



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 2 January 26, 2017

SUBJECT: Initial Study Application No. 7169 and Classified Conditional Use Permit Application No. 3534

Allow the expansion of an existing agricultural pump and irrigation sales facility on a 16.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The subject parcel is located on the southwestern corner of the intersection of North Madera Avenue (SR 145) and West Shaw Avenue, approximately 4.6 miles north of the city limits of the City of Kerman (4865 N. Madera Avenue, Kerman, CA 93630) (Sup. Dist. 1) (APN 015-340-81).

OWNER: CalWest Rain
APPLICANT: Associated Design and Engineering

STAFF CONTACT: Christina Monfette, Planner
(559) 600-4245

Chris Motta, Principal Planner
(559) 600-4227

RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7169 and
- Approve Classified Conditional Use Permit No. 3534 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Mitigation Monitoring and Reporting Program, Conditions of Approval, and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plans and Detail Drawings
6. Elevations
7. Applicant's Operational Statement
8. Summary of Initial Study Application No. 7169

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Agriculture	No Change
Zoning	AE-20 (Exclusive Agricultural, 20-acre minimum parcel size)	No Change
Parcel Size	16.45*	No Change
Project Site	12.88 acres	16.45 acres
Structural Improvements	CalWest Rain facilities, including offices, materials storage, a machine shop, and other related improvements	Phase 1 - Construct building 1 (Administration, 8,800 square feet), building 5 (Field Prep Awning, 2,400 square feet), parking lot; install water tank, fire pump and hydrant. Phase 2 - Demolish existing offices and field prep area awning. Phase 3 - Construct building 3 (Shop Building, 4,000 square feet). Phase 4 - Repair and construct building 4 (Parts Building, 4,000 square feet) and parking lot. Phase 5 - Demo existing parts building. Phase 6 - Construct building 2 (Shop Building, 5,000 square feet)

Criteria	Existing	Proposed
		Phase 7 - Complete remaining on- and off-site work.
Nearest Residence	100 feet north, measured from the property line	No Change
Surrounding Development	Agriculture and Single-Family Residences	No Change
Operational Features	Commercial Pump and Irrigation sales facility on a 12.88-acre lease area	Expansion of existing commercial Pump and Irrigation sales facility on 16.45 acres of land owned by the Applicant
Employees	109 (including 45 off site)	Administrative: 16 Sales: 9 Pump Crews: 55 Electricians: 5 Warehouse: 6 Machinist/Mechanics: 4 Irrigation Foreman: 3 Welders: 3 Pump Testing: 2 Total: 103
Customers	20 per day	No change
Traffic Trips	About 96 round trips per day	No change
Lighting	Exterior lighting around CalWest Rain facilities	Increase in security lighting
Hours of Operation	7 AM to 5PM and emergencies	7 AM to 5 PM Monday-Friday and 7 AM to 12 PM on Saturday with emergency services offered

*Please see "Background Information" below regarding the mapping application in process.

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

An Initial Study (IS) was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the IS, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of Initial Study No. 7169 is included as Exhibit 8.

PUBLIC NOTICE:

Notices were sent to 19 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

A Classified Conditional Use Permit may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on a Classified CUP Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

BACKGROUND INFORMATION:

Prior to 1976, the subject parcel was zoned A-1 (Agricultural). It was rezoned to its current AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District on August 31, 1976 as part of County-initiated broad-scale rezoning (Amendment Application No. 2870).

In 1989, Cal West Rain, Inc. leased 12.88 acres of the subject parcel to operate an agricultural irrigation service and supply facility, which is a use allowed by right in the AE-20 Zone District. At that time, the property was 18.95 acres in size, with the remaining 6.07 acres used as a vineyard and as a homesite for the property owner.

On September 21, 2015, that property owner applied for a variance (VA) to remove the 2.5 acres of homesite from the existing 18.95 acres. On September 25, 2015, Cal West Rain, Inc. acquired the subject parcel continued with the variance request. Variance No. 3983 was granted by the Planning Commission on December 17, 2015.

Tentative Parcel Map (TPM) Application No. 8147 was submitted on July 12, 2016 to exercise that variance. The tentative map was approved on August 9, 2016. The final Parcel Map was submitted on August 16, 2016; however, it has not yet been recorded. Based on the Applicant’s progress towards fulfilling VA No. 3983 and TPM No. 8147, Staff considered this application for the remaining 16.45 acres. If the tentative map is not approved, staff’s analysis would be unchanged, since the project would not be approved for commercial development on the homesite portion of the parcel.

Finding 1: That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood.

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	Front (east): 35 feet Side (south): 20 feet Street Side (north): 35 feet Rear (west): 20 feet	Front (east): 68 feet Side (south): ±120 feet Street Side (north): 48 feet Rear (west): >400 feet	Yes Yes Yes Yes
Parking	At least one parking space in a garage or carport for	25 Visitor Spaces 143 Employee Spaces	Yes

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
	every dwelling unit; one parking space for each 800 square feet of gross floor area	104 Service/Delivery Truck Spaces	
Lot Coverage	No requirements	N/A	N/A
Space Between Buildings	N/A	N/A	N/A
Wall Requirements	N/A	N/A	N/A
Septic Replacement Area	100 percent	100 percent	Yes
Water Well Separation	Septic tank: 50 feet; Disposal field: 100 feet; Seepage pit: 150 feet	Well is more than 300 feet from septic	Yes

Reviewing Agency/Department Comments Regarding Site Adequacy:

Building and Safety/Plan Check Section of the Fresno County Department of Public Works and Planning: Records do not reflect permits and inspections for structures shown on the site plan or observed via satellite imagery. All structures shall be permitted or removed.

Development Engineering Section of the Fresno County Department of Public Works and Planning: All Conditions of Approval for any previous applications shall be implemented, if not already place.

According to FEMA, FIRM Panel 1252H, the subject property is located in Flood Zone X, which is an area determined to be outside the 0.2% annual-chance floodplain. According to U.S.G.S. Quad Maps, there are no existing natural drainage channels adjacent to or running though the parcel.

Typically, any additional runoff generated by the proposed development of this site cannot be drained across property lines and must be retained or disposed of per County Standards. A grading permit or voucher would be required for any grading proposed with this application.

