



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## Planning Commission Staff Report Agenda Item No. 5 November 17, 2022

- SUBJECT:** Director Review and Approval Application No. 4706
- Amend previously approved Director Review and Approval No. 3070 to allow a prayer chapel for the existing monastery. The project is located on 60.91-acre parcel in the AE-160 (Exclusive Agriculture, 160-acre minimum parcel size) Zone District.
- LOCATION:** The subject parcel is located northeast of Dunlap Rd., approximately 2,804 feet south of State Route 180. Approximately 5 miles east of the unincorporated community of Squaw Valley (APN: 160-191-77) (38576 Dunlap Rd.) (Sup. Dist. 5).
- OWNER:** Abbess Markella
- APPLICANT:** Robin Goldbeck
- STAFF CONTACT:** Ricky Vang, Planner  
(559) 600-4224
- David Randall, Senior Planner  
(559) 600-4052
- RECOMMENDATION:**
- Determine that the required findings can be made and approve Director Review and Approval Application No. 4706 with recommended Conditions; and
  - Direct the Secretary to prepare a Resolution documenting the Commission's action.

**EXHIBITS:**

1. Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plans and Detail Drawings
6. Applicant's Operational Statement
7. Photographs

**SITE DEVELOPMENT AND OPERATIONAL INFORMATION:**

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
General Plan Designation	Agriculture	No change
Zoning	AE-160 (Exclusive Agriculture, 160-acre minimum parcel size)	No change
Parcel Size	60.91	No change
Project Site	Greek Monastery	No change
Structural Improvements	Existing Greek Monastery	Addition of Prayer Chapel to the Monastery
Nearest Residence	Approximately 900 feet southwest of subject parcel	No change
Surrounding Development	Agriculture with Single family residence	No change
Operational Features	Monastery	No change
Employees	N/A	N/A
Customers	N/A	N/A
Traffic Trips	Residential and Visitor traffic	No change
Lighting	None	Hooded lighting added to illuminate chapel

**EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N**

## **ENVIRONMENTAL ANALYSIS:**

A Mitigated Negative Declaration (MND) prepared for Initial Study Application No. 4261 was adopted for the project in accordance with the California Environmental Quality Act (CEQA) with approval of Director Review and Approval (DRA) Application No. 3070 on April 03, 1997.

According to Section 15162 (a) of the CEQA Guidelines, when an MND is adopted for a project, no subsequent MND shall be prepared for that project unless the lead agency determines, on the basis of substantial evidence in light of the whole record, one or more of the following: 1) substantial changes are proposed in the project which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously-identified significant effects; 2) substantial changes occur with respect to their circumstances under which the project is undertaken which will require major revisions of the previous MND due to the involvement of new significant environmental effects or a substantial increase in the severity of previously-identified significant effects; and 3) new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous MDN was adopted, shows either of the following: (A) the project will have one or more significant effects not discussed in the previous MND; or (B) mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.

Staff has reviewed the subject proposal and determined a subsequent/supplemental environmental document is not required.

## **PUBLIC NOTICE:**

Notices were sent to 13 property owners within 1320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

## **PROCEDURAL CONSIDERATIONS:**

A Director Review and Approval may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 872-C are made. As per Section 872.A, at the Directors discretion the proposed use is being referred directly to the Planning Commission for a public hearing and decision.

The decision of the Planning Commission on a referral of a Director Review and Approval Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission's action.

## **BACKGROUND INFORMATION:**

The Greek Orthodox Monastery is a sacred sanctuary utilized by a community of sisters and priest for prayer, worship, and work in service of God. Activities beyond prayer and worship consists of administration, agriculture, cooking and recreation activities.

Director Review and Approval No. 3070 was approved by the Planning Commission on May 6, 1997 allowing the construction of the Monastery. Director Review and Approval Application No.

4706 proposes to amend Director Review and Approval No. 3070 to allow construction of a prayer chapel to the existing Monastery.

The prayer chapel will only be used by residents living at the Monastery and will not be open to the public.

**Finding 1:** *That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood.*

	<b>Current Standard:</b>	<b>Proposed Operation:</b>	<b>Is Standard Met (y/n)</b>
Setbacks	AE-160  Front Yard: 35 feet Side Yard: 20 feet Rear Yard: 20 feet	No change	Y
Parking	For residential use: One parking space for every dwelling unit on the same lot with the main building which they serve and located to the rear of the required front yard, except for hillside lots.	No change	Y
Lot Coverage	No requirement	No change	N/A
Space Between Buildings	No requirement for residential or accessory structures, excepting those used to house animals which must be located a minimum of 40 feet from any human-occupied building	No change	Y
Wall Requirements	Wall requirement if pool is present	No change	Y

**Reviewing Agency/Department Comments Regarding Site Adequacy:**

No comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

**Finding 1 Analysis:**

A review of the site plan, floor plan and elevation demonstrate that all proposed structures meet minimum building setback and height requirements of the AE-160 Zone District. The site is adequate in size and shape to accommodate the proposed use.

**Recommended Conditions of Approval:**

None.

**Finding 1 Conclusion:**

Finding 1 can be made as the proposed use is adequate in size and shape to accommodate the proposed use.

***Finding 2:*** *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.*

		Existing Conditions	Proposed Operation
Private Road	Yes	Private road	N/A
Public Road Frontage	No	N/A	N/A
Direct Access to Public Road	Yes	Driveway access along N. Arthur Ave.	No change
Road ADT		N/A	N/A
Road Classification		Private	No change
Road Width		N/A	N/A
Road Surface		Paved Asphalt	No change
Traffic Trips		Residential traffic	No change
Traffic Impact Study (TIS) Prepared	No	No TIS required	None required
Road Improvements Required		N/A	None required

**Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:**

**Fresno County Road and Maintenance Operation Division:**

The subject parcel does not front or effect any County maintained roads.

No other comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

**Finding 2 Analysis:**

Ingress and Egress is provided to and from the subject parcel by Dunlap Road through the adjacent parcels. Fresno County Road and Maintenance Operation reviewed this project and determined that the subject parcel does not front or effect any County maintained roads. Review of the operational statement shows that proposed prayer chapel is for the residents use and will not be open to the public. The proposed project will not create any additional traffic.

**Recommended Conditions of Approval:**

*None.*

**Finding 2 Conclusion:**

Finding 2 can be made, the proposed use will not create additional traffic and the existing private road can adequately serve the proposed use.

***Finding 3:*** *That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof.*

**Surrounding Parcels**

	Size:	Use:	Zoning:	Nearest Residence:
North	40-acres	Agriculture	AE-20	Approximately 1,700 feet
South	165-acres	Agriculture	AE-20	Approximately 2,200 feet
East	165- acres	Agriculture	AE-20	Approximately 2,800 feet
West	160-acres	Agriculture	AE-20	Approximately 900 feet

**Reviewing Agency/Department Comments:**

No comments specific to the proposed project having an adverse effect on the surrounding neighborhood were expressed by reviewing Agencies or Departments.

**Finding 3 Analysis:**

Comments submitted by the Department of Public Health, Environmental Health Division, and Engineering division indicate that the project will be subject to mandatory compliance with regulatory procedures and project notes. These requirements would be applied by the

regulatory agency and would ensure that the project would not result in adverse impacts on adjacent properties.

**Recommended Conditions of Approval:**

Development shall be in accordance with the approved site plan, floor plan, elevation.

**Finding 3 Conclusion:**

Finding 3 can be made as the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof.

***Finding 4:*** *That the proposed development is consistent with the General Plan.*

**Reviewing Agency/Department Comments:**

**Fresno County Policy Planning Unit:**

The subject parcel is not enrolled in the Williamson Act Program. The subject parcel is designated as Eastside Rangeland in the Sierra South Regional Plan. There is no specific General Plan policy related to the proposed project.

No other comments specific to General Plan Policy were expressed by reviewing Agencies or Departments.

**Finding 4 Analysis:**

Eastside Rangeland, as defined by the General Plan, is land designated for grazing and other agricultural operations, as well as wildlife habitat, non-intensive recreational activities, and other appropriate open space functions. Churches and certain other non-agricultural uses which provide necessary supportive services to the surrounding area are appropriate, provided they do not conflict with these uses.

Due to the scope and level of activity proposed in association with the Monastery, the proposal can be considered consistent with the objectives of the General Plan.

**Recommended Conditions of Approval:**

*None.*

**Finding 4 Conclusion:**

Finding 4 can be made as the Policy Planning Division indicated that there is no General Plan Policy conflicting with the proposed use.

**PUBLIC COMMENT:**

No public comment was received as of the date of preparation of this report.

## **SUMMARY CONCLUSION:**

Based on the factors cited in the analysis, the required Findings can be made. Staff therefore recommends approval of Director Review No. 4706 subject to the Conditions of Approval and Project notes as listed in Exhibit 1.

## **PLANNING COMMISSION MOTIONS:**

### **Recommended Motion** (Approval Action)

- Move to determine the required Findings can be made and move to approve Director Review No. 4706, subject to the Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

### **Alternative Motion** (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Director Review and Approval No. 4701
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

### **Mitigation Measures, Recommended Conditions of Approval and Project Notes:**

See attached Exhibit 1.

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**Director Review and Approval Application No. 4706  
Conditions of Approval and Project Notes**

Conditions of Approval	
1.	Development shall be in accordance with the approved site plan, floor plan, and elevation.
Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	<p>Environmental Health Division provides the following:</p> <ul style="list-style-type: none"> <li>a. Currently this area requires a test hole and inspection prior to the issuance of construction permits. The test hole evaluation may result in a requirement for an engineered septic system. Such a system, following an on-site investigation, must be designed and installation certified by a Professional Engineer or Registered Environmental Health Specialist who is knowledgeable and experienced in the field of onsite wastewater treatment system design and installation. Whenever possible, test hole procedures should be conducted during the Spring runoff period in order to accurately assess seasonal high ground water conditions. The new sewage disposal system shall be installed under permit and inspection by the Department of Public Works and Planning Building and Safety Section. Contact Department of Public Works and Planning at (559) 600-4540 for more information.</li> <li>b. The proposed project has the potential to expose nearby residents to elevated noise levels. The use shall comply with the Noise Element of the Fresno County General Plan and Fresno County Noise Ordinance.</li> <li>c. At such time the applicant or property owner(s) decides to construct a water well, the water well contractor selected by the applicant will be required to apply for and obtain a Permit to Construct a Water Well from the Fresno County Department of Community Health, Environmental Health Division. Please be advised that only those persons with a valid C-57 contractor's license may construct wells. For more information, contact the Water Surveillance Program at (559) 600-3357.</li> <li>d. If any underground storage tank(s) are found during construction, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.</li> <li>e. As a measure to protect ground water, all water wells and/or septic systems that exist or have been abandoned within the project area should be properly destroyed by an appropriately licensed contractor.</li> </ul>
2.	<p>Development Engineer:</p> <ul style="list-style-type: none"> <li>a. All Conditions of Approval for any previous applications shall be implemented if not already in place.</li> </ul>

- b. Dunlap Road located on the east side of the property line is not a County-maintained road.
- c. According to FEMA FIRM Panel 1700H, the parcel is not subject to flooding from the 100-year storm.
- d. The subject property is within the Low Water Area (Water Short Area). For any development wherein the proposed source of water is a private well, Water & Natural Resources Division should be consulted regarding any requirements they may have.
- e. According to the U.S.G.S. Quad Map, an intermittent stream may be present within the subject property based on the contour lines. Any proposed work within or near a stream will require a clearance from California Department of Fish and Wildlife (CDFW).
- f. The subject property is located within the State Responsibility Area (SRA) boundary. Any development shall be in accordance with the applicable SRA Fire Safe Regulations, as they apply to driveway construction and access.
- g. Any additional storm water runoff generated by the proposed development of this site cannot be drained across property lines and must be retained on-site per County Standards.
- h. An Engineered Grading and Drainage Plan should be required to show how additional storm water runoff generated by the proposed development will be handled without adversely impacting adjacent properties. If the licensed Civil Engineer deems an engineered grading and drainage plan is not necessary because the proposed development does not substantially increase the net impervious surface on-site and the existing drainage patterns are not changed, Letter of Retention and Letter of Certification from a licensed Civil Engineer addressed to the Department of Public Works and Planning may be required. The Letter of Certification must specify the reason why an engineered grading and drainage plan is not needed. While the Letter of Retention specifies the Engineer of Record retained by the Owner/Contractor to perform all on-site inspections and shall certify the construction of on-site improvements to the Department of Public Works & Planning in order for any work performed to be in accordance with the Fresno County Ordinance Code Title 15, Chapter 15.28 Grading and Excavation, County standards and current industry standards.
- i. A Notice of Intent (NOi) and Storm Water Pollution Prevention Plan (SWPPP) are required to be filed with State Water Resources Control Board (SWRCB) before the commencement of any construction activities disturbing 1.0 acre or more of area. Copies of completed NOi with WDID # and SWPPP shall be provided to Development Engineering prior to any grading work.
- j. Any existing or proposed parking areas should comply with the Fresno County Off-Street Parking Design Standards. Stalls should be 18' x 9', and backing distance must be a minimum of 29' for 90-degree parking stalls. Also 5' should be provided beyond the last stall in any row to provide for backing. Any proposed handicap accessible parking stalls and curb ramps shall be in compliance with ADA standards and the maximum surface slope within the disabled parking space(s) and adjacent access aisle(s) shall not exceed 2% in any direction.

