



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report and Subdivision Review Committee Report Agenda Item No. 6 August 11, 2022

SUBJECT: Tentative Tract Map Application No. 6334 and Initial Study No. 7905

Allow the creation of a nine-lot subdivision from a 19.76-acre parcel, with each lot containing a minimum of two-acres, in the R-R (Rural Residential, two-acre minimum parcel size) Zone District.

LOCATION: The subject parcel is located on the west side of N. Greenwood Avenue approximately 600 feet south of Clinton Avenue, approximately three miles southeast of the City of Clovis (APN: 309-191-85) (2383 N. Greenwood Ave.) (Sup. Dist. 5).

**OWNER/
APPLICANT:** Edward Barton

STAFF CONTACT: Jeremy Shaw, Planner
(559) 600-4207

David Randall, Senior Planner
(559) 600-4052

RECOMMENDATION:

- Adopt the Negative Declaration based on Initial Study (IS) No. 7905; and
- Approve Tentative Tract Map Application No. 6334 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map

4. Existing Land Use Map
5. Tentative Tract Map No. 6334
6. Applicant's Submitted Operational Statement
7. Summary of Initial Study No. 7905

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Rural Residential	No change
Zoning	R-R (Rural Residential, two-acre minimum parcel size) Zone District.	No change
Parcel Size	19.76-acres	Nine lots, each a minimum of 2-acres (net), in area; exclusive of road and canal easements, in the following configuration: Lot 1: 2.43 acres (gross) 2.00 acres (net) Lot 2: 2.22 acres (gross) 2.00 acres (net) Lot 3: 2.16 acres (gross) 2.00 acres (net) Lot 4: 2.16 acres (gross) 2.00 acres (net) Lot 5: 2.18 acres (gross) 2.00 acres (net) Lot 6: 2.19 acres (gross) 2.00 acres (net) Lot 7: 2.17 acres (gross) 2.00 acres (net) Lot 8: 2.18 acres (gross) 2.00 acres (net) Lot 9: 2.15 acres (gross) 2.00 acres (net)
Project Site	See above	See Above
Structural Improvements	One Single Family Dwelling and several existing structures on proposed Lot No.1	No change with the creation of the subdivision: future residential development is anticipated to occur on a lot-by-lot basis
Nearest Residence	Easterly adjacent to proposed Lot No. 9	No change

Criteria	Existing	Proposed
Surrounding Development	Rural Residential	Nine new residential lots, no less than 2-acres in size
Traffic Trips	Residential	No change
Lighting	Residential	No change

ENVIRONMENTAL ANALYSIS:

An Initial Study was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the Initial Study, staff has determined that a negative declaration is appropriate. A summary of the Initial Study is included as Exhibit 8 to the Staff Report.

Notice of Intent of Mitigated Negative Declaration publication date: January 24, 2022.

PUBLIC NOTICE:

Notices were sent to 61 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

SUBDIVISION REVIEW COMMITTEE

A Meeting was held on June 29, 2022, with County staff representing the Design, Road Maintenance and Operations, and Development Services and Capital Projects Divisions. Issues such as onsite drainage features, easements, net acreage of proposed lots, and fire suppression facilities were discussed. These items will be addressed as either Conditions of approval or mandatory project notes, where such requirements are regulatory in nature.

PROCEDURAL CONSIDERATIONS:

A Tentative Tract (TT) Map Application may be approved only if Five Findings specified in the Subdivision Map Act and Title 17 of the County Subdivision Ordinance are made.

The decision of the Planning Commission on a Tentative Tract Map Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

BACKGROUND INFORMATION:

The subject parcel in its current configuration was created as Parcel A of Parcel Map 8153 filed with the Fresno County Recorder on July 11, 2018. The current proposal entails the creation of a nine-lot subdivision, with individual wells and individual onsite wastewater treatment systems, from a 19.76-acre parcel, in the Rural Residential (Two-Acre Minimum Parcel Size) Zone District. The subject parcel is currently improved with a single-family dwelling, and a detached garage, and detached carport, which will remain on Lot No.1 of the proposed subdivision.

Finding 1: *That the proposed map, and the design or improvement of the proposed subdivision, are consistent with the General Plan and any applicable Specific Plans.*

Relevant Policies:	Consistency/Considerations:
<p>General Plan Policy PF-C.17: <i>The County shall, prior to consideration of any discretionary project related to land use, undertake a water supply evaluation. The evaluation shall include the following:</i></p> <ul style="list-style-type: none"> <li data-bbox="272 464 802 1031">a. <i>A determination that the water supply is adequate to meet the highest demand that could be permitted on the lands in question. If surface water is proposed, it must come from a reliable source and the supply must be made “firm” by water banking or other suitable arrangement. If groundwater is proposed, a hydrogeologic investigation may be required to confirm the availability of water in amounts necessary to meet project demand. If the lands in question lie in an area of limited groundwater, a hydrogeologic investigation shall be required.</i> <li data-bbox="272 1066 802 1331">b. <i>A determination of the impact that use of the proposed water supply will have on other water users in Fresno County. If surface water is proposed, its use must not have a significant negative impact on agriculture or other water users within Fresno County.</i> 	<p>The project was reviewed by the Water and Natural Resources Division, which determined that the project would have a less than significant impact on groundwater resources. Additionally, the subject parcel is not located in an area of the County identified as having limited groundwater supplies.</p>
<p>General Plan Policy PF-E.6: <i>The County shall require that drainage facilities be installed concurrently with and as a condition of development activity to ensure the protection of the new improvements as well as existing development that might exist within the watershed.</i></p>	<p>The proposed parcels will be designed with individual on-site storm water retention basins.</p>
<p>General Plan Policy PF-H.2: <i>Prior to the approval of development projects, the County shall determine the need for fire protection services. New development in unincorporated areas of the County shall not be approved unless adequate fire protection facilities are provided.</i></p>	<p>A pressurized tank and hydrant system will be required for the subdivision, and the subdivision will also be required to annex into Fresno County Fire Protection District's, Community Facilities District (CFD) 2010-01 for Fire Protection Services. Additionally, current Fire code requires that residences be constructed with fire sprinkler systems.</p>

Relevant Policies:	Consistency/Considerations:
<p>General Plan Policy PF-D.6: <i>The County shall permit individual on-site sewage and disposal systems on parcels that have the area, soils, and other characteristics that permit installation of such disposal facilities without threatening surface or groundwater quality or posing any other health hazards and where community sewer service is not available and cannot be provided.</i></p>	<p>The proposed parcels will install individual onsite wastewater treatment systems (septic). The proposed parcels will be subject to the requirements of the Fresno County Local Area Management Program (LAMP) as it pertains to septic system design and density; and, subject to permit and inspection by the Fresno County Department of Public Works and Planning.</p>
<p>General Plan Policy LU-E.10: <i>The County shall require new subdivisions within areas designated Rural Residential be designed to utilize individual on-site sewer and water systems. All proposals shall be reviewed by the County Geologist and the County Health Officer to determine the appropriate minimum lot size based on local hydro-geological conditions.</i></p>	<p>The project was reviewed by the Water and Natural Resources Division which determined that the project would have a less than significant impact on groundwater resources. The proposed subdivision was also reviewed by the County Health department which had no concerns stating that any installation of any new sewage disposal system will be subject to permits and inspections, as well as State Health and safety code, California Code of Regulations, and plumbing and building code.</p>

Reviewing Agency/Department Comments:

Policy Planning Unit, Development Services and Capital Projects Division: The subject parcel is designated as Northeast Rural Residential in the County General Plan; the subject parcel is not enrolled in the Williamson Act Program.

No other comments specific to General Plan consistency were expressed by reviewing Agencies or Departments.

Finding 1 Analysis:

The subject property is zoned Rural Residential, with a two-acre minimum parcel size which is consistent with the underlying land use designation of Northeast Rural Residential. The proposed subdivision is also consistent with the minimum lot size requirement of the Rural Residential Zone District, and with the residential density limitations and provisions therein. The Rural Residential land use designation provides for single-family dwellings, accessory buildings, and small agricultural operations (e.g., greenhouses, fruit trees, nut trees, and vines) in rural settings.

Recommended Conditions of Approval:

The final map shall be in substantial conformance with the approved tentative map.

Finding 1 Conclusion:

Finding 1 can be made in that the proposed subdivision is consistent with the General Plan and the underlying land use designation of Northeast Rural Residential.

Finding 2: That the project site is physically suitable for the type and density of development proposed.

Surrounding Parcels

	Size:	Use:	Zoning:	Nearest Residence:
North	5.60 acres 1.83 acres 1.85 acres	Single-Family Residential Single-Family Residential Single-Family Residential	Rural Residential	192 feet 169 feet 20 feet
South	2.33 acres 2.74 acres 2.68 acres 2.11 acres	Single-Family Residential Single-Family Residential Single-Family Residential Single-Family Residential	Rural Residential	50 feet 56 feet 45 feet 85 feet
East	19.7 acres 19.7 acres 2.11 acres 1.86 acres	Single-Family Residential Single-Family Residential Single-Family Residential Single-Family Residential	AE-20	225 feet None 195 feet 155 feet
West	3.69 acres 4.96 acres 5.07 acres	Single-Family Residential Single-Family Residential Single-Family Residential	Rural Residential	400 feet 1,080 feet 1,060 feet

*Distances are approximate, measured from the nearest boundary of the subject parcel.

