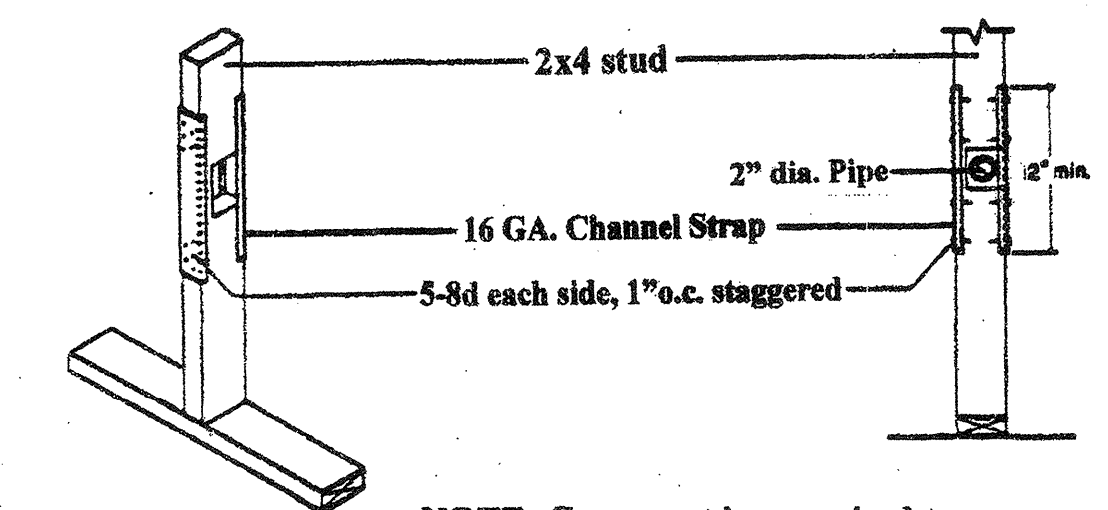
WINDOW FLASHING DETAIL
 STEP I - Prior to installing plywood, attach 8\"/>

Notching for Pipe / Wood Studs



NOTE: This application is limited to single story residential, single family residence.

Double stud for 4\"/>



NOTE: Care must be exercised to avoid excessive splitting of stud.