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|  | <ul style="list-style-type: none"><li>k. Any proposed landscape areas of 500 sq. ft. or more will be subject to the Model Water Efficient Landscape Ordinance (MWELo) and MWELo form/s and/or separate landscape and irrigation design plan should be required.</li><li>l. Any existing or proposed driveway should be set back a minimum of 10' from the property line.</li><li>m. For unpaved or gravel surface access roads, the first 100 feet off of the edge of the County road right-of-way must be graded and asphalt concrete paved or treated with dust palliative.</li><li>n. Any existing or proposed entrance gate should be set back a minimum of 20' from the road right-of-way line or the length of the longest truck entering the site, and shall not swing outward.</li><li>o. If not already present, a 10' x 10' corner cut-off should be improved for sight distance purposes at any existing or proposed driveway accessing adjacent road.</li><li>p. A grading permit or voucher is required for any grading proposed with this application.</li></ul> |
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# EXHIBIT 2 LOCATION MAP

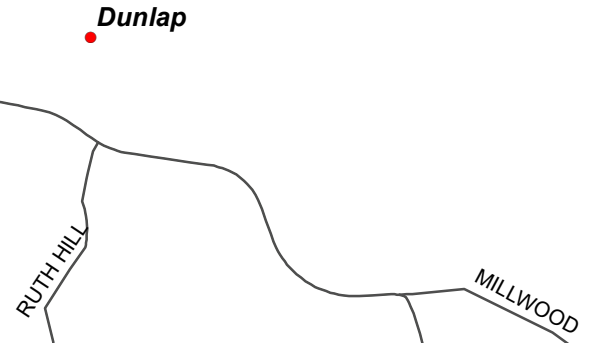
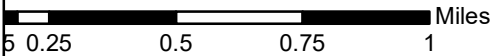
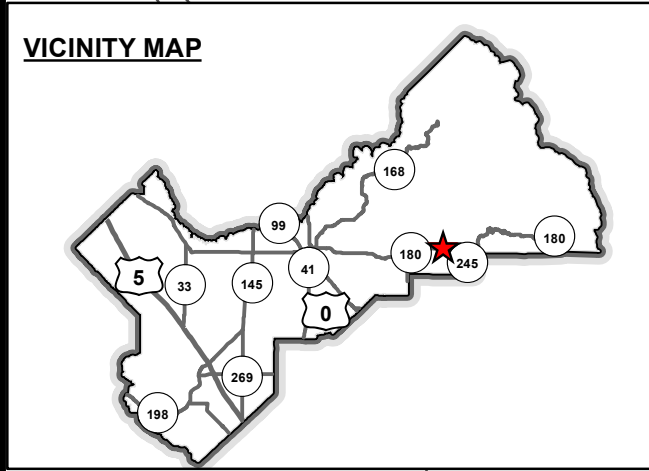
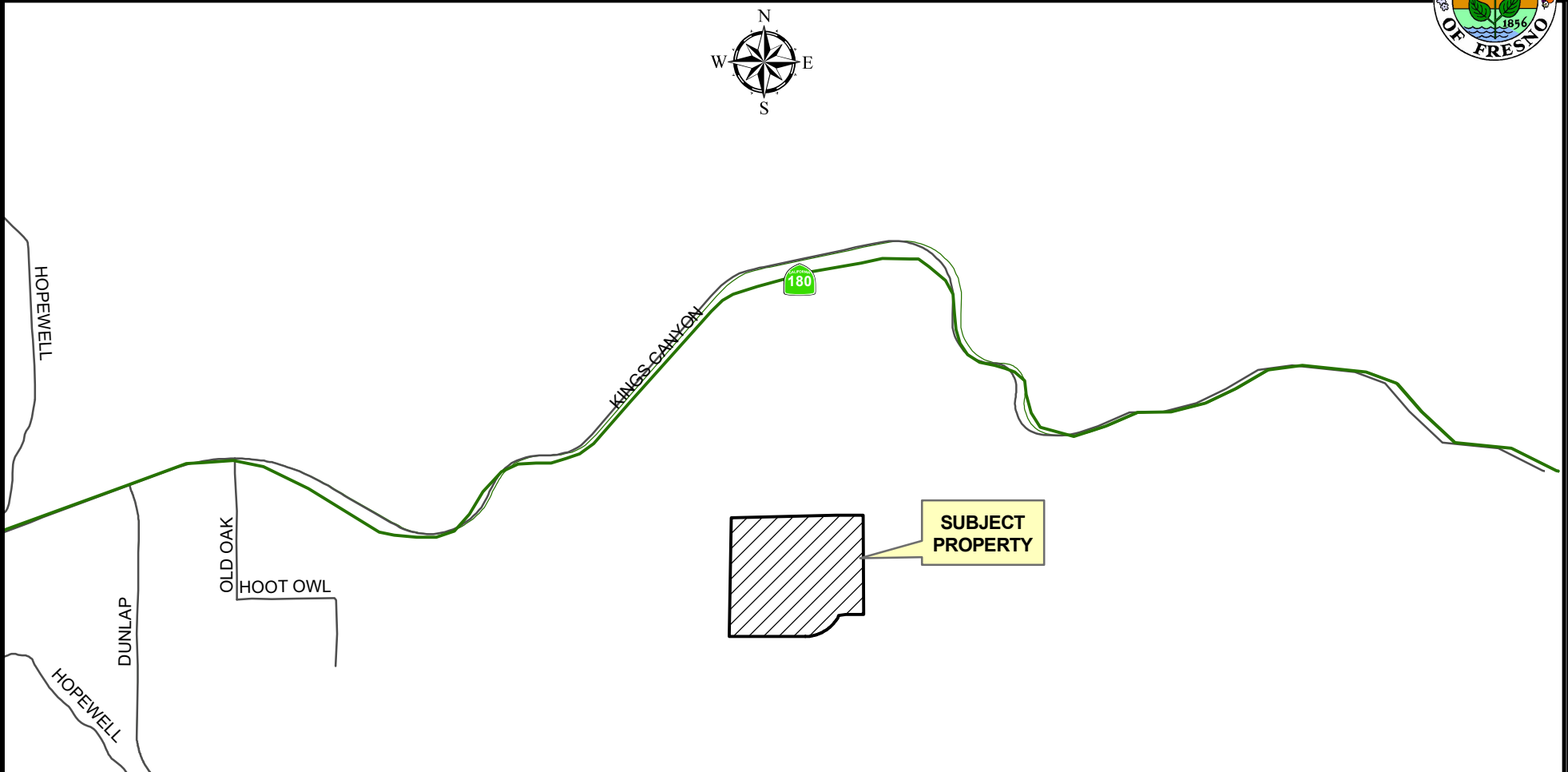