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	Front yard: 35 feet Rear yard: 20 feet Side yard: 20 feet	No change	Yes
Parking	Zoning Ordinance Section 855-I: For Residential Uses-At least one (1) parking space for every dwelling unit. Spaces shall be on the same lot with the main building which they are intended to serve and located to the rear of the required front yard, except for hillside lots.	No change	Yes

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Lot Coverage	No requirements for Rural Residential Zone District	N/A	N/A
Space Between Buildings	Zoning Ordinance Section 820.5.F	No change	Yes
Wall Requirements	Zoning Ordinance Section 820.5.2(a)(b)(c)	No change	Yes
Septic Replacement Area	100 percent	No change	Yes
Water Well Separation	Septic tank: 50 feet Disposal field: 100 feet Seepage pit: 150 feet	Individual on-site water wells. Individual on-site sewage and disposal systems	Yes

Reviewing Agency/Department Comments:

Development Engineering Section, Fresno County Department of Public Works and Planning Development Services and Capital Projects Division: According to FEMA FIRM Panel 1615H, the southwest corner of the subject parcel is under Flood Zone AO (depth two (2) feet), subject to flooding from the 100-year storm. Additionally, a large portion of the subject parcel is under shaded Flood Zone X, which refers to areas of 0.2 percent chance of flood, areas of 1 percent chance flood with average depths of less than one foot or with drainage areas less than one square-mile, and areas protected by levees from 1 percent chance flood. For property with Flood Zone shaded X, any future proposed building pad must be elevated above the existing ground to at least a minimum of twelve inches and/or the finished floor. All electrical wiring below the flood elevation shall be in a watertight conduit or approved direct burial cable. All sides of the future/proposed building shall be sloped 2 percent for a distance of 5 feet to provide positive drainage away from the building.

As per Fresno County Ordinance Section 17.48.390.C, provision of water storage facilities for fire protection where the lots are to be served by individual wells. Such facilities shall be located within one half-mile of each lot measured along a public or approved private road and shall be capable of supplying a quantify of water for a one-hour period determined by the application of the applicable formula.

Fresno County Fire Protection District: The project may be required to annex into Community Facilities District No. 2010-01 of the Fresno County Fire Protection District. The Project will be subject to the requirements of the current fire code and building code when a building permit or certificate of occupancy is sought. Residential fire sprinklers will be required for all new residences. A pressurized hydrant system will be required for the subdivision.

No other comments specific to the suitability of the site were expressed by reviewing Agencies or Departments.

Finding 2 Analysis:

The project site is an area both zoned and designated as Rural Residential. The County's General Plan provides corresponding development density standards for each land use designation. The Rural Residential designation carries a residential density of one dwelling unit per five (5) acres to one dwelling unit per two (2) acres. Each of the proposed lots will be a minimum of two (2) acres net, consistent with this standard. Each of the proposed lots will have an individual drainage basin that will be maintained by the lot owner, which is consistent with County policy that all additional storm water runoff be retained on the site.

Because portions of the subject parcel are located within a FEMA designated flood hazard area, the project applicant will be required to incorporate a Storm Water Pollution Prevention Plan (SWPP) into any subsequent development plans and said Storm Water Pollution Prevention Plan must be submitted to the County prior to commencement of any grading activities.

A water well and pressurized tank will be provided on an outlet at the western end of the proposed subdivision, between lots 5 and 6, which will serve the proposed two hydrant system. The hydrants will be placed along the north side of the proposed access road within the 60-foot right-of-way. The Fresno County Fire Protection District has made annexation into the Community Facilities District for Fire Protection a requirement. The fire suppression system must comply with all requirements imposed by annexation into the CFD.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Finding 2 Conclusion:

Finding 2 can be made, as the subject property has been determined to be physically suitable to accommodate the proposed nine-lot subdivision, and the density is within the provisions of the Rural Residential designation.

Finding 3: That the design of the proposed or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

Reviewing Agency/Department Comments:

No comments specific to land use impacts to wildlife or the environment were expressed by reviewing Agencies or Departments.

Finding 3 Analysis:

Based on a review of publicly available web-based aerial imagery, the subject parcel is located in an area characterized by low density residential development and irrigated agriculture, such as orchards, vineyards and row crops.

According to a search of the California Department of Fish and Wildlife, Natural Diversity Database a portion of the subject parcel is within an area of predicted habitat for the Burrowing Owl with a high degree of habitat suitability, however a subsequent query utilizing the Rare Find tool yielded no Burrowing Owl observations on or in the vicinity of the project site.

A review of the U.S. Fish and Wildlife, National Wetlands Inventory (NWI) Wetlands Mapping tool, there are no wetlands on or in the vicinity of the project site.

Given the historical agricultural use of the property, and the frequent ground disturbance associated with agriculture, the potential for the existence of suitable habitat for special status species on the property is limited. The Initial Study prepared for this project was provided to the California Department of Fish and Wildlife, and the U.S. Fish and Wildlife Service; neither Fish & Wildlife agency offered any comments on the project.

Recommended Conditions of Approval:

None.

Finding 3 Conclusion:

Finding 3 can be made; based on the above information, staff believes the proposal will not cause substantial adverse environmental impacts to surrounding properties.

Finding 4: That the design of the subdivision or types of improvements are not likely to cause serious public health problems.

Reviewing Agency Comments:

Fresno County Department of Public Health, Environmental Health Division: It is recommended that the applicant consider having the existing septic tanks pumped and have the tank and leach lines evaluated by an appropriately licensed contractor if it has not been serviced and/or maintained within the last five years. The evaluation may indicate possible repairs, additions, or require the proper destruction of the system.

If any underground storage tank(s) are found during construction, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.

In an effort to protect groundwater, all abandoned water wells and septic systems on the parcel shall be properly destroyed by an appropriately licensed contractor (permits required).

Prior to destruction of agricultural wells, a sample of the upper most fluid in the well column should be sampled for lubricating oil. The presence of oil staining around the well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements. Contact the Water Surveillance Program at (559) 600-3357 for more information.

Finding 4 Analysis:

The design of the subdivision and subsequent residential development are not likely to cause serious public health problems.

The proposed subdivision is compliant with the minimum parcel size designation of the Zone District, and the proposed parcels are adequate in area to accommodate the individual wells

and septic systems, and onsite storm water retention; and to be compliant with the applicable development standards for the Rural Residential Zone District.

Recommended Conditions of Approval:

None

Finding 4 Conclusion:

Finding 4 can be made, as no reviewing agencies or County Departments expressed any concerns that the proposed subdivision or future development of the property would be likely to cause adverse public health issues. Based on these factors, the proposed nine lot subdivision is unlikely to cause serious public health problems.

Finding 5: That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of the property within the proposed subdivision.

		Existing Conditions	Proposed Operation
Private Road	Yes	Fairview Avenue (proposed)	No change
Public Road Frontage	Yes	N. Greenwood Avenue (Proposed Lot No. 1 only)	No change
Direct Access to Public Road	Yes	Yes: N. Greenwood Avenue (Proposed Lot No. 1)	No change
Road ADT		Greenwood Avenue: 200 Vehicles Per Day	Addition of residential traffic trips
Road Classification		Fairview: Proposed 60-foot- wide access easement (private road) N. Greenwood Avenue: Collector	No change No change
Road Width		N. Greenwood Avenue: 60- foot right-of-way/22.3 feet paved Fairview Avenue: N/A	No change 60-foot right-of-way/24 foot paved
Road Surface		N. Greenwood Avenue: Asphalt paved N. Fairview Avenue: N/A	No change Asphalt paved

		Existing Conditions	Proposed Operation
Traffic Trips		N. Greenwood Ave: 200 Vehicles per day	Addition of residential traffic trips
Traffic Impact Study (TIS) Prepared	No	A Traffic Impact Study was not made a requirement for this proposal	No change
Road Improvements Required		N. Greenwood Ave: No Fairview Ave: Yes	No improvements required Appropriate County Road Standard; as determined by the Fresno County Department of Public Works and Planning, Road Maintenance and Operations Division End of Cul-de-Sac: Appropriate Rural Residential Standard; as determined by the Fresno County Department of Public Works and Planning, Road Maintenance and Operations Division

Reviewing Agency Comments:

Road Maintenance and Operations Division, Fresno County Department of Public Works and Planning: N. Greenwood Avenue is classified as a Local Road in the Fresno County General Plan, with an existing right of way of 40 feet, and an ultimate right-of-way of 60 feet. Records indicate that an additional ten feet of right of way was offered for dedication to the County with Parcel Map No. 8153 (recorded July 18, 2018), for a total of 30 feet west of the section line along the subject parcel frontage, which satisfies the ultimate right of way requirement for N. Greenwood Avenue.

The proposed private access easement (Fairview Road) shall be developed to the appropriate County Road Standard, as determined by the Fresno County Road Maintenance and Operations Division.

Development Engineering Section, Fresno County Department of Public Works and Planning Development Services and Capital Projects Division: Greenwood Avenue is classified as a local road with an existing 20-foot right-of-way width, west of the centerline, as per the Plat Book.

Engineered plans for the proposed access road (Fairview Avenue) and an engineered grading and drainage plan shall be required to show how additional storm water runoff generated by the

proposed development of the access road will be handled without adversely impacting adjacent properties.

Finding 5 Analysis:

The proposed subdivision proposes access to the parcels via construction of a new access easement to be known as Fairview Avenue, designed as a cul-de-sac. The proposed access easement will provide direct access from N. Greenwood Avenue, a County maintained road. The proposed access easement will be required to be constructed to the applicable public road standard and will not create any conflicts with the existing use of N. Greenwood Avenue.

Finding 5 Conclusion:

Finding 5 can be made based on compliance with the conditions of approval, the proposed access road will be required to be maintained by the owners of the road. The proposed subdivision will not be in conflict with any public easements.

PUBLIC COMMENT:

No public comment was received as of the date of preparation of this report.

CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings for granting the Tentative Tract Map can be made, and therefore recommends approval of Tentative Tract Map Application No. 6334, subject to the recommended Conditions.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Move to adopt the Negative Declaration prepared for Initial Study No. 7905; and
- Move to determine the required Findings can be made and move to approve Tentative Tract Map No. 6334, subject to the Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission’s action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Tentative Tract Map Application No. 6334; and
- Direct the Secretary to prepare a Resolution documenting the Commission’s action.

Recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

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EXHIBIT 1

**Tentative Tract Map Application No. 6334 & Initial Study No. 7905
Conditions of Approval and Project Notes**

Conditions of Approval	
1.	The proposed subdivision (final map) shall be in substantial conformance with the tentative map as approved by the Planning Commission.
2.	In accordance with Title 17 Section 17.48.020 of the Fresno County Ordinance Code and Table 1 Section 17.48.397 of the Code; The proposed access road (Fairview Avenue) shall be constructed to the required County Road Standard, and with a minimum 60-foot right-of-way. The proposed access road total right-of-way width shall also comply with County Improvement Standards. A County Standard B-2 rural residential cul-de-sac shall be provided at the end of the access road. The proposed access road shall be offered for Dedication to the County, for public road purposes.
3.	<p>Prior to approval of the Final Map for the proposed subdivision, road improvement and grading plans shall be prepared and submitted by a certified professional engineer for review and approval by the Fresno County Department of Public Works and Planning. Initial submittal shall include a soils report, which shall identify a recommended traffic index, R-value and pavement structural section. Subsequent R-values shall be obtained for sub-grade after completion of earthwork operations.</p> <p>Additionally, engineered plans for the proposed access road (Fairview Avenue) and an engineered grading and drainage plan shall be required to show how additional storm water runoff generated by the proposed development of the access road will be handled without adversely impacting adjacent properties. The Fresno Metropolitan Flood Control District shall be consulted for drainage requirements.</p>
4.	Prior to the recordation of the final map of subdivision containing any improved local public or private roads, the subdivider shall have provided for their maintenance by a county service area or other method acceptable to the director.
5.	Prior to recordation of the final map, the project shall be required to annex into Community Facilities District No. 2010-01 of the Fresno County Fire Protection District. A pressurized hydrant system will be required for the subdivision. The well, and pressurized storage tank shall be located on proposed Outlot 'A' as shown on the tentative map and shall be maintained in perpetuity in accordance with Fresno County Ordinance Code and Fresno County Fire Protection District requirements, and subject to inspection and approval by the County Fire Protection District.
6.	As per Title 17, Section 17.04.100 of the Fresno County Ordinance Code; if a subdivision is at any point within three hundred feet of an AE-20 (Exclusive Agricultural), AL (Limited Agricultural), TPZ (Timberland Preserve) or RC (Resource Conservation) Zone District, the approval of the tentative and final subdivision map shall be conditional upon the recordation with the Fresno County Recorder of notice in substantially the following form:

EXHIBIT 1

	<p><i>Fresno County Right to Farm Notice: It is the declared policy of Fresno County to preserve, protect, and encourage development of its agricultural land and industries for the production of food and other agricultural products. Residents of property in or near agricultural districts should be prepared to accept the inconveniences and discomfort associated with normal farm activities. Consistent with this policy, California Civil Code 3482.5 (right-to-farm law) provides that an agricultural pursuit, as defined, maintained for commercial uses shall not be or become a nuisance due to a changed condition in a locality after such agricultural pursuit has been in operation for three years.</i></p>
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Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	<p>As per Fresno County Ordinance Section 17.48.390.C; Water storage facilities for fire protection shall be provided where the parcels are to be served by individual wells. Such facilities shall be located within one half-mile of each lot measured along a public or approved private road and shall be capable of supplying a quantity of water for a one-hour period determined by the application of the following formula: $Q=700 F^{1/2}$; Q= Available storage in gallons; F= Number of families to be served by the fire protection water storage facility. In no case shall the storage facilities have a capacity of less than six (6) thousand gallons. Water storage facilities shall consist of a well, pump and storage tank located upon a water lot easement, together with an unsurfaced fire road between the water lot and a private or public road. Prior to the approval of the final map, the well shall be drilled and developed to supply the quantity of water necessary to replenish the storage facility in a 24-hour period. See condition of approval number 5.</p>
2.	<p>Any additional storm water runoff generated by the proposed development of a site cannot be drained across property lines or into the County right-of-way, and must be retained on-site, as per County standards.</p>
3.	<p>Prior to recordation of the final map, any proposed wells shall be constructed, permitted, and tested by the County. Additionally, sewer system improvements must be completed and accepted by the County prior to the issuance of building permits for residential construction.</p>
4.	<p>In an effort to protect groundwater, all abandoned water wells and septic systems on the parcel shall be properly destroyed by an appropriately licensed contractor (permits required).</p> <p>Prior to destruction of agricultural wells, a sample of the upper most fluid in the well column should be sampled for lubricating oil. The presence of oil staining around the well may indicate the use of lubricating oil to maintain the well pump. Should lubricating oil be found in the well, the oil should be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well must be handled in accordance with federal, state and local government requirements.</p> <p>It is recommended that the applicant consider having any existing septic tanks pumped and have the tank and</p>

Notes

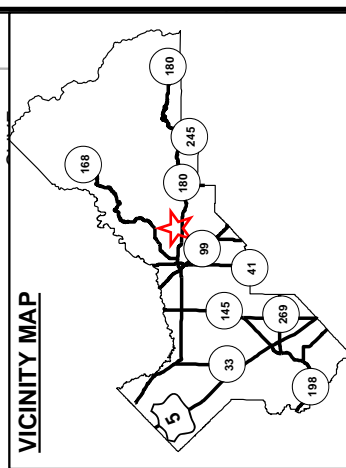
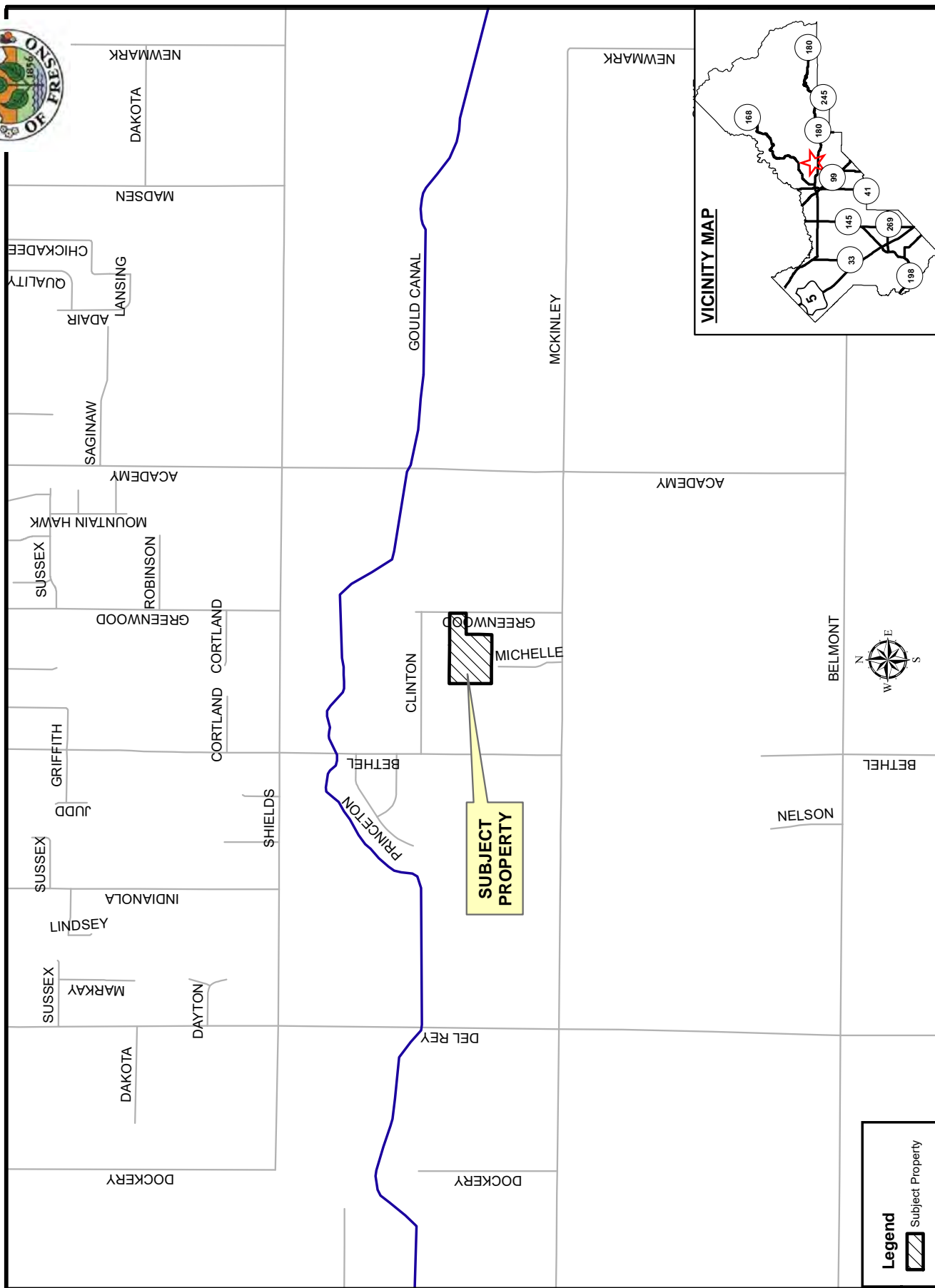
	leach lines evaluated by an appropriately licensed contractor if it has not been serviced and/or maintained within the last five years. The evaluation may indicate possible repairs, additions, or require the proper destruction of the system.
5.	If any underground storage tank(s) are found during construction, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division.
6.	According to the U.S.G.S. Quad Map, Fairview Ditch is near the southerly property line of the subject parcel. Any improvements constructed near Fairview Ditch should be coordinated with the owners of the ditch.
7.	The subject parcel is located within the Fresno Metropolitan Flood Control District (FMFCD) Boundary. Written Clearance from FMFCD is required prior to the County issuing a grading permit/voucher for any proposed work. It is the Applicant's responsibility to initiate contact with FMFCD and obtain the required clearance.
8.	<p>Fresno Irrigation District's (FID's) Fairview No. 98 (canal/pipeline) traverses the southern portion of the subject parcel and will be impacted by future development. Records indicate that FID has a 15-foot-wide exclusive easement for the canal/pipeline. The easement is recorded as Document No. 76806, Book 7075, Page 22, Official Records of Fresno County (ORFC) and 30-foot-wide exclusive easement recorded on July 14, 1978, in Book 7075, Page 8 ORFC.</p> <p>FID requires that all landscaping, fencing, structures, etc. to be located outside of its easement. All existing trees, bushes, debris, old canal structures, pumps, canal gates, and other inactive FID and private structures must be removed form within FID's easement.</p> <p>Please inquire with Fresno Irrigation District (FID) for any additional District Requirements related to FID facilities on the subject property.</p>
9.	The project will be subject to the school facilities fees charged by the Sanger Unified School District at the time building permits are issued.
10.	An encroachment permit will be required from the Road Maintenance and Operations Division for any work done within the County Road right-of-way.
11.	Engineered plans for the road improvement and an engineered grading and drainage plan shall be required to show how additional storm water runoff generated by the proposed development will be handled without adversely impacting adjacent properties.