DINEEN
 drafting & design

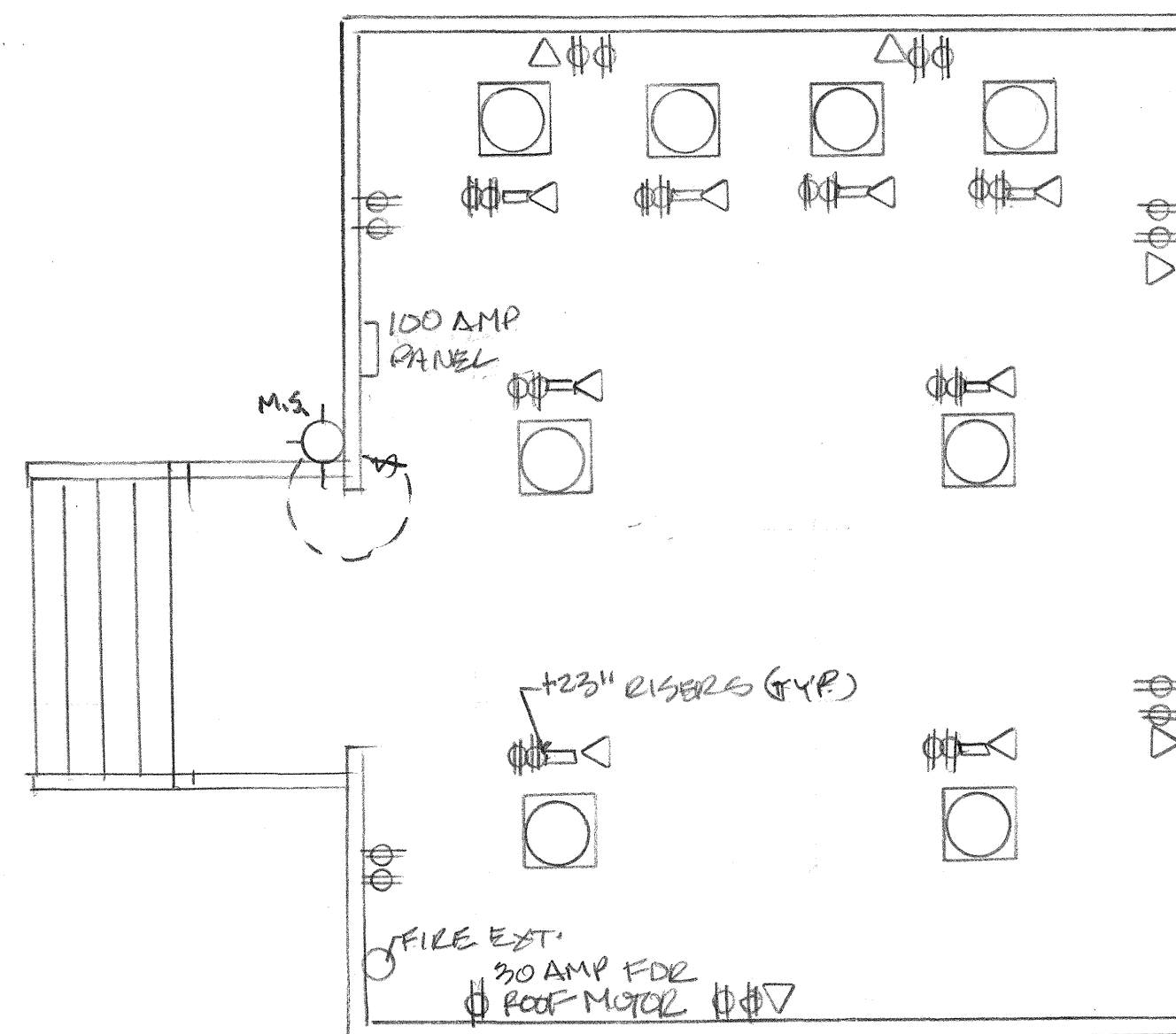
Linda Dineen
 (559) 221-6053

PROPOSED OBSERVATORY BUILDING FOR:
SIERRA REMOTE OBSERVATORIES
 AUBERRY, CA
 42140 BALD MOUNTAIN ROAD

FEBRUARY 2022

D3

L. Dineen



ELECTRICAL NOTES:

1. ALL WORK, ELECTRICAL DEVICES, AND MATERIALS SHALL CONFORM TO THE 2019 CEC (California Electric Code), 2019 NEC (National Electric Code), 2019 CA TITLE 24 ENERGY CODE, AND LOCAL CODES & REQUIREMENTS, WHERE CONFLICTS BETWEEN CODES EXISTS, THE CEC SHALL GOVERN.
2. GENERAL PROJECT NOTES - COORDINATION OF WORK
LAYOUT OF MATERIALS, EQUIPMENT AND SYSTEMS ARE GENERALLY DIAGRAMMATIC UNLESS SPECIFICALLY DIMENSIONED. SOME WORK MAY BE SHOWN OFFSET FOR CLARITY. THE ACTUAL LOCATION OF ALL MATERIALS, PIPING, DUCTWORK, FIXTURES, EQUIPMENT SUPPORTS, ETC. SHALL BE CAREFULLY PLANNED, PRIOR TO INSTALLATION OF ANY WORK; TO AVOID INTERFERENCES WITH EACH OTHER OR RELATED STRUCTURAL, ELECTRICAL, ARCHITECTURAL OR OTHER ELEMENTS.
VERIFY THE PROPER PHASE AND VOLTAGE OF ALL EQUIPMENT WITH THE ELECTRICAL PLANS. ALL CONFLICTS SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER PRIOR TO THE INSTALLATION OF WORK OR THE ORDERING OF ANY MATERIALS OR EQUIPMENT. ALL WORK SHALL BE PERFORMED IN ACCORDANCE NATIONAL ELECTRIC CODE (NEC), AS LAST REVISED AND LOCAL REQUIREMENTS.
3. GROUNDING: VERIFY (E) AND/OR (N) SERVICE ENTRANCE PANELS AND SUB-PANELS ARE PROPERLY GROUNDED IN ACCORDANCE ARTICLE 250 OF THE NEC, AS LAST REVISED (IE. PROPERLY INSTALLED GROUND RODS AND/OR UFER GROUNDING ELECTRODE SYSTEM), BOND (N) AND (E) SERVICE EQUIPMENT TO INTERIOR METAL WATER PIPING SYSTEM, WHERE APPLICABLE - AT NEAREST ACCESSIBLE LOCATION USING #8 CU WIRE OR LARGER OR APPROVED CLAMP.
4. CROSSHATCHES ON CONDUIT RUNS INDICATE THE NUMBER OF NO. 12 WIRES IN THE RUN. CROSSHATCHES WITH BARS INDICATE THE NUMBER OF NO. 10 WIRES IN THE RUN.
5. ALL CONDUCTORS SHALL BE STRANDED OR SOLID COPPER, AS APPLICABLE FOR THE SERVICE, CONNECTED AND/OR TERMINATED WITH COMPRESSION FITTINGS. USE TYPE THHN INSULATION FOR ALL AC VOLTAGE CABLES UON, AND COLOR CODED PER THE CEC, AS LAST REVISED.
6. ALL POWER CIRCUITS TO BE RUN INCONDUIT, MINIMUM SIZE SHALL BE 3/4" UON. CONDUIT MATERIAL SHALL BE SELECTED ON THE BASIS OF ITS SUITABILITY FOR SERVICE IN ACCORDANCE WITH AND AS DEFINED IN THE NEC, AS LAST REVISED AND LOCAL REQUIREMENTS.
7. USE APPROVED WEATHER-PROTECTED (WP) DEVICES, GASKETS AND COVERS FOR ALL EXTERIOR SWITCHES, RECEPTACLES, JUNCTION BOXES, MOTOR DISCONNECTS, APPLIANCES, SERVICE FEEDERS, AND BRANCH CIRCUITS. VERIFY DEVICE RATINGS AND ENCLOSURES ARE SUFFICIENT TO WITHSTAND THE ENVIRONMENT AND SERVICE USED PER NEC 110-22
8. STUB ALL EMBEDDED OR BURIED CONDUITS 3" ABOVE SPECIFIED GRADES UON. ALL CONDUIT PROJECTIONS SHALL BE CUT TRUE AND LEVEL AND WITHOUT SHARP EDGES.
9. ALL INTERIOR AND EXTERIOR BOXES SHALL BE INSTALLED FLUSH, SQUARE AND TRUE TO WALLS AND FLOORS AS APPLICABLE.
10. MAINTAIN 6" SEPARATION BETWEEN COMMUNICATIONS CABLES AND POWER CIRCUITS WHERE POSSIBLE.
11. PROVIDE 120V RECEPTACLE WITHIN 25' FROM ROOF MOUNTED MECHANICAL EQUIPMENT.
12. PROVIDE LOCAL DISCONNECT AT ALL MECHANICAL EQUIPMENT.
13. PERMANENTLY LABEL ALL DISCONNECT DEVICES, CLEARLY IDENTIFYING THE CIRCUIT CONTROLLED BY THE DISCONNECT.
14. ALL EQUIPMENT SHALL HAVE AN APPROVED TESTING LABORATORY MARK OR LABEL; IE. UL, CSA, FM, etc. (20xx CEC 110-2)
15. PROVIDE MIN. 36" WORK CLEARANCE IN FRONT OF PANELS (42" WHEN VOLTAGE EXCEEDS 150V TO GRD., 20xx CEC 110-16)
16. PROVIDE MIN. 30" WORK SPACE FOR PANELS (15" FROM BUS BAR TO OBSTRUCTION, 20xx CEC 110-16)