EXHIBIT 2



EXHIBIT 3  
**EXISTING ZONING MAP**

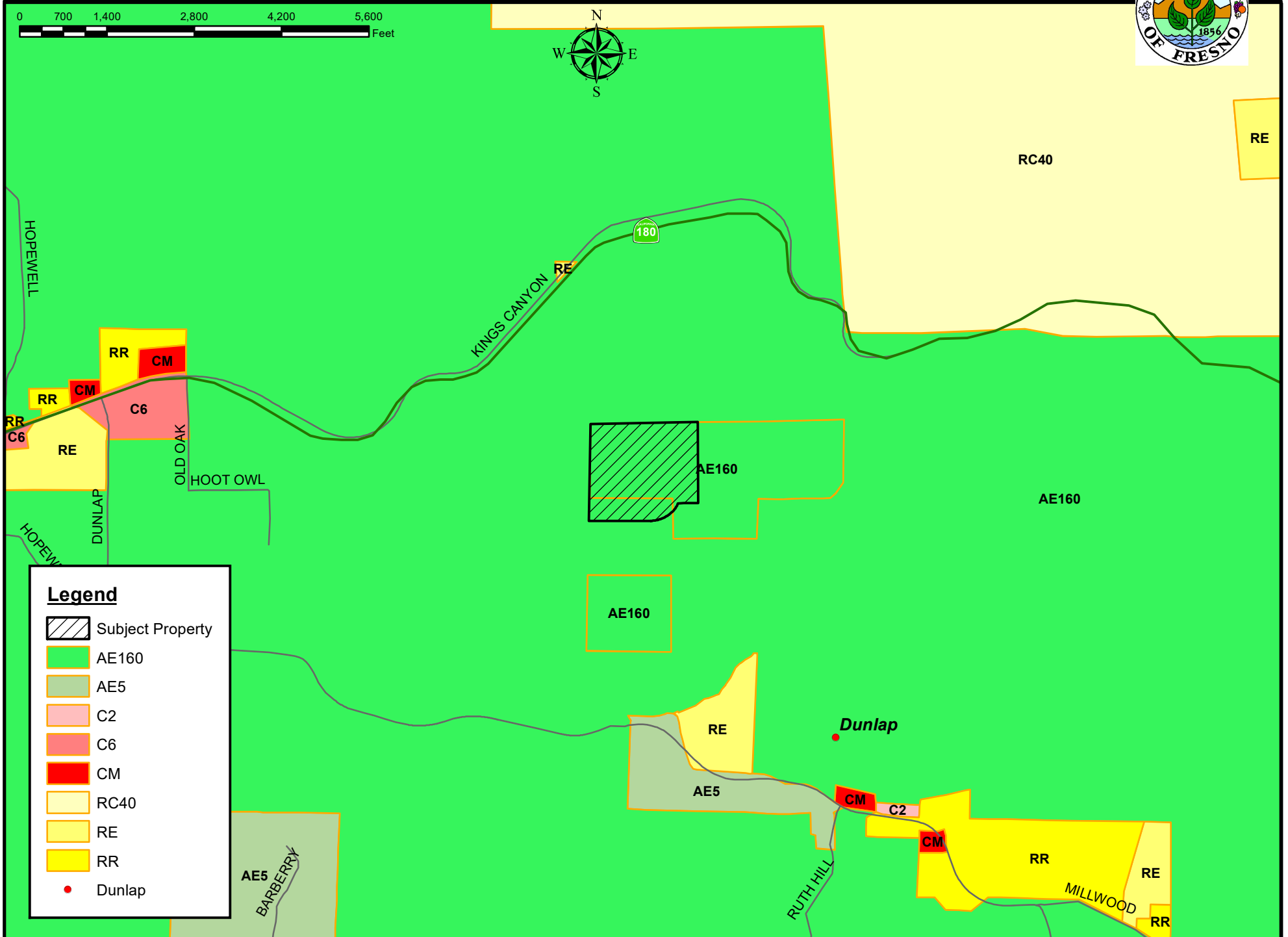


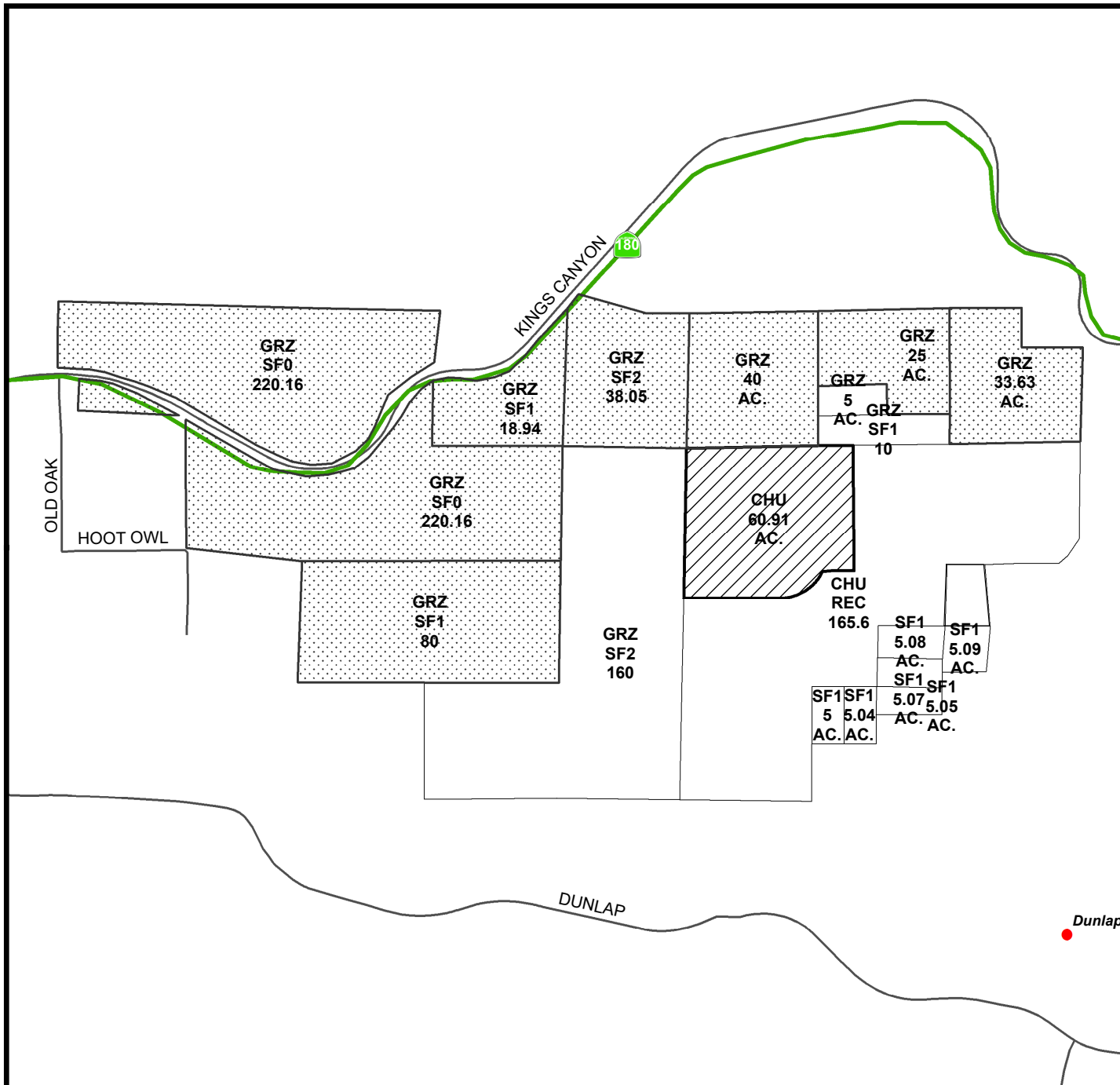
EXHIBIT 3








# EXISTING LAND USE MAP

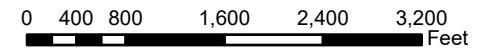
DRA 4706



LEGEND	
CHU - CHURCH	
REC - RECREATION	
SF# - SINGLE FAMILY RESIDENCE	
V - VACANT	
GRZ - GRAZING	

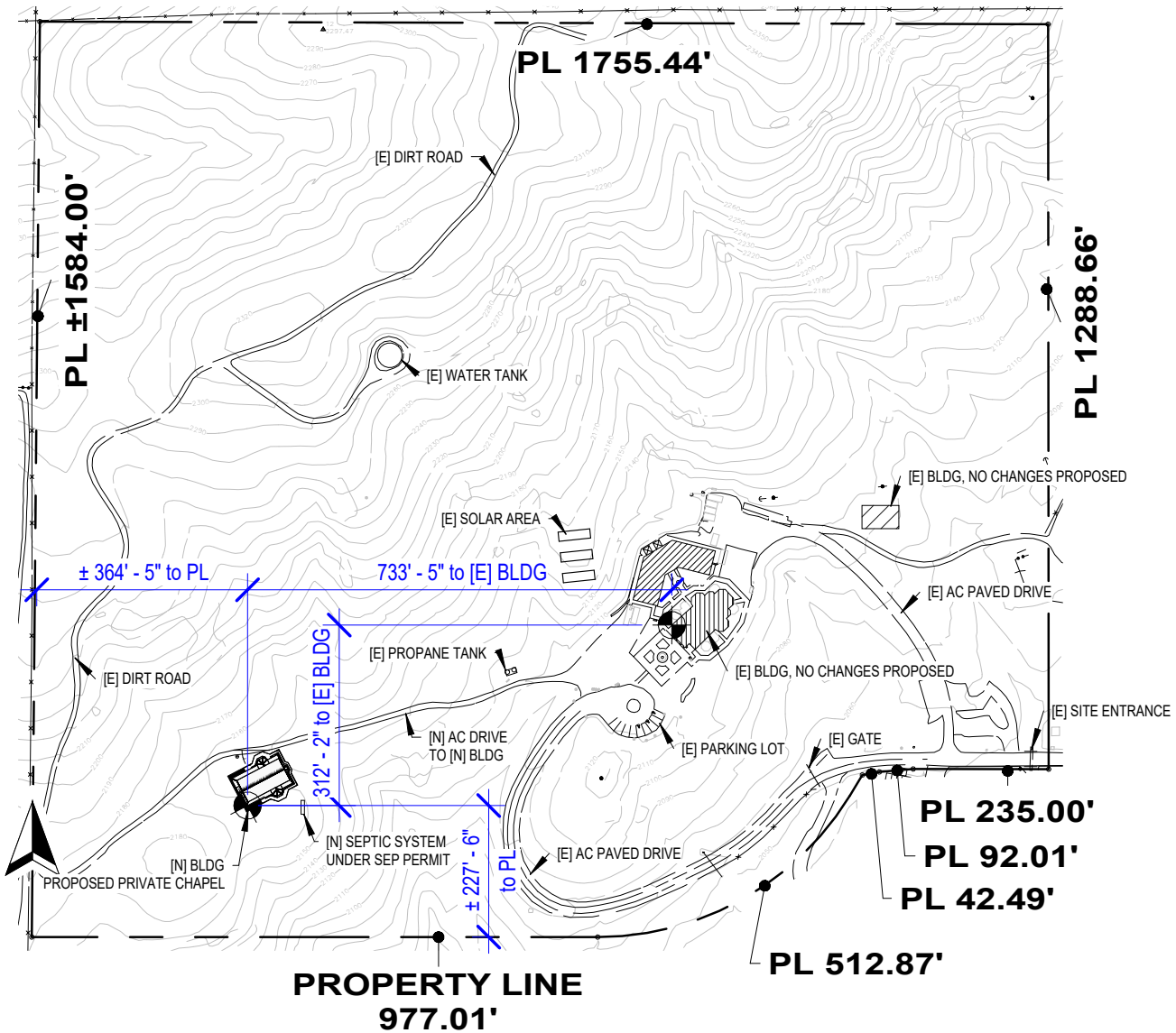
**LEGEND:**

-  Subject Property
-  Ag Contract Land
-  Dunlap



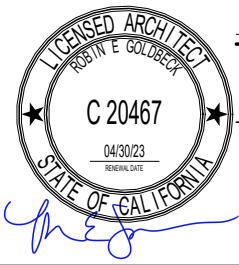
Department of Public Works and Planning  
Development Services Division





1 **SITE PLAN**  
1" = 300'-0"

PROPOSED CHAPEL WORKSHOP FOR  
Holy Convent of the Theotokos Orthodox  
Monastery  
PLOT PLAN



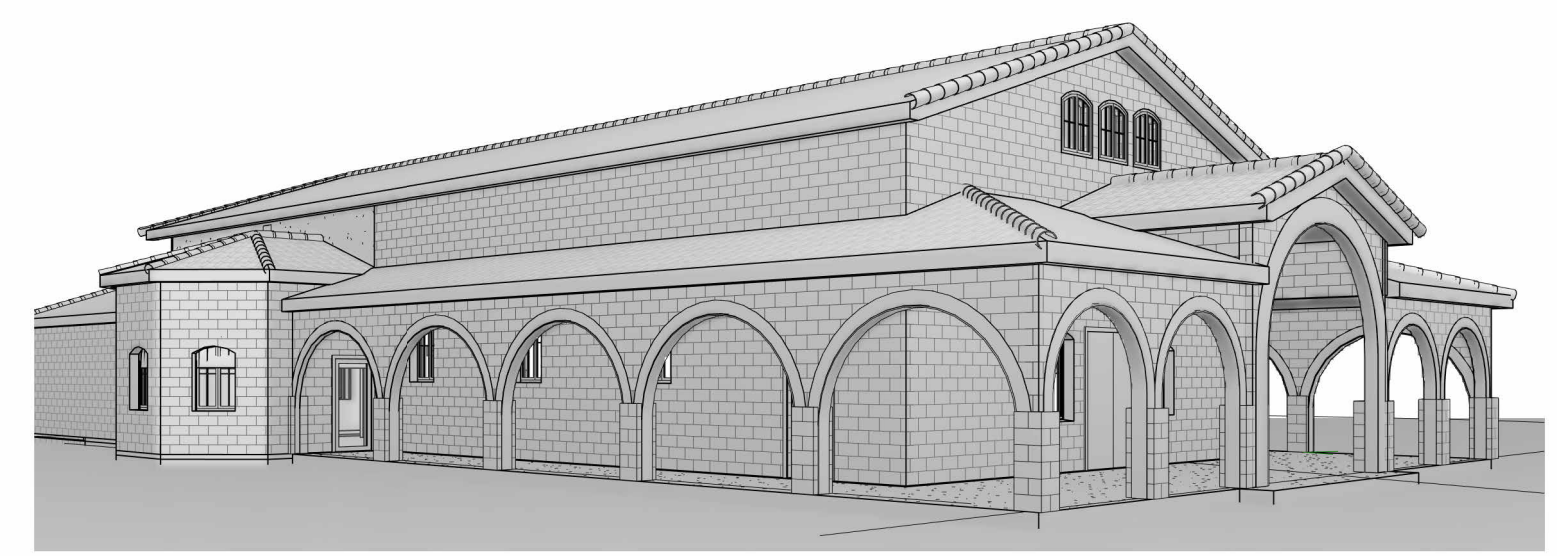
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**GOLDBECK** architects LLC

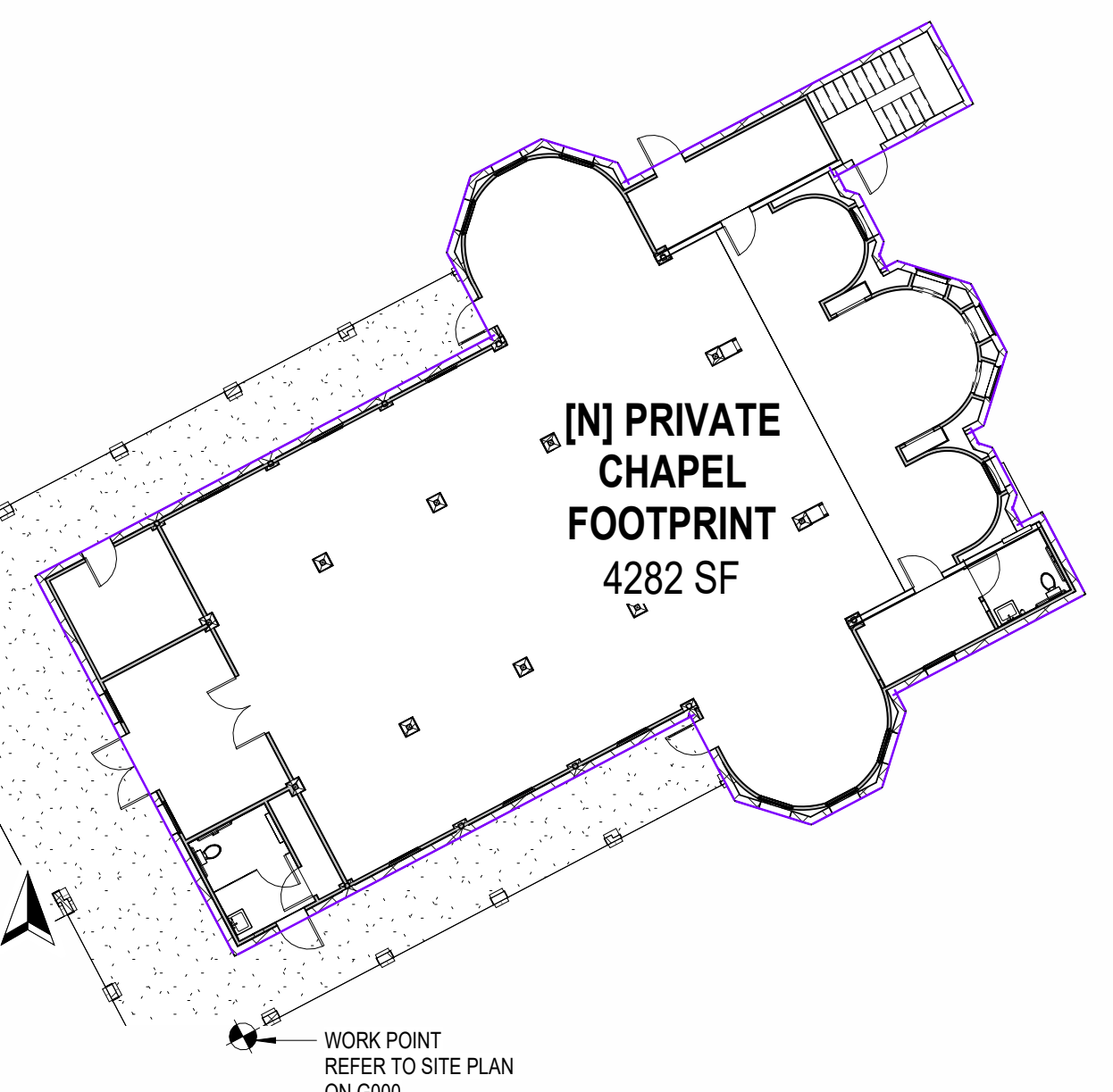
ABBREVIATIONS	
[E]	Existing
[N]	New
AB	Anchor Bolt
ABV	Above
ADDN	Addition
AFF	After Finish Floor
B.O.	Bottom of
BLK	Blocking
BM	Beam
BN	Block Nailing
BOT	Bottom
CLG	Ceiling
COL	Column
CONC	Concrete
D	Diameter
DF	Douglas Fir
DR	Door
EA	Each
EN	Edge Nailing
EXT	Exterior
FF	Finish Floor
FG	From Grade
FIN	Finish
FLR	Floor
FN	Field Nailing
FOC	Face of Conc
FOS	Face of Stud
FTG	Footing
GAL	Gallon
GLS	Glass
GYP	Gypsum Board
HD	Holdown
HDR	Header
HGR	Hanger
HORZ	Horizontal
INT	Interior
JST	Joist
MAX	Maximum
MFR	Manufacturer
MIN	Minimum
MTL	Metal
NIC	Not In Contract
NTS	Not to Scale
OC	On Center
OH	Overhang
PL	Property Line
PL HT	Plate Height
PLYW	Plywood
D	
POC	Point of Connection
PSF	Pounds per Square Foot
PSI	Pounds per Square Inch
SAD	See Architectural Drawings
SFR	Single Family Residence
SHTG	Sheathing
STD	Standards
STL	Steel
T&B	Top & Bottom
T&G	Tongue & Groove
T.O.	Top of
TEMP	Tempered
THD	Threaded
TYP	Typical
UNO	Unless Noted Otherwise
VERT	Vertical
VTR	Vent Through Roof
WD	Wood
WDW	Window