Fresno Irrigation District (FID): FID does not own, operate or maintain any facilities located within the subject property.

For informational purposes, FID's active Herndon No. 39 Canal runs westerly along the north side of Shaw Avenue and crosses Madera Avenue approximately 70 feet north of the subject property. FID's active H-1 No. 63 Pipeline crosses Shaw Avenue and runs westerly along the south side of Shaw Avenue approximately 30 feet west of the subject property. Should this project include any improvements along Shaw Avenue, Madera Avenue or in the vicinity of this the canal or the pipeline, FID requires it review and approve all plans.

Zoning Section of the Fresno County Department of Public Works and Planning: Per Assessor records, it appears that the 50-foot by 80-foot Steel Building is the only structure with building permits (Ag Exempt in 1987). There is no permit history for the other structures. The site plan for the new expansion shows that all buildings will be replaced except the 50-foot by 80-foot Steel Building and a small shed on the South side of that building. If the shed is larger than 120 square feet, it will need a permit.

This project was reviewed by the following departments, which had “no comment”: Department of Agriculture; Fresno Metropolitan Flood Control District; Water/Geology/Natural Resources Section of the Fresno County Department of Public Works and Planning.

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

Analysis:

Review of the site plan associated with this application shows that the proposed improvements satisfy the minimum building setback requirements of the AE-20 Zone District. The site plan also shows that most of the existing structures will be removed and replaced as part of the project. The Applicant will be required to pursue permitting all structures to remain or to be built.

In regard to off-street parking, the Zoning Ordinance requires one parking space for every two employees on site, and the California Building Code requires one Americans with Disabilities Act (ADA)-compliant parking space for every 25 parking spaces at the subject facility. As the facility will employ approximately 103 employees, the Applicant must provide 52 employee parking spaces. Approximately 20 customers are expected daily and the site plan shows 23 visitor parking spaces. Additionally there are 104 additional parking spaces for service and delivery trucks. Two ADA-compliant parking spaces are proposed outside the Administration building.

A Site Plan Review is recommended as a Condition of Approval to ensure compliance with the setback requirements, design of parking and circulation area, access, on-site grading and drainage, fire protection, landscaping, signage, and lighting. Additional review by the North Central Fire Department will ensure that fire safety concerns are addressed prior to the issuance of building permits by the County.

Staff finds that the site is adequate in size and shape to accommodate the proposed use.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 1 can be made.

Finding 2: *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.*

		Existing Conditions	Proposed Operation
Private Road	No	N/A	N/A
Public Road Frontage	Yes	Madera Avenue (SR 145): 364 feet West Shaw Avenue: 1,282 feet	No change
Direct Access to Public Road	Yes	Two entrance gates off W. Shaw	No change
Road ADT		Madera Avenue (SR 145): unknown West Shaw Avenue: 1,000 daily	No change
Road Classification		Madera Avenue (SR 145): State Highway 145 West Shaw Avenue: Arterial	No Change
Road Width		Madera Avenue (SR 145): unknown West Shaw Avenue: 60 feet of right-of-way	No change
Road Surface		Madera Avenue (SR 145): ~50 feet West Shaw Avenue: 20.5 feet	No change
Traffic Trips		Madera Avenue (SR 145): unknown West Shaw Avenue: 1,000	No change
Traffic Impact Study (TIS) Prepared	No	N/A	N/A
Road Improvements Required		None	N/A

Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:

Development Engineering Section of the Fresno County Department of Public Works and Planning: Madera Avenue is classified as a state highway, SR145. Shaw Avenue is a County-maintained road classified as an Arterial with an existing 30-foot right-of-way south of the section line along the parcel frontage, per Plat Book. The minimum width for an Arterial road right-of-way south of the section line is 53 feet. Records indicate this section of Shaw Avenue from Madera Avenue to Del Norte Avenue has an Average Daily Traffic (ADT) of 1,000, pavement width of 20.5 feet, and structural section of 0.25 feet Asphalt Concrete, and is in excellent condition.

Any work done within the right-of-way along Shaw Avenue to construct a new driveway or improve an existing driveway will require an Encroachment Permit from the Road Maintenance and Operations Division. Any work done within the right-of-way along Madera Avenue to construct a new driveway or improve an existing driveway will require an Encroachment Permit from the California Department of Transportation (Caltrans).

If not already present, thirty-foot by thirty-foot corner cutoffs are needed on Shaw Avenue for sight distance purposes.

Road Maintenance and Operations Division (RMO) of the Fresno County Department of Public Works and Planning: Madera Avenue is a state highway. Accordingly, this Division has no comments for this road or frontage and instead defers to Caltrans for comments.

The Applicant proposes the continued utilization of two existing paved drive approaches off Shaw Avenue located approximately 170 feet and 600 feet west of Madera Avenue. Any additional improvements to these entry drives that are constructed within the public road right of way shall require an encroachment permit from this Division.

No core changes are proposed for the business model, and employee operations are proposed to be similar to existing. Therefore, RMO believes that no traffic study is needed to assess traffic and turning movements into the site.

The plans for the development show on-site storm water ponding basins. All runoff from the site shall be captured and directed to these basins so that no additional storm water flows into the public road right-of-way or onto adjacent properties.

Site Plan Review Section of the Fresno County Department of Public Works and Planning: An asphalt concrete driveway approach 24 to 35 feet in width should be provided where the access road ties into the public road serving this site. If just the driveway is to be paved, the driveway should be concrete or asphalt concrete paved a minimum width of 24 feet for the first 100 feet off the edge of the road right-of-way.

Parking spaces should be a minimum of 9 feet by 18 feet with 29 feet of clear backing. Two feet of overhang can be "credited" to the 18-foot depth if it overhangs landscaping strips and walkways, provided the walkways have a minimum of 4 feet clear walking area if utilized for disabled access. All parking spaces for the physically disabled shall be placed adjacent to facility access ramps or in strategic areas where the disabled shall not have to travel behind parking spaces other than to pass behind the parking space in which they parked. The required parking for the physically disabled shall be shown on the Grading and Drainage Plan.

A dust palliative should be required for all unpaved parking and circulation areas to prevent the creation of dust by vehicles. Forty-five degree (45°) corner cut-offs shall be maintained to allow clear visual view of vehicular traffic accessing the County right-of-way.

