

County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING STEVEN E. WHITE, DIRECTOR

DATE: December 21, 2022

TO: Development Services and Capital Projects, Attn: Chris Motta, Principal Planner

Development Services and Capital Projects, Current Planning, Attn: David Randall,

Senior Planner

Development Services and Capital Projects, Policy Planning, ALCC,

Attn: Mohammad Khorsand, Senior Planner

Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel

Gutierrez/James Anders, Senior Planners

Development Services and Capital Projects, Site Plan Review, Attn: Tawanda Mtunga,

Principal Planner

Development Services and Capital Projects, Building & Safety/Plan Check, CASp,

Attn: Dan Mather

Development Engineering, Attn: Laurie Kennedy, Grading/Mapping

Road Maintenance and Operations, Attn: Wendy Nakagawa/Nadia Lopez

Design Division, Attn: Mohammad Alimi, Design Division Engineer

Transportation Planning, Attn: Hector Luna, Senior Planner Attn: Brody Hines, Planner

Water and Natural Resources Division, Attn: Augustine Ramirez/Roy Jimenez Department of Public Health, Environmental Health Division, Attn: Deep Sidhu/

Kevin Tsuda

Sheriff's Office, Attn: Captain Mark Padilla, Captain Greg Gularte, Captain Ryan Hushaw, Lt. Brent Stalker, Lt. Ron Hayes, Lt. Robert Salazar, Lt. Kathy Curtice U.S. Fish and Wildlife Service, San Joaquin Valley Division,

Attn: Matthew Nelson, Biologist

CA Regional Water Quality Control Board, Attn:

centralvalleyfresno@waterboards.ca.gov

CA Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov

State Water Resources Control Board, Division of Drinking Water, Fresno District,

Attn: Jose Robledo/Cinthia Reyes

Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey/Cultural Resources Director

Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/ Hector Franco, Director/Shana Powers, Cultural Specialist II

Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director/Kim

Taylor, Cultural Resources Department/Sara Barnett, Cultural Resources

Department

San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division),

Attn: PIC Supervisor

Fresno Irrigation District, Attn: Engr-Review@fresnoirrigation.com

North King GSA, Attn: Kassy D. Chauhan

FROM: Elliot Racusin, Planner

Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 8334, Director Review and Approval Application No. 4728

APPLICANT: Jennifer Umland

DUE DATE: January 6, 2023

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the Director's Review and Approval (DRA) to allow a small winery and tasting room within the AE-5 (Exclusive Agricultural, five-acre minimum parcel size) Zone District.

The subject parcel is located on the northwest corner of Longview Rd. and Creekside Rd. Approximately 9.8 miles east of the City of Orange Cove. (APN: 190-460-38) (46488 Creekside Rd.) (Sup. Dist. 5).

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **January 6**, **2023**. Any comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).

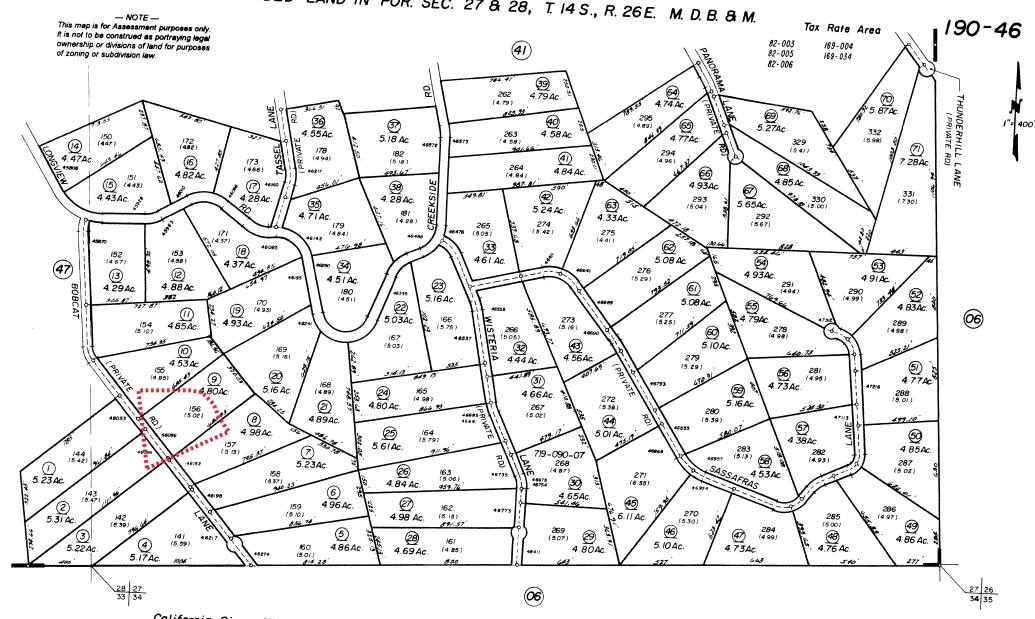
Please address any correspondence or questions related to environmental and/or policy/design issues to me, Elliot Racusin, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4245, or email eracusin@fresnocountyca.gov

ER

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Activity Code (Internal Review):2392

Enclosures



California Sierra Highlands No. 3, Tract No. 2279 - Plat Bk. 26, Pg. 52

NOTE - Assessor's Block Numbers Shown in Ellipses. Assessor's Parcel Numbers Shown in Circles. Assessor's Map Bk. 190-Pg. 46
County of Fresno, Calif.

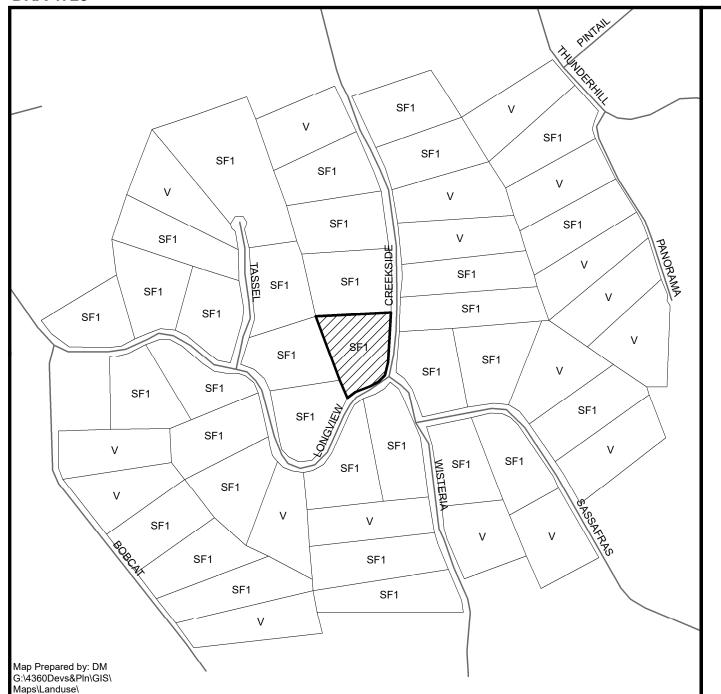
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EXISTING LAND USE MAP

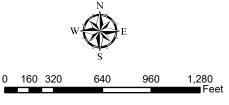




LEGEND SF#- SINGLE FAMILY RESIDENCE V - VACANT

LEGEND:

Subject Property



Department of Public Works and Planning **Development Sevices Division**

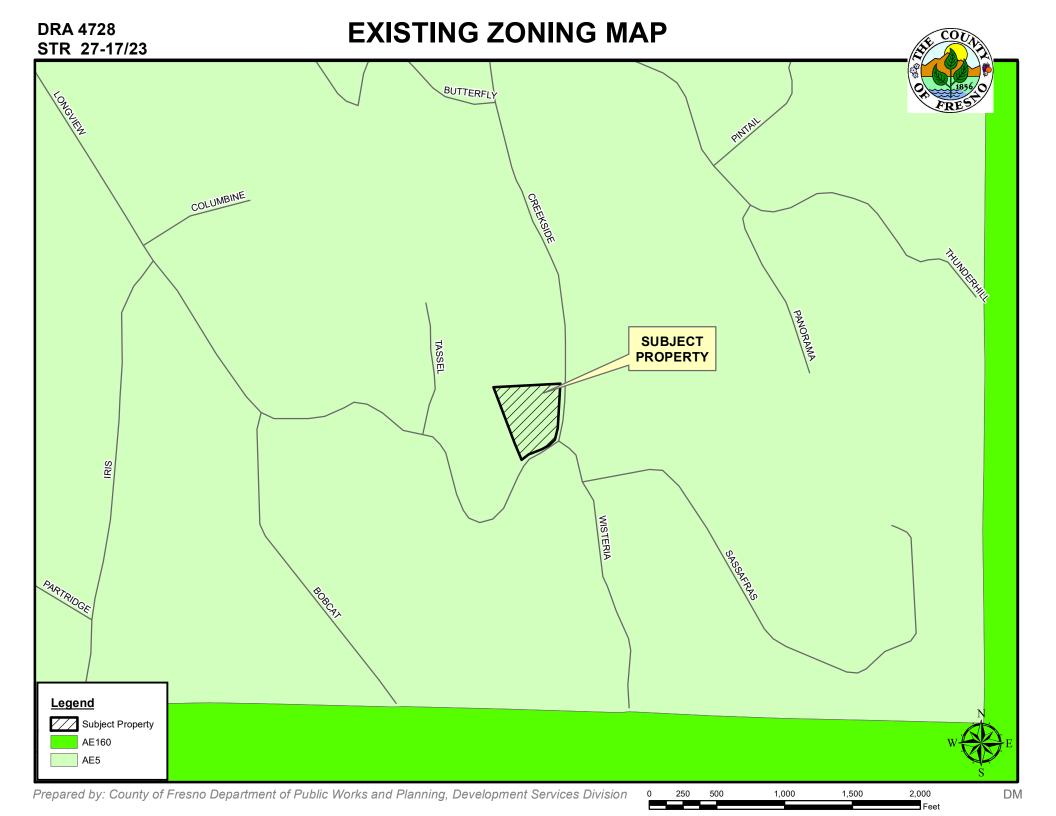
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DM

Subject Property

Prepared by: County of Fresno Department of Public Works and Planning



Jenn @ Remeadies. com



Rev 09/17/21

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Pre-Application Review

Department of Public Works and Planning

4728 NUMBER: 22-001017
APPLICANT: UMLAND, JENNIFER

PROPERTY LOCATION: 46400 CREEKSIDE PR	PHONE: (559)303-5141
PROPERTY LOCATION: 46488 CREEKSIDE RD APN(s): 190-460-38 ALCC: No X Yes #	VIOLATION NO. NO.
CNEL: No_X_ Yes(level) LOW WATER: No_ Yes_X_ W	TITHIN 1/2 MILE OF CITY: NO. Y. Yes
ZONE DISTRICT: AE-5; SRA: NoYesX HOMESITE DE	
LOT STATUS:	
Zoning: (X) Conforms; () Legal Non-Conforming lo	t; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No. X. Yes. 7M	# Initiated In process
Map Act: (X) Lot of Rec. Map; () On '72 rolls; () Ot	her; () Deeds Req'd (see Form #236)
SCHOOL FEES: No X Yes DISTRICT: KINGS CANYON	
FMFCD FEE AREA: (X) Outside () District No.:	
PROPOSAL DRA TO ALLOW A SMALL WINERY AND TASTING	5 ROOM WITHIN THE AE-5 ZONE DISTRICT.
COMMENTS:	
ORD. SECTION(S): 816.2.F BY: ALE	BERT AGUILAR DATE: 1/25/22
GENERAL PLAN POLICIES:	PROCEDURES AND FEES:
LAND USE DESIGNATION: Agricultural ()GPA:	()MINOR VA:
	()HD: 770.00
REGIONAL PLAN: ()CUP:	()AG COMM: 67.00
SPECIFIC PLAN: ()DRA: ()VA:	()ALCC: ()IS/PER*: 3 9 0 1 0 0
SPECIAL POLICIES: ()VA: ()VA: ()AT:	()Viol. (35%):
ANNEX REFERRAL (LU-G17/MOU): ()TT:	()Other:
//////////////////////////////////////	Filing Fee: \$
ÇOMMENTS:P	Filing Fee: \$
<u> </u>	otal County Filing Fee: 7,151.00
(\checkmark) This Pre-Application Review form (Separate chi (\checkmark) Copy of Deed / Legal Description (\checkmark) CA Dept. of (\checkmark) Photographs (Separate chi	pical Inventory Fee: \$75 at time of filing neck to Southern San Joaquin Valley Info. Center) If Fish & Wildlife (CDFW):(\$50+\$2,480.25) Neck to Fresno County Clerk for pass-thru to CDFW. If prior to IS closure and prior to setting hearing date.) In prior to IS closure and prior to setting hearing date.
BY: Marissa Parker DATE: 6/30/2	
PHONE NUMBER: (559) 600 - 9669	
NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY () COVENANT	
() ALUC or ALCC () OTHER (see reverse side)	OVER

Date	Received:	
	meetited.	