GENERAL NOTES	
1	GENERAL CONTRACTOR SHALL REPORT ANY DIMENSION DISCREPANCIES OF THE BUILDING AND/OR SITE TO THE ARCHITECT PRIOR TO BEGINING WORK.
2	CONTRACTOR SHALL VERIFY AND COMPLY WITH ALL UTILITY COMPANY REQUIREMENTS. ALL DISCREPANCIES BETWEEN ACTUAL AND SITE CONDITIONS REGARDING LOCATIONS, DEPTHS AND SIZES OF UTILITIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO BEGINNING WORK.
3	WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
4	ALL WINDOWS SHALL BE DUAL GLAZED.
5	PROVIDE MAX. 1/2" ELEV. CHANGE FROM TOP OF DOOR THRESHOLDS TO ADJACENT WALKING SURFACE.
6	ALL EXTERIOR DOORS AND WINDOWS SHALL BE WEATHERSTRIPPED PER TITLE 24.
7	INSULATION SHALL CONFORM TO FLAME SPREAD RATING REQUIRED BY CBC.
8	ALL GLAZING ADJACENT TO (WITHIN 24" ARC OF VERT. EDGE) DOORS, WITHIN 18" OF WALKING SURFACE, SWINGING DOORS, AND AREAS SUBJECT TO HUMAN IMPACT SHALL BE SAFETY GLAZING AND MEET STATE AND FEDERAL REQUIREMENTS.
9	ALL ARCHITECTURAL GLAZING SHALL MEET U.S. CONSUMER PRODUCT SAFETYCOMMISSION STANDARDS. SAFETY GLAZING LABELS SHALL BE AVAILABLE FOR INSPECTION
10	ALL INT. WALL FINISHES SHALL MEET CLASS 111 FLAME SPREAD REQUIREMENTS.
11	THE ORGANIZATION OF THESE DRAWINGS IS NOT INTENDED TO CONTROL THE WORK AMONG SUBCONTRACTORS. THE DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
12	THESE DRAWINGS AND SPECIFICATIONS ARE SUPPLIED TO THE GENERAL CONTRACTOR AND OTHERS FOR THEIR USE ON THIS SPECIFIC PROJECT ONLY. ALL COPIES OF THE DRAWINGS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF GOLDBECK ARCHITECTS.
13	CONTRACTOR SHALL PROVIDE ON-SITE CHEMICAL TOILET DURING CONSTRUCTION.
14	SECURITY CODE COMPLIANCE SHALL INCLUDE DEAD BOLTS AT ALL EXTERIOR DOORS WITH STL. PL. AT STRIKE, SOLID SHIM 6" ABOVE AND BELOW, SECURED W/ 2-#8 BY 2"SCREWS. WINDOWS SHALL MEET MIN. CBC STDS
15	APPROVED BUILDING ADDRESS NUMBERS SHALL BE VISIBLE FROM THE STREET. CONTRAST WITH THEIR BACKGROUND, AND BE MIN. 4" HIGH W/ MIN. STROKE WIDTH 1/2". STREET ADDRESS AND NUMBER SHALL BE POSTED PRIOR TO THE FIRST INSPECTION.
16	THESE PLANS AND RELATED DOCUMENTS TO BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY
17	PROVIDE MIN 5% SLOPE AWAY FROM BUILDING FOR A MIN. 10 FEET AT GRADE. NO DRAINAGE TO ADJACENT PROPERTIES SHALL BE PERMITTED
18	IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM BUILDING.
19	ALL SITE GRADING OUTSIDE OF THE BUILDING ENEVELOPE IS REQUIRED TO BE A MINIMUM OF 0.5% DIRECTED TOWARDS THE STREET.
20	ANY UTILITIES WITHIN THE PUBLIC RIGHTS OF WAY AND EASEMENTS (E.G., FIRE HYDRANTS, IRRIGATION DISTRICT FACILITIES, METROPOLITAN FLOOD CONTROL DISTRICT FACILITIES, STREET LIGHTS, ETC.) REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE OWNER. PUBLIC FIRE HYDRANTS SHALL BE RELOCATED BY CITY FORCES AT THE OWNER'S EXPENSE; THE OWNER IS RESPONSIBLE TO ARRANGE AND COORDINATE THE WORK WITH THE DEPARTMENT OF PUBLIC UTILITIES, WATER DIVISION. THE OWNER SHOULD CONTACT THE PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING DIVISION FOR INFORMATION REGARDING ELIGIBILITY FOR REIMBURSEMENTS RELATIVE TO TRAFFIC SIGNAL FACILITIES.
21	CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN SHOWING CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
22	CONSTRUCTION WASTE MANAGEMENT PLAN IS REQUIRED PRIOR TO OCCUPANCY.

DEVELOPMENT NOTES	
1	REPAIR ALL DAMAGED ABD/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY
2	WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN PUBLIC STREET, RIGHT-OF-WAY, AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY THE UNDERGROUND SERVICES ALERT (USA) CALL 1-800-642-2444
3	ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
4	Landscaping must be in place before issuance of the certificate of occupancy. A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division.
5	All accessible stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles.
6	Applicants are encouraged to provide shared vehicle and pedestrian access between adjacent properties for convenience, safety, and efficient circulation. A joint access covenant shall be required.
7	Signs, other than directional signs, if applicable, are not approved for installation as part of this special permit.
8	If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately.
9	If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone: (916) 653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (Phone: (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists. An archeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation.
10	If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved.



5 Exterior View



4 AREA PLAN  
1/16" = 1'-0"

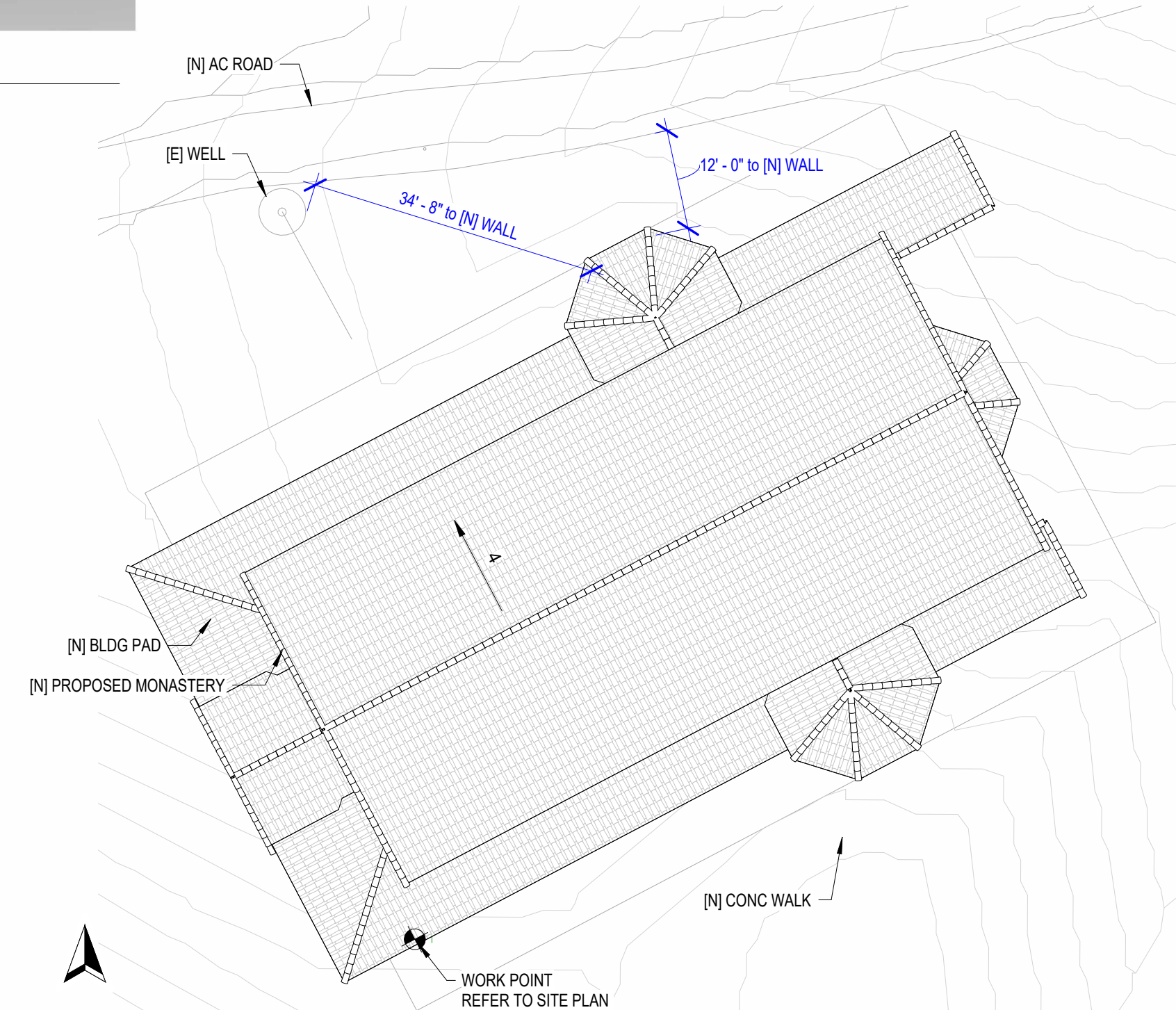
**REQUIRED SPECIAL INSPECTIONS:**  
A. -

**CFC NOTES:**

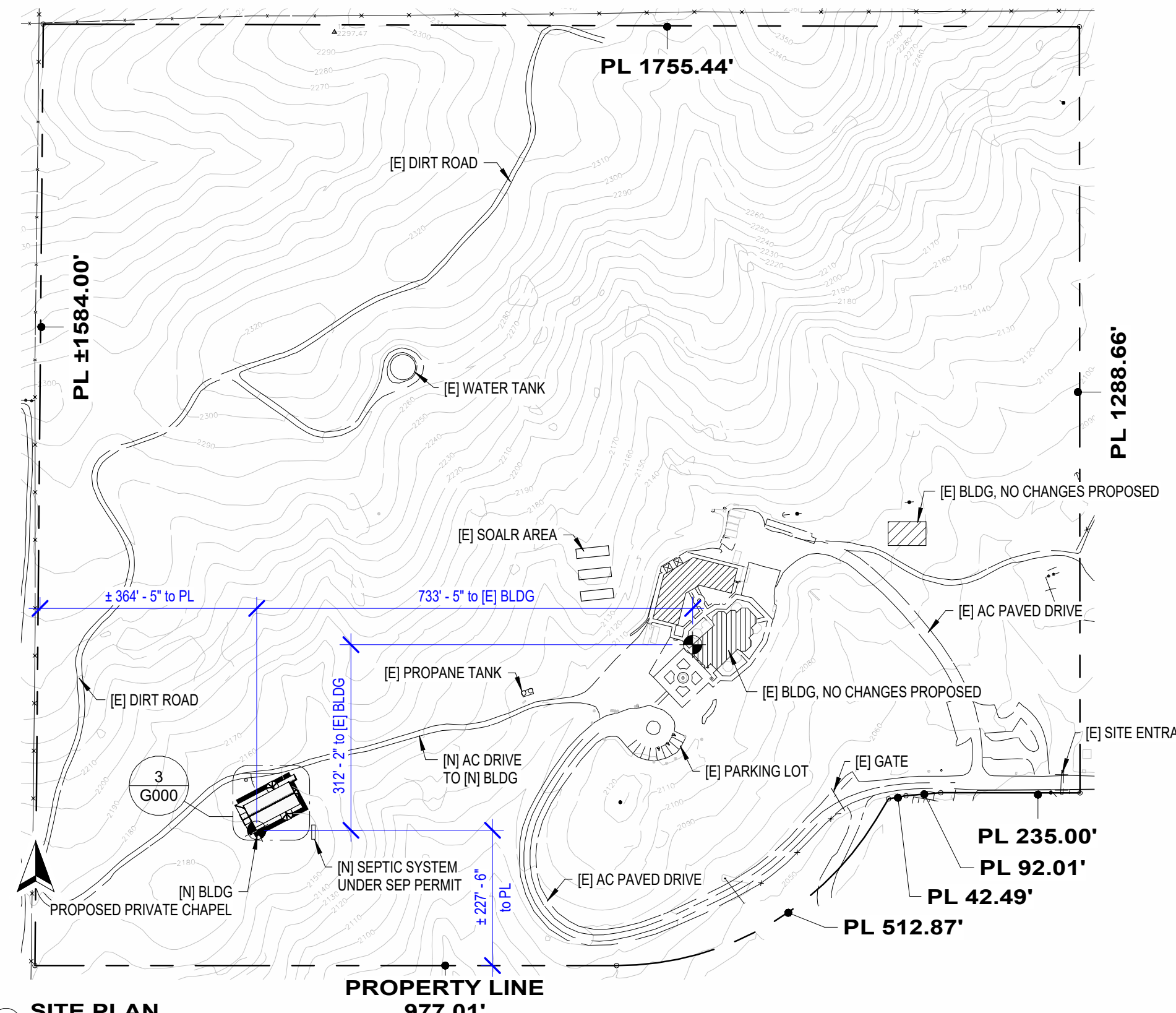
- In buildings in occupancy Group A having an occupancy load of 300 or less, Groups B, F, M, and S, and in places of religious worship, the main door or doors are permitted to be equipped with key-operated locking devices from the egress side provided:
  - the locking device is readily distinguishable as locked
  - A readily visible durable sign posted on the egress side on or adjacent to the door stating: THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED.
    - The sign shall be in letters 1 inch high on a contrasting background
  - The use of the key-operated locking device is revocable by the fire code official for due cause.
- Provide minimum 2A-10B.C portable fire extinguisher (per NFPA 10). One extinguisher is required for each 3,000 square feet or portion thereof of floor space, with travel distance not to exceed 75 feet. A minimum of 1 portable fire extinguisher is required based on the square footage. Location shown on plan.