The gate(s) that provide(s) initial access to the site should be set back a minimum of 20 feet (or the length of the longest vehicle to initially enter the site, whichever is greater) from the edge of the ultimate right-of-way.

This project was reviewed by the following departments, which had "no comment": Caltrans; Design Division of the Fresno County Department of Public Works and Planning (PW&P).

No other comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

Analysis:

This project was reviewed by the Design and Road Maintenance and Operations Divisions of the Fresno Department of Public Works and Planning, and Caltrans, for its impacts on North Madera Avenue and West Shaw Avenue. All three agencies concurred that there would be no impacts to these roads since the increased use of the site will not result in an increase to the number of staff on site. There will be no increase in truck trips, automobile trips, or deliveries to the project site and therefore, the roads will remain adequate.

Those comments from RMO, the Design Division, and the Site Plan Review will be included as project notes, since they represent existing regulations that are not specific to this project. Some of these requirements will be implemented through the Site Plan Review process.

Based on the above information, North Madera Avenue (SR 145) and West Shaw Avenue will remain of adequate width and pavement to accommodate the proposed use.

Recommended Conditions of Approval:

None

Conclusion:

Finding 2 can be made.

Finding 3: That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof.

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence*:
North	19.7 acres 18.37 acres	Residential/Agriculture Residential/Agriculture	AE-20	100 feet 400 feet
South	19.5 acres 2.5 acres	Residential/Agriculture Residential	AE-20	None 30 feet
East	2.07 acres 17.12 acres	Residential/Agriculture Residential/Agriculture	AE-20	None 150 feet
West	17.4 acres	Residential/Agriculture	AE-20	510 feet

*measured from property line

Reviewing Agency/Department Comments:

San Joaquin Valley Air Pollution Control District (Air District): The Air District has approved the Air Impact Assessment (AIA) application for the CalWest Rain project located at 4939 North Madera in Kerman, California. The Air District has determined that the mitigated baseline emissions for construction and operation will be less than two tons NOx per year and two tons

PM 10 per year. Pursuant to District Rule 9510 Section 4.3, this project is exempt from the requirements of Section 6.0 (General Mitigation Requirements) and Section 7.0 (Off-site Emission Reduction Fee Calculations and Fee Schedules) of the rule. As such, the District has determined that this project complies with the emission reduction requirements of District Rule 9510 and is not subject to payment of off-site mitigation fees.

The Air District has placed the following requirements on the project, which are included as project notes:

- For each project phase, within 30-days of issuance of the first certificate of occupancy, if applicable, submit to the Air District a summary report of the construction start and end dates, and the date of issuance of the first certificate of occupancy. Otherwise, submit to the Air District a summary report of the construction start and end dates within 30 days of the end of each phase of construction.
- For each project phase, all records shall be maintained on site during construction and for a period of ten years following either the end of construction or the issuance of the first certificate of occupancy, whichever is later. Records shall be made available for District inspection upon request.
- For each project phase, the Applicant shall maintain records of (1) the construction start and end dates and (2) the date of issuance of the first certificate of occupancy, if applicable.

Fresno County Department of Public Health, Environmental Health Division: Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. The default State reporting thresholds that apply are: ≥ 55 gallons (liquids), ≥ 500 pounds (solids), ≥ 200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances.

All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.

Site Plan Review Section of the Fresno County Department of Public Works and Planning: The Applicant should consult with the Fire District to incorporate all the requirements mandated by the Fire District for fire safety apparatuses in the site layout, *i.e.*, on-site road widths, points of entry, water suppression requirements, etc.

Should landscape area(s) total 500 square feet or more, Landscaping plans shall be designed by a Landscape Architect, or licensed landscaping contractor. Irrigation systems shall be designed by a certified irrigation designer, or other licensed or certified professional in a related field in accordance with Fresno County Standards.

All proposed signs shall be submitted to the Department of Public Works and Planning permits counter to verify compliance with the Zoning Ordinance. Off-site signs are not allowed for commercial uses in the AE (Exclusive Agriculture) Zone District.

No other comments specific to land use compatibility were expressed by reviewing Agencies or Departments.

Analysis:

CalWest Rain has been operating on the subject parcel since 1989. Prior to purchasing the parcel in 2015, the company was limited in their ability to expand because of existing lease agreements. This restriction also made the construction of permanent facilities more difficult.

Existing improvements include offices, materials storage and a machine shop. Five new buildings will be constructed to support this application and some of the existing offices will be replaced. Parking areas will be paved and the final site plan will present a more cohesive and developed layout than the existing open parking plan. Storage and job preparation areas will be relocated away from the exterior of the site, presenting a neater visual than the existing layout where storage is occurring adjacent to the roadside.

The Initial Study prepared for this application identified a potential impact on neighboring parcels in the form of exterior lighting which might shine on adjacent properties. A mitigation measure has been applied to this project, which will require that those lights are hooded and pointed downward.

Potential impacts to adjacent properties based on air pollution will be reduced by the existing regulations identified under "Reviewing Agency/Department Comments" by the Air District.

Noise impacts on the neighbors are expected to be minor. There are no diesel generators proposed as part of this application and typically, the truck traffic and loading/unloading volume will occur during regular business hours.

The nearest residence to the project site is located on the homesite, which was approved by VA No. 3983 and the in-process TPM No. 8147. The second closest residences are located across North Madera Avenue from the project site, facing West Shaw. While there is the possibility for an increase in noise due to temporary construction activities, the sound levels will be comparable to other agricultural operations in the area and staff does not believe that it will adversely affect these residents. No manufacturing is proposed on the site.

Based on the above information, staff believes that with compliance to the identified mitigation measures and existing regulations, the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

None

Conclusion:

Finding 3 can be made.

Finding 4: That the proposed development is consistent with the General Plan.

Relevant Policies:	Consistency/Considerations:
Policy LU-A.3 The County may allow by discretionary permit in areas designated as Agricultural, special agricultural uses and agriculturally-related activities, including value-added processing facilities, and certain	The subject parcel is designated for Agriculture by the Fresno County General Plan. The proposed use is listed in Table LU-3.