• Electrical Ground: Ground to cold water pipe w/ min. #4 copper (220 amp), #8 copper (110 amp). Permanently label each disconnect, clearly label the circuit controlled by the disconnect. Provide concrete encased electrode. Provide designated 20 amp circuit for bathroom & garage/outdoors. A 4-wire branch circuit is required for all 240 volt circuits serving cooling equipment and clothes dryers.

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

STANDARDS

SETBACKS: The following setbacks apply to new construction:

- Thirty-foot setback between any building or accessory structure and property lines. (See 3A Below)
- Sixty-foot setback between all buildings located within a planned unit development.
- Reductions to setbacks:
 - Buildings served by a community water system need only comply with zoning or Uniform Building Code setbacks, whichever is greater. (See Fresno County Uniform Building Code, Section 15.60.300, (B), 1-3, for additional setback reductions.)
 - Buildings may be located within SRA setbacks provided the portions of the structure located within such setbacks are protected from radiant heat. The following are minimum requirements that are acceptable in meeting the effects of radiant heat:
 - The exterior wall surface including soffits, overhangs, posts, and fascias shall be made of fire resistant materials such as 7/8" cement plaster, 1/2" plywood covered with metal siding, masonry or other approved non-combustible materials. (Plywood siding over 5/8" type "x" gypsum board is acceptable only if wall has no openings or overhangs and plywood and all wood trim is fire retardant treated.) Wood fascias are acceptable if fascia is 2-inch nominal fire treated and has a two-inch nominal subs fascia.
 - Windows less than 30 feet from property lines shall have fixed glazing made of either tinted wire glass or standard glass covered with non-flammable permanent sunscreens.
 - Windows less than 10 feet from property lines shall be protected by 3/4-hour fire assemblies.
 - Exterior doors within 30 feet of property lines shall be solid cores without glazed openings. Garage doors are not permitted within the 30-foot setback.
 - Buildings may be located within SRA setbacks provided subject property is adjacent to an outlet for open space or similar area where construction of buildings is prohibited and the fuel is modified and maintained for at least 100 feet from the building. Paved roads can be used as setback areas.

ROADS: New roads or extensions to existing roads shall be constructed in accordance with appropriate County Improvement Standards and Chapter 15.60 of the Ordinance Code.