Notes	
12.	All parcels within the proposed subdivision shall be a minimum of 2.0 acres net area, exclusive of all road and canal rights of way, recreation easements, permanent water bodies and public or quasi-public common use areas. Curved and cul-de-sac lots shall have a minimum street frontage of ninety (90) feet. All other lots shall conform to the development standards of the Rural Residential Zone District.
13.	According to FEMA, FIRM, Panel 1615H, the southwest corner of the subject property is under Flood Zone AO (Depth 2 feet) subject to flooding from the 100-year storm event. Additionally, a large portion of the property is under shaded Flood Zone X, referring to area of 0.2 percent annual chance of flood, areas of 1 percent annual chance flood with average depths of less than one foot or with drainage areas less than one square mile, and areas protected by levees from 1 percent annual chance flood. All future development will be subject to the requirements of the current building code and fire code, and applicable requirements relevant to development within special flood hazard areas.
14.	The subdivider shall obtain a National Pollution Discharge Elimination System (NPDES) permit prior to construction or grading activities. A Notice of Intent (NOI) shall be filed with the State Water Resources Control Board (SWRCB). A copy of the NOI with the WDID (Waste Discharger Identification) number shall be provided; The subdivider shall develop a Storm Water Pollution Prevention Plan (SWPPP) and incorporate the plan into the construction improvement plans. The plan shall be submitted to the County prior to commencement of any grading activities.
15.	Any proposed new Onsite Wastewater Treatment Systems (OWTS) will be subject to the requirements of the Fresno County Local Area Management Program (LAMP). A sewage feasibility report may be required, prior to development of any individual onsite wastewater treatment systems.
16.	A 20-foot by 20-foot corner cut-off shall be provided at the proposed interior road intersection with Greenwood Avenue.

LOCATION MAP



TT 6334



Legend


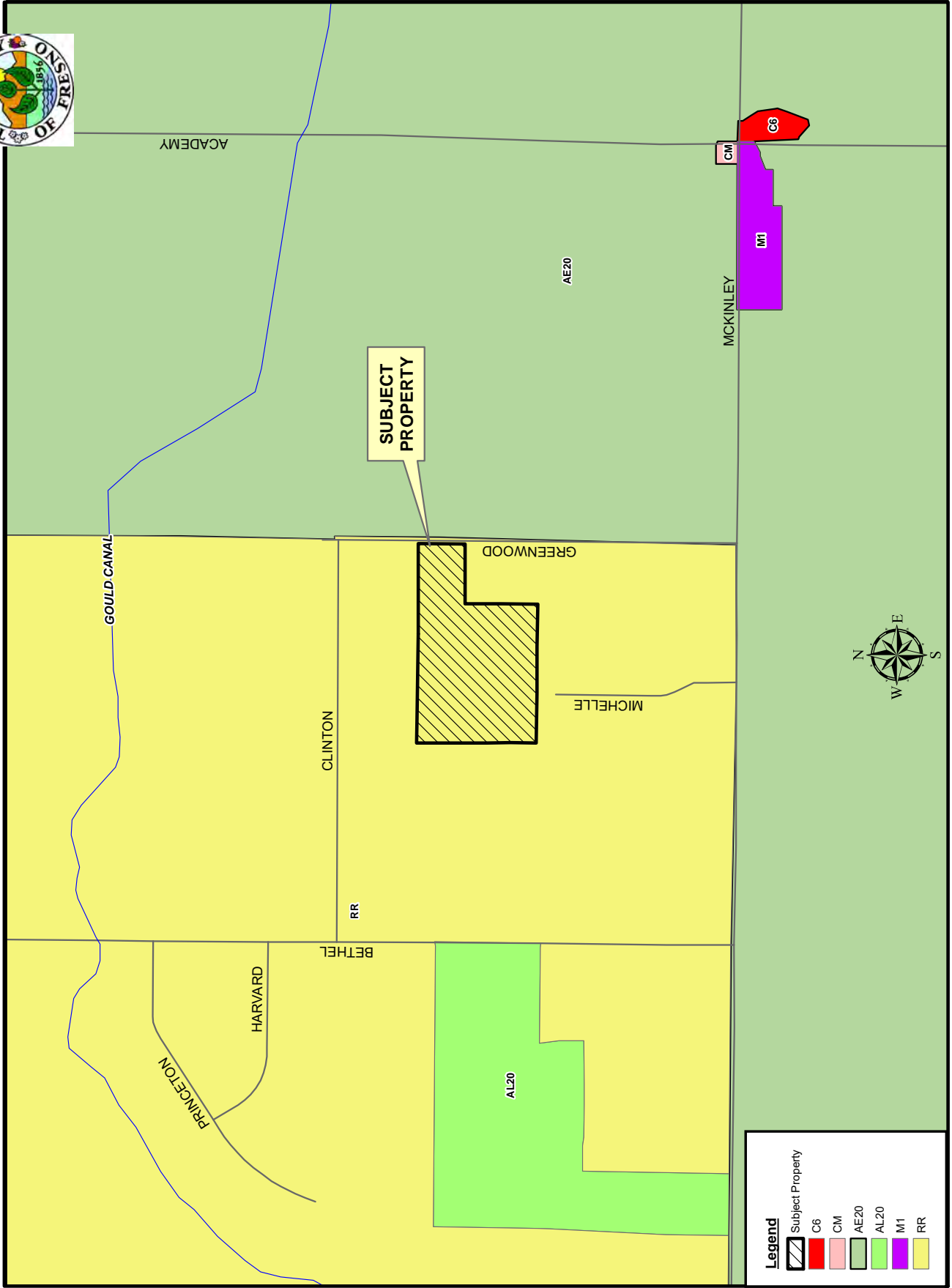
-  Subject Property

EXHIBIT 3

EXISTING ZONING MAP

TT 6334
STR 27-13/22



Legend	
	Subject Property
	C6
	CM
	AE20
	AL20
	M1
	RR

0 295 590 1,180 1,770 2,360 Feet

GS

Prepared by: County of Fresno Department of Public Works and Planning, Development Services Division

EXISTING LAND USE MAP

TT 6334



LEGEND	
[Pattern]	FC - FIELD CROP
[Pattern]	ORC - ORCHARD
[Pattern]	SF# - SINGLE FAMILY RESIDENCE
[Pattern]	V - VACANT

LEGEND:

- [Hatched Box] Subject Property
- [Dotted Box] Ag Contract Land



Department of Public Works and Planning
Development Services Division

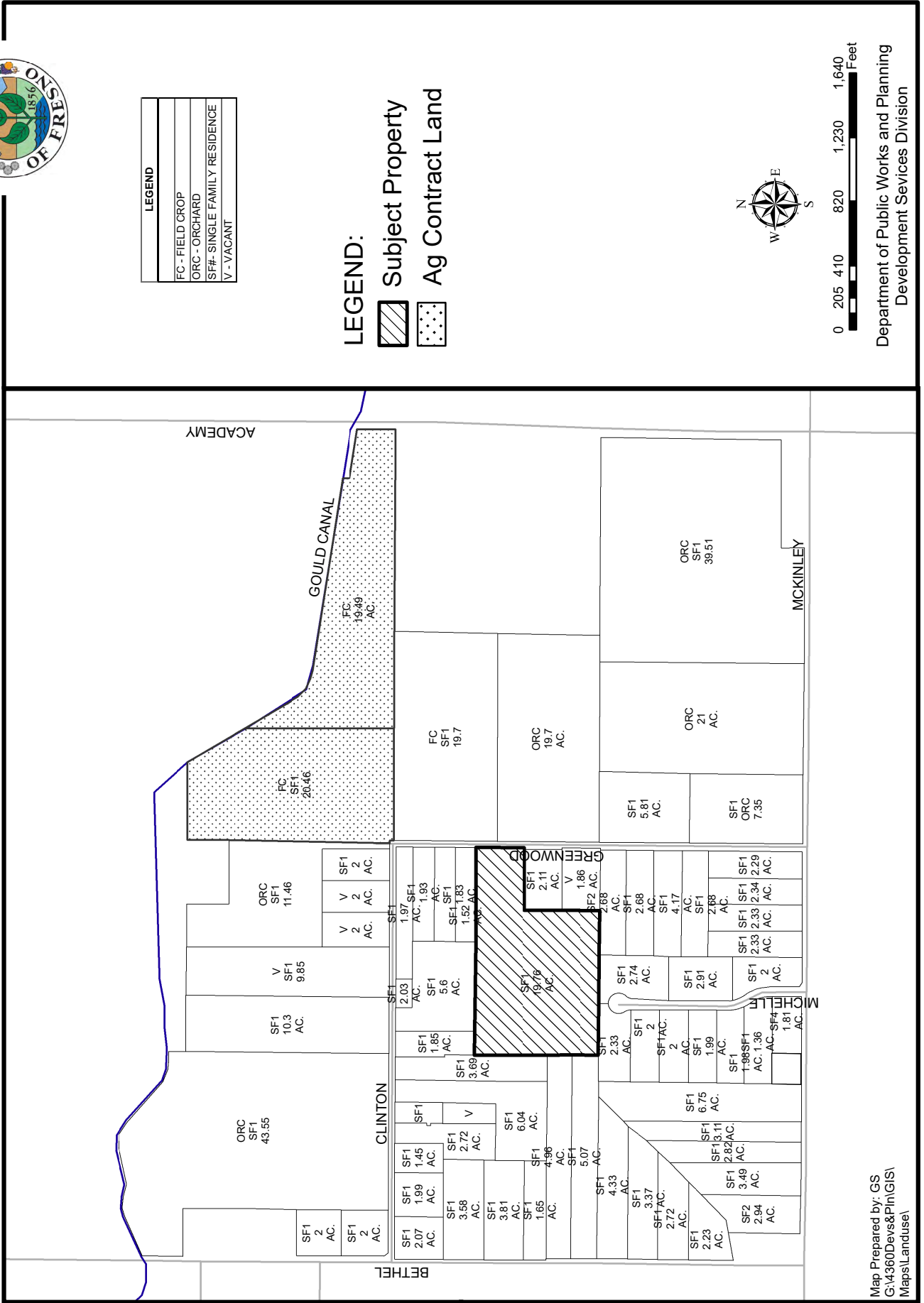
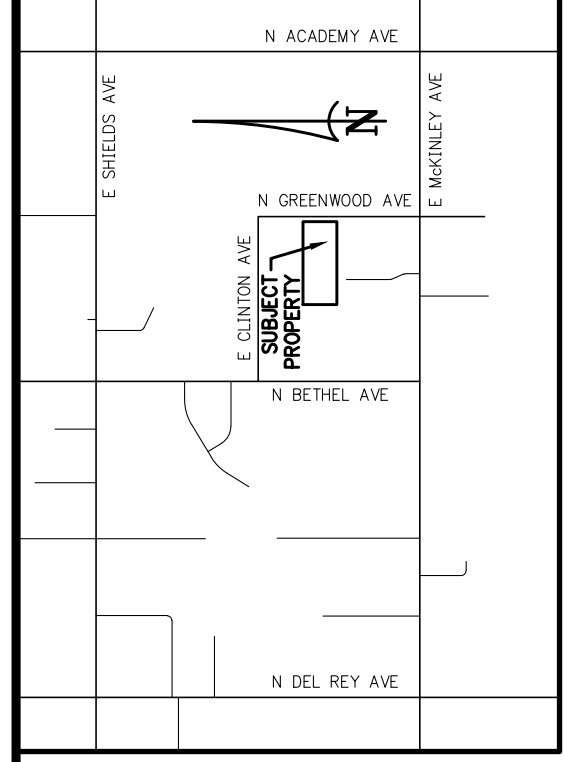


EXHIBIT 5

EAST CLINTON AVENUE



VICINITY MAP

NOT TO SCALE

SUBDIVIDERS STATEMENT
 TO: Fresno County Planning Commission
 2220 Tulare Street, 8th Floor
 Fresno, California 93721
 Tract No. **6334**
 Date: **07/17/2020**

I hereby apply for approval of the attached Tentative Tract Map. The acreage of this tract is 19.76 acres. There will be 9 lots in this tract with a minimum size of 2.0 acres or 87,120 square feet. The existing use of this property is Rural Residential. The proposed use of this property is Rural Residential; 2-acre minimum parcel size. The existing zoning on this property is RR (Rural Residential). The existing structures on this property include a single family residence, garage and shed. These structures are to remain. The existing easements on this property include 15' Fresno Irrigation District. ALL IMPROVEMENTS WILL CONFORM TO COUNTY STANDARDS WITH THE FOLLOWING EXCEPTIONS:
 1. No exceptions requested.

Types of trees to be planted are to be planted by the individual lot owners. The proposed drainage, flood control measures and method of storm water disposal shall be as shown on the attached Tract Map. 1. Individual private ponding basin per lot. Maintained by the lot owner. The proposed fire hydrants/ fire protection shall be approved and installed per Fresno County Fire Protection District requirements prior to lot development. (Two hydrants are required. See Map for locations.) The proposed source of water supply will be individual private well per lot. The proposed method of sewage disposal is individual sewer septic system per lot. The following utilities are to be provided by Pacific Gas and Electric (PG&E) and Pacific Bell. The arrangement of these utilities (have not) been made with utility companies serving this area.

Signature of Engineer
 Name: R. W. Greenwood Associates, Inc.
 Address: 2533 N. Greenwood Ave.
 City: Fresno
 State: CA
 Phone: 559-268-7831

Signature of Subdivider
 Name: Edward Barton & Carole A. Barton
 Address: 2533 N. Greenwood Ave.
 City: Fresno
 State: CA
 Phone: 559-875-5700

L. Edward and Carole Barton, hereby certify that I (on the record owner of the parcel shown on the Tentative Map of Tract No. 6334, that I have examined that map and find it to conform to the requirements of the Fresno County Planning Commission for consideration.

LEGAL DESCRIPTION
 PARCEL "A" OF PARCEL MAP No. 8163 AS RECORDED IN BOOK 74 OF PARCEL MAPS, AT PAGES 72, 73 AND 74, FRESNO COUNTY RECORDS.
 APN: 309-191-85
 EXISTING ZONE: RR
 EXISTING LAND USE: RR

OWNER
 EDWARD BARTON
 EDWARD BARTON & CAROLE A. BARTON
 SANGER, CA 93657
 Ph: (559) 875-5700

PREPARED BY
 R. W. GREENWOOD ASSOCIATES, INC.
 2533 N. GREENWOOD AVENUE
 FRESNO, CALIFORNIA 93701
 Ph: (559) 268-7831

SOURCE OF DATA
 PARCEL "A" OF PARCEL MAP No. 8163 AS RECORDED IN BOOK 74 OF PARCEL MAPS, AT PAGES 72, 73 AND 74, FRESNO COUNTY RECORDS.

TENTATIVE SUBDIVISION MAP

No. 6334

IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA

EDWARD & CAROLE BARTON

R. W. Greenwood Associates, Inc.
 CIVIL ENGINEERING - LAND SURVEYING
 2538 EAST OLIVE AVENUE, FRESNO, CALIFORNIA 93701, Ph: (559) 268-7831

DATE: MARCH 25, 2020
 JOB No.: D-20015
 DRAWN BY: MGS
 DWG No.: -E-

- LEGEND**
- 300.0 EXISTING GROUND ELEVATION
 - 100.0 EXISTING FINISH FLOOR ELEVATION
 - +0.0 EXISTING UTILITY ELEVATION
 - +4.0 EXISTING CONCRETE ELEVATION
 - +1.0 EXISTING PAVEMENT ELEVATION
 - +4.0 EXISTING EDGE OF PAVEMENT ELEVATION
 - +4.0 EXISTING TOP OF WALL ELEVATION
 - +4.0 EXISTING FLOW-LINE ELEVATION
 - +4.0 EXISTING FINISH FLOOR ELEVATION
 - +4.0 EXISTING CROWN OF STREET ELEVATION
 - +4.0 EXISTING WATER VALVE
 - +4.0 EXISTING BACKFLOW PREVENTION DEVICE
 - +4.0 EXISTING SEWER CLEANOUT
 - +4.0 EXISTING STREET LIGHT
 - +4.0 EXISTING MAIL BOX LOCATIONS
 - +4.0 EXISTING STREET LIGHT
 - +4.0 EXISTING IRRIGATION PIPE, SIZE SHOWN
 - +4.0 EXISTING SEWER PIPE, SIZE SHOWN
 - +4.0 EXISTING UNDERGROUND CONDUIT
 - +4.0 EXISTING GAS LINE
 - +4.0 EXISTING FIBER OPTIC LINE
 - +4.0 EXISTING OVERHEAD UTILITY WIRES
 - +4.0 EXISTING STORMDRAIN MANHOLE
 - +4.0 EXISTING STORMDRAIN INLET
 - +4.0 EXISTING TOP OF CURB ELEVATION
 - +4.0 EXISTING GUTTER ELEVATION
 - +4.0 EXISTING PAVEMENT ELEVATION
 - +4.0 EXISTING TOP OF WALL ELEVATION
 - +4.0 EXISTING TOP OF RETAINING WALL ELEVATION
 - +4.0 EXISTING BASE ROCK ELEVATION
 - +4.0 EXISTING HIGH WATER MARK
 - +4.0 EXISTING FINISH FLOOR ELEVATION
 - +4.0 EXISTING UTILITY ELEVATION
 - +4.0 EXISTING PAVEMENT OR DIRT SWALE
 - +4.0 EXISTING CROSS-SECTIONAL VIEW
 - +4.0 EXISTING PROPOSED PAVED AREA