Relevant Policies:	Consistency/Considerations:
<p>non-agricultural uses listed in Table LU-3. Approval of these and similar uses in areas designated as Agricultural shall be subject to the following criteria:</p> <ul style="list-style-type: none"> a. The use shall provide a needed service to the surrounding agricultural area which cannot be provided more efficiently within urban areas or which requires location in a non-urban area because of unusual site requirements or operational characteristics; b. The use should not be sited on productive agricultural lands if less productive land is available in the vicinity; c. The operational or physical characteristics of the use shall not have a detrimental impact on water resources or the use or management of surrounding properties within at least one quarter (1/4)-mile radius; d. A probable workforce should be located nearby or be readily available; e. For proposed agricultural commercial center uses the following additional criteria shall apply [...]; f. For proposed value-added agricultural processing facilities, the evaluation under criteria "a" above, shall consider the service requirements of the use and the capability and capacity of cities and unincorporated communities to provide the required services g. For proposed churches and schools [...]; h. When approving a discretionary permit for an existing commercial use, the criteria listed above shall apply except for LU-A.3b, e2, e4, and e5. 	<ul style="list-style-type: none"> a. CalWest Rain is an established business in this area and provides irrigation services to the community. b. Per part h. of this policy, existing commercial uses are exempt from this criterion. c. The Water/Geology/Natural Resources section did not identify any significant impacts to water resources. d. There is no proposed increase to the current staff working at CalWest Rain. e. This project is not a commercial ag center. f. The project site's proximity to major roadways and other agricultural operations is critical to serving the community. g. The project is not a school or church.
<p>Policy LU-A.12 In adopting land use policies, regulations and programs, the County shall seek to protect agricultural activities from encroachment of incompatible land uses.</p>	<p>Agricultural Pump and Irrigation Sales offices are a permitted use in this area and are inherently supportive of agricultural activities.</p>
<p>Policy LU-A.13 The County shall protect agricultural operations from conflicts with nonagricultural uses by requiring buffers between proposed non-agricultural uses and adjacent agricultural operations.</p>	<p>The layout of the facility is such that no additional buffering is needed to protect the commercial use from adjacent agricultural operations.</p>

Relevant Policies:	Consistency/Considerations:
Policy LU-A.14 The County shall ensure that the review of discretionary permits includes an assessment of the conversion of productive agricultural land and that mitigation be required where appropriate.	The Initial Study prepared for this application identified that there would be a less than significant impact to the conversion of productive farmland and no mitigation was necessary.
Policy PF-C.17 The County shall, prior to consideration of any discretionary project related to land use, undertake a water supply evaluation [...].	The project is not in a water-short area and there is no proposed increase to water usage than what was existing on the parcel prior to this application.
Policy PF-D.6 The County shall permit individual on-site sewage disposal systems on parcels that have the area, soils, and other characteristics that permit installation of such disposal facilities without threatening surface or groundwater quality or posing any other health hazards and where community sewer service is not available and cannot be provided.	Review of this proposal by the Environmental Health Division did not identify any concerns with the proposed septic as shown in the site plan.

Reviewing Agency Comments:

State Water Resources Control Board: With 103 current employees, the CalWest Rain facility currently meets the definition of a public water system, classified as a nontransient noncommunity water system, but is operating without a valid domestic water supply permit. As such, the facility must be permitted by the State Water Resources Control Board’s Division of Drinking Water (SWRCB-DDW) as a public water system. A domestic water supply permit application and technical report shall be submitted to assure that the water provided to employees and customers is safe. SWRCB-DDW must also review the plans for any proposed well construction and water distribution system prior to construction. If existing facilities are proposed to be used, as-built plans showing accurate locations should be provided. A Domestic Water Supply permit application shall be submitted to SWRCB-DDW (Fresno District) prior to Site Plan Review approval.

The Applicant shall conduct water quality testing of the proposed wells in accordance with the requirements for a nontransient noncommunity water system. Where water quality standards are not met, treatment or an alternative solution must be proposed.

Policy Planning Section of the Fresno County Department of Public Works and Planning: The project site is not restricted under an Agricultural Land Conservation (Williamson Act) Contract (ALCC).

No other comments specific to General Plan Policy were expressed by reviewing Agencies or Departments.

Analysis:

In regard to Policy LU-A.3, the subject parcel is designated as Agricultural by the Fresno County General Plan and as such, is subject to this policy. The operation of Irrigation Pump and Sales

administrative offices is included in table LU-3. A review of other local irrigation facilities shows that there are no other such operations within ten miles of the project site. Therefore, there is a need for this project in this location and it is necessary to site the operation on the subject parcel due to its location at the intersection of two major roads.

CalWest Rain has been operating on this parcel since 1989. As discussed in the Background section of this report, the Applicant was previously leasing approximately 12.08 acres of land on this parcel. Approximately 6.07 acres were planted with vineyard and the remainder was given over to a homesite. The homesite will be removed from the parcel with the approval of TPM No. 8147. Therefore, only the 3.57-acre vineyard will be removed from active agricultural use. Since Pump and Irrigation sales are supportive of agricultural production and since part b. of this policy does not apply to expansions of existing commercial uses, this project is consistent with part b of this policy.

In regard to Policy LU-A.12 and A.14, this project was reviewed, as part of its CEQA analysis, for impacts regarding removal of additional agricultural land from active production. Since this project will be supportive of agricultural uses, no such impacts were identified. Agricultural Pump and Irrigation sales is a permitted use on lands which are designated for Agriculture. Further, the subject property is not restricted by a Williamson Act Contract.

In regard to Policy LU-A.13, staff considered the proposed site plan for the property and how the uses relate to surrounding parcels. The subject parcel is located at the southwestern corner of the intersection of North Madera and West Shaw Avenues. These major roads provide sufficient buffering for those parcels north and east of the facility. Uses near the homesite parcel (southeast, 2.5 acres) are limited to employee parking and a small storage yard. The larger parcel to the south, which is entirely agricultural in nature, is adjacent to two ponding basins and rows of storage. The parcel to the west of the project site is similarly adjacent to storage areas. Due to the low-intensity use of these parts of the parcel, no buffering is required between this project and the surrounding agricultural uses.

In regard to Policy PF-D.6, there are no new wells proposed as part of this application and the project will continue to use the existing agricultural well on the property. No concerns relating to the sustainability of the water supply were identified by the Water/Geology/Natural Resources Section or by any other reviewing agency.