DRIVEWAYS: A driveway is a vehicular access that serves no more than three dwelling units within no more than two buildings in which permits for said buildings were obtained on or after September 1, 1991 (i.e., two single-family residences; or one single-family residence and one duplex or one triplex). All driveways to buildings for which permits were issued on or after September 1, 1991, shall meet the following standards:

- Structures that are located within 50 feet of an approved road do not need a driveway that meets SRA requirements but must comply with County design standards.
- Have a maximum grade of 12 percent. Grades from 12-16% must be paved (Pre-approved mitigation). Grades may be increased to a maximum of 20 percent under special circumstances when approved by the Development Services Manager and CAL FIRE. You must submit an Exception Request for grades over 16%. Follow procedures as outlined in 15.60.200.

Form F053/Fire Safe Regulations
Modified: 08/02/2010

- Community water systems shall be designed and installed to meet Chapter 15.60 of the Ordinance Code; the currently adopted fire code and NFPA Standard 1142.
- Individual water systems shall comply with the following:
 - Any number of natural water sources may be used (i.e., lakes, ponds, streams, etc.) provided the water delivery system and the water quantity are analyzed by a qualified engineer and show compliance with NFPA-1142.
 - Swimming Pools:
 - A pool must be made of reinforced concrete or in-ground fiberglass meeting the structural standards of the Uniform Building Code.
 - The pool shall have a water capacity of 2,500 gallons (335 cubic feet) above the fire system suction inlet. (Most in-ground pools have a total water capacity in excess of 10,000 gallons.)
 - Suction inlet shall be located between two feet and four feet below high water level. After removal of the required 2500 gallons of water additional water must remain in pool to prevent flotation of a partially filled pool.
 - Storage Tanks:
 - Tanks must have a usable water capacity of 2,500 gallons.
 - Tank material shall be not less than 12 gauge galvanized steel or 3/16 inch steel and fully enclosed. Fiberglass, concrete or plastic tanks may be used.
 - Tank shall have a 4" screened vent.
 - Tanks shall refill automatically, completely filling tank within 72 hours. This requires a well capable of delivering 0.6 gallons per minute.
 - A site gauge is installed clearly indicating water storage level. Exterior plastic or "float in tube" type gauges are not allowed.
 - Tank set on level ground inside a four-inch galvanized or rust-inhibited metal grade band not less than two feet larger than the tank diameter and filled with not less than four inches of crushed rock, OR set on a concrete pad not less than four inches thick and not less than two feet larger than the tank diameter. When plastic or fiberglass tanks are installed, pea gravel or sand must be substituted for crushed rock inside the metal grade band.
 - Potable and fire protection water storage may be combined in a single tank. If storage is combined, the potable tank size shall be increased by a minimum 2,000 gallons, regardless of the well capacity. Both potable and fire protection connections may then be located at the bottom of the tank.
 - Piping/Hydrant:

Form F053/Fire Safe Regulations
Modified: 08/02/2010

- Above ground piping shall be iron pipe. Where the hydrant is not located directly on the tank, the valve and piping shall be sized per Table G-A. The pipe size indicated on Table G-A shall be run from the tank to the fire department connection valve and may only be reduced past the above ground elbow. Below ground piping may be schedule 40 PVC plastic. The riser portion of the piping must be galvanized pipe from the below ground elbow to the fire department connection.
- Hydrant shall be located between 50 feet and 500 feet from structure being protected.
- Hydrant shall be located no closer than 4 feet nor farther than 12 feet from an all weather driving surface, a minimum or 18 inches above grade, no closer than 8 feet from flammable vegetation, and located where fire apparatus using it will not block the roadway. A turn-around may be required at the hydrant location.
- Gravity, draft, and pressure hydrants from tanks shall have a 2-1/2 inch or larger full flow valve and a 2-1/2 inch national hose male fitting with cap.
- Draft systems from pools and ponds shall have a 4-1/2 inch hose fitting.
- The hydrant fire valve is to be marked with a blue reflective marker with white lettering, 3/8 inch stroke and 3 inch letters with the word "DRAFT" and mounted on a single fire retardant post. The post shall be located not more than 3 feet from the hydrant and mounted not less than 3 feet nor greater than 5 feet above the ground. "DRAFT" may be written horizontally or vertically.

FUEL MODIFICATION: To reduce the intensity of a wildfire by reducing the density of flammable vegetation, the strategic planning of fuel modification shall be provided for as a defense from wildfire.

- Provide a map or site plan showing the existing vegetation cover around structures and along proposed new roads or driveways.
- Delineate on the site plan the proposed areas of annually maintained fuel modification zones including irrigated and non-flammable material designed to defend the property from encroaching wildfire. (A Landscape Architect may prove helpful in this design).
- A copy of the fuel modification plan shall be filed with the California Department of Forestry and Fire Protection (CAL FIRE).
- File with your property deed a statement referencing that a Fuel Modification Plan is on file at the local CAL FIRE office and must be annually maintained. This is only required for all properties that are not fully landscaped with non-flammable vegetation and do not adjoin natural wildlands.