Fresno County Department of Public Works and Planning

MAILING ADDRESS:

Department of Public Works and Planning Development Services and Capital Projects Division . 2220 Tulare St., 6th Floor

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A Street Level

Fresno Phone: (559) 600-4497

Fresno, Ca. 93721	
APPLICATION FOR:	DESCRIPTION OF PROPOSED USE OR REQUEST:
Pre-Application (Type)	DRA to glow a
☐ Amendment Application ☐ Director Review and Approval	
☐ Amendment to Text ☐ for 2 nd Residence	Small winery in the AE-5 ZONE District
☐ Conditional Use Permit ☐ Determination of Merger	AE-5 ZONE Dictoict
☐ Variance (Class)/Minor Variance ☐ Agreements	LOWE DISTRICT
☐ Site Plan Review/Occupancy Permit ☐ ALCC/RLCC	
☐ No Shoot/Dog Leash Law Boundary ☐ Other	
General Plan Amendment/Specific Plan/SP Amendment)	
Time Extension for	
CEQA DOCUMENTATION: Initial Study PER N/A	
PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions com	pletely. Attach required site plans, forms, statements,
and deeds as specified on the Pre-Application Review. Attach Copy of Deed,	
LOCATION OF PROPERTY: WEST side of CREEKSIDE	RDAD
	d BUTTERFLY
Street address: 46488 CREEKSIDE	
APN: 190-460-38 Parcel size: 4,27 ACRES	
ADDITIONAL APN(s):	
the above described property and that the application and attached docume	e owner, or authorized representative of the owner, of
knowledge. The foregoing declaration is made under penalty of perjury.	ms are in all respects true and correct to the best of my
Jennifer Unland and Rosemany Unland 46488 Crowside F Owner (Print or Type) Address Cit	4 89 (S 14) Phone
Applicant (Print or Type) Address Ci	w Valley CA 431075 559-303-5141 Phone
Jennifer Umland 46488 CEEKSIDE RD SQUAW	VY Zip Phone
	ty Zip Phone
CONTACT EMAIL:	
OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)	UTILITIES AVAILABLE:
Application Type / No.: DFA Fee: \$ 2660	
Application Type / No.: Fee: \$	WATER: Yes 👔 / No 🗌
Application Type / No.: Fee: \$	Agency: Private Well
Application Type / No.: Fee: \$	COURD V MAN TO Be with Such
PER/Initial Study No.: Fee: \$ Ag Department Review: Fee: \$ Fee: \$ Fee: \$	SEWER: Yes 1/No Private Suptic
Health Department Review: Fee: \$ 770	Agency:
Received By: PV Invoice No.: - 247 TOTAL: \$ 7151	00
STAFF DETERMINATION: This permit is sought under Ordinance Section:	Sect-Twp/Rg: T S /R E
	APN #
Related Application(s):	APN #
	APN #
	APN #
Parcel Size:	over



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY
IS No
Project No(s)
Application Rec'd.:

GENERAL INFORMATION

Property Owner: Janifor Umland	Phone/Fax 559-303-5141
Mailing Address: 46488 CREEKSIDE RD	SQUAW VALLEY CA 93675
Street	City State/Zip
Applicant: Jennifer Umland	Phone/Fax: 559-303-514
Mailing Address: 46488 CREEKSIDE RD	SQUAW VALLEY CA 93675
Street	City State/Zip
Representative: Jennifer umana	Phone/Fax: 559-303-514)
Mailing Address: 46488 CREEKSIDE RD	SOVAW VALLEY CA 93675
Street	City State/Zip
Proposed Project: DRA TO ALLOW	A SMALL WINERY AND TASTING
ROOM IN EXISTING ST	PUCTURES WITHIN THE AE-5
ZONE DISTRICT.	
	LITY BUILDING ON PROPERTY
Project Address: 46488 CREEKSID	DE RD SQUALD VALLEY CA 93675
Section/Township/Range://	8. Parcel Size: 4.27 ACRES
Assessor's Parcel No. 190 -460-38	OVFR
	Mailing Address: 46488 CREEKSIDE RD Street Applicant: Jennifer Umland Mailing Address: 46488 CREEKSIDE RD Street Representative: Jennifer Immana Mailing Address: 46488 CREEKSIDE RD Street Proposed Project: DRA TO AUDU ROOM IN EXISTING STO ZONE DISTRICT. Project Address: 46488 CREEKSIDE Section/Township/Range:

<i>10</i> .). Land Conservation Contract No. (If applicable): N/A				
<i>11</i> .	What other agencies will you need to get permits or authorization from:				
	LAFCo (annexation or extension of services)SJVUAPCD (Air Pollution Control District)CALTRANSReclamation BoardDivision of AeronauticsDepartment of EnergyWater Quality Control BoardAirport Land Use CommissionOtherOther				
12.	Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes $_{X}$ No				
	If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.				
<i>13</i> .	Existing Zone District ¹ : AE-5				
14.	Existing General Plan Land Use Designation ¹ : AGRICULTURAL				
	VIRONMENTAL INFORMATION				
<i>15</i> .	Present land use: ONE RESIDENTIAL HOME WITH PASTURE AREPS, GRAPES, BERRIES, FRUIT TREE Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements: MAIN HOME, ONE WELL, ONE UTILITY BUILDING, DNE SEPTIC SYSTEM,				
	DRIVE WAY WITH ENTRY/EXIT ON CREEKSIDE AND LONGVIEW.				
	Describe the major vegetative cover: NATIVE GRASS AND DAKS				
	Any perennial or intermittent water courses? If so, show on map: NO				
	Is property in a flood-prone area? Describe:				
	NO. BACK PORTION OF PROPERTY APPROXIMATELY 2500 FT; FRONT APPROXIMATELY				
	2300 FT. WATER SHEDS WELL. NOPRIOR ASSESSMENT OR INSURANCE ENSPECTION HAS FOUND ANY FLOOD CONERNS.				
<i>16</i> .	Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):				
	North: RESIDENTIAL				
	South:				
	East:				
	West:				

<i>17</i> .			(s) in the area may be impacted by your Project?: None. WE ARE REPURPOSING			
	EX	ISTING	BUILDING. NO ADDITIONAL CONSTRUCTION OR VEGETATION REMOVAL			
18.	Who	What land use(s) in the area may impact your project?: NONE, ALL SURROUNDING				
			ES ARE AGRICULTURAL. THEIR EXISTING AND EXPECTED LAND. HAVE NO IMPACT ON OUR PROJECT.			
19.	Trai	nsportation	ı :			
	NO2		nformation below will be used in determining traffic impacts from this project. The data also show the need for a Traffic Impact Study (TIS) for the project.			
	A. Will additional driveways from the proposed project site be necessary to access public roads? YesX No					
	В.	Daily tra	ffic generation:			
		I.	Residential - Number of Units Lot Size Single Family Apartments			
		II.	Commercial - Number of Employees Number of Salesmen Number of Delivery Trucks Total Square Footage of Building			
		III.	Describe and quantify other traffic generation activities: Visitor traffic?			
			anticipated at 10 to 4 vehicles per day, 2 days			
			per week			
20.	Desc.		ource(s) of noise from your project that may affect the surrounding area:			
21.		-	ource(s) of noise in the area that may affect your project:			
22.	Desc		robable source(s) of air pollution from your project:			
23.		posed sour private we	ce of water:			

24.	Anticipated volume of water to be used (gallons per day)2: 10 gallons
25.	Proposed method of liquid waste disposal: (X) septic system/individual () community system³-name
<i>26</i> .	Estimated volume of liquid waste (gallons per day) ² : 3 gallons
27.	Anticipated type(s) of liquid waste: washing dishes - equipment
28.	Anticipated type(s) of hazardous wastes ² : None
29.	Anticipated volume of hazardous wastes ² :
<i>30</i> .	Proposed method of hazardous waste disposal ² : N/A
<i>31</i> .	Anticipated type(s) of solid waste: Spent Fruit solids
<i>32</i> .	Anticipated amount of solid waste (tons or cubic yards per day): 120 - composted on-site
<i>33.</i> ₂	Anticipated amount of waste that will be recycled (tons or cubic yards per day): 2 % - a few soda cans
<i>34</i> .	Proposed method of solid waste disposal: Miramonte Santation trash service for any
<i>35</i> .	Fire protection district(s) serving this area: Cal Fire and Mountain Valley Fire Department
<i>36</i> .	Has a previous application been processed on this site? If so, list title and date: no
<i>37</i> .	Do you have any underground storage tanks (except septic tanks)? Yes No_X
<i>38</i> .	If yes, are they currently in use? YesNoN/A
	Supplied the foregoing information is true. Date

(Revised 12/14/18)

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2021: \$3,445.25 for an EIR; \$2,480.25 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.

Applicant's Signature

G:\\4360Devs&Pln\PROJSEC\PROJDOCS\TEMPLATES\IS-CEQA TEMPLATES\Initial Study App.dotx

RECORDING REQUESTED BY CHICAGO TITLE COMPANY AND WHEN RECORDED MAIL TO

JENNIFER ANN UMLAND 446 NAPA STREET TULARE, CA 93274

FRESNO County Recorder Robert C. Werner

DOC- 2005-0019977

Acct 2-Chicago Title Company
Friday, JAN 28, 2005 08:00:00

Ttl Pd \$147.50

Nbr-0001721379

Escrow No. 1062141 - SB Order No. 1062141 - SPACE ABOVE THIS LINE FOR RECORDER'S USE -ARB 190-046-X-38 Assessor's Parcel No: 190-460-38 **GRANT DEED** THE UNDERSIGNED GRANTOR(S) DECLARE(S) DOCUMENTARY TRANSFER TAX IS \$137.50 X unincorporated area City of X computed on the full value of the interest or property conveyed, or is computed on the full value less the value of liens or encumbrances remaining at time of sale, and FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, JERRY L. CASEY AND CATHLEEN L. CASEY, HUSBAND AND WIFE, AS JOINT TENANTS hereby GRANT(S) to JENNIFER ANN UMLAND, A SINGLE WOMAN the following described real property in the County of FRESNO , State of California: LOT 181 OF TRACT NO. 2279, CALIFORNIA SIERRA HIGHLANDS NO. 3, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 26, PAGES 52 THROUGH 80 INCLUSIVE OF PLATS, FRESNO COUNTY RECORDS. APN 190-460-38 Dated January 21, 2005 STATE OF CALIFORNIA COUNTY OF Tulare SS before me, (051-001) a Notary Public in and for said County and State, personally appeared JERRY L. CASEY AND CATHLEEN L. personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the COHNW within instrument and acknowledged to me that he/she/they executed the COMM. 1426423 same in his/her/their authorized capacity(ies), and that by his/her/their **NOTARY PUBLIC - CALIFORNIA** signature(s) on the instrument the person(s), or the entity upon behalf of **TULARE COUNTY** which the person(s) acted, executed the instrument. My Comm. Expires June 24, 2007 WITNESS my hand and official seal.