Based on these factors, the proposed pump and irrigation sales facility is consistent with the General Plan.

Recommended Conditions of Approval:

None

Conclusion:

Finding 4 can be made.

PUBLIC COMMENT:

None

CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings for granting the Conditional Use Permit can be made. Staff therefore recommends approval of Classified Conditional Use Permit No. 3534, subject to the recommended Conditions.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Move to adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7169; and
- Move to determine the required Findings can be made and move to approve Classified Conditional Use Permit No. 3534, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Classified Conditional Use Permit No. 3534; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Mitigation Measures, recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

CMM:
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EXHIBIT 1

**Mitigation Monitoring and Reporting Program
Conditional Use Permit Application No. 3434
(Including Conditions of Approval and Project Notes)**

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
*1.	Aesthetics	All outdoor lighting shall be hooded and directed as not to shine toward adjacent properties and public streets.	Applicant	County of Fresno Department of Public Works and Planning	Ongoing
*2.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activity, all work shall be halted in the area of the find, and an archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activity, no further disturbance is to occur until the Fresno County Coroner has made the necessary findings as to origin and disposition. If such remains are determined to be Native American, the Coroner must notify the Native American Commission within 24 hours.	Applicant	County of Fresno Department of Public Works and Planning	During all ground-disturbing activities
Conditions of Approval					
1.	Development of the property shall be in accordance with the Site Plan, Floor Plans, Elevations and Operational Statement approved by the Commission.				
2.	Prior to occupancy, a Site Plan Review shall be submitted to and approved by the Department of Public Works and Planning in accordance with Section 874 of the Fresno County Zoning Ordinance. Conditions of the Site Plan Review may include: design of parking and circulation areas, access, on-site grading and drainage, fire protection, landscaping, signage and lighting.				
*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document. Conditions of Approval reference recommended Conditions for the project.					
Notes					
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.					
1.	All Conditions of Approval for any previous applications shall be implemented, if not already place.				
2.	Any additional runoff generated by the proposed development of this site cannot be drained across property lines and must be retained or disposed of per County Standards.				
3.	A grading permit or voucher is required for any grading proposed with this application.				

Notes

4.	<p>FID's active Herndon No. 39 Canal runs westerly along the north side of Shaw Avenue and crosses Madera Avenue approximately 70 feet north of the subject property. FID's active H-1 No. 63 Pipeline crosses Shaw Avenue and runs westerly along the south side of Shaw Avenue approximately 30 feet west of the subject property. Should this project include any improvements along Shaw Avenue, Madera Avenue or in the vicinity of this the canal or the pipeline, FID requires it review and approve all plans.</p>
5.	<p>Per Assessor records, it appears that the 50-foot by 80-foot Steel Building is the only structure with building permits (Ag Exempt in 1987). There is no permit history for the other structures. The site plan for the new expansion shows that all buildings will be replaced except the 50-foot by 80-foot Steel Building and a small shed on the South side of that building. If the shed is larger than 120 square feet, it will need a permit.</p>
6.	<p>Any work done within the right-of-way along Shaw Avenue to construct a new driveway or improve an existing driveway will require an Encroachment Permit from the Road Maintenance and Operations Division. Any work done within the right-of-way along Madera Avenue to construct a new driveway or improve an existing driveway will require an Encroachment Permit from Caltrans.</p>
7.	<p>The following will be addressed as part of the Site Plan Review Process:</p> <ul style="list-style-type: none"> • An asphalt concrete driveway approach 24 to 35 feet in width should be provided where the access road ties into the public road serving this site. If just the driveway is to be paved, the driveway should be concrete or asphalt concrete paved a minimum width of 24 feet for the first 100 feet off the edge of the road right-of-way. • Parking spaces should be a minimum of 9 feet by 18 feet with 29 feet of clear backing. Two feet of overhang can be "credited" to the 18-foot depth if it overhangs landscaping strips and walkways, provided the walkways have a minimum of 4 feet clear walking area if utilized for disabled access. All parking spaces for the physically disabled shall be placed adjacent to facility access ramps or in strategic areas where the disabled shall not have to travel behind parking spaces other than to pass behind the parking space in which they parked. The required parking for the physically disabled shall be shown on the Grading and Drainage Plan. • A dust palliative should be required for all parking and circulation areas not paved to prevent the creation of dust by vehicles. Forty-five degree (45°) corner cut-offs shall be maintained to allow clear visual view of vehicular traffic accessing the County right-of-way. • The gate(s) that provide(s) initial access to the site should be set back a minimum of 20 feet (or the length of the longest vehicle to initially enter the site, whichever is greater) from the edge of the ultimate right-of-way. • Site Plan Review Section: The Applicant should consult with the Fire District to incorporate all the requirements mandated by the Fire District for fire safety apparatuses in the site layout, <i>i.e.</i>, on-site road widths, points of entry, water suppression requirements, etc. • Should landscape area(s) total 500 square feet or more, Landscaping plans shall be designed by a Landscape Architect, or licensed landscaping contractor. The irrigation system shall be designed by a certified irrigation designer, or other licensed or certified professional in a related field in accordance with Fresno County Standards. • All proposed signs shall be submitted to the Department of Public Works and Planning permits counter to verify compliance with the Zoning Ordinance. Off-site signs are not allowed for commercial uses in the AE-20 Zone District.