DISPOSAL OF FLAMMABLE WASTES: All flammable waste vegetation, construction materials or fuels generated by site development shall be properly disposed of prior to occupancy of a building.

EXCEPTIONS/APPEALS: An applicant may request an exception to specific portions of these requirements.

- Exception Limits: Exceptions may be granted for the following requirements only:
 - Building setbacks.
 - Driveway lengths and spacing of turnouts and turnarounds.
 - Location and width of gates.

Form F053/Fire Safe Regulations
Modified: 08/02/2010

- Have a 10-foot wide travel lane with an unobstructed vertical and horizontal clearance of 15 feet.
- Have a minimum centerline horizontal radius of 59 feet.
- Have a minimum length of 100 feet for vertical curves.
- Have turnouts near the mid-point of driveways exceeding 150 feet in length or every 400 feet for driveways exceeding 800 feet in length. Turnouts shall be a minimum of 10 feet wide and thirty feet long with a minimum 25 foot taper at each end.
- Have a turn-around within 50 feet of buildings served by driveways, which are in excess of 300 feet in length. Note: Turn-arounds may be required for driveways of less than 300 feet in length to provide for safe access of emergency fire equipment and civilian evacuation concurrently.
- Gates shall be inset a minimum of 30 feet from the intersection of the road and provide for opening of the gate without obstructing traffic on the intersecting road.
- Gates shall be two feet wider than the driveway they serve.

ADDRESSING: All buildings for which a permit is issued on or after September 1, 1991, shall have a permanently posted address installed at the beginning of construction in accordance with the following:

- Letters/numbers shall be minimum four (4) inch high with a minimum 1/4 inch wide stroke reflectorized on a contrasting background (white letters on a green background recommended).
- Freestanding signs and their supports shall be fire retardant. (Metal, concrete, masonry, pressure treated 4x4 wood post. No plastic post of any kind allowed.)
- Signs shall be visible and legible for a minimum of 100 feet from both directions of travel along the road at the intersection of the driveway and road.
- Signs shall be posted at all intersections of multiple driveways to clearly indicate the direction to the structure.
- Signs shall be installed on a single post where multiple addresses are for a single driveway. Note: You may be required to install all existing addresses on a single post where this requirement is not in compliance at the time of your project application.

WATER SUPPLY: Emergency water supplied by either a community or individual water system shall be provided for all new construction when any one of the following conditions exist:

- The property on which the proposed construction will occur was created pursuant to an application applied for after August 31, 1991.
- An application for a conditional use permit, site plan review or director review and approval for the proposed construction was applied for after August 31, 1991.
- The property on which the construction will occur has an existing requirement for water imposed by a previously approved conditional use permit, site plan review, director review and approval, tract map, or parcel map.

The standards for a required water system are as follows:

Form F053/Fire Safe Regulations
Modified: 08/02/2010

- Locations of building address signs.
- Waste disposal.
- Water supply and hydrant locations.
- Sign Location.
- Road Grades. (Grades that exceed 16% but not more than 20%.)

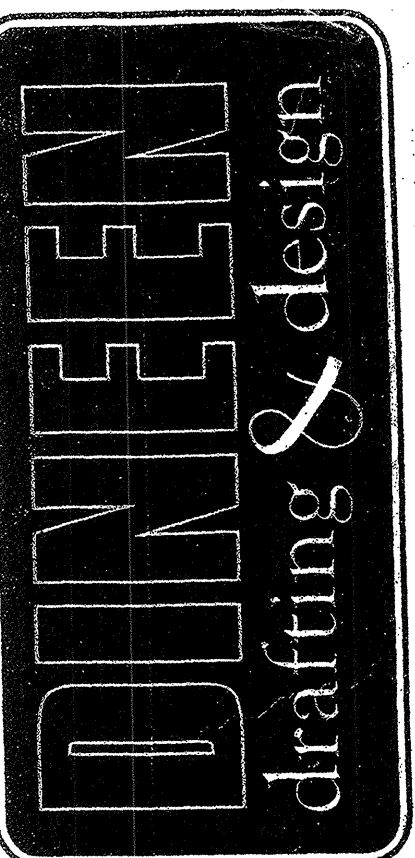
2. Exception Procedure: An applicant wishing an exception must do so in writing. Exception requests shall be addressed to the Director of the Department of Public Works and Planning or his designee, which will normally be the Chief Building Inspector. The applicant shall demonstrate that the exception they wish to employ provides the same overall practical effect as these SRA requirements. An application for an exception shall include the following:

- A description of the request, including specific sections of Title 15.60 of the Fresno County Ordinance Code, for which the exception is requested.
- Provide material facts supporting the request.
- Provide details of alternate measures proposed.
- Provide a map or site plan showing the subject defensible space, improvements and alternate measures.