FOR NOTARY SEAL OR STAMP

Signature of Notan

Name

MAIL TAX STATEMENTS TO PARTY SHOWN ON FOLLOWING LINE: IF NO PARTY SO SHOWN, MAIL AS DIRECTED ABOVE

Date My Commission Expires

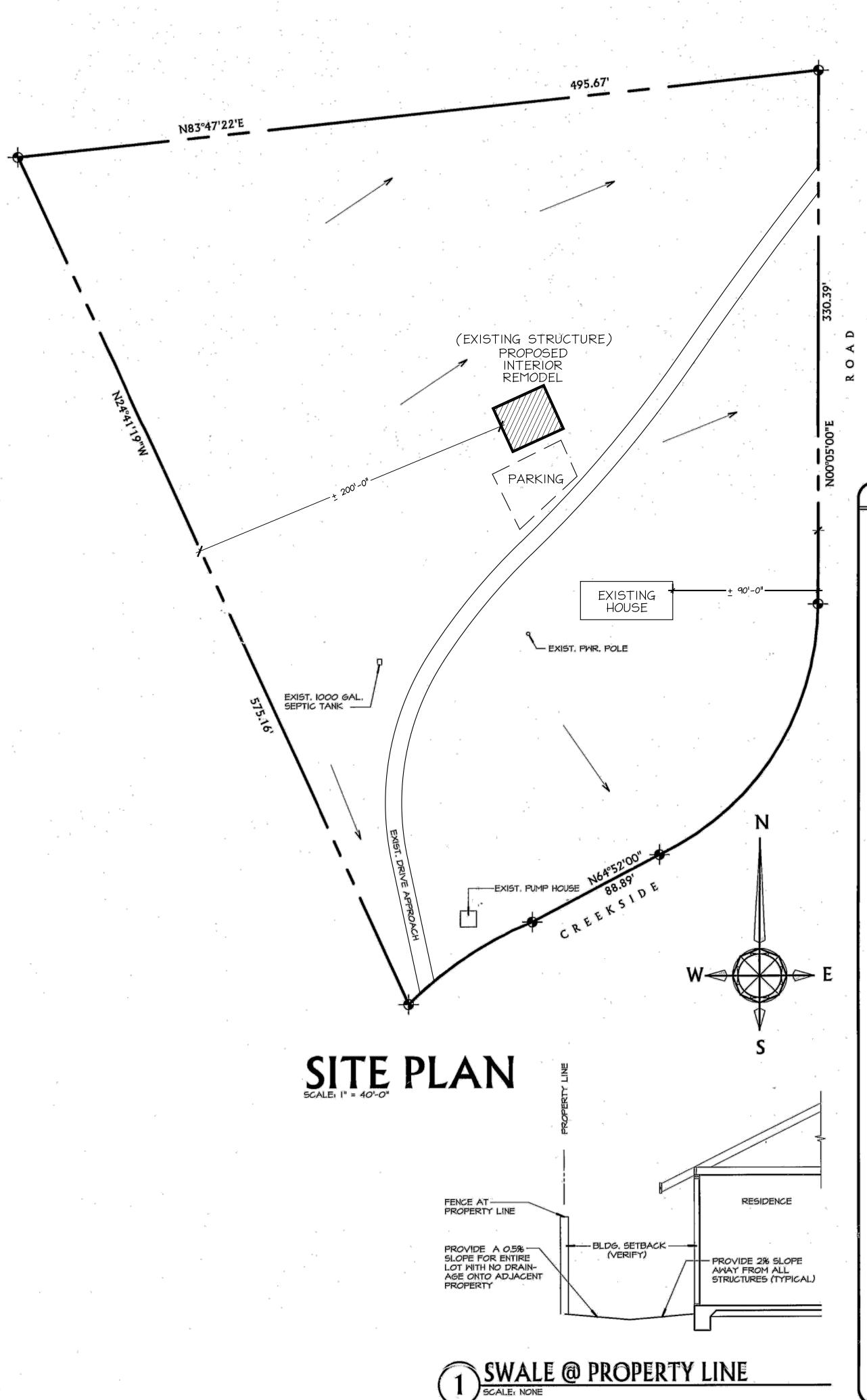
Operational Statement:

- 1. Nature of the operation We are looking to open a tasting room and put a licensed winery on our property. We propose to renovate an existing large utility building (barn) to house the tasting room at the front portion of the building and the winery at the back with a wall to divide the two areas. This is on our personal property (approximately 4 ½ acres located on Creekside Rd. in Squaw Valley). We have a main house which is a separate building on the property which is where we live. There will be an approved tasting room including ADA bathroom, some inside seating (4-6 people) and a bar. There will also be an outside seating space for tastings. There is a second story on the utility building which will be a storage room and office, not available to guests.
- 2. We will be open by appointment only, year round. Our intention is to be available for scheduled tastings Saturdays and Sundays, in the future we hope to add Friday to our availability. We anticipate booking 90-minute tastings available from 12pm 5pm.
- 3. We expect to have 0 20 guests per day.
- 4. The winery and tasting room will be operated by myself, Jennifer Umland and my partner, John Hutchinson.
- 5. We do not anticipate the use of service or delivery vehicles on a regular basis.
- 6. Guests will access our site by use of two driveways which currently run through our property. One is located on Longview (gravel and flat) and one is located on Creekside Rd (paved with an incline). The main road is a public road and well maintained. These driveways converge at the interior of the property and allow easy access to the front of the tasting room which is currently graveled with concrete sidewalk along the front of the building.
- 7. The handicap parking spot would be located at the sidewalk at the front of the building. The other available parking spaces, 6 total, are just off the driveway on grass.
- 8. We will produce wines, meads and ciders onsite in the approved production area and sell them onsite. We have grape vines, hop vines, berries and fruit trees as well as apiaries on our property to be used in the products we produce at the winery.
- 9. The production will be done with the use of fermenters, refrigeration, kegs, CO2 for carbonated products, bottles, bottling and corking equipment.
- 10. We will also have honey stored onsite in 60lb buckets, fruit (much of which is grown on our property) will be kept frozen until used. We will also use some TTB-approved additives for stabilizing and clarifying the products, eg Fermaid-O, Potassium Metabisulfite, Chitosan and Keilselsol which are stored in airtight containers. Yeast will be refrigerated.

- 11. Neither the tastings, nor the production, will cause additional noise, dust, or glare. Fermentation does create CO2 which is dissipated through adequate ventilation of the winery and will not affect the tasting room or the upstairs store room.
- 12. There will be some fruit skins, seeds and pulp that will be removed from the product at various stages. This will be put in to existing compost bins for natural processing and the finished compost will be used in our personal garden.
- 13. We are on a well. There will be additional water used for cleaning tasting glasses, sanitizing the tasting room and the winery daily. There will also be water usage to clean the fermenters and aging buckets/barrels approximately once a month. Estimated water usage to be 10 gallons each day.
- 14. We propose one sign 5'x4' to be installed on our property near the bottom of each driveway. Everything we plan to do will be very nature focused. Lots of wood, live plants, water, promote pollinators, birds, etc. Our signage will reflect this and our business name in cream, blue, green and magenta.
- 15. The existing utility building will be the tasting room and winery/production area. No new buildings will be constructed. The existing utility building is a two-story in natural brown, the interior of the tasting room will reflect integration with nature as well with large glass French doors and wood and stone accents. Walls and ceilings will reflect the cream, blue and greens. Guests will not be allowed in the winery portion and it will be much more utilitarian: with stainless steel, shelving units, fermenters, etc.
- 16. Front portion of the first floor of the existing utility building will be the tasting room and back section of first floor will be production area. There is also a bathroom on the front portion of the first floor. The upstairs of the utility building will be off limits to guests and serve as office and storage area.
- 17. Guests will also be allowed to do tastings outside the tasting room; depending on the time of year it may get to be dusk or dark at the end of their tasting and small solar fairy lights will be installed to offer clear markings of the driveway and above the tasting area to offer ambiance. No flood lights or loud speakers will be used.
- 18. There are three existing pastures which house alpaca, llama and donkey. There is also a chicken and duck yard with pond fenced off from the rest of the property. These will all remain as-is. There are existing garden areas at the back of the barn which will remain but will not be open to the public. The front of the tasting room is bordered by roses, verbena, ice plant, berries, hop vines, wisteria, pomegranates, olives, apricot, nectarine, apple and many other bulbs and shade trees.
- 19. Meaderies are very popular in Southern California and Bay Area, and throughout much of the rest of the world. We enjoy introducing the Central Valley to Mead as well as sharing wines and hard

ciders. We want to become an inviting getaway from the city life and allow guests to relax, try some new beverages and continue to reconnect with nature. As we share the foothills with some other great wineries, we want to continue to work with them to increase tourism to our neck of the woods. We look forward to an open dialogue regarding our vision for our small business and any guidance you can provide to help it come to fruition as efficiently as possible.

20. We do not have employees. John Hutchinson, and myself, Jennifer Umland are the only members of our LLC. The physical property is owned by myself, Jennifer Umland, and my mother, Rosemary Umland who also resides on the property in my home.



REMODEL FOR: MRS. JENNIFER UMLAND

RESIDENTIAL SITE NOTES

- STAKING OUT ALL DIMENSIONS, GRADES AND OTHER CONDITIONS AT THE JOB SITE PRIOR TO THE START OF ANY WORK, ACCEPTANCE OR CONTRACTOR'S RESPONSIBILITY OF ACCURACY.
- REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE OWNER, CONTACT APPLICABLE GOVERNING
- MONUMENTS WHICH HAVE BEEN DISTRURBED SHALL BE RESET BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR AT THE OWNER'S COST

PROVIDE A MINIMUM SLOPE OF 2% AWAY FROM THE BUILDING OF A

NO DRAINAGE ONTO AN ADJACENT PROPERTY SHALL BE ALLOWED.

DISTANCE OF 5 FEET

- THE ELEVATION OF THE FINISHED FLOOR SHALL BE A MINIMUM OF 6
- REPAIR ALL DAMAGED AND/OR OFF-GRADECONGRETE STREET IMPROVE MENTS AS DETERMINED BY THE CITY ENGINEER, CONTACT THE PUBLIC WORKS DEPARTMENT, CONSTRUCTION MANAGEMENT DIVISION (498-1451) FOR DETERMINATION AND CLEARANCE.
- ALL UNDERGROUND SERVICES SHALL BE IN PLACE PRIOR TO PLACEMENT
- OVER A 2 INCH BASE OF CRUSHED ROCK PLACED OVER NATIVE SOIL
- PHONE: 1 (800) 227-2600.
- 12. ANY UTILITIES WITHIN THE PUBLIC RIGHTS OF WAY AND EASEMENTS (e.g., FIRE HYDRANTS, FRESNO IRRIGATION DISTRICT FACILITIES, FRESNO METROPOLITAN FLOOD CONTROL DISTRICT FACILITIES, STREET LIGHTS, ETC.) REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE OWNER. PUBLIC FIRE HYDRANTS SHALL BE RE-LOCATED BY CITY FORCES AT THE OWNER'S EXPENSE; THE OWNER IS RESPONSIBLE TO ARRANGE AND COORDINATE THE WORK WITH THE DEPARTMENT OF PUBLIC UTILITIES, WATER DIVISION (NEIL MONTGOMERY, 498-2796), THE OWNER SHOULD CONTACT THE PUBLIC WORKS DEPART-MENT, TRAFFIC ENGINEERING DIVISION FOR INFORMATION REGARDING ELIGIBILTY FOR REIMBURSEMENT RELATIVE TO TRAFFIC SIGNAL
- WITHIN THE BUILDING SITE SET-BACKS.
- 14. BUILDING SITE SHALL BE CLEANED AND ALL VEGETATION, TREE ROOT OR
- PLACED PRIOR TO THE FIRST INSPECTION, NUMBERALS SHALL BE A MINIMUM OF 3 INCHES IN HEIGHT AND 3/8" STROKE, MOUNTED ON A CONTRASTING BACKGROUND.
- 16. A CHEMICAL TOILET IS REQUIRED ON SITE DURING THE PERIOD OF
- 17. ALL WORK PERFORM WITHIN THE PUBLIC RIGHTS OF WAY SHALL COMPLY WITH THE ADOPTED STANDARDS AND POLICIES OF THE PUBLIC WORKS DEPARTMENT, A STREET WORK PERMIT IS REQUIRED PRIOR TO COM-MENCEMENT OF WORK, FOR INFORMATION REGARDING STANDARDS AND STREET WORK PERMITS, CONTACT THE PUBLIC WORKS DEPARTMENT,
- 18. DRIVEWAY APPROACH WIDTH SHALL BE 12' MINIMUM AND 35' MAXIMUM CONSTRUCTION AND CLEARANCE REQUIREMENTS SHALL COMPLY WITH PUBLIC WORKS STANDARD DRAWINGS # P-4

ENGINEERING SERVICES DIVISTION (GARY WITZEL, 621-868)

APPROVED ACCESS TO THE SITE UNLESS OTHERWISE DETERMINED BY GUTTER AND SIDEWALK TO MATCH EXISTING ADJACENT IMPROVEMENTS.

- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, VERIFYING, AND APPROVAL BY THE ARCHITECT SHALL NOT CONSTITUTE RELIEF OF THE
- AND ESTABLISHED LOCATIONS OF BURIED UTILITY LINES, ANY UTILITIES

- INCHES ABOVE THE CURB OF THE STREET AND/OR 12" ABOVE THE FLOW LINE OF THE STREET.
- IO. ALL ASPHALT PAVING SHALL HAVE A MINIMUM THICKNESS OF 2 INCHES THAT HAS A COMPRESSION RATE OF 90% WITHIN THE TOP 6 INCHES.
- 2-DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN PUBLIC STREET OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA).
- 13. ANY HVAC EQUIPMENT LOCATED ON SITE SHALL NOT BE LOCATED
- OTHER FOREIGN MATTER SHALL BE REMOVED TO A MINIMUM DEPTH OF
- CONTRACTOR SHALL POST THE ADDRESS NUMBER AND STREET NAME ON THE JOB SITE. ADDRESS SIGN SHALL BE VISIBLE FROM THE STREET AND
- REMOVE ALL EXISTING DRIVEWAY APPROACHES WHICH DO NOT PROVIDE THE CITY ENGINEER, SUCH AREAS SHALL BE RECONSTRUCTED WITH CURB,

46488 CREEKSIDE DR.

PROJECT DATA

SITE DESCRIPTION: ADDRESS SQUAW VALLEY CA 93675 190-460-38 A.P.N. NUMBER

LOT 181 OF TRACT 2279

BUILDING: GROUP OCCUPANCY CONSTRUCTION TYPE

BUILDING AREA:

EXISTING MOBILEHOUSE:

FLOOR AREA <u>1,316</u> 5Q, FT. **REMODEL HOUSE:** FIRST FLOOR AREA <u>_796</u> SQ. FT. SECOND FLOOR AREA 603 SQ. FT.

EXIST. STORAGE _356_ **5Q.** FT.

1,399 SQ. FT.

TOTAL AREA <u>1,755</u> SQ. FT.

TOTAL EX. MOBILEHOME/ 3,071 SQ. FT. BARN HOUSE AREAS

SITE COVERAGE:

TOTAL AREA

SITE AREA ALLOWABLE COVERAGE ACTUAL COVERAGE

DRAWING ORGANIZATION

THE ORGANIZATION OF THESE CONSTRUCTION DOCUMENTS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG SUB-CONTRACTORS OR TRADES, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE SUCH ASSIGNMENTS.

THE CONSTRUCTION DOCUMENTS COVER MOST ANTICIPATED CONSTRUCTION CONDITIONS DEEMED TO BE UNUSUAL. IF CONDITIONS ARISE, OR ARE DISCOVERED DURING THE COURSE OF CONSTRUCTION, THAT ARE NOT ADDRESSED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL SUBMIT A SKETCH OF THE WORK TO BE PERFORMED TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING.

COPIES OF THE CONSTRUCTION DOCUMENTS, SPECIFICATIONS, STRUCTURAL CALCULATIONS, ENERGY ANALYSIS AND OTHER ANCILLARY ITEMS ARE SUPPLIED TO THE OWNER, CONTRACTOR AND SUB-CONTRACTORS FOR CONSTRUCTION OF THIS PROJECT ONLY, (SEE PROJECT INFORMATION SHEET NO. C). THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN WHOLE OR IN PART IN ANY FORM OR MANNER (INCLUDING ELECTRONIC STORAGE), NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT.

CODES, RULES AND REGULATIONS

ALL WORK AND MATERIAL ON THIS PROJECT SHALL BE IN CONFORMANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE CITY BUILDING OFFICE. NOTHING IN THESE DOCUMENTS IS TO BE CONSTRUED AS TO PERMIT ANY WORK OR PRODUCT NOT IN ACCORDANCE WITH THESE

2019 CALIFORNIA BUILDING CODE

2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ENERGY COMMISION

2019 CALIFORNIA FIRE CODE

PROJECT NOTES

- SPECIFICALLY OMITTED FROM THE CONSTRUCTION DOCUMENTS ARE ALL ARCHITECTURAL SERVICES RELATING TO THE CONTRACTORS OR SUB-CONTRACTORS SAFETY PRECAUTIONS OR TO THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED FOR THE PERFORMANCE OF THE WORK.
- 2. IT IS THE INTENTION OF THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS (IF SO PROVIDED) TO COVER ALL AREAS REQUIRED TO FORM COMPLETE AND OPERATIVE SYSTEMS, THE CONTRACTOR AND/ OR SUB-CONTRACTORS ARE REQUIRED TO PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND MISCELLANEOUS SERVICES, ETC. REQUIRED TO ACCOMPLISH THIS TASK. PART OF THE INSTALLATION IS TO BE INCLUDED, WHETHER OR NOT SPECIFICALLY SHOWN OR NOTED. THE ARCHITECT WILL PROVIDE ANY INTERPRETATIONS NECESSARY FOR THE GENERAL CONTRACTOR TO PROPERLY ESTIMATE
- THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.

PROJECT INFORMATION

PROJECT FOR:

MRS. JENNIFER UMLAND 46488 CREEKSIDE DR. **SQUAW VALLY, CA 93675** TELEPHONE: (559) 338-0139

PROJECT CONTRACTOR: OWNER/BUILDER

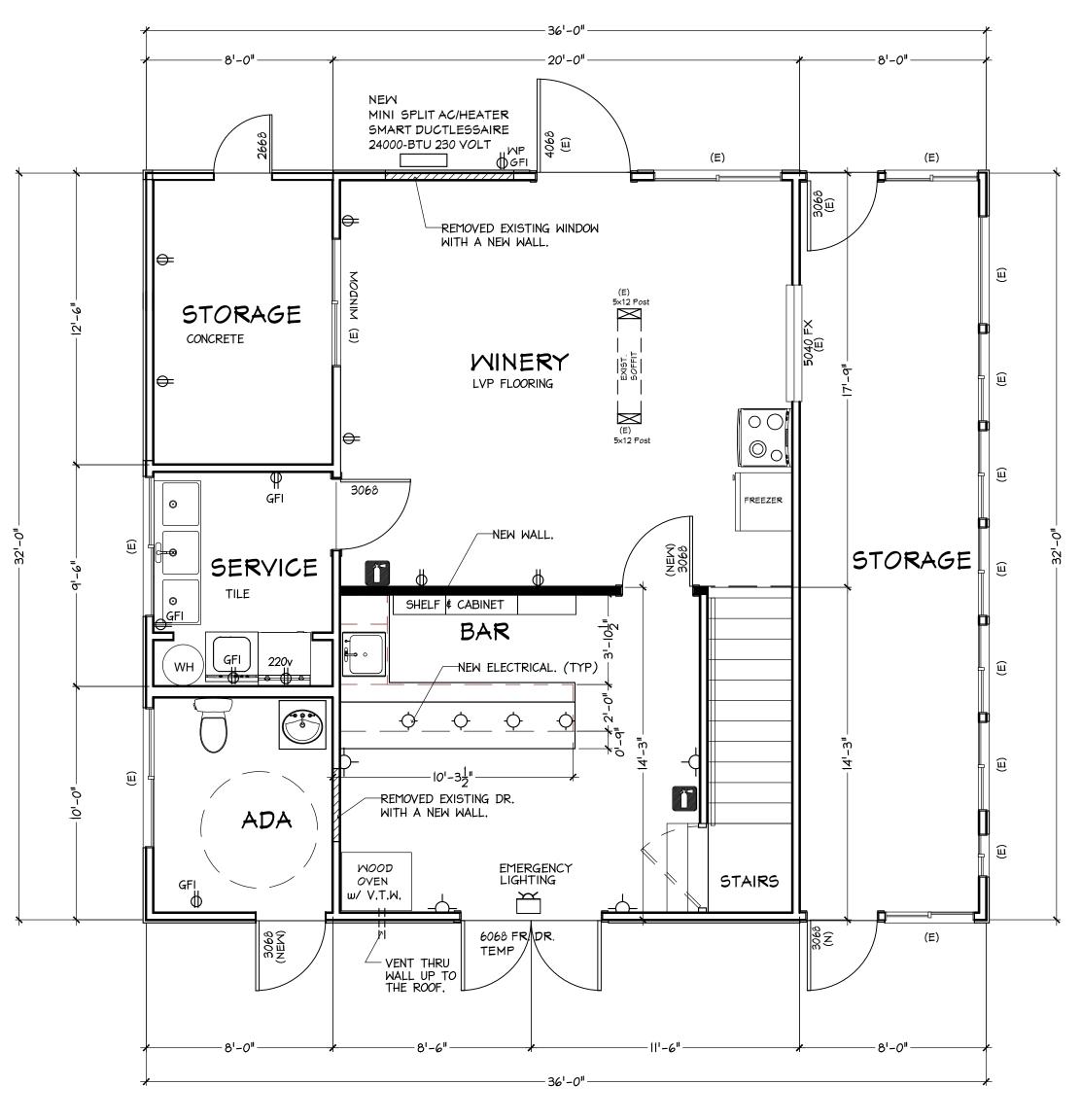
SHEET SCHEDULE

- 1 SITE PLAN
- 2 PROPOSED FLOOR PLAN / DEMOLITION PLAN
- 3 PROPOSED EXTERIOR ELEVATIONS
- 4 PROPOSED STRUCTURAL PLAN AND DETAILS
- 5 EXISTING FLOOR PLAN 6 - EXISTING ELECTRICAL PLAN
- 7 EXISTING EXTERIOR ELEVATIONS
- 8 EXISTING STRUCTURAL PLAN

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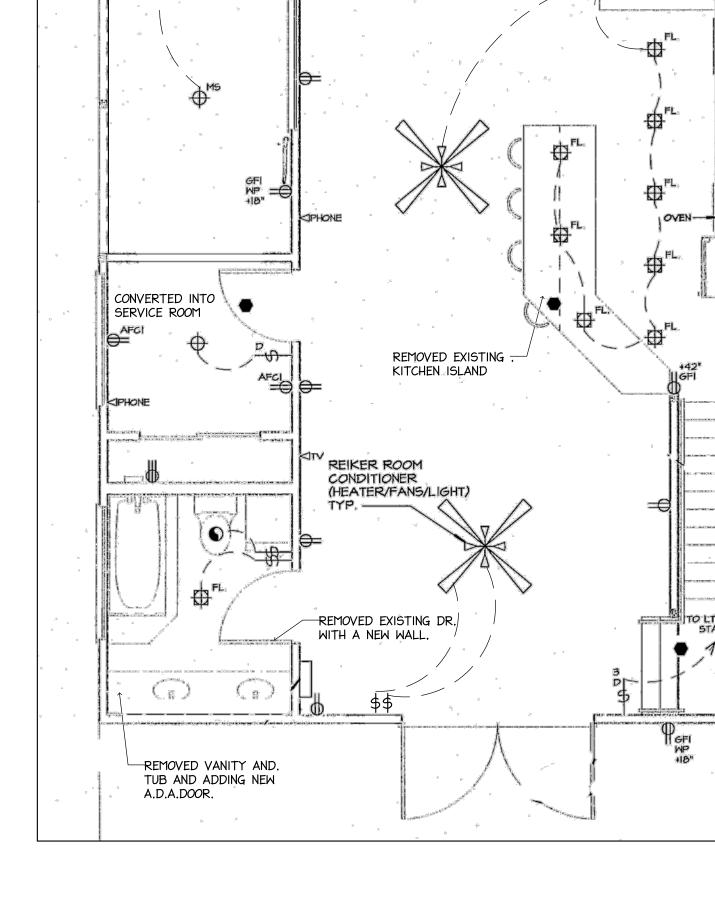
REVISIONS

JOB NO.



Proposed First Floor Plan

SCALE : 1/4" = 1'-0"



REMOVED EXISTING .

Demolition Floor Plan



LEGEND:

(E) EXISTING

NEW WALL.