Notes

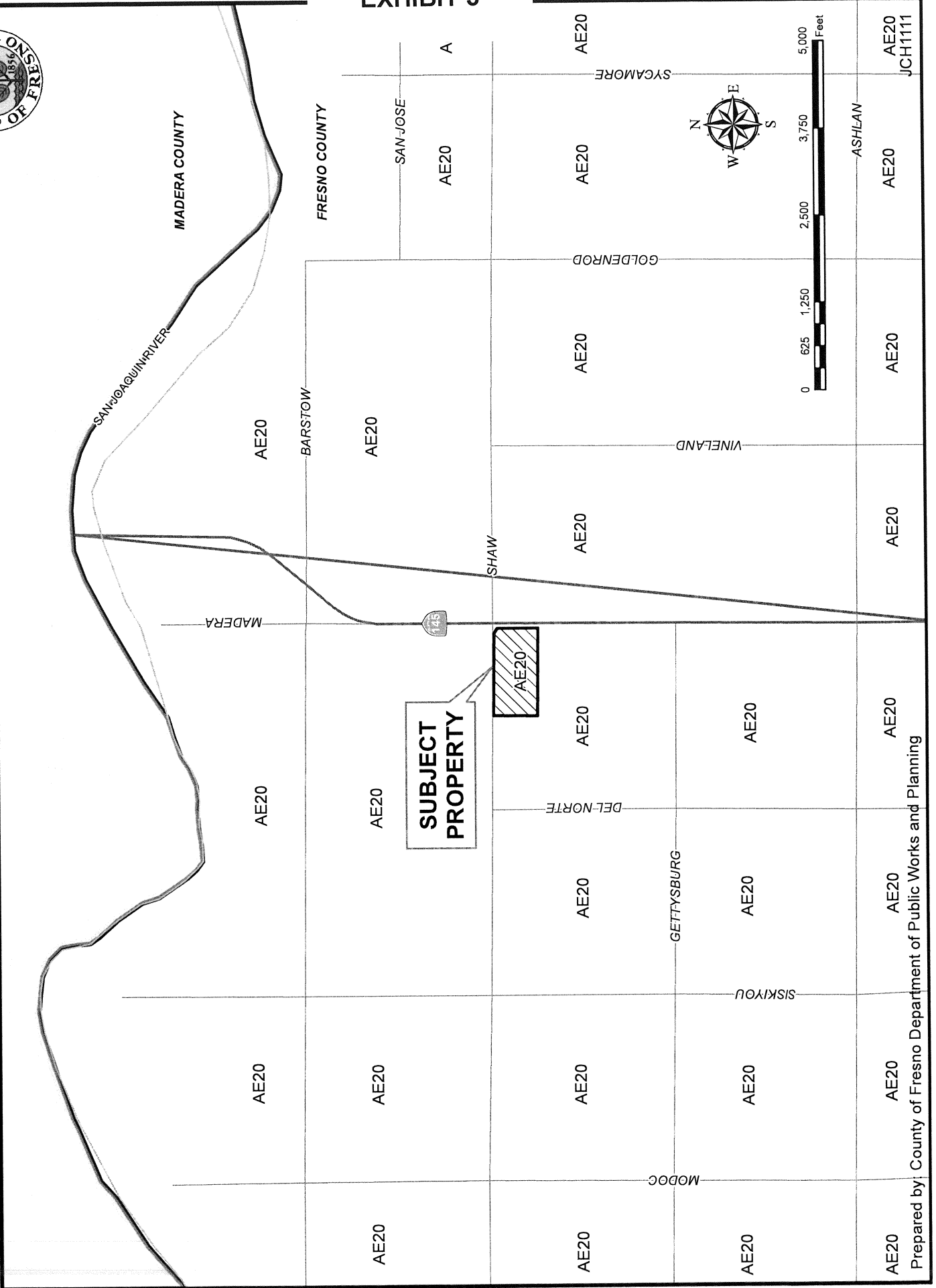
<p>8.</p> <p>San Joaquin Valley Air Pollution Control District Requirements:</p> <ul style="list-style-type: none"> • For each project phase, within 30-days of issuance of the first certificate of occupancy, if applicable, submit to the Air District a summary report of the construction start and end dates within 30-days of the end of each phase of construction. • For each project phase, all records shall be maintained on site during construction and for a period of ten years following either the end of construction or the issuance of the first certificate of occupancy, whichever is later. Records shall be made available for District inspection upon request. • For each project phase, the Applicant shall maintain records of (1) the construction start and end dates and (2) the date of issuance of the first certificate of occupancy, if applicable. 	<p>9.</p> <p>Hazardous Materials Requirements:</p> <p>Department of Public Health, Environmental Health Division: Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. The default State reporting thresholds that apply are: ≥55 gallons (liquids), ≥500 pounds (solids), ≥200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances.</p> <p>All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.</p>
<p>10.</p>	<p>State Water Resources Control Board Requirements:</p> <ul style="list-style-type: none"> • The CalWest Rain facility must be permitted by the State Water Resources Control Board's Division of Drinking Water (SWRCB-DDW) as a public water system. SWRCB-DDW must also review the plans for any proposed well construction and water distribution system prior to construction. A Domestic Water Supply permit application shall be submitted to SWRCB-DDW (Fresno District) prior to Site Plan Review approval. All of the permit application forms may be obtained from the SWRCB office. • An assessment of the Technical, Managerial and Financial (TMF) capacity of the proposed water system must be completed and submitted to the Division with the permit application. • The location of the well must be shown on the site plan prior to approval of the Site Plan Review. The Applicant must be able to document the construction features of the well by submittal of the Well Completion Report or Well Driller's Report. Specific requirements for the well may be obtained by the SWRCB office. • The Applicant shall conduct water quality testing of the proposed wells in accordance with the requirements for a nontransient noncommunity water system. Where water quality standards are not met, treatment or an alternative solution must be proposed.