**CBC EXTERIOR NOTES:**

- PATH OF TRAVEL SLOPE SHALL MEET THE REQ'S OF CBC 11B-403.3; RUNNING SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20 AND CROSS SLOPE SHALL NOT BE STEEPER THAN 1:48
- LEVEL LANDING WITH A SLOPE NOT EXCEEDING 1:48 AT ALL EXTERIOR DOORS WITH MANEUVERING CLEARANCE EXTENDING 24" MIN PAST THE STRIKE EDGE FOR A DISTANCE OF 60" MIN ON THE PULL SIDE OF THE DOOR.
- EXTERIOR EXIT DOORS SHALL LEAD DIRECTLY TO THE PUBLIC WAY BY MEANS OF AN ACCESSIBLE ROUTE.

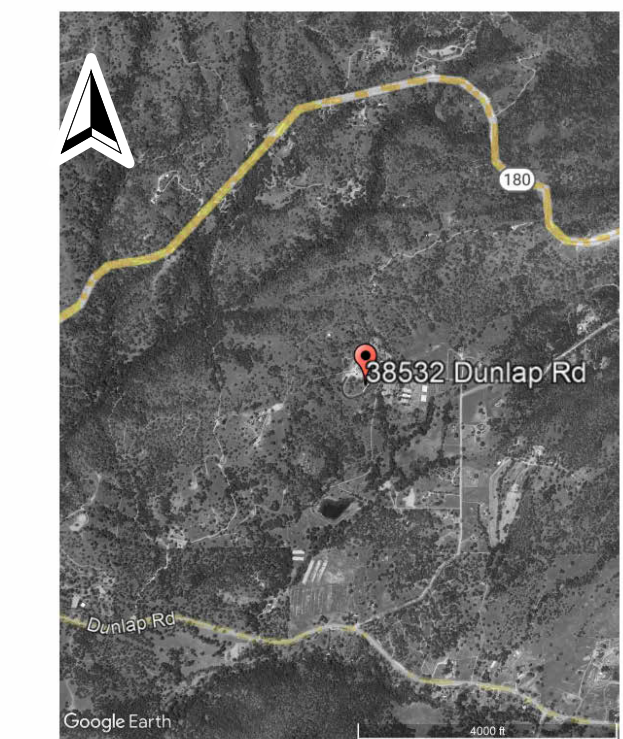


3 SITE PLAN - ENLARGMENT  
1/16" = 1'-0"



2 SITE PLAN  
1" = 200'-0"

<b>CONTACT:</b>	Sister Arsenia (559) 338-3110 sr818819@gmail.com
<b>ADDRESS:</b>	Holy Convent of the Theotokos Orthodox Monastery 38532 Dunlap Rd Dunlap, CA 93621
<b>LOT INFO:</b>	APN: 160-191-77 Lot Size: 60.910 Ac Description: 60.91 AC IN N 1/2 SEC 34, 13/26
<b>AREA:</b>	[N] CHAPEL: 4993 SF [E] FACILITIES: 55,624 SF
<b>LOT COVERAGE:</b>	EXISTING SF: Footprint 55624 SF, Lot Coverage 2% NEW SF: Footprint - SF, Lot Coverage 2%
<b>ZONING:</b>	AE160 C - Exclusive Agricultural
<b>CONST TYPE:</b>	VB
<b>OCCUPANCY:</b>	B; Accessory to Main Chapel; <50 OCC 4010/150 SF = 27 OCC
<b>APPLICABLE CODE: 2019</b>	The latest adopted additions of the codes, standards, and regulation required by the local jurisdiction shall govern all work in these construction documents indicated by the following: CA Admin Code CA Building Code CA Electrical Code CA Plumbing Code CA Mechanical Code CA Historical Bldg Code CA Energy Code CA Existing Bldg Code CA Fire Code CA Existing Bldg Code CA Green Bldg Stds Code CA Referenced Stds Code
<b>SCOPE:</b>	1. [N] Private Chapel proposed, No Public Services (4010 SF) A. [N] Battery Backup Generator & PV System B. [N] Septic & Well



1 VICINITY MAP  
NTS

SHEET LIST	
#	Sheet Name
G000	SITE PLAN
A100	PROPOSED PLAN
A200	ELEVATIONS
A201	SECTIONS

PROJECT# 00000  
10/14/22 16:06:52  
**GOLDBECK architects LLC**  
466 W FALLBROOK AVE STE 106  
FRESNO, CA 93711  
(559) 285-2390  
robin@goldbeckarchitects.com  
C 20467  
ARCHITECTS REGISTERED ARCHITECTS STATE OF CALIFORNIA

REVISIONS		
#	NAME	DATE

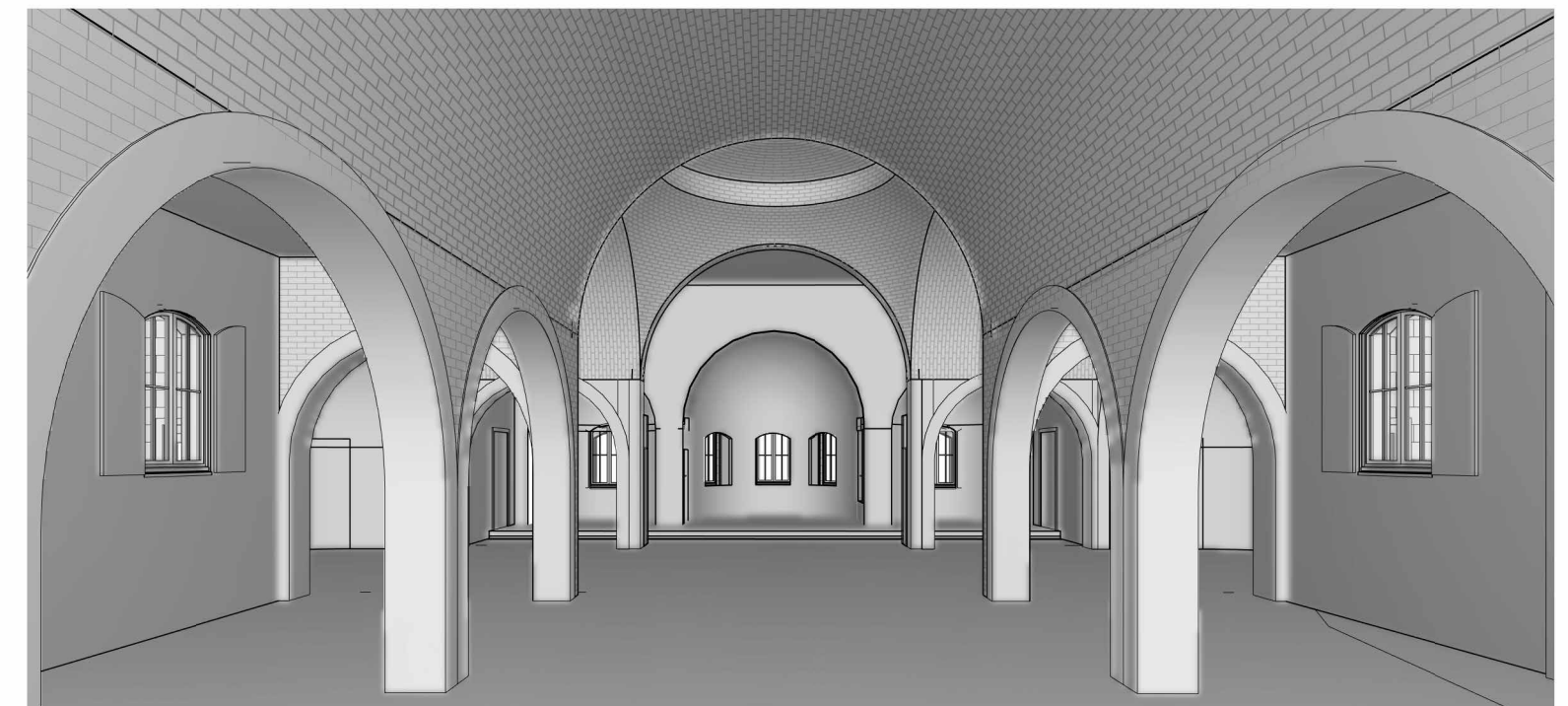
APPROVALS	
DRAWN/ENM	CHECKED/REG

**PROPOSED CHAPEL WORKSHOP FOR  
Holy Convent of the Theotokos Orthodox Monastery**  
38532 Dunlap Rd, Dunlap, CA 93621  
Contact: Sister Arsenia (559) 338-3110 sr818819@gmail.com

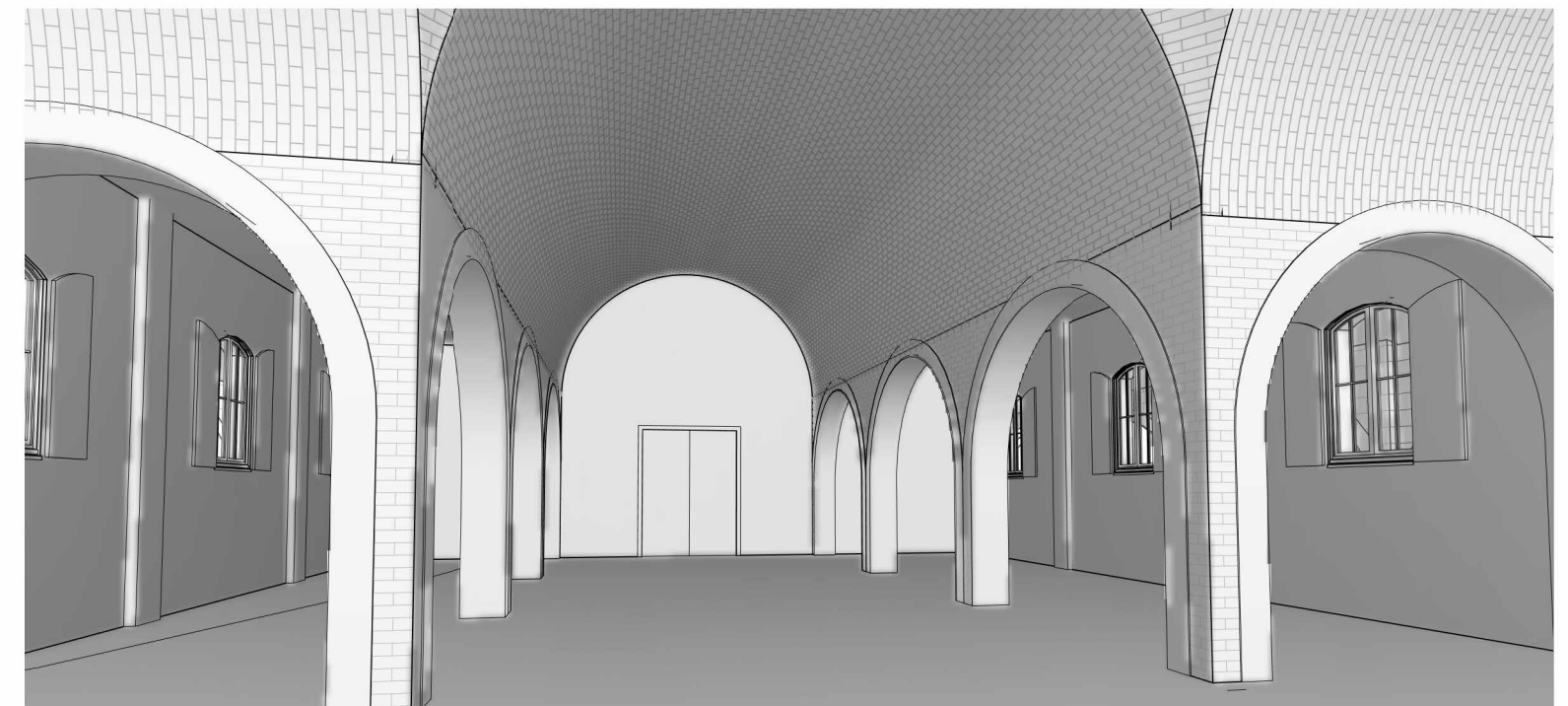
SITE PLAN  
**G000**

PROJECT# 00000  
 10/14/22 16:07:00  
**GOLDBECK architects LLC**  
 466 W FALLBROOK AVE STE 106  
 FRESNO, CA 93711  
 (559) 285-2390  
 robin@goldbeckarchitects.com