3. Appeals: An applicant or any person or agency adversely affected by the decision of the Director, may appeal that decision to the Board of Supervisors. Such appeal shall be made in writing, within ten days of the Directors decision, and shall state the reasons for the appeal.

ROOF COVERING: A State Law, unrelated to the above standards, requires a Class A fire retardant roof covering for all new roofs installed on any structure in a SRA. Reroofs must be fire retardant. Partial reroofs with an accumulative roof area of less than 50 percent of the original roof area may match the existing roof covering providing the existing roofing meets Uniform Building Code Standards. Please note, the 50 percent limit is accumulative and once the total exceeds 50 percent the entire roof must be brought into compliance.

**State Responsibility Area
Fire Safe Regulations**



Linda Dineen
(559) 221-6053

PROPOSED OBSERVATORY BUILDING FOR:
SIERRA REMOTE OBSERVATORIES
AUBERRY, CA
42140 BALD MOUNTAIN ROAD

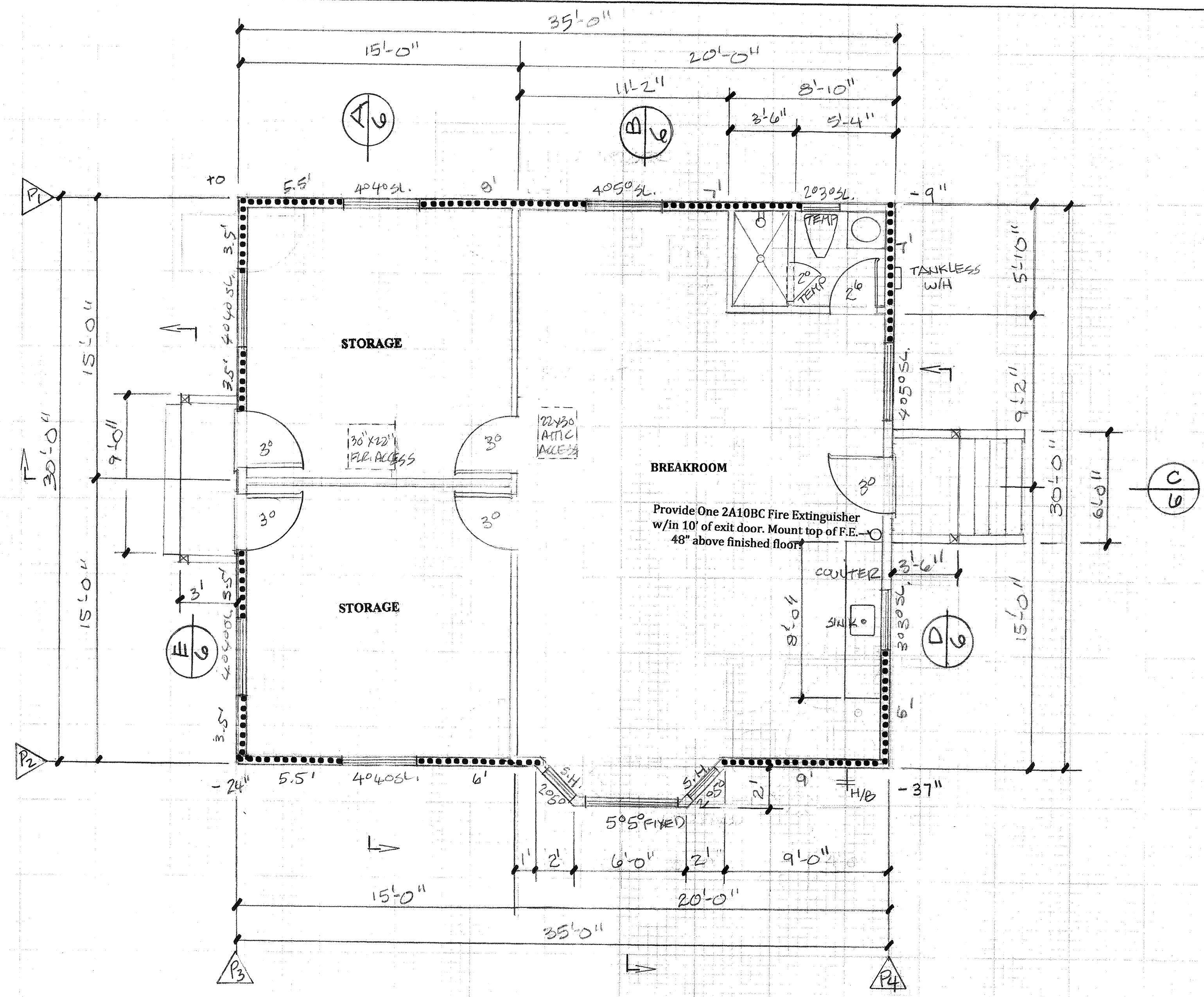
FEBRUARY 2022

FS1

L. Dineen

PLUMBING NOTES:

- Water closets to have less than or equal to .28 gal/flush
- Showers:
 - Min. dimension 30", min. area 1024 sq.in.
 - Min. door 24", walls finished with a non-absorbent surface for a minimum of 6 feet above the floor.
 - Single showerheads - to use less than or equal to 2 gpm @ 80 psi.
 - Multiple showerheads - combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2 gpm @ 80 psi or only one shower outlet is to be in operation at a time.
- Tub:
 - Provide welded plastic or brass ferrule drain fittings. 12" sq. minimum access @ jetted tubs.
 - All tub & shower valves to be single control pressure balancing or thermostatic type.
 - Provide manufacturer installation instructions for all circulating tubs on job site for inspection.
- Faucets:
 - Residential lavatory faucets shall use less than or equal to 1.5 gpm @ 60 psi.
 - Kitchen faucets shall use less than or equal to 1.8 gpm @ 60 psi.
 - Temporary increase to .2 gpm allowed but shall default to 1.8 gpm.
- All plumbing conveying or dispensing water for human consumption shall comply with AB 1953 for lead content.
- After installing water heating systems, fenestration and VAC equipment, the installer shall submit the "Installation Certificate" (CF-2P Form), completed and signed by the installer, listing the equipment installed, (manufacturer, model and efficiencies, U-values and SHGC values, etc.) and that it meets or exceeds the requirements of the energy documentation. **Registered copies shall be provided when HERS verification is required.**
- Water closet compartment must have 30" width & 24" clear in front of the fixture. Fixture shall not be set closer than 15" from its center to any side wall or obstruction.
- All water closets that will be installed will be low flow water closets with a maximum capacity of 1.6 gal.
- All equipment in the potable water delivery system must meet the Cal. AB1953 Lead Free req. This applies to all piping, fixtures and fittings. All of the above noted items are not permitted to exceed .25% lead content.
- For PEX - at the time of fill, each fixture shall have a removable tag applied stating "This new plumbing system was first filled and flushed on _____". The State of California requires that the system be flushed after standing at least one week after the fill date specified above. If the system is used earlier than one week after the fill date, the water must be allowed to run for at least two minutes prior to use for human consumption. This tag may not be removed prior to the completion of the required second flushing except by the owner or occupant.
- Galvanized malleable iron, galvanized wrought iron, or galvanized steel are prohibited material for water supply and building water piping both underground and in buildings.
- The maximum hot water temperatures shall be limited for the following:
 - Bathtubs and whirlpool tubs shall be limited to 120°F by a device that conforms to ASSE 1070 or CSA B125.3(CPC section 409.4)
 - The water heater thermostat shall not be considered a control for meeting this provision.
 - Bidets shall be limited to 110°F by a device that conforms to ASSE 1070 or CSA B125.3 (CPC section 410.3) The water heater thermostat shall not be considered a control for meeting this provision.
 - Showers and tub/shower combinations shall be provided with individual control valves of the pressure balance, thermostatic or combination pressure balance/thermostatic mixing valves type that provide scald and thermal shock protection for the rated flow rate of the installed shower head. These Valves shall be installed at the point of use and in accordance with ASSE 1016 or ASME112.6 or ASME 112.18.1/CSAB125.1(CPC 408.3)
- Water hammer arrestors shall be installed at the following quick-acting shut-off valves:
 - Automatic washing machine (hot and cold)
 - Dishwasher
- Where a vent passes through an insulated assembly, an approved metal shield shall be installed between the vent & the insulation. The shield is required to extend a minimum of 2" above the insulation.
- All domestic hot water piping is required to be insulated. Hot water pipe insulation shall have a minimum wall thickness of not less than the diameter of the pipe up to 2".
- All hose bibbs shall be equipped with non-removable backflow preventers.



FLOOR PLAN 1066#

SCALE: 1/4" = 1'-0"

WINDOWS AND DOORS

Exterior windows, window walls, glazed doors, and glazed openings within exterior doors shall be insulating glass units with a minimum of one tempered pane or glass block units, or have a fire resistance rating of not less than 20 minutes when tested according to ASTM E 2010, or conform to the performance requirements of SFM 12-7A-2.