CUP 3534
STR 13 - 13/17

EXISTING ZONING MAP



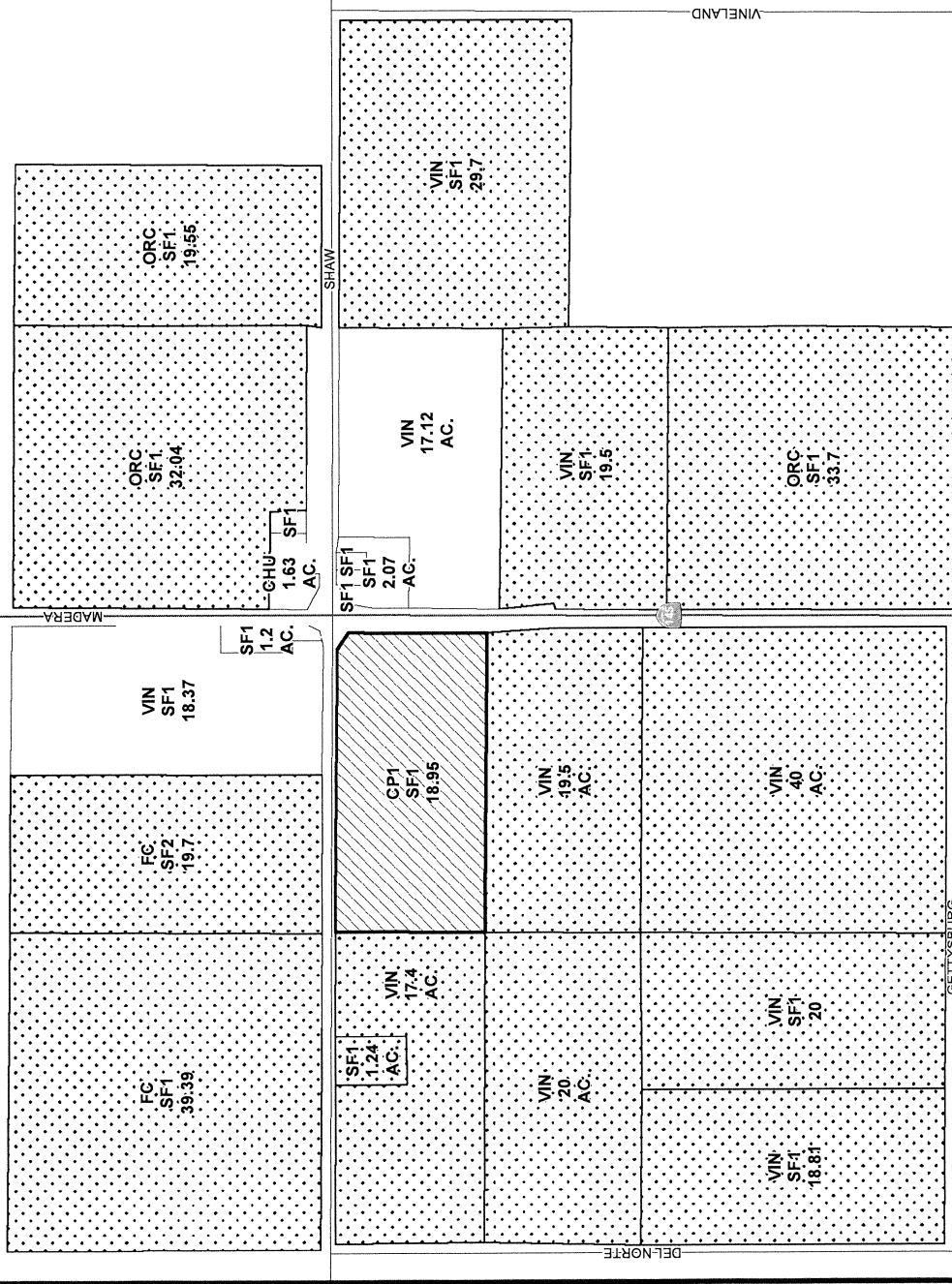
EXHIBIT 3





EXISTING LAND USE MAP

CUP 3534



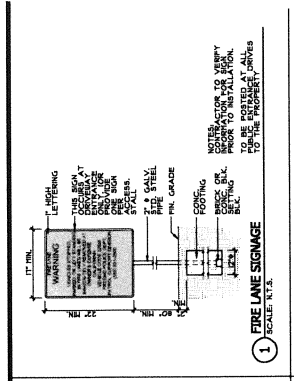
- LEGEND**
- CHU - CHURCH
 - CP# - OFFICE COMM./PROF
 - FC - FIELD CROP
 - ORC - ORCHARD
 - SF# - SINGLE FAMILY RESIDENCE
 - VIN - VINEYARD
 - V - VACANT

- LEGEND:**
- Subject Property
 - Ag Contract Land

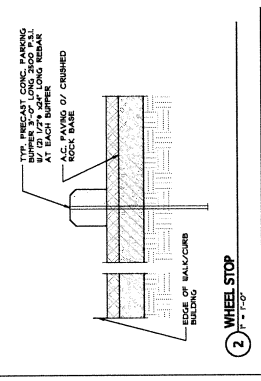


EXHIBIT 4

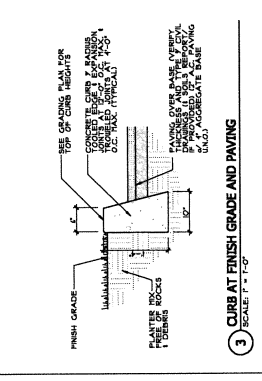
Department of Public Works and Planning
Development Services Division



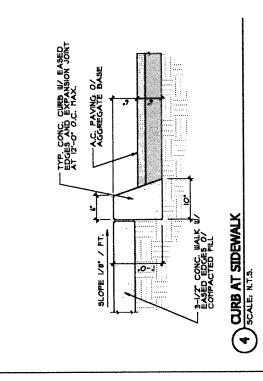
1 FIRE LANE STORAGE
SCALE: N.T.S.



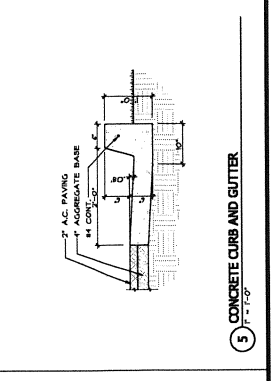
2 WHEEL STOP
SCALE: 1\"/>



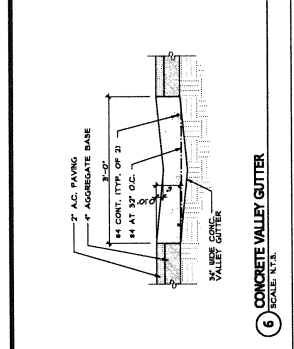
3 CURB AT FINISH GRADE AND PAVING
SCALE: 1\"/>



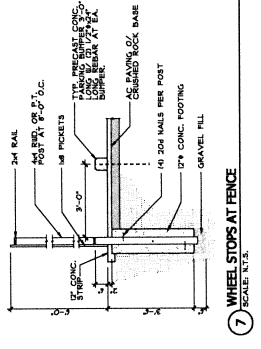
4 CURB AT SIDEWALK
SCALE: N.T.S.