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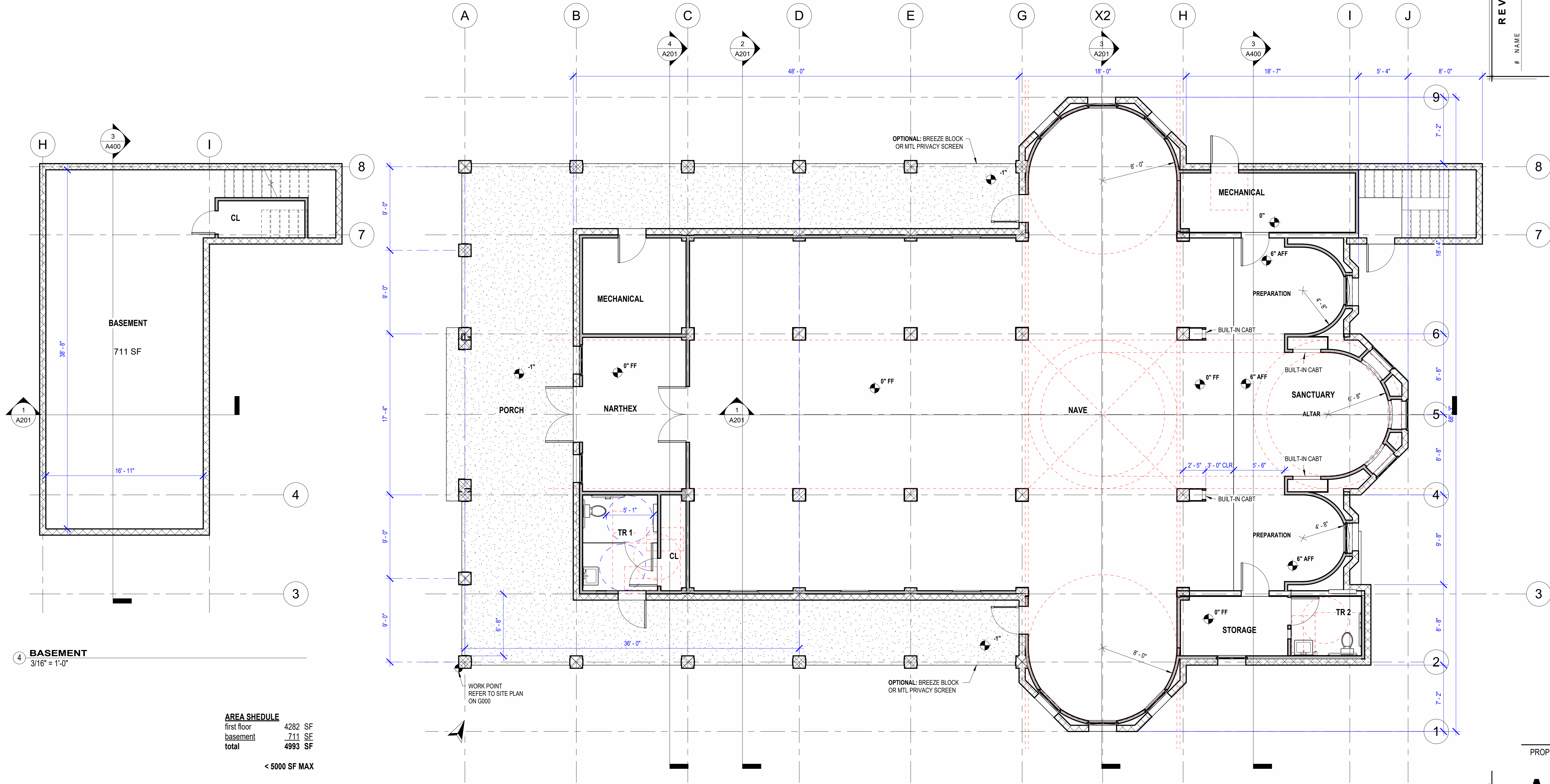
2 View towards Sanctuary



3 View towards Entry Doors

#	NAME	DATE

DRAWN: (INITIALS)  
 CHECKED: REG



**AREA SCHEDULE**

first floor	4282 SF
basement	711 SF
<b>total</b>	<b>4993 SF</b>

< 5000 SF MAX

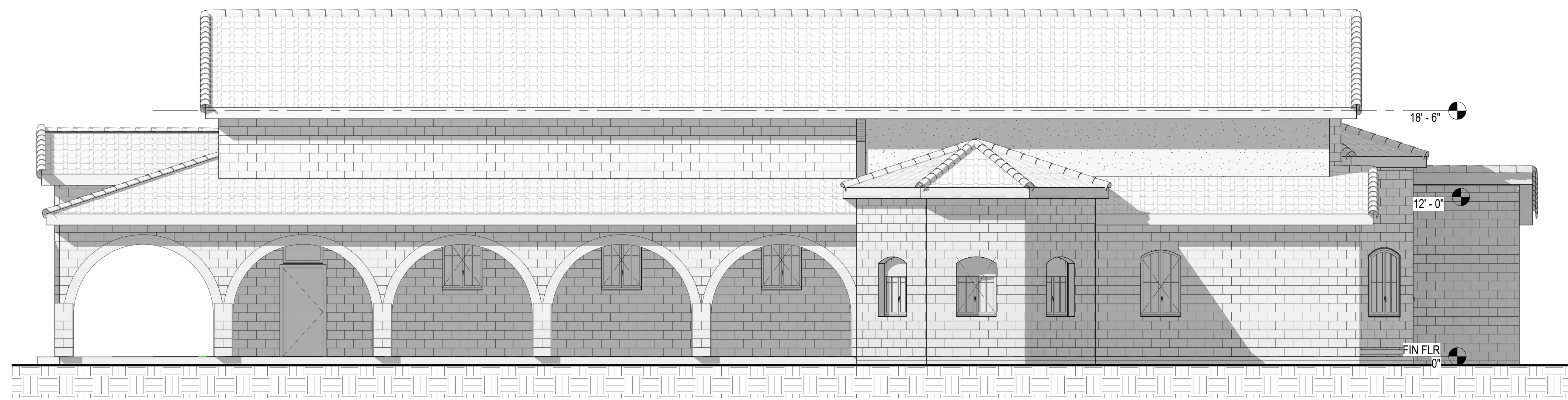
1 PROPOSED FLOOR PLAN  
 3/16" = 1'-0"

PROPOSED PLAN

**A100**

EXHIBIT 5 PAGE 3

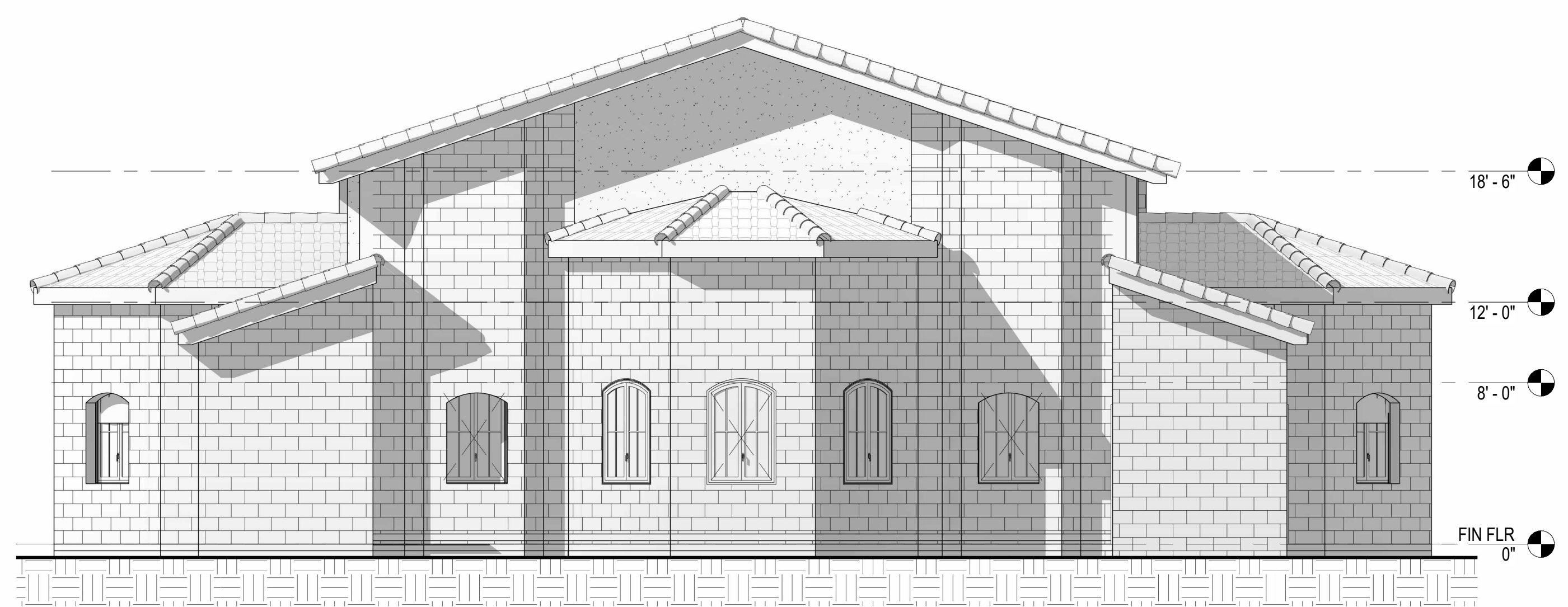
PROJECT# 00000  
 10/14/22 16:07:17  
**GOLDBECK architects LLC**  
 466 W FALLBROOK AVE STE 106  
 FRESNO, CA 93711  
 (559) 285-2390  
 robin@goldbeckarchitects.com  
 C 20467  
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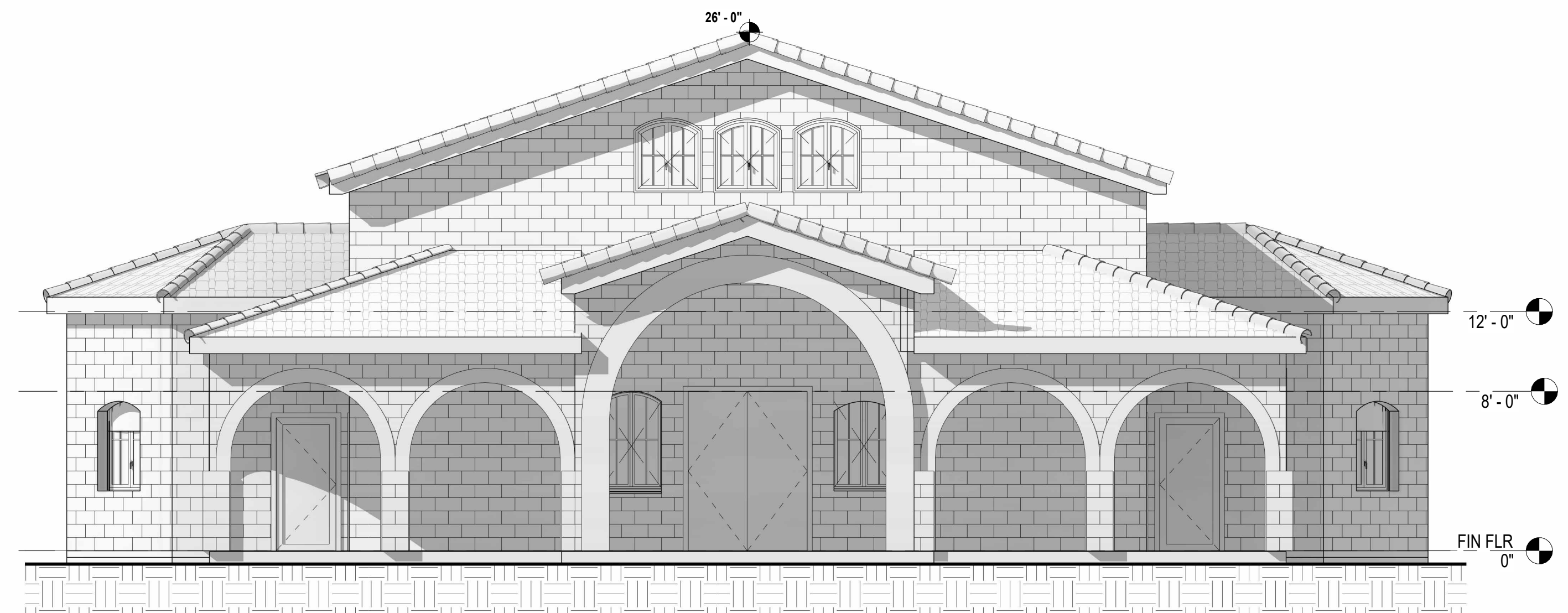
4 SOUTH  
 3/16" = 1'-0"