REMOVED AND REPLACED

_ _ EXISTING WALL TO BE REMOVED

= = = EXISTING WINDOW, DOOR TO BE REMOVED.

WITH A NEW WALL.

2A:10B:C PORTABLE FIRE EXTINGUISHER.

_____ EXISTING WALL TO REMAIN

(N) NEW

Interior Presentation

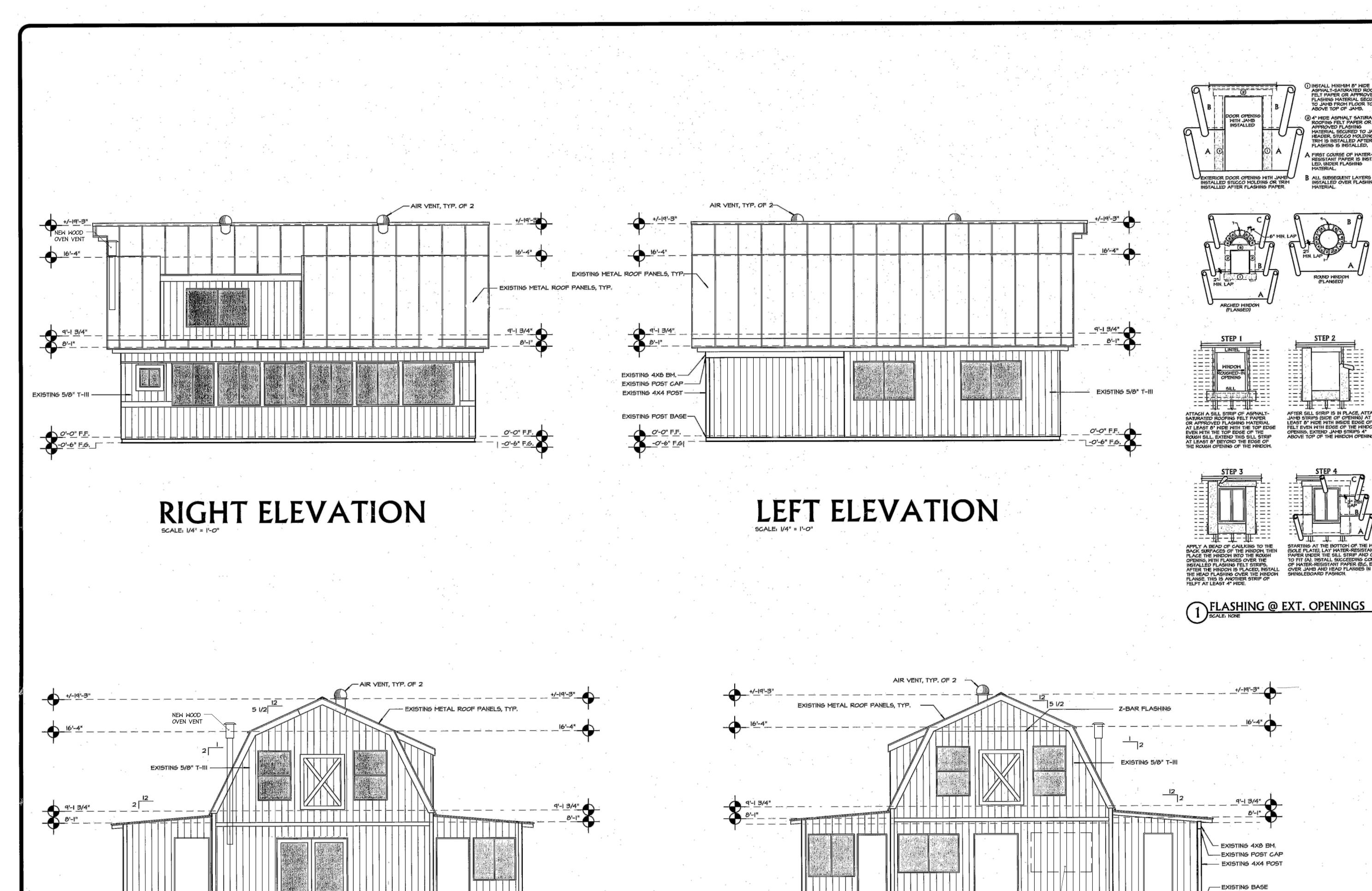
Remodel For: Jennifer Umland

REVISIONS

DRAWN BY
1.U.
DATE

JOB NO.

2



NEW FRENCH DOOR -

FRONT ELEVATION
SEALE: 1/41 = 1-81

REAR ELEVATION

Remodel For: Jennifer Umland

REVISIONS

DRAWN BY

J.U.

DATE

JOB NO.

SHEET

3

FASTENING SCHEDULE TABLE R602.3(1)

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER a, b, c	SPACING OF FASTENERS
	ROOF	•	•
1	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL	3-8d (2½" × 0.113")	
2	CEILING JOISTS TO PLATE, TOE NAIL	3-8d (2½" × 0.113")	
3	CEILING JOISTS NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL	3-1 <i>0</i> d	
4	COLLAR TIE RAFTER, FACE NAIL OR I I/4" x 20 GAGE RIDGE STRAP	3-10d (3" × 0.128")	
5	RAFTER TO PLATE, TOE NAIL	2-16d (3½" × 0.135")	
6	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL	4-16d (3½" × 0.135") 3-16d (3½" × 0.135")	
	MALL	•	•
7	BUILT-UP CORNER STUDS	10d (3" × 0.128")	24" O.C.
8	BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER	16d(3½" × 0.135")	16" O.C. ALONG EA. EDG
q	CONTINUED HEADER, TWO PIECES	16d(3½" × 0.135")	16" O.C. ALONG EA. EDG
Ю	CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d(2½" × 0.113")	
П	DOUBLE STUDS, FACE NAIL	10d(3" × 0.128")	24" O.C.
12	DOUBLE TOP PLATES, FACE NAIL	10d(3" × 0.128")	24" O.C.
13	DOUBLE TOP PLATES, MINIMUM 48-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA	8d(3½" × 0.135")	
14	SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d(3½" × 0.135")	16" O.C.
15	SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS 16d(3½" ×		16" O.C.
16	STUD TO SOLE PLATE, TOE NAIL	3-8d(2½" × 0.113") _{OR} 2-16d(3½" × 0.135")	
17	TOP SOLE PLATE TO STUD, END NAIL	2-16d(3½" × 0.135")	
18	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-10d(3" × 0.128")	
19	I" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d(2½" × 0.113") 2 STAPLES ¾'	
20	I" \times 6" SHEATHING TO EACH BEARING, FACE NAIL	2-8d(2½" × 0.113") 2 STAPLES ¾"	
.2I	I" \times 8" SHEATHING TO EACH BEARING, FACE NAIL	2-8d(2½" × 0.113") 3 STAPLES I ¾"	
22	WIDER THAN I "X8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d(2½" × 0.113") 4 STAPLES I ³ 4"	
	FLOOF	₹	
.23	JOIST TO SILL OR GIRDER, TOE NAIL	3-8d(2½" × 0.113")	
.24	I" \times 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d(2½" × 0.113") 2 STAPLES I ¾"	
25	2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d(3½" × 0.135")	
26	RIM JOIST TO TOP PLATE, TOE NAIL (ROOF APPLICATIONS ALSO)	8d(2½" × 0.113")	6" O.C.
27	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2-16d(3½" × 0.135")	AT EACH BEARING
28	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d(3½" × 0.135")	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED. TWO NAILS AT ENDS AN AT EACH SPLICE.
$-\!\!+$			AT LAUR SPLICE.

			SPACING	FASTENERS
ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER a, b, c	EDGES (inches)	INTERMEDIATE SUPPORTS (inches)
30	3%" - ½"	6d COMMON (2" x 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 ½" x 0.131") NAIL (ROOF)	6	12 ^g
31	5/6" - ½"	6d COMMON (2" x 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 ½" x 0.131") NAIL (ROOF) ^f	6	12 ^g
32	⁹ / ₉₂ " - "	8d COMMON (2 ½" × 0.131") NAIL (R00F)	6	12 ^g
33	1 1/2" - 1 1/4"	IOd COMMON (3" \times 0.148") NAIL OR 8d (2 $/\!\!\!/_2$ " \times 0.131") DEFORMED NAIL	6	12
		OTHER WALL SHEATHING h		
34	½" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	½" GALVANIZED ROOFING NAIL, ¾" CROMN OR I" CROMN STAPLE 16 ga., ¼"	3	6
35	²⁵ / ₂ " STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	194" GALVANIZED ROOFING NAIL, 76" CROWN OR 1" CROWN STAPLE 16 ga.,1½"	Э	6
36	½" GYPSUM SHEATHING ^d	½" GALVANIZED ROOFING NAIL, STAPLE GALVANIZED ½" LONG, ½" SCREMS, TYPE M OR S.	7	7
37	%" GYPSUM SHEATHING ^d	$\frac{3}{4}$ " GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, $\frac{5}{6}$ " LONG, $\frac{5}{6}$ " SCREMS, TYPE W OR	7	7
		OTHER WALL SHEATHING h		
38	¾" AND LESS	6d DEFORMED (2" \times 0.120") NAIL OR 8d COMMON (2½" \times 0.131") NAIL	6	12
39	7⁄8" - 1'	8d COMMON (2½" \times 0.131") NAIL or 8d DEFORMED (2½" \times 0.120") NAIL	6	12
40	V8" - V4"	10d COMMON (3" x 0.148") NAIL or 8d DEFORMED (2½" x 0.120") NAIL	6	12

3-16d(3½" × 0.135") AT EA. JOIST OR RAFTER

- FOR 51: I inch = 25.4 mm, I foot = 304.8 mm, I mile per hour = 0.447 m/s; I ksi = 6.895 MPa.

 a. All nails are smooth-common, bor or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections—shall have minimum average bending yield strengths as shown:

 80 ksi for shank diameters of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.

 b. Staples are 16 gage wire and have a minimum 1/6 on diameter crown width.

 c. Nails shall be spaced at not more than 6 inches on center at all supports were spans are 48 inches d. or greater.
- d. or greater.
 e. Four foot by 8 foot or 4 foot by 9 foot panels shall be applied vertically.
 f. Spacing of fasteners not included in this table shall be based on Table R602.3(2).

29 LEDGER STRIP SUPPORTING JOISTS OR RAFTERS

- f. Spacing of fasteners not included in this table shall be based on Table R602.3(2).

 For regions having basic wind speed of 110 mph or greater, 8d deformed (2½" x 0.120) nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch 9. distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches or center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be h. spaced 6 inches on center for minimum 48 inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.

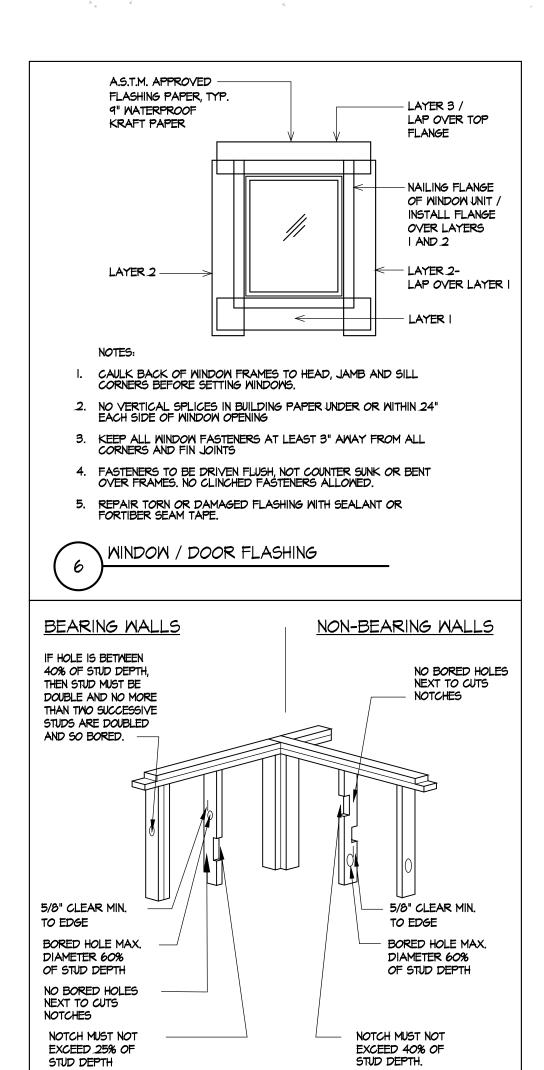
 1. Gypsum sheathing shall conform to ASTM 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.

 Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

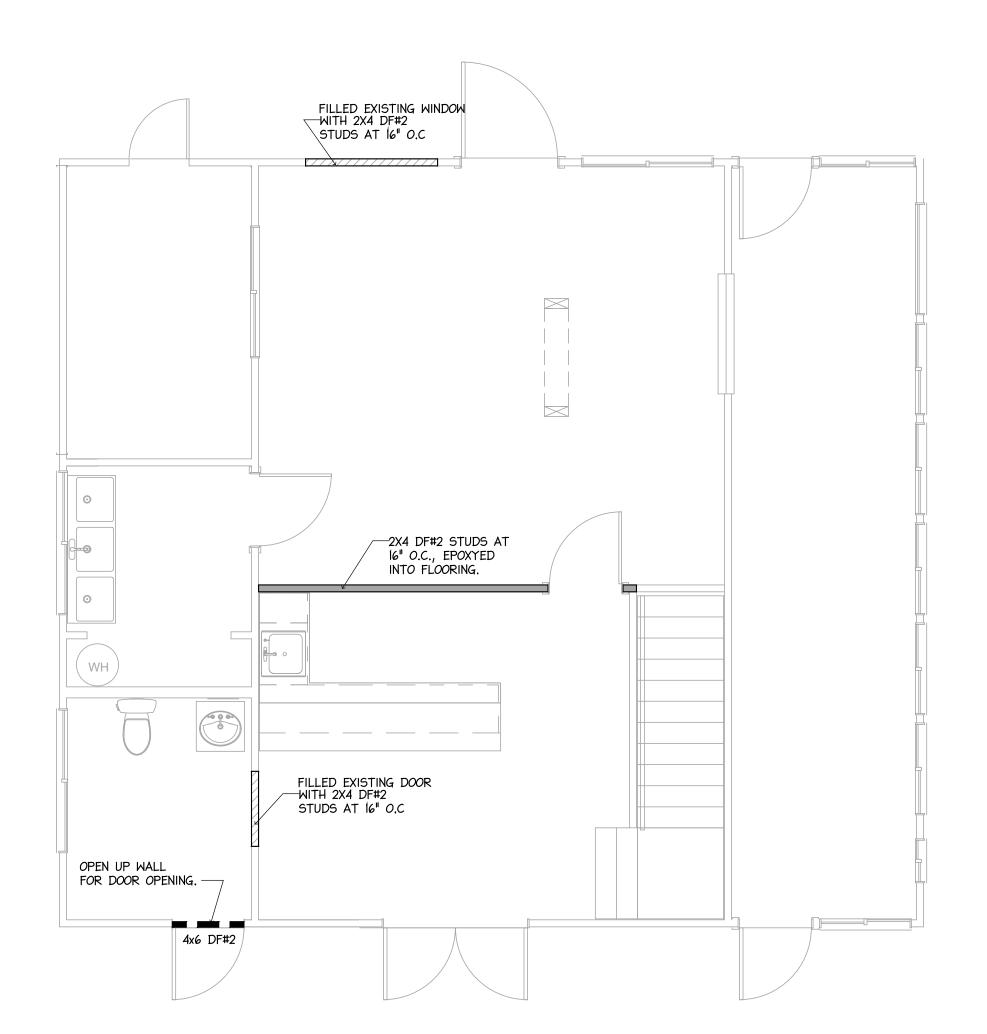
TABLE R602.3(2)	
LTERNATE ATTACHMENTS	S

		SPACING O	F FASTENERS
NOMINAL MATERIAL THICKNESS (Inches)	DESCRIPTION a, b OF FASTENER AND LENGTH (Inches)	EDGES (inches)	INTERMEDIATE SUPPORTS (inches)
IOOD STRUCTURAL PANELS SUBFLOOR, ROOF A	AND WALL SHEATHING TO FRAMING PARTICLEBOARD WAL	L SHEATHING TO	O FRAMING ^f
	STAPLE 15qa 13/4	4	8
UP TO ½"	0.097 - 0.099 NAIL 21/4	3	6
· -	STAPLE 15 ga. 134	3	6
	O.II3 NAIL 2	3	6
1%2" AND %"	STAPLE 15 AND 16 ga. 2	4	8
	0.097 - 0.099 NAIL 21/4"	4	8
	STAPLE 14 ga. 2	4	8
²³ / ₃₂ " AND ³ / ₄ "	STAPLE 15 qa. 1 ³ / ₄	3	6
	0.097 - 0.099 NAIL 21/4	4	8
	STAPLE 16 ga. 2	4	8
	STAPLE 14 ga. 21/41	4	8
I	0.113 NAIL 21/4"	3	6
	STAPLE 15 ga. 21/4	4	8
	0.097 - 0.099 NAIL 21/2"	4	8
	FLOOR LINDER AYMENT, PLYWOOD-HARDEOARD-PA	RTICI FROAR	o f
	FLOOR UNDERLAYMENT; PLYWOOD-HARDBOARD-PA PLYWOOD	RTICLEBOARD	> f
14" AND 5%"	PLYWOOD ¼" RING OR SCREM SHANK NAIL - MINIMUM 2 ½" ga. (0.099") SHANK DIAMETER	RTICLEBOARD 3	6
	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER STAPLE 8 ga. ½", %e" CROWN WIDTH	1	1
	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER STAPLE 8 ga. ½", %=" CROWN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER	3	6
½" AND ¾" ½2", ¾", ½2", AND ½"	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. ¾", ¾" CROWN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER ½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER	3 2	6
½" AND ¾"	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" qa. (0.099") SHANK DIAMETER STAPLE 18 ga. ½", ¾e" CRONN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER 1½" RING OR SCREW SHANK NAIL - MINIMUM	3 2 6	6 5 8°
½" AND ½" ½2", ¾", 1½2", AND ½"	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. ¾", ¾" CROWN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER ½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER	3 2 6	6 5 8 ^e 8
½" AND ½" ½2", ¾", ¹⁵ ½2", AND ½"	PLYWOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER STAPLE 18 ga. ¾", ¾" CRONN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER ½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER 5TAPLE 18 ga. 1 ½"	3 2 6	6 5 8 ^e 8
½" AND ¾" ½2", ¾", ½2", AND ½"	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER STAPLE 8 ga. ½", ¾e" CRONN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER J½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER STAPLE 8 ga. ½' HARDBOARD	3 2 6 6	6 5 5 8° 8
½" AND %" ½2", %", ½2", AND ½" 1932", 56", 2332", AND 34"	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. ½", %«" CROWN WIDTH 1¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER 1½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. 1½' HARDBOARD	3 2 6 6	6 5 8 8 8
½" AND %" "½2", %", ¹⁵ ½2", AND ½" 19 ₃₂ ", 5%", ²³ ½2", AND ¾"	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. ¾", ¾" CROWN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER ½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. 1½' HARDBOARD 1 ½" LONG RING-GROOVED UNDERLAYMENT 4d CEMENT-COMMED SINKER NAIL	3 2 6 6 6	6 5 8 8 8 8
1/4" AND %6" 1/92", 3/6", 15/92", AND 1/2" 1/92", 5/6", 23/92", AND 3/4" 0.200	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. ¾", ¾" CROWN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER ½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. 1½' HARDBOARD 1 ½" LONG RING-GROOVED UNDERLAYMENT 4d CEMENT-COMBO SINKER NAIL STAPLE 18 ga. ½", LONG (PLASTIC)	3 2 6 6 6	6 5 8 8 8
½" AND %" "½2", %", ¹⁵ ½2", AND ½" 19 ₃₂ ", 5%", ²³ ½2", AND ¾"	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER STAPLE 18 ga. %", %" CROWN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER ½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER 5TAPLE 18 ga. 1½"	3 2 6 6 6 6	6 5 8° 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8 8
1/32", 3%", 15/32", AND 1/2" 1/32", 5%", 23/32", AND 3/4" 0.200	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. ½", %" CROWN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER 1½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER STAPLE 18 ga. 1 ½'	3 2 6 6 6 6 3	6 5 8 8 8 6 6 6 6
1/4" AND %6" 1/92", 3/6", 15/92", AND 1/2" 1/92", 5/6", 23/92", AND 3/4" 0.200	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" qa. (O.099") SHANK DIAMETER STAPLE 18 ga. ¾", ¾" CROWN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER ½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (O.099") SHANK DIAMETER 5TAPLE 18 ga. 1½'	3 2 6 6 6 6 3	6 5 8 8 8
1/32", 3%", 15/32", AND 1/2" 1/32", 5%", 23/32", AND 3/4" 0.200	PLYWOOD ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER STAPLE 18 ga. %", %" CROWN WIDTH ¼" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER ½" RING OR SCREW SHANK NAIL - MINIMUM 12 ½" ga. (0.099") SHANK DIAMETER 5TAPLE 18 ga. 1½"	3 2 6 6 6 6 3 3 3 6	6 5 8 8 8 8 6 6 6 6 6 10 10

- FOR Si: | Inch = 25.4 mm. a. Nail is general description and may be T-head, modified round head or round head.
- a. Nall is general description and may be 1-flead, inclining a round need or round need.
 b. Staples shall have a minimum crown width of % inch on diameter except as noted.
 c. Nalls or staples shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater. Nalls or Staples shall be spaced at not more than 12 inches on center at d. intermediate supports for floors.
 e. Fastener shall be placed in a grid pattern throughout the body of the panel.
 f. For 5 ply panels, intermediate nalls shall be spaced not more than 12 inches on center each way. Hardboard underlayment shall conform to ANSI/AHA Al35.4.