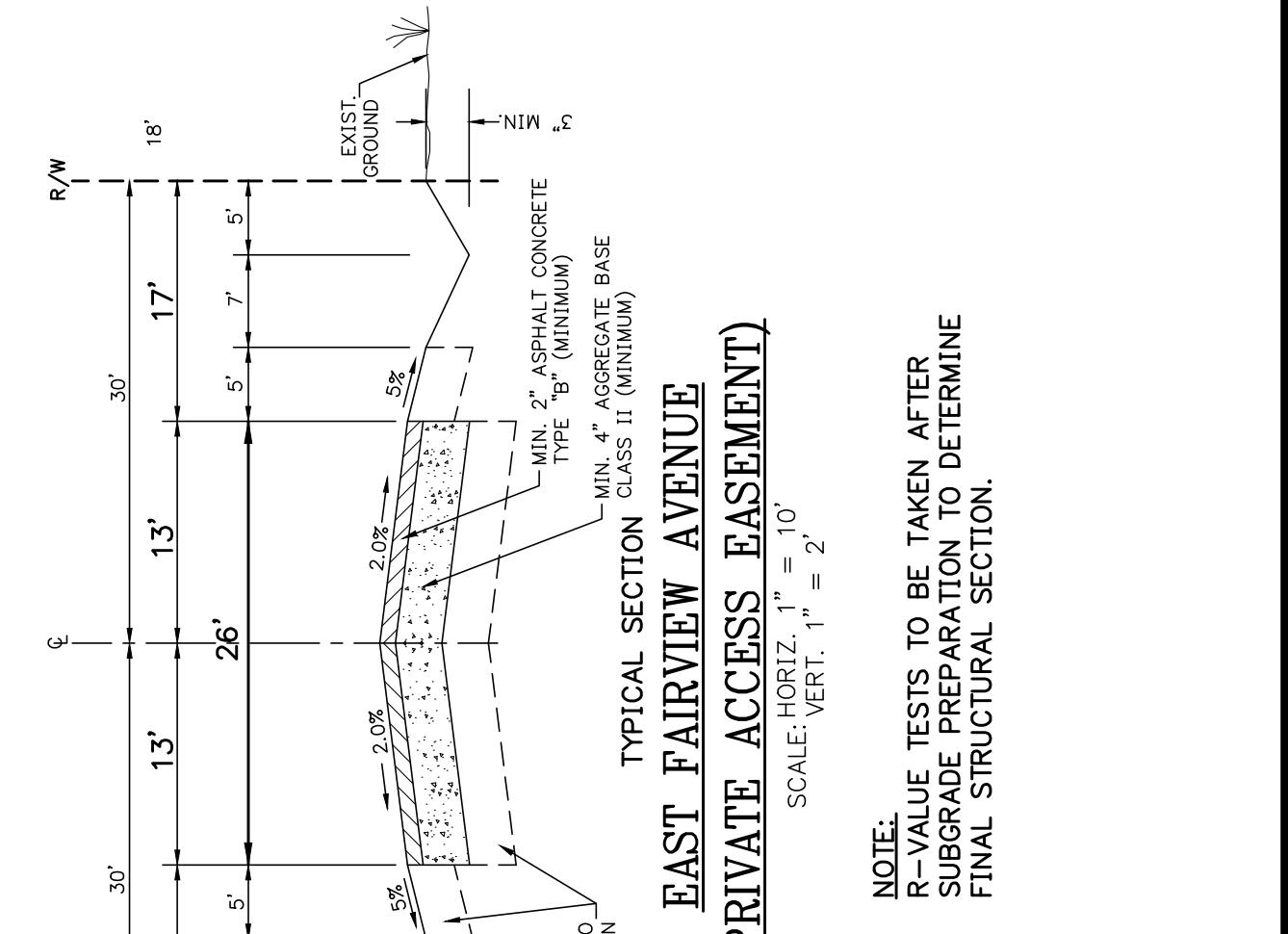
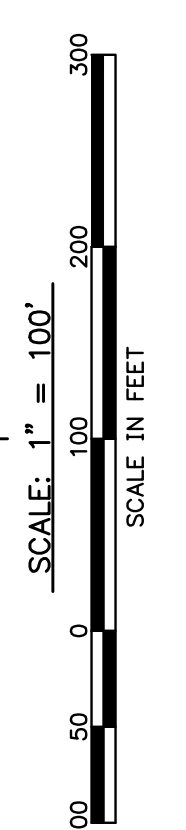
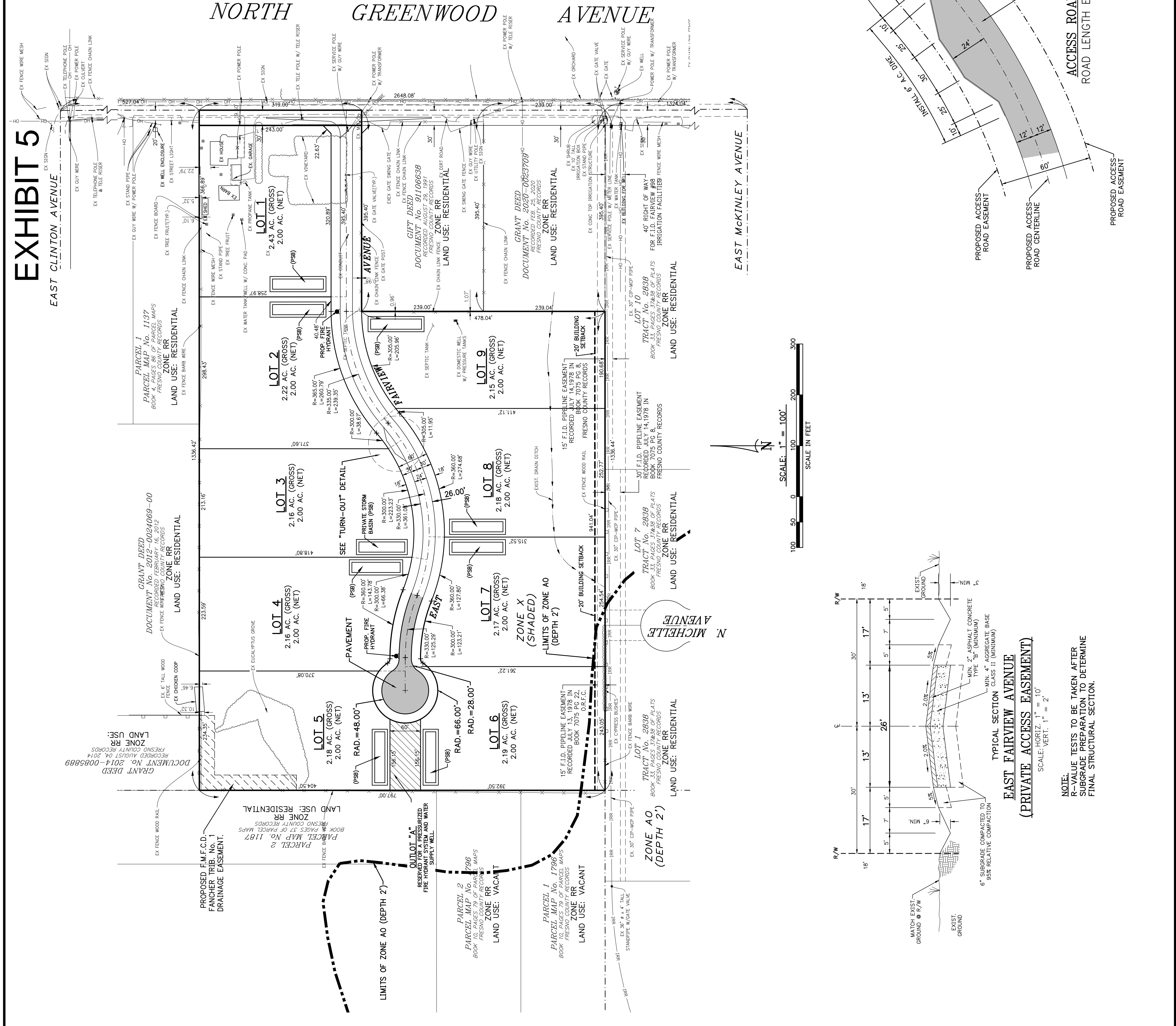
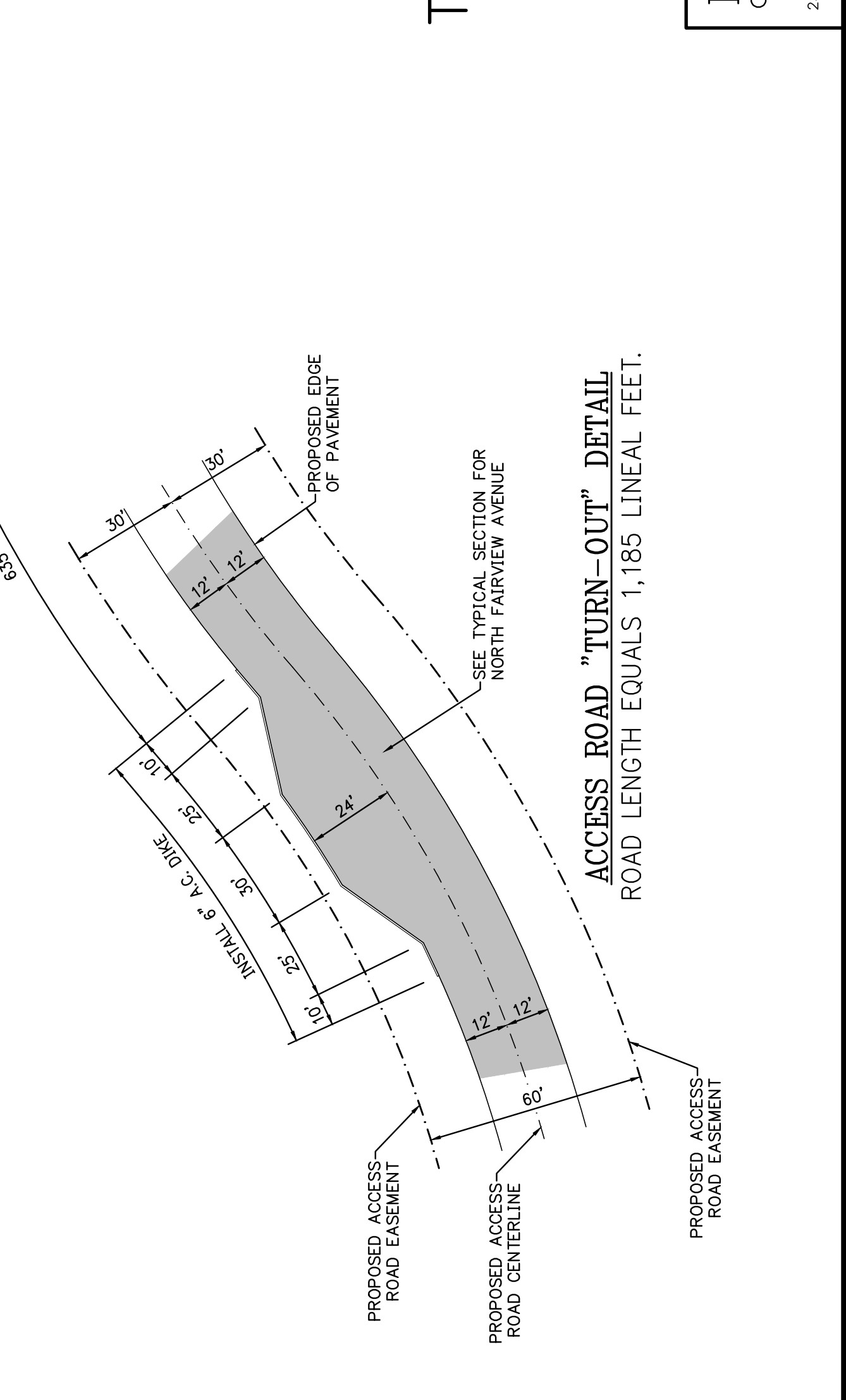
FLOOD DESIGNATION
 PER FEMA PANEL 1815 OF 3525, FRESNO COUNTY, CALIFORNIA, MAP NUMBER 06019C1615H, MAP REVISED FEBRUARY 18, 2009.