#	NAME	DATE

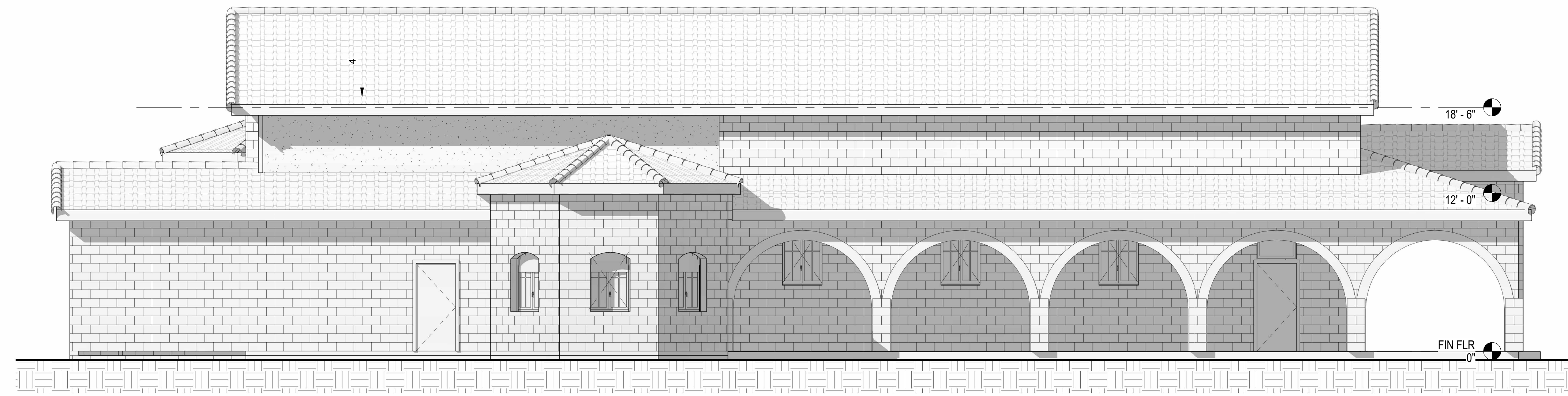
DRAWN: EMM  
 CHECKED: REG



1 EAST  
 3/16" = 1'-0"



2 WEST  
 3/16" = 1'-0"

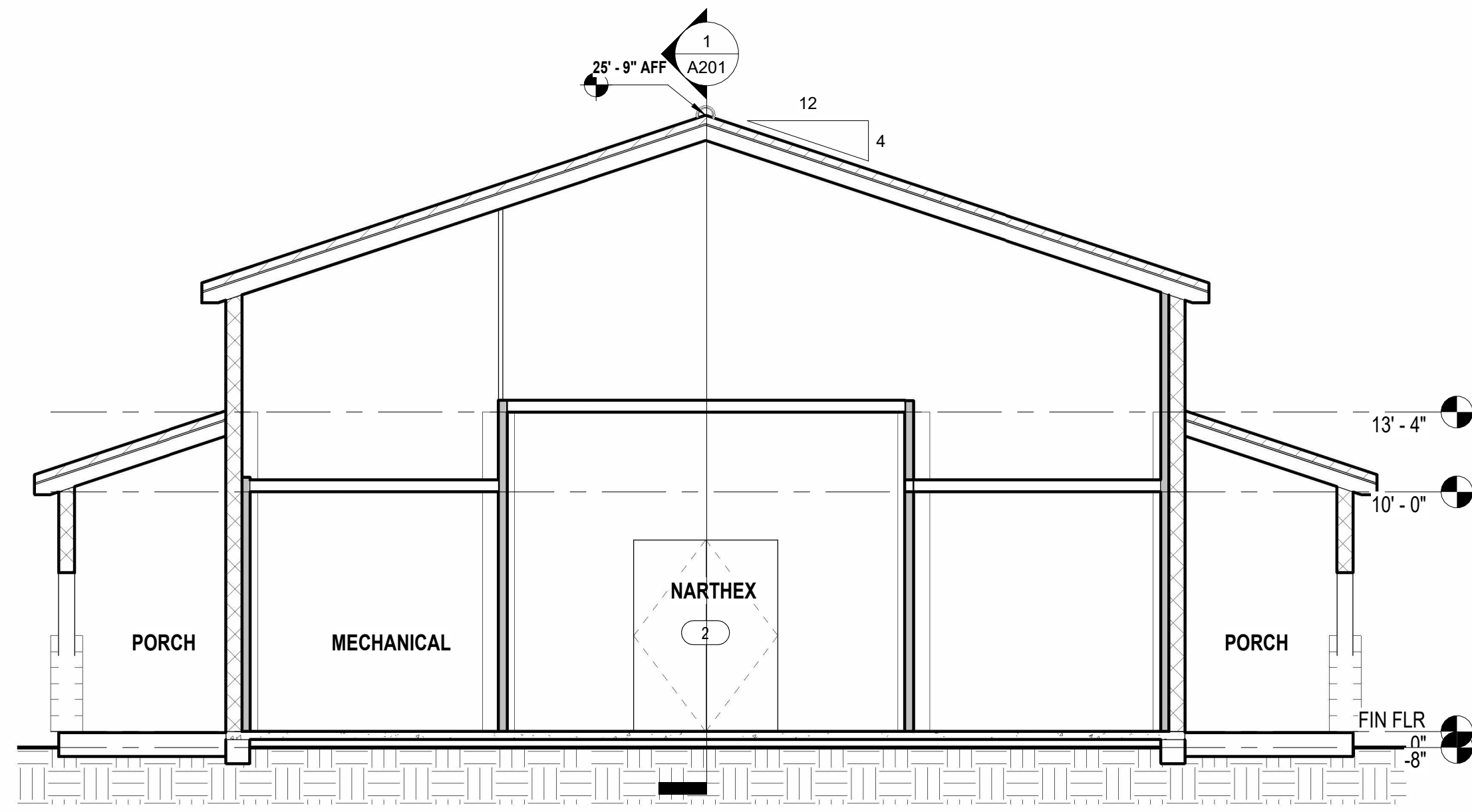


3 NORTH  
 3/16" = 1'-0"

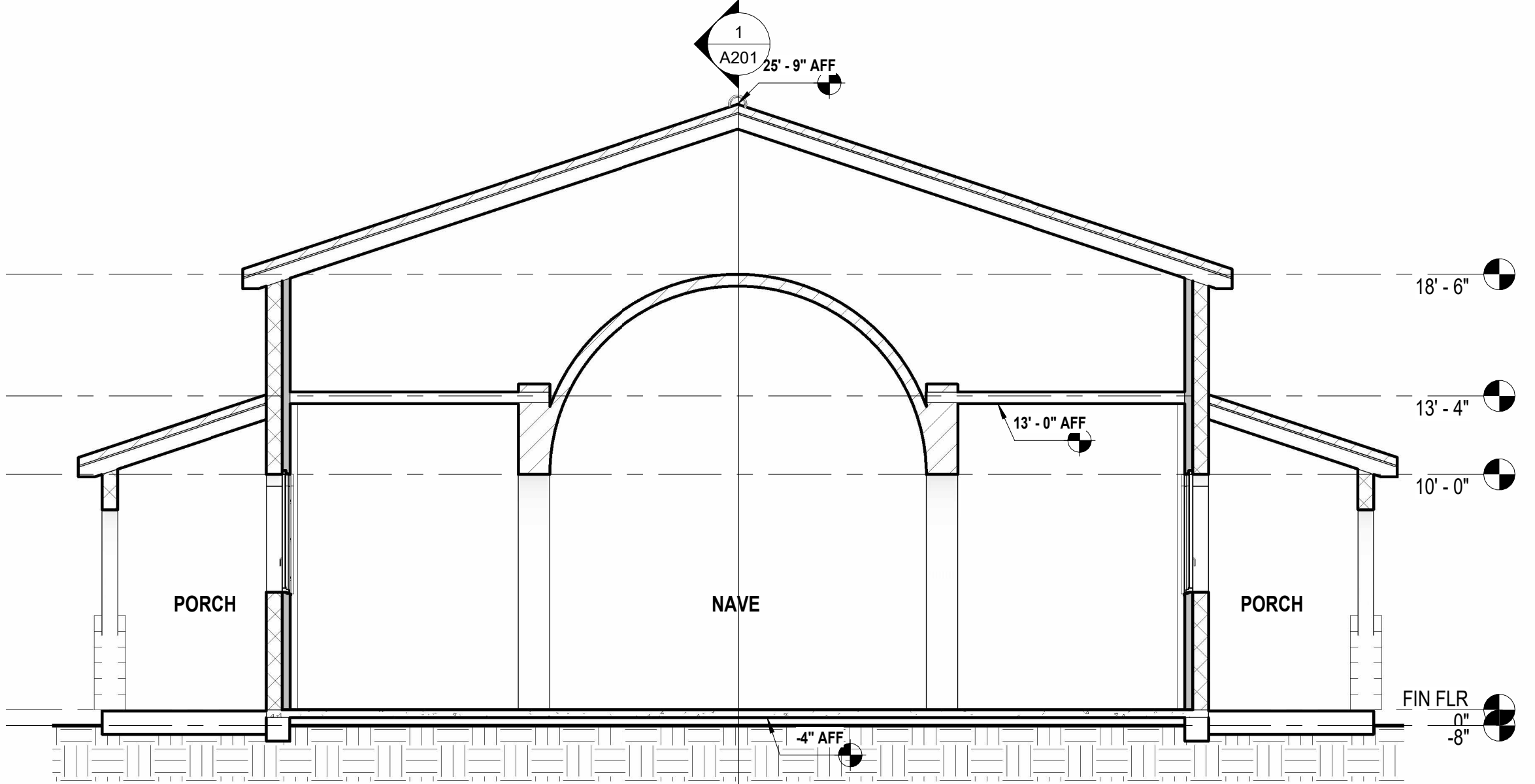
- WALL LEGEND**  
 1/4" = 1'-0"
- Stucco Finish, Painted
  - 2 Piece Mission Tile Roof
  - 8"x16" CMU, Split-Face
  - 8"x16" CMU, Split-Face
  - 2x4 @ 16' oc TYP
  - 1/2" Gyp Bd @ EA Side, UNO
  - 2x6 @ 16' oc TYP
  - Stucco Finish @ EXT
  - 1/2" Gyp Bd @ INT

ELEVATIONS

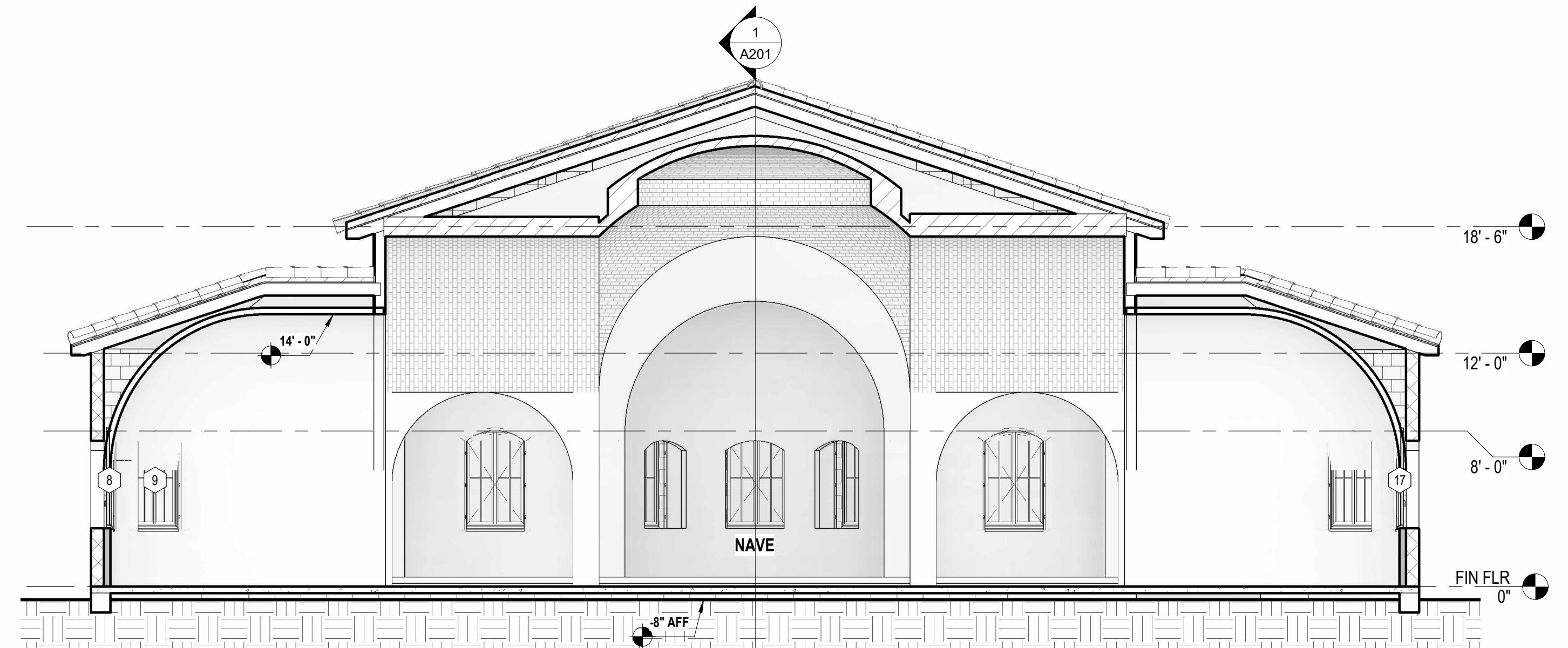
**A200**



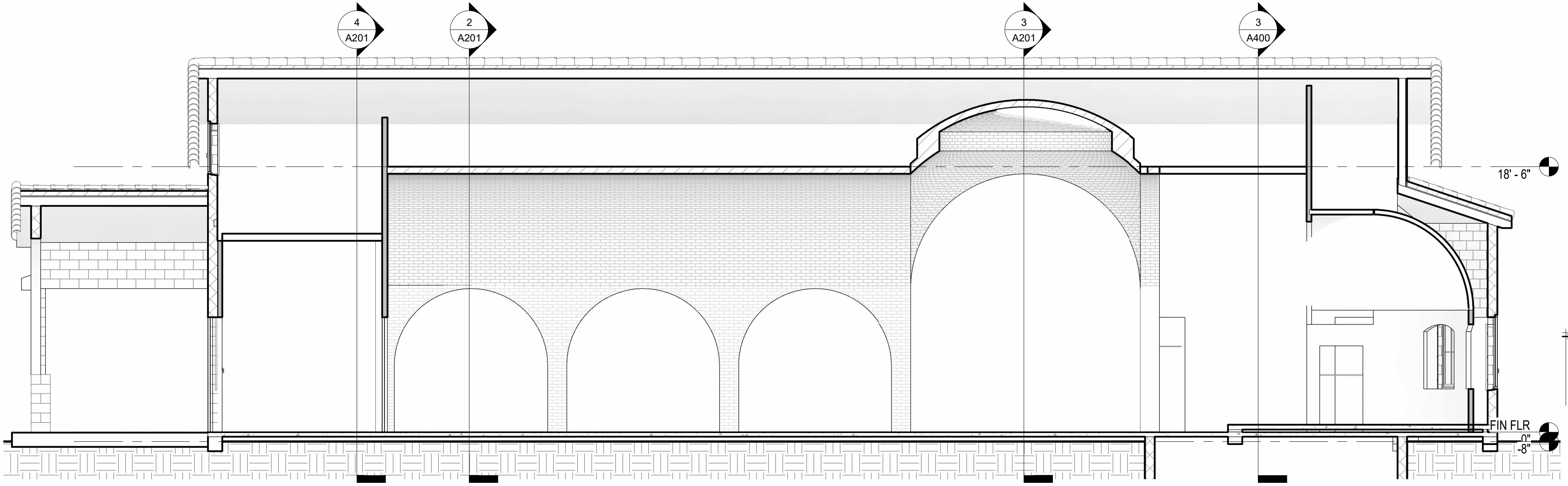
4 SECTION  
3/16" = 1'-0"



2 SECTION  
3/16" = 1'-0"



3 SECTION  
3/16" = 1'-0"



1 SECTION  
3/16" = 1'-0"

REVISIONS		PROJECT # 00000 10/14/22 16:07:26 <b>GOLDBECK</b> architects LLC
#	NAME	