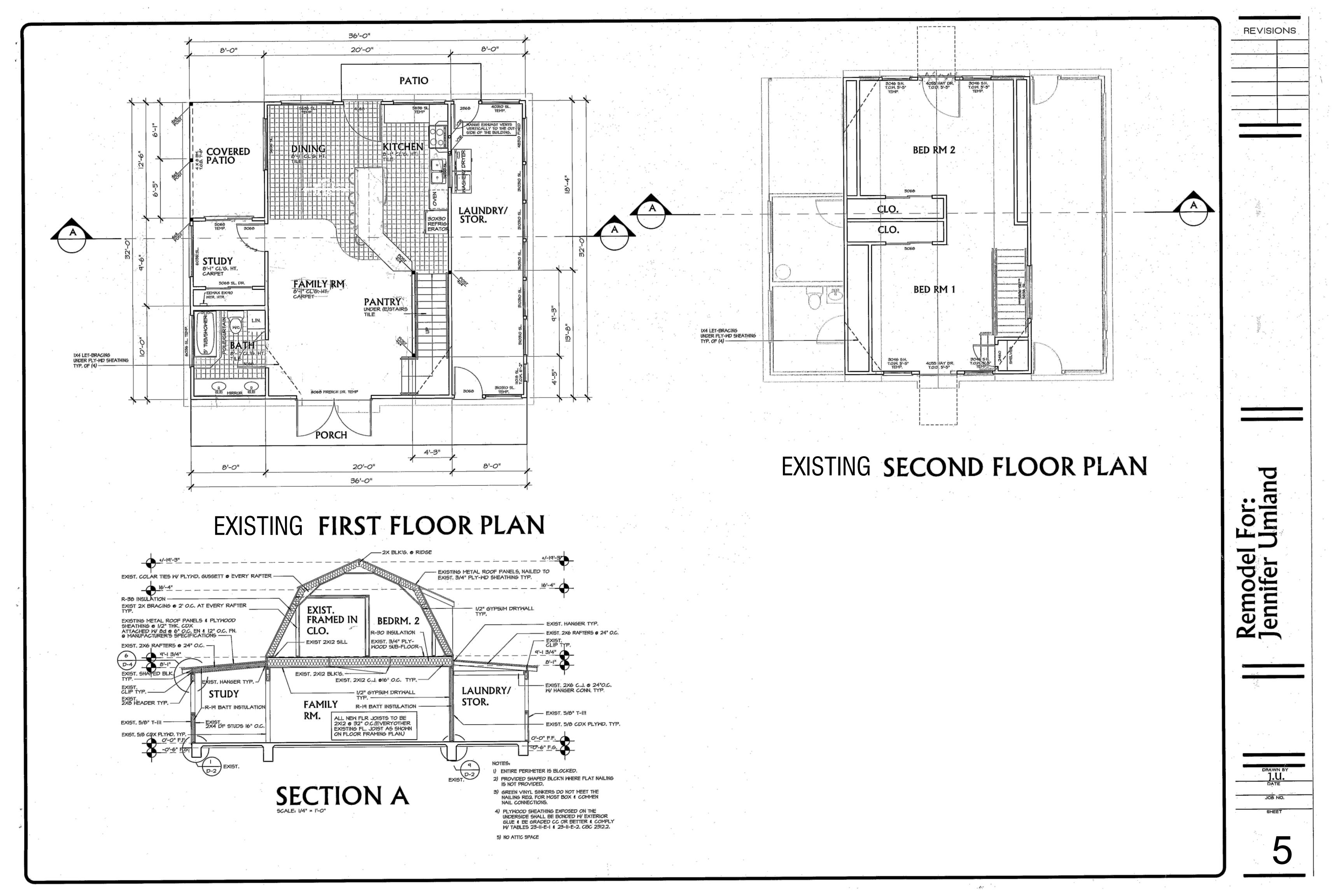
STUD BORING AND STUD NOTCHING

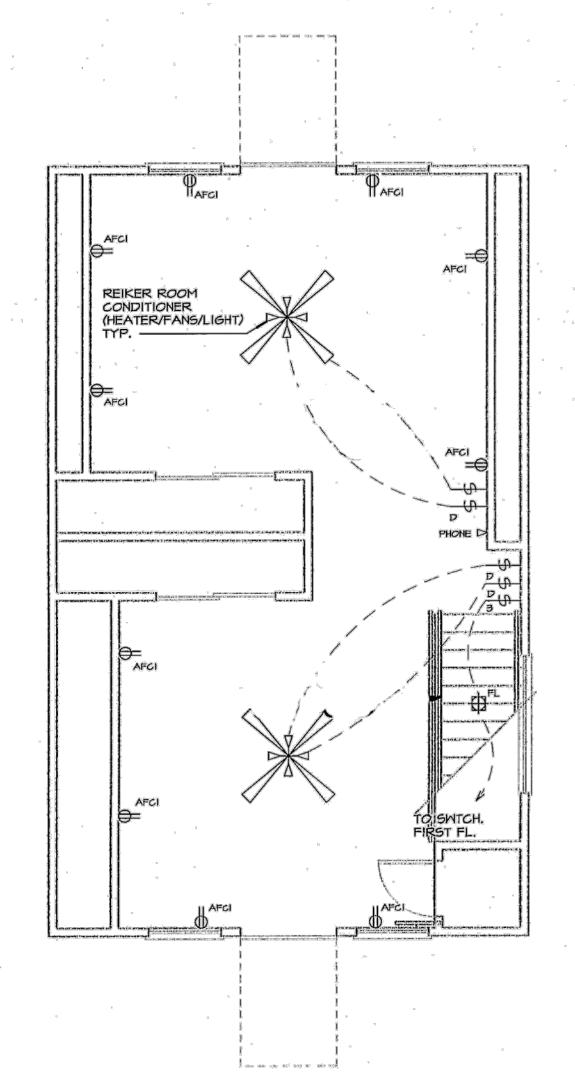


Proposed Framing Plan

SCALE : 1/4" = 1'-0"

REVISIONS





SECOND FLOOR EXISTING ELECTRICAL PLAN SCALE: 1/4" = 11-0"

ELECTRICAL CALCULATIONS LIGHTING LOAD AT <u>1,399</u> 50,FT, x 3 WATTS <u>4,197</u> V ADDITIONAL SMALL APPLIANCE CIRCUITS © 1500 WATTS x 2..._ CLOTHES DRYER(S) x 5000 VA ___CENTRAL VACUM(5) x 800 VA_ __COMPACTOR(5) x 350 VA_ _ I _ DISHWASHER(S) x 1200 VA_ .<u>1,200</u> VA 600__VA _1__DISPOSAL(5) × 600 VA_ _food center(s) x 350 VA_ _freezer(s) x 350 VA _ I MICROWAVE(S) x 350 VA_ ______VA _I__RANGE(5) x 10,500 VA__ __<u>|0500</u>_VA _1_ MASHER(5) x 1500 VA __ __<u>1500__</u>_VA __I__WATER HEATER(S) x 78 VA _WATER SOFTENER x 350 VA_ NAME PLATE TOTAL OTHER LOADS_ FIRST 20 KVA OF ALL OTHER LOADS . 100% ____ ____<u>20,000</u> VA REMAINDER OF OTHER LOADS 4,925 0 40% _______ 1,970___ VA TOTAL VOLT-VAMPERES_____ TOTAL VOLT-AMPERES 46,895 VA / 230 VOLT5 ______ 203.89 AMPS LARGEST OF THE FOLLOWING SELECTION 100% OF THE NAMEPLATE RATING(S) OF THE AIR CONDITIONING AND COOLING, INCLUDING HEAT PUMP COMPRESSORS 7 KVA - 7 VOLTS = 35 AMPS x 100% = 35 AMPS 2. 65% OF THE NAMEPLATE RATING(5) OF THE CENTRAL ELECTRICAL SPACE HEATING INCLUDING INTEGRAL SUPPLEMENTAL HEATING IN HEAT PUMPS KVA - 7 VOLTS = 7 AMP5 x 65% = 7 9. 65% OF THE NAMEPLATE RATING(S) OF THE CENTRAL ELECTRICAL SPACE HEATING IF LESS THAN FOUR SEPARATELY CONTROLED UNITS (2 UNITS) 7 KYA - 7 VOLTS = 7 AMPS x 65% = 7 40% OF THE NAMEPLATE RATING(S) OF THE CENTRAL ELECTRICAL SPACE HEATING OF FOUR OR MORE SEPARATELY CONTROLLED

UNITS	<va -="" 7="" th="" v<=""><th>OLTS = 7</th><th>AMP5 x 40</th><th>% =<u> </u></th><th>AMPS</th></va>	OLTS = 7	AMP5 x 40	% = <u> </u>	AMPS
Í		TOTAL S	ERVICE	238	AMPS
NOTE: KVA =	LECTRODE COND KM (OR) VA - M AMP SERVICE		BEAR COPPER	n	
T	a b	G	0	g	
SERVICE EQUIF	MENT	9 9	INCOMING NUETI FROM THE UTIL	ITY COMPANY	-
NEUTRAL		5 Ø Ø	METALLIC C.H		
	OH OIROH		-GROUNDING ELE CONDUCTOR AS N.E.C. 250-94		
EQUIPMENT G CONDUCTOR CIRCUIT		0000	APPROVED GR AT PERMANENT IBLE LOCATION	LY ACCESS-	
APPROVED GR AT PERMANENT IBLE LOCATION	TLY ACCESS-/	\-	-GROUND WIRE (SIZE)	SEE CHART FO	7R °
OPTIONAL TO U GROUND ROD S IF CONCRETE F ATION IS NOT A ABLE, FOR WO FLOOR TYPE C OR FOR REMOI	I/B"X8" CUND- NVAIL- DD ONSTRUCTION,		#4 REBAR ENC CRETE WIN 3" OF THE FOUND!	OF THE BOTTO	

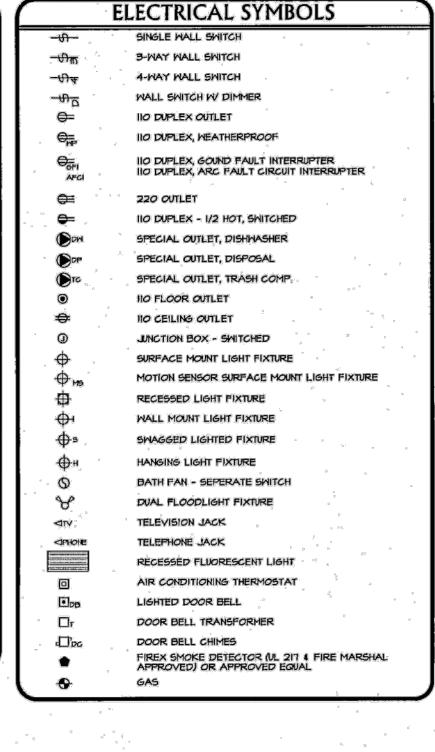
1 UFER GROUND

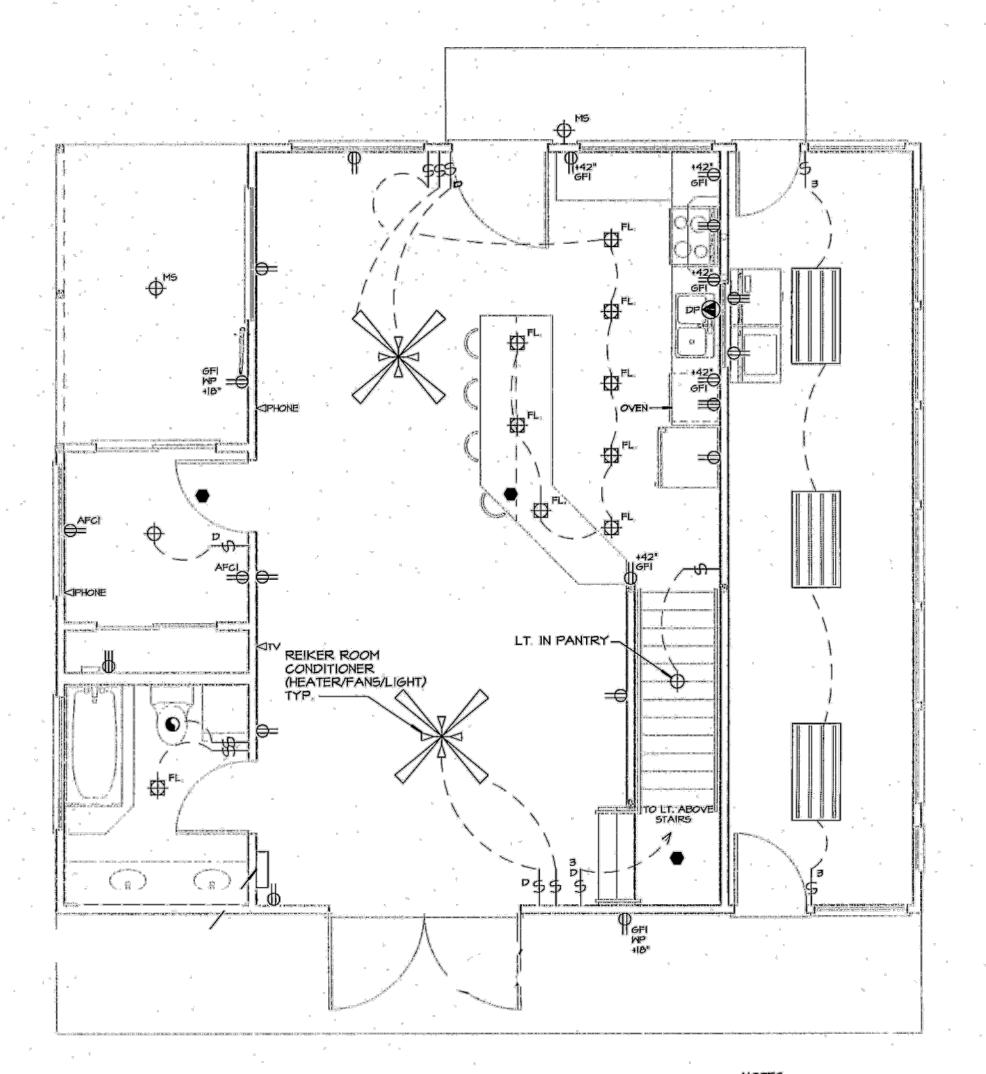
ELECTRICAL WIRE SIZE				
	CONDUIT SIZE	FEEDER SIZE	GROUND WIRE SIZE	
100 AMP	I 1/4*	(3) #2	(I) #4 GROUND	
200 AMP	2"	(3) *3/0	(1) •2 GROUND	
400 AMP	3"	(3) #500 MCM	(I) I/O GROUND	

NOTES:

I) RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE

- 2) RECEPTACLE OUTLETS SHALL BE LOCATED ABOVE, BUT NO MORE THAN IB IN ABOVE THE COUNTERTOP. (SECTION 210-
- 3) RECEPTACLE OUTLETS SHALL BE PERMITTED TO BE MOUNTED NOT MORE THAN 12 IN. BELOW THE COUNTERTOP PROVIDED THE COUNTERTOP DOES NOT EXTEND MORE THAN 6 IN. BEYOND ITS SUPPORT BASE. (SECTION 210-52(c)(5)EXCEPTION
- 4) ON ISLAND AND PENINGULAR COUNTERTOPS, RECEPTACLES MAY BE MOUNTED A MAXIMUM 12 IN, BELOW COUNTERTOP PROVIDED THERE ARE NO BACKSPLASHES OR DIVIDERS & NO MEANS MOUNT WITHIN 18 IN. ABOVE COUNTERTOP, SUCH AS AN OVERHEAD CABINET. (SECTION 210-52(c)(5)EXCEPTION B
- 5) PER CEC 210-12 ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IS REQUIRED FOR ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- ¢20-AMPERE FIXTURES (I.E. RECEPTACLES, LIGHTS, SMOKE ALARMS ALARMS, ETC....) INSTALLED IN DWELLING UNIT BEDROOMS.
- 6) UNLESS ALL ELECTRIC EQUIPMENT IS SHOWN AS BEING RATED 90 DEG. DO NOT USE THE 90 DEG. COLUMN OF TABLE 310-16.