ZONE X (SHADED)
 AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF 1 FOOT OR MORE, AREAS OF 1% ANNUAL CHANCE FLOOD PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

ZONE AO
 FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN, AVERAGE DEPTHS DETERMINED FOR AREAS OF ALLUVIAL FAN FLOODING, VELOCITIES ALSO DETERMINED).

(PSB)
 PRIVATE STORMWATER BASIN TO BE MAINTAINED BY INDIVIDUAL PROPERTY OWNERS.

NOTE:
 EAST FAIRVIEW AVENUE IS A PRIVATE ACCESS EASEMENT TO BE DEVELOPED PER FRESNO COUNTY STANDARDS.
 THIS DEVELOPMENT SHALL UTILIZE THE LATEST METHODS AVAILABLE FOR ENERGY CONSERVATION.



NOTE:
 R-VALUE TESTS TO BE TAKEN AFTER SUBGRADE PREPARATION TO DETERMINE FINAL STRUCTURAL SECTION.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

APPLICANT: Edward Barton

APPLICATION NOS.: Initial Study No. 7905; Tentative Tract Map Application No. 6334

DESCRIPTION: Allow the creation of a nine-lot subdivision from a 19.76-acre parcel, with each lot containing a minimum of two-acres, in the R-R (Rural Residential, two-acre minimum parcel size) Zone District.

LOCATION: The subject parcel is located on the west side of N. Greenwood Avenue approximately 600 feet south of Clinton Avenue, approximately three miles southeast of the City of Clovis (APN: 309-191-85) (2383 N Greenwood Ave.) (SUP. DIST. 5).

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway; or
- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality; or

FINDING: NO IMPACT:

The area is rural residential in character and the creation of the proposed lots and subsequent development would be consistent with the existing land uses in the area and will not degrade the visual character of the neighborhood. No scenic resources or scenic vistas were identified in the analysis, and Greenwood Avenue is not a designated Scenic Drive in the County's General Plan.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT:

No specific development is proposed with, nor will any development be approved with the approval of this tract map. However, any new lighting associated with subsequent residential development will be required to comply with applicable County property development standards.

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

FINDING: NO IMPACT:

The subject property does not contain any active agricultural operation and is zoned for Rural Residential land uses.

- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

FINDING: NO IMPACT:

The subject parcel is not restricted under Williamson Act Contract.

- C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or
- D. Result in the loss of forest land or conversion of forest land to non-forest use; or
- E. Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of farmland to non-agricultural use or conversion of forestland to non-forest use?

FINDING: NO IMPACT:

The subject parcel is not zoned as forest land or timberland, or for timberland production therefore it will not result in the conversion of timberland or forestland; nor will it result in the conversion of farmland.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will not result in a cumulatively considerable net increase in criteria pollutants.

- C. Expose sensitive receptors to substantial pollutant concentrations?

FINDING: NO IMPACT:

The project proposes the creation of nine lots which could be developed with single family residences in the future. Such construction may require permits from the San Joaquin Valley Air Pollution control district, where applicable. The potential exists for individuals residing nearby to be exposed to emissions from construction equipment and particulate matter from dust created during construction. However, such emissions are not anticipated to result in substantial pollutant concentrations.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: NO IMPACT:

Subsequent residential development of the property is not anticipated to result in any emissions which would adversely affect a substantial number of people.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or

regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or

- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: LESS THAN SIGNIFICANT IMPACT:

A search of the US Fish and Wildlife Service IPaC resources database produced a resource list of species, both plant and animal that may have the potential to exist on or in the vicinity of the project site. The IPaC list indicated that the Federally Endangered Fresno Kangaroo Rat and Federally Endangered San Joaquin Kit Fox, the Federally threatened Yellow-Billed Cuckoo, the Federally Endangered Blunt-nosed Leopard Lizard, the Federally threatened Giant Garter Snake, the Federally threatened California Red Legged Frog, the Federally threatened California Tiger Salamander, the Conservancy Fairy Shrimp, and the Vernal pool Fairy Shrimp. Flowering plant species including Fleshy Owl's Clover, and Greene's Tuctoria. A review of the California Department of Fish and Wildlife California Natural Diversity Database (CNDDDB) BIOS Viewer indicate that the subject property is located approximately .4 miles northwest of recorded occurrence of the Federally endangered Greene's Tuctoria. The subject parcel is also located within the range of the Fresno Kangaroo Rat; however, it is not within any predicted habitat or final critical habitat. The subject property is also within the range, and near predicted habit of medium suitability, of the San Joaquin Kit Fox. According to the CDFW RareFind query tool for the CNDDDB there have been approximately eight occurrences of Kit Fox recorded between 1975 and 2002 in geographically dispersed areas of Fresno County; the subject property is located within 3.5 miles of one recorded occurrence within one mile of the City of Sanger between 1980-1989, however there have been no recent occurrences in the vicinity of the project site.

- C. Have a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

No State or Federally protected wetlands were identified in the analysis.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

No suitable habitat for migratory fish or wildlife species was identified on the project site through either the CNDDDB or US Fish and Wildlife Service IPaC Resources database. This project involves only the subdivision of land formerly suited to agricultural

purposes. While it is reasonable to anticipate the property will be developed with single-family residences in the future, impacts to potential wildlife habitat or wildlife is a possibility, such impacts would be less than significant.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

No conflicts with local policies or ordinances, habitat conservation plans, or natural community conservation plans were identified which pertain to the subject property or its immediate vicinity.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or
- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: NO IMPACT:

No cultural or historical resources were identified by reviewing agencies, including local tribal governments who were notified under the provisions of AB52.

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: NO IMPACT:

The proposal is not anticipated to result in significant environmental impacts due to wasteful, inefficient or unnecessary consumption of energy resources. Future residential construction will be subject to the applicable energy efficiency provisions of the Green Building Standards Code.

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 2. Strong seismic ground shaking?
 3. Seismic-related ground failure, including liquefaction?
 4. Landslides?

FINDING: NO IMPACT:

The project site is not located in an area subject to a substantial risk from seismic activity, according to Figure 9-5 (Probabilistic Seismic Hazards [10% Probability in 50 Years]) of the Fresno County General Plan Background Report (FCGPBR), which indicates that, given a ten percent probability of an earthquake occurrence in within 50 years, the project site is in an area where ground acceleration due to seismic activity has a 10 percent probability of exceeding 0-20 percent of peak horizontal ground acceleration or a maximum of .20 g (percent of the force of gravity) during an earthquake, which is a relatively low probability. However, known fault systems along the eastern and western boundaries of the County, do have the potential to cause high magnitude earthquakes, which could affect other parts of the County. Any subsequent development of the property will be subject to current California Building Code which addresses seismic design standards. The project site is not located in an area prone to liquefaction, or landslides. Therefore, based on the analysis, the potential for the project to cause adverse effects resulting from seismic activity would be less than significant.

- B. Result in substantial soil erosion or loss of topsoil?

FINDING: NO IMPACT:

Any grading associated with the subsequent residential development of the new lots proposed with this project will require grading permits or grading vouchers, which will be reviewed to ensure that substantial erosion does not result. Much of the subject parcel

appears to have been graded previously, and any additional grading is not anticipated to result in substantial soil erosion.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

FINDING: NO IMPACT:

According to Figure 9-6 of the Fresno County General Plan Background Report (FCGPBR) the subject property is not located in an area subject to increased risk of landslide, lateral spreading, subsidence or liquefaction.

- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

The subject property is not located in an area of expansive soils, as described in Chapter 7 or shown on Figure 7-1 (Expansive Soils) of the Fresno County General Plan Background Report.