466 W FALLBROOK AVE STE 106  
FRESNO, CA 93711  
(559) 235-2390  
robin@goldbeckarchitects.com

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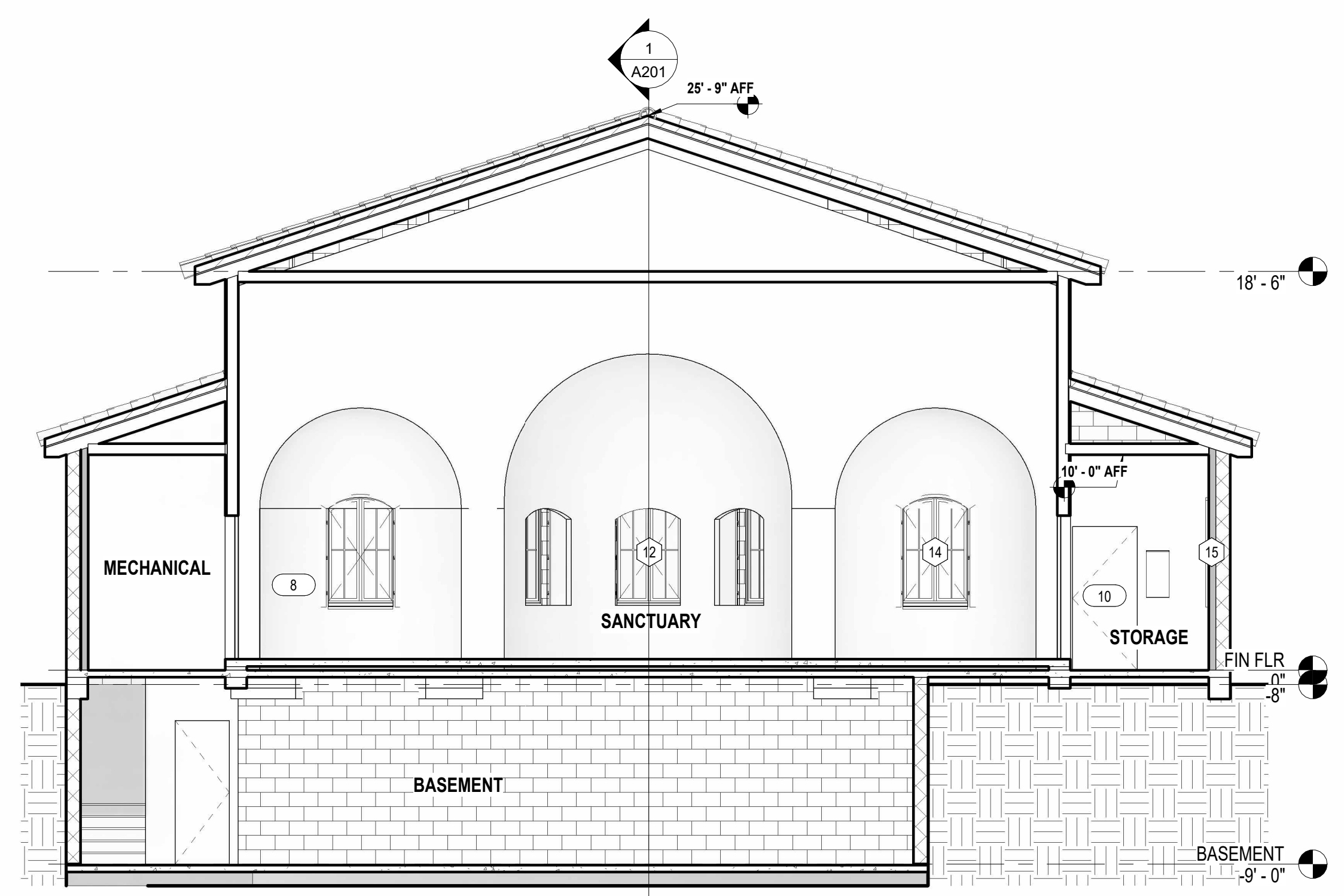
PROFESSIONAL ARCHITECT  
STATE OF CALIFORNIA  
C 20467

DRAWN: Author  
CHECKED: Checker

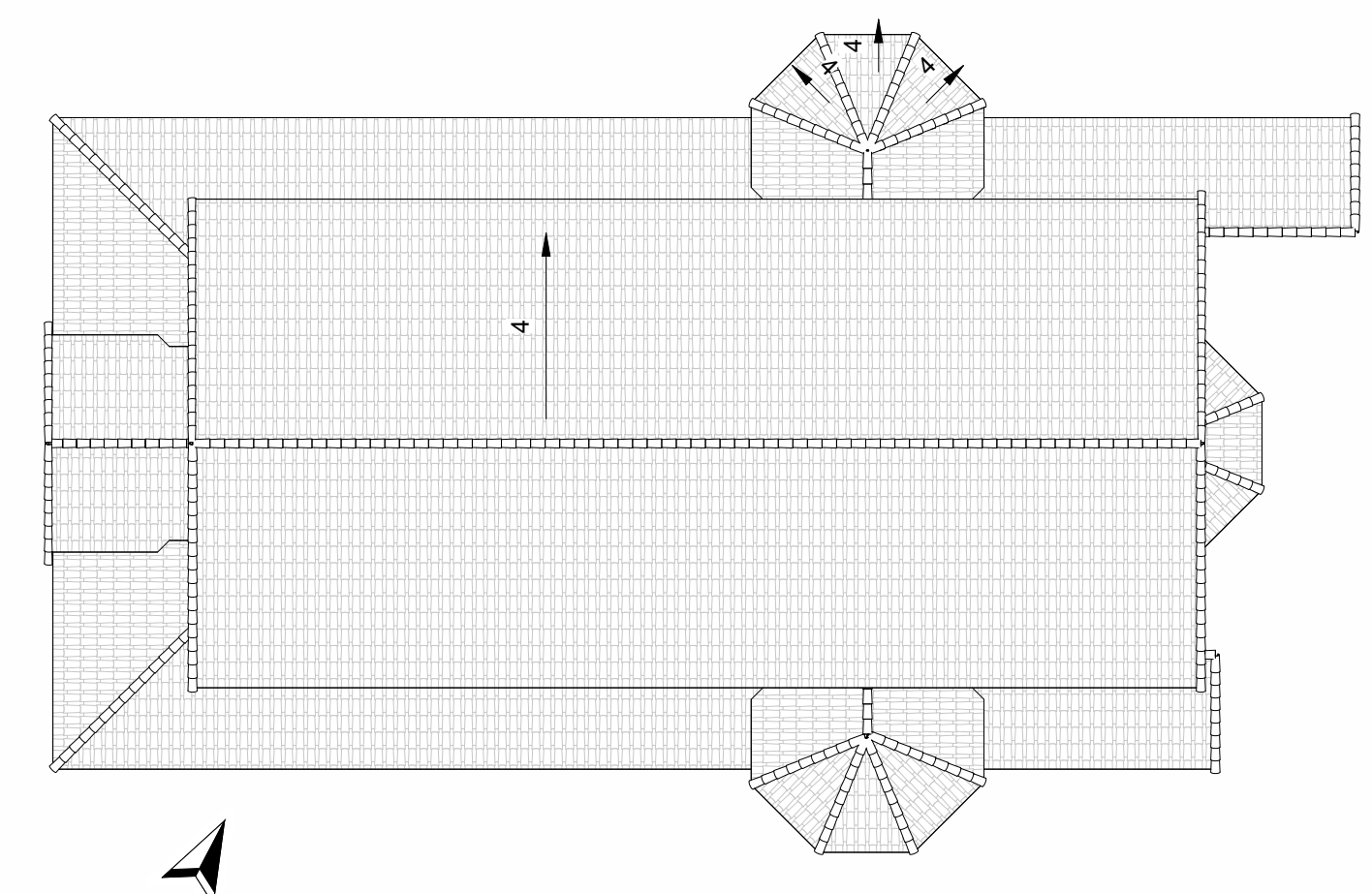
SECTIONS  
**A201**

#	NAME	DATE
REVISIONS		

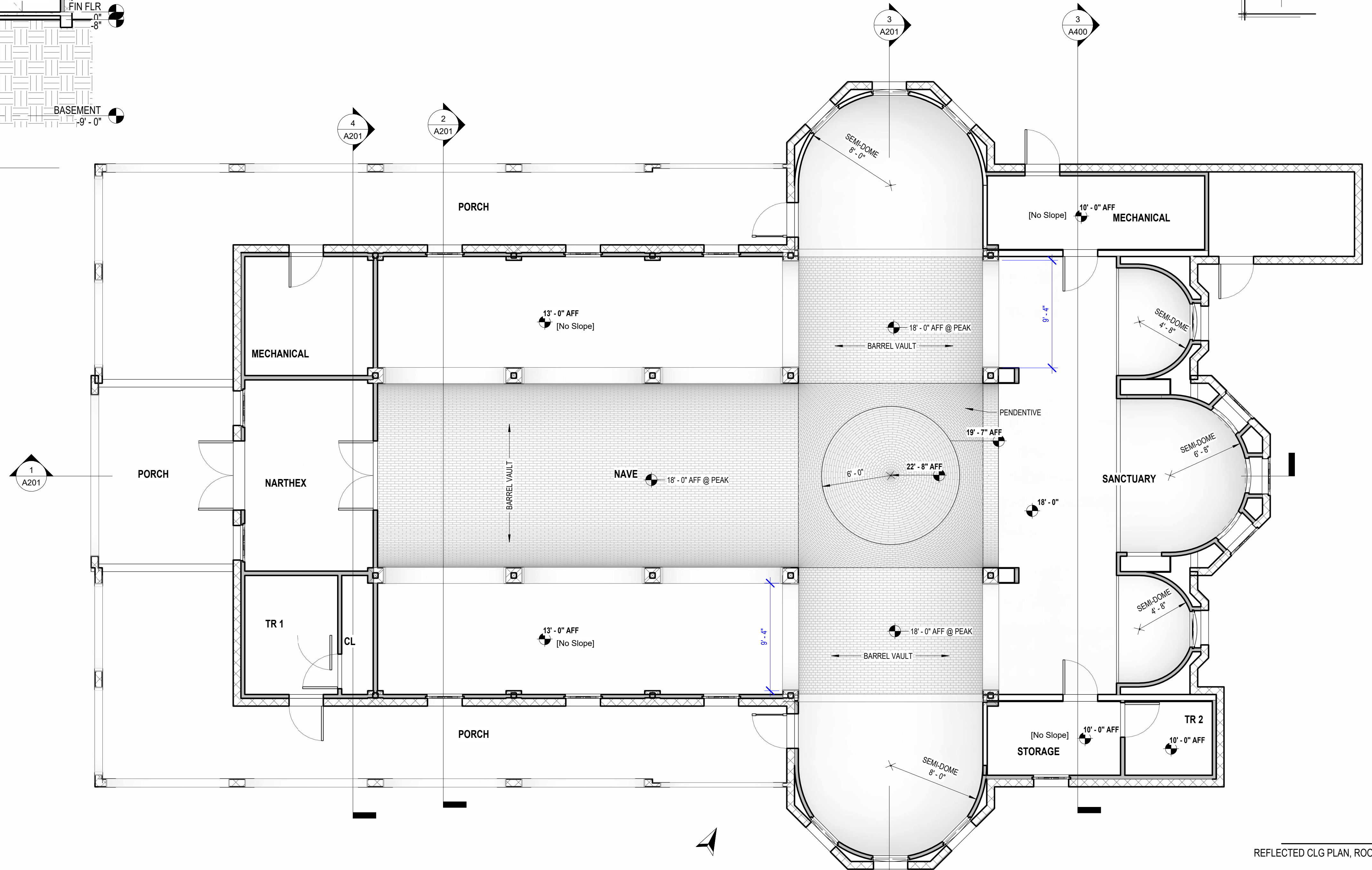
DRAWN: EMM  
 CHECKED: REG



1 SECTION  
 3/16" = 1'-0"



2 ROOF PLAN  
 1/16" = 1'-0"



3 CEILING PLAN  
 3/16" = 1'-0"

REFLECTED CLG PLAN, ROOF PLAN

**A400**

EXHIBIT 5 PAGE 6



**GOLDBECK** *architects*

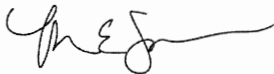
466 W. Fallbrook Ste. 106 fresno, california 93711

559.285.2390 cel robin@goldbeckarchitects.com

AMENDMENTS TO DRA NO. 3070 (ORIGINAL ATTACHED)

- A. The addition of a Chapel Workshop likewise complies with SRA setbacks and the “size and shape” of the property can accommodate the proposed use. As the chapel workshop is intended for the use of the residents, no additional parking is required. Roads will be improved as needed. Note that no public access is proposed.
- B. The road accessing the Monastery compound was completely paved in 2003 and remains in good condition. The proposed chapel workshop is within the private, gated area of the Monastery. As previously stated, no public access is intended.
- C. Amendment proposal is Phase IV from DRA 3070.
- D. Per the Amendment plans, the proposed Chapel Workshop will match the materials in the main complex.
- E. The Chapel Workshop is +/- 750’ from the main compound and more remote to surrounding properties. As a smaller structure, it will not visually impact neighboring properties.
- F. Per DRA 3070, the Monastic Community remains a contemplative environment, not generating excessive noise to surrounding properties.
- G. As noted on the attached plans, the proposed septic system will be engineered and constructed to Fresno County standards.
- H. The proposed amendment remains consistent with the General Plan Eastside Rangeland designation.

Respectfully submitted,



Robin E. Goldbeck, Architect







EXHIBIT 7 PAGE 2





EXHIBIT 7 PAGE 4