FIRST FLOOR
EXISTING ELECTRICAL PLAN

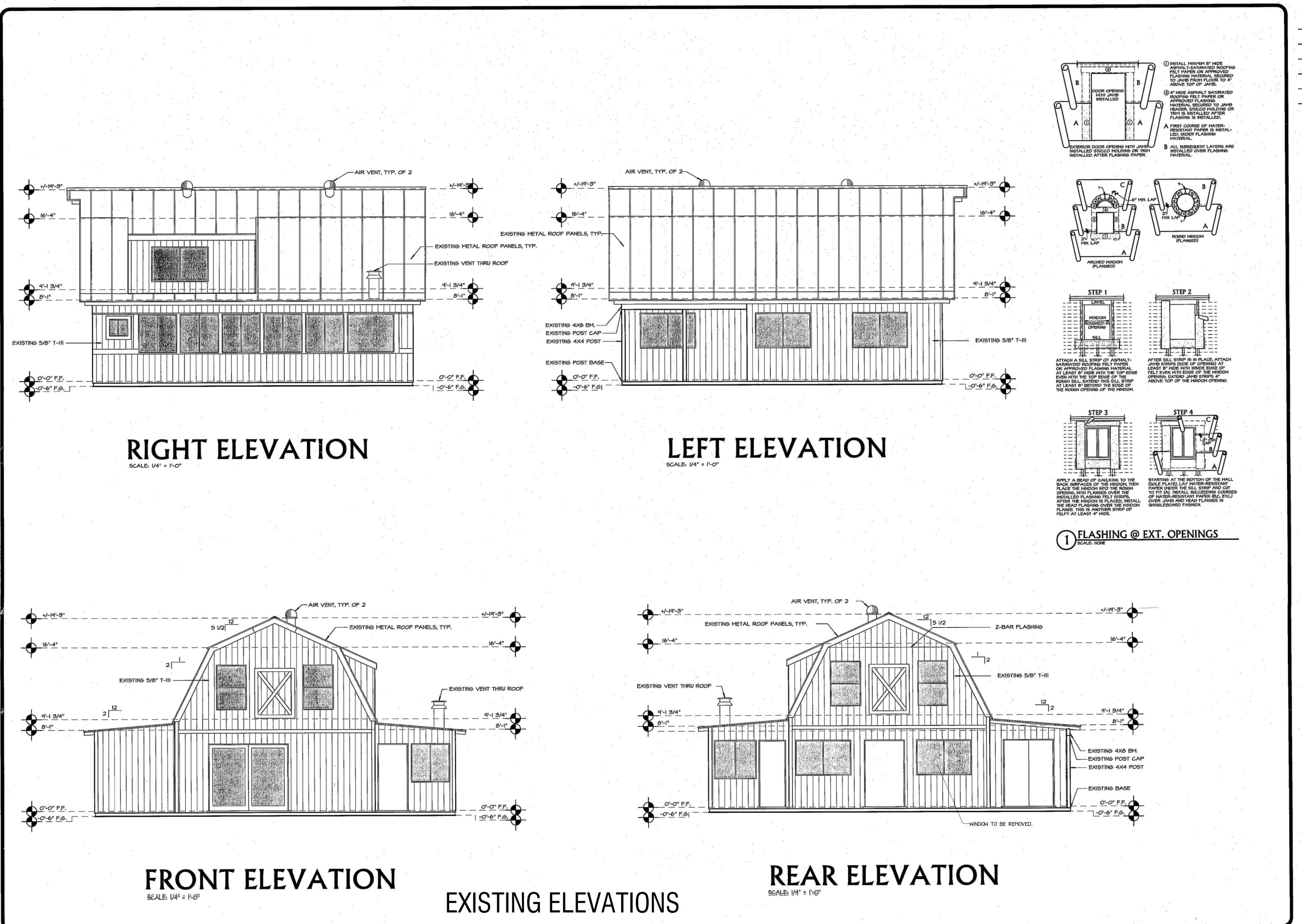
- NOTES:

 I) RECEPTAGLE OUTLETS SHALL NOT BE INSTALLED IN A FACE
- 2) RECEPTACLE OUTLETS SHALL BE LOCATED ABOVE, BUT NOT MORE THAN IB IN, ABOVE THE COUNTERTOP, (SECTION 210-52
- 3) RECEPTACLE OUTLETS SHALL BE PERMITTED TO BE MOUNTED NOT MORE THAN 12 IN, BELOW THE COUNTERTOP PROVIDED THE COUNTERTOP DOES NOT EXTEND MORE THAN 6 IN, BEYOND ITS SUPPORT BASE, (SECTION 210-52(c)(5)EXCEPTION,
- 4) ON ISLAND AND PENINSULAR COUNTERTOPS, RECEPTACLES MAY BE MOUNTED A MAXIMUM I2 IN. BELOW COUNTERTOP PROVIDED THERE ARE NO BACKSPLASHES OR DIVIDERS & NO MEANS MOUNT WITHIN IS IN. ABOVE COUNTERTOP, SUCH AS AN OVERHEAD CABINET. (SECTION 210-52(c)(5)EXCEPTION
- 5) PER CEC 210-12 ARC-FAULT CIRCUIT INTERRUPTER PROTECTION IS REQUIRED FOR ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- 420-AMPERE FIXTURES (I.E. RECEPTACLES, LIGHTS, SMOKE ALARMS ALARMS, ETC....) INSTALLED IN DWELLING UNIT BEDROOMS
- 6) UNLESS ALL ELECTRIC EQUIPMENT IS SHOWN AS BEING RATED 90 DEG. DO NOT USE THE 90 DEG. COLUMN OF TABLE 310-16.

Remodel For: Jennifer Umland

REVISIONS

6



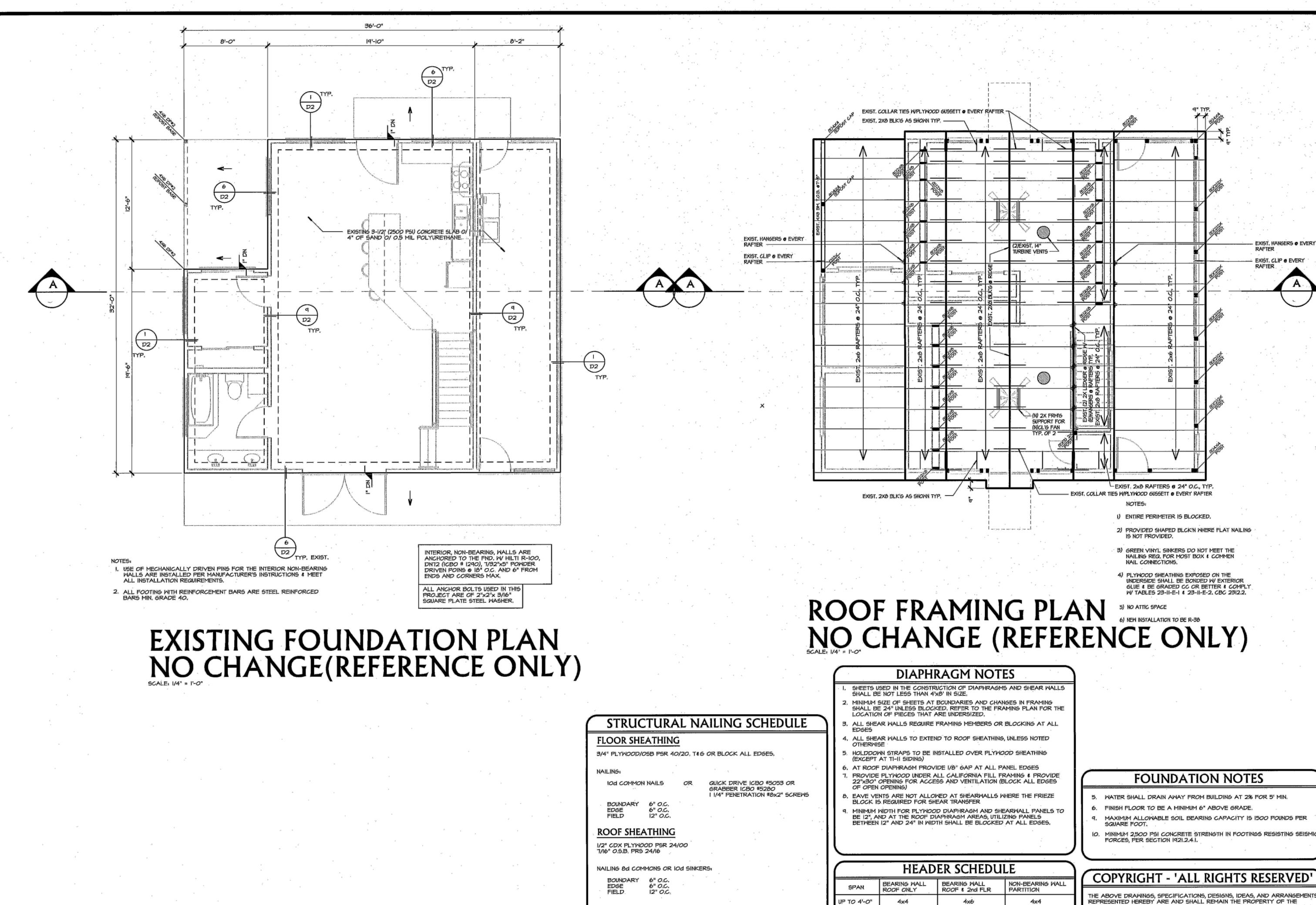
model For: nifer Umland

REVISIONS

DRAWN BY
J.U.
DATE

JOB NO.
SHEET

7



MAXIMUM SIZE OF OPENING IN HORIZONTAL DIAPHRAGM NOT TO EXCEED 24"

PLYMOOD ROOF DIAPHRAGM SHALL BE CONTINUOUS BELOW ALL CALIFORNIA

USE ICEX EXTERIOR GRADEI AT EXPOSED AREAS.

PROVIDE 1/6" GAP AT ALL PANEL EDGES.

ヷ

SPAN	BEARING WALL ROOF ONLY	BEARING WALL ROOF # 2nd FLR	NON-BEARING WALL PARTITION
UP TO 4'-0"	4x4	4×6	4x4
4'-1" - 6'-0" `	4x6	4x8	4x4
6'-1" - 8'-0"	4x8	4xIO	4x6
8 = " = 8 =8"	4×10	4×l2	4×B
10'-1" - 12'-0"	4xl2	4×14	4xIO

REPRESENTED HEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, UNDER COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS, DONABEDIAN AND HANNAH ARCHITECTURE. NO PART THEREOF SHALL BE RESTRICTIONS.