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed residential lots will be subject to the requirements of the Fresno County Local Area Management Program (LAMP) which regulates septic system density. The proposed two-acre parcels, and less than two-acre parcels would be limited to one onsite wastewater treatment system, subject to applicable permits and inspection. None of the reviewing agencies expressed concern the subject property soils would be incapable of supporting the use of septic tanks or alternative wastewater disposal systems.

- F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

No paleontological resources were identified in the analysis.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The division of land proposed by this application will not itself generate greenhouse gas emissions, however, subsequent development of residential uses on the proposed lots has the potential to generate greenhouse gas emissions both during construction and operation, and as such the project proponent was required to quantify such GHG emissions. A Greenhouse Gas (GHG) Analysis by LSA, dated March 26, 2021, was provided to the County for review. The analysis concluded that several factors including, operation of construction equipment, worker vehicles and vendor supply vehicles both of which involve the consumption of fossil fuels and future residential development, would contribute greenhouse gas to the atmosphere. Long term or operational GHG emissions are typically generated by mobile sources such as residential vehicle traffic; area sources such as landscape maintenance activity, indirect emissions from energy consumption such as water supply and conveyance and treatment, and generation of waste.

The GHG Analysis estimated that approximately 521.6 metric tons of CO₂ e (Carbon Dioxide Equivalent) would be generated by project construction. Operational emission were estimated using California Emissions Estimator (CalEEMod) modeler, which calculated that the project would generate approximately 214.1 metric tons of CO₂e annually, about 87 percent of which is anticipated to be generated by mobile sources.

However, as there are no established thresholds of significance for greenhouse gas emissions, the project was evaluated in terms of whether or not it would generate GHG emissions that would be in conflict with state GHG emissions reduction objectives, or with any applicable GHG reduction plans, or regulations. As such it was determined, based upon the GHG analysis, that the project would cause a less than significant impact with respect to GHG emissions.

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

FINDING: NO IMPACT:

The project involves a discretionary land division to create six residential lots and subsequent mapping procedure. It is anticipated that if the land division is approved that the resultant lots will be developed with single-family residences. However, such development is not anticipated to create a hazard to the public or the environment due to the transport or disposal of hazardous materials, as no transport or storage of hazardous materials is proposed nor anticipated with this project.

- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

FINDING: NO IMPACT:

The project involves the division of land, and the project site is not located within one-quarter mile of a school.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

According to the U.S. Environmental Protection Agency's NEPAAssist mapping tool, the subject parcel is not located within the boundaries of a hazardous materials site??

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

The subject parcel is not located within the boundaries of an airport land use plan or within two miles of a public airport.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

FINDING: NO IMPACT:

The road access to the proposed lots will be required to comply with County Subdivision Ordinance Standards, Title 17, of the Fresno County Ordinance Code, and applicable Fire Code Standards. The access road for the project is proposed as an approximately 1,100 +/- foot long cul-de-sac with a 60-foot right-of-way width, and a 74-foot wide, turn around. The road and turn around area will be required to comply with Fire Code, and County standards related to emergency access. The maximum allowable length for a cul-de-sac is 300 feet as per the County Ordinance Code Title 17 Section 17.48.070, unless an additional fire hydrant is placed at the end of the turnaround, in which case a

maximum of 500 feet is allowed. As such the project an exception to the standard was necessary. There are no features of the proposed subdivision which would interfere with an emergency response plan.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: NO IMPACT:

The subject property is not located in an area at increased risk from wildland fires, nor is it in a designated State Responsibility Area (SRA). The property is located in an area of flat topography, and surrounded by irrigated agriculture and rural residential development.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?

FINDING: NO IMPACT:

The proposed lots will have on site drainage/retention facilities and no stormwater discharge will be allowed to be directed off site, in accordance with County standards.

- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed lots will be served by individual private domestic wells. The project is not in an area of the County designated as being water short, however the project was reviewed by the Fresno County Water and Natural Resources Division which determined based upon a 2007 hydrogeological study, there is an adequate supply of groundwater to serve the demands of development of the proposed lots.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:
 1. Result in substantial erosion or siltation on or off site?
 2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site?

3. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or
 4. Impede or redirect flood flows?
- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation; or
- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

The project was reviewed by the North Kings Groundwater Sustainability Agency which did not identify any potential conflicts with the Groundwater Sustainability Plan.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community; or
- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: NO IMPACT:

The proposed residential lots are consistent with the underlying zoning of the property and the creation of said lots will not physically divide an existing community.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: NO IMPACT:

The subject property is not located in a mineral resource area as identified by Figure (which one) of the Fresno County General Plan Background Report (FCGPBR).

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels; or
- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: NO IMPACT:

The project proposes the creation of nine residential lots. Any subsequent residential development will be subject to the restrictions of the Noise Ordinance of the Fresno County Ordinance Code Title 8.40.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?; or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: LESS THAN SIGNIFICANT IMPACT:

While the project does propose to create new residential lots to be developed, and as a result will increase the population and residential density in the area, is not anticipated to result in or induce substantial unplanned growth.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:

1. Fire protection;
2. Police protection;
3. Schools;
4. Parks; or
5. Other public facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is not anticipated to require the provision of new or physically altered governmental facilities, including schools, parks, police protection or other public facilities. The proposed nine lot subdivision is located within the jurisdiction of the Fresno County Sheriff's Department and the Fresno County Fire Protection District and will be served by a private road. For the purposes of fire protection, will be required to provide a pressurized fire hydrant system to serve future residential development.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The development of the nine proposed residential lots is not anticipated to result in a substantial increase in the use of any neighborhood or regional parks such that would cause physical deterioration of the facility, and no new recreational facilities nor the expansion of any existing recreational facilities is proposed.

XVII. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT

The propose private access road (Fairview Avenue) will be required to be developed to the appropriate private road standard and be maintained by the users in a manner that is acceptable to the County.

- B. Be in conflict or be inconsistent with the California Environmental Quality Act (CEQA) Guidelines Section 15064.3, subdivision (b)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

A Vehicle Miles Travelled evaluation was completed for this project by LSA, dated March 26, 2021. Based upon the recommended screening threshold for small projects contained in the Governors Office of Planning and Research (OPR), projects that generate or attract fewer than 110 trips per day, may be assumed to cause a less than significant transportation impact. Additionally, based on the Institute of Traffic Engineers (ITE) Trip Generation Manual for single-family detached housing would generate approximately 85 average daily trips, or 0.99 trips per dwelling unit, which is well below the State's established threshold.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed lots will be served by a private road connecting to N. Greenwood Avenue, a public road for all ingress and egress from the subdivision. No sharp curves or dangerous intersections will be created by this proposed subdivision.

- D. Result in inadequate emergency access?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed nine lot subdivision will be accessed by a proposed 60-foot-wide by approximately 1,120-foot-long private road easement terminating in a cul-de-sac. Because the proposed cul-de-sac exceeds maximum length of 300 feet allowed by Ordinance, the subdivider was required to submit a design exception request. The design exception was reviewed and granted by the County on December 7, 2021, based on the request's consistency with the required exception Findings. The design of the proposed private road will also be subject to review by the Fresno County Fire Protection District, and must meet current Fire Code with regard to access and turnaround area. Additionally, a requirement was added that would include the provision of a pressurized fire hydrant system, which meets the design standards of the local fire authority and is subject to inspection by the local fire authority in accordance with the requirements of the current Fire Code, prior to any development of the proposed parcels.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of

the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k); or
2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

FINDING: NO IMPACT:

No cultural or tribal cultural resources were identified by reviewing agencies, including local tribal governments who were notified under the provisions of AB52.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

FINDING: NO IMPACT:

Any residential development that occurs subsequent to the approval of the proposed land division will connect to existing electrical, natural gas and telecommunications facilities. The proposed lots will be served by individual well and septic. No significant environmental effects resulting from the provision of new utilities were identified by any reviewing agencies.

- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed residential lots will be served individual wells once development takes place. Such development is subject to the County's General Plan Policies addressing water use, especially in areas designated as being water short. Hydrogeologic Investigation may be necessary prior to development to show that subsequent residential use can be adequately served.

- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed lots will be served by individual septic systems subject applicable permits and inspections at the time that the lots are developed. Any new on-site wastewater treatment systems will also be subject to the applicable provisions of the Fresno County Local Area Management Program (LAMP) pertaining to septic system density.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: NO IMPACT:

The project involves land division, and no solid waste will result, however, any subsequent development will be subject to Solid Waste provisions of County Ordinance Code Chapter 8.20. and must comply with any applicable federal, state and local solid waste reduction goals.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or
- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

The subject property is not in an area of the County designated as being at increased risk of wildfire damage. The property is located in an area characterized by irrigated agriculture and low-density residential development.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT:

No impacts to biological resources or special status species were identified in the analysis. Additionally, no potential impacts to historical or cultural resources were identified.

- B. Have impacts that are individually limited, but cumulatively considerable (“cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project entails the creation of nine approximately two-acre residential lots an area designated for rural residential (low density) development, and the lots are anticipated to subsequently be developed with single-family residences. No cumulatively considerable impacts were identified by any reviewing agencies or departments.

- C. Have environmental effects which will cause substantial adverse effects on human beings either directly or indirectly?

FINDING: NO IMPACT:

The development of the nine proposed residential parcels in not anticipated to result in substantial adverse effects on human beings directly or indirectly.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Tentative Tract Map Application No. 6334, staff has concluded that the project will not have a significant effect on the environment.

It has been determined that there would be no impacts to Agricultural and Forestry Resources, Cultural Resources, Energy, Hazardous Materials, Land Use and Planning, Mineral Resources, Noise, Recreation, Tribal Cultural Resources, and Wildfire.

Potential impacts related to Aesthetics, Air Quality, Biological Resources, Geology and Soils, Greenhouse Gas Emissions, Hydrology and Water Quality, Population and Housing, Transportation, Public Services and Utilities and Service Systems, have been determined to be less than significant.

A Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

JS

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