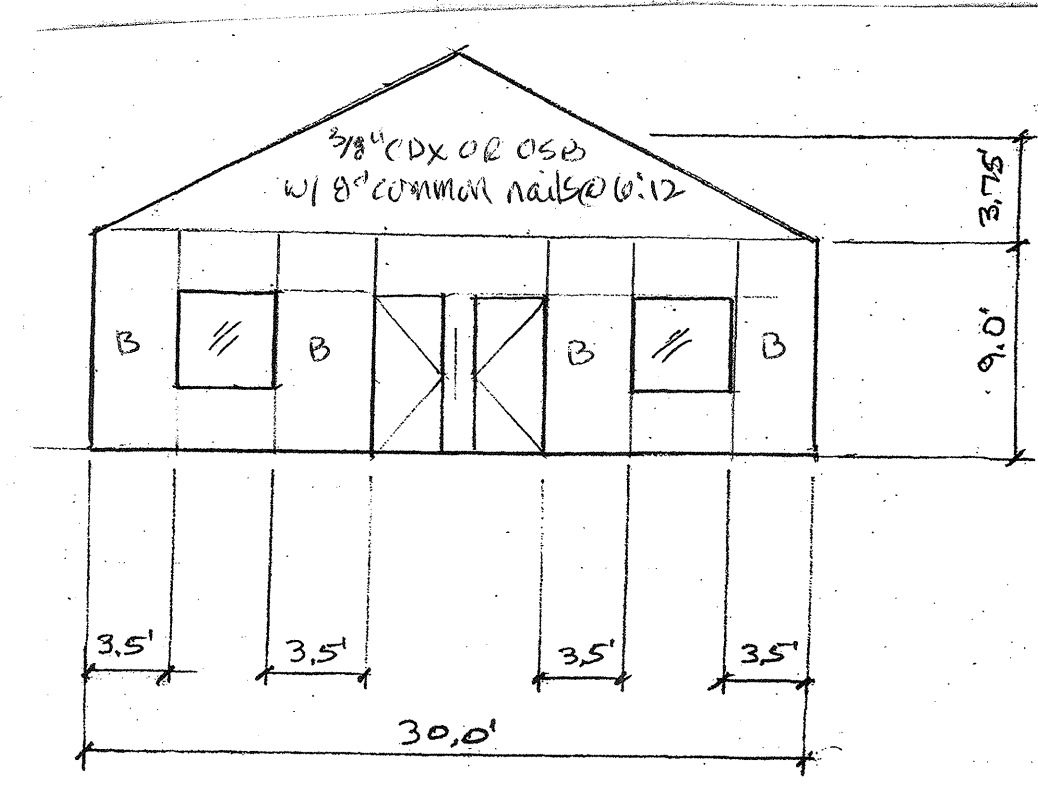
Every manufactured and site-built fenestration product or fenestration system installed in construction subject to Title 24, Part 6 shall have attached to it a clearly visible temporary label or have an associated label certificate that lists the U-Factor, the solar heat gain coefficient (SHGC) of that product and the method used to derive those values, and certifies compliance with air leakage requirements of the California Energy Code, Section 116(a)1. The label shall not be removed until approved by the building inspector.

Sill height of windows in sleeping areas shall not exceed 44 inches.

Exterior door assemblies shall conform to the performance requirements of Standard SFM 12-7A-1 or shall be of approved noncombustible construction, or solid core wood having stiles and rails not less than 1 3/8" thick, or shall have a fire resistance rating of not less than 20 minutes when tested according to ASTM E 074.

Exception: Noncombustible or exterior fire retardant treated wood vehicle access doors are not required to comply with CRC R327.8.3

Every manufactured and site-built fenestration product or fenestration system installed in construction subject to Title 24, Part 6 shall have Attached to it a clearly visible temporary label or have an associated Label certificate that lists the U-factor, the solar heat gain coefficient (SHGC) of that product and the method used to derive those values, and certifies compliance with air leakage requirements of the Calif. Energy Code, Section 116(a) 1. The label shall not be removed until Approved by the Building Inspector.



SHEAR WALL LINE P3

SHEARWALL SCHEDULE

- P1 3/8" CDX or OSB ply w/ 8d common nails @ 6" o.c. edges, 12" field.
- P2 3/8" CDX or OSB ply w/ 8d common nails @ 6" o.c. edges, 12" field.
- Panel B: 3/8" CDX or OSB ply w/ 8d common nails @ 6" o.c. edges, 12" field.
- P4 3/8" CDX or OSB ply w/ 8d common nails @ 6" o.c. edges, 12" field.

Linda Dineen
(559) 221-6053

PROPOSED BREAK ROOM FOR:
SIERRA REMOTE OBSERVATORIES
AUBERRY, CA
42140 BALD MOUNTAIN ROAD

CONTRACTOR:
Jon Thiele Construction
42026 Bretz Camp Lane
Shaver Lake, CA 93664
(559) 288-3561
License #729719

JULY 2019

L. Dineen



North 04



West 04



Southwest 04

NORTH

WEST

SOUTHWEST



SOUTHWEST



SOUTH

SIERRA REMOTE OBSERVATORIES SITE PHOTOS

L. Dineen



Linda Dineen
(559) 221-6053

PROPOSED CUP AMENDMENT FOR:
SIERRA REMOTE OBSERVATORIES
42140 BALD MOUNTAIN ROAD AUBERRY, CA

JANUARY 2023