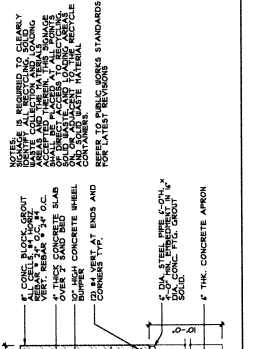
5 CONCRETE CURB AND GUTTER
SCALE: 1\"/>



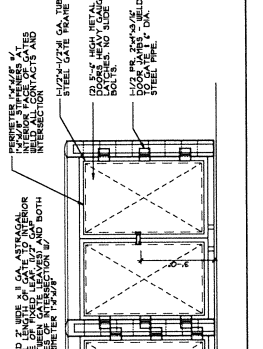
6 CONCRETE VALLEY GUTTER
SCALE: N.T.S.



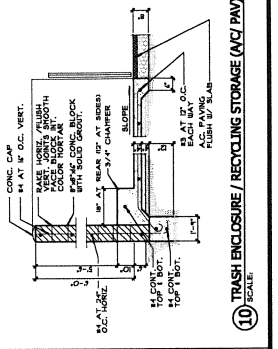
7 WHEEL STOPS AT FENCE
SCALE: N.T.S.



8 TRASH ENCLOSURE / RECYCLING STORAGE - PLAN VIEW
SCALE: 1\"/>



9 TRASH ENCLOSURE / RECYCLING STORAGE (AC/PAV)
SCALE: N.T.S.



10 TRASH ENCLOSURE / RECYCLING STORAGE (AC/PAV)
SCALE: N.T.S.

SITE PREPARATION

1. ALL METAL SHALL BE HEAVY, PRIME 1 PAINTED.
2. ALL METAL SHALL BE GALVANNEAL.
3. ALL METAL SHALL BE GALVANNEAL.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL METAL SHALL BE GALVANNEAL.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL METAL SHALL BE GALVANNEAL.
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10. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL METAL SHALL BE GALVANNEAL.

METAL GATE NOTES

1. ALL METAL SHALL BE HEAVY, PRIME 1 PAINTED.
2. ALL METAL SHALL BE GALVANNEAL.
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10. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL METAL SHALL BE GALVANNEAL.

TRASH ENCLOSURE / RECYCLING STORAGE - PLAN VIEW

NOTES: 1. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 2. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 3. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 4. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 5. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 6. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 7. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 8. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 9. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 10. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS.

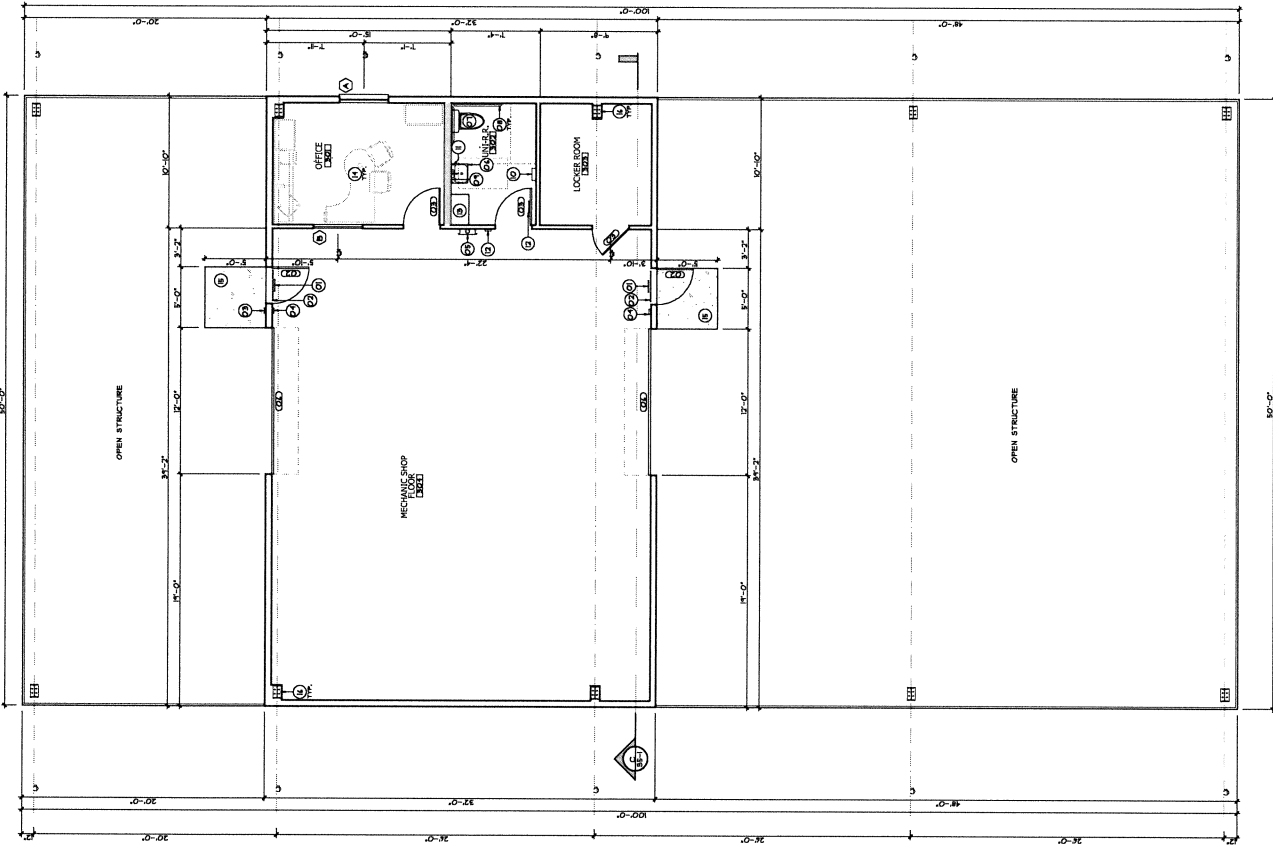
TRASH ENCLOSURE / RECYCLING STORAGE (AC/PAV)

NOTES: 1. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 2. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 3. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 4. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 5. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 6. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 7. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 8. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 9. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 10. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS.

TRASH ENCLOSURE / RECYCLING STORAGE SECTION

NOTES: 1. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 2. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 3. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 4. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 5. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 6. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 7. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 8. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 9. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS. 10. REFER TO RECYCLING STORAGE STANDARDS FOR ALL DIMENSIONS AND MATERIALS.

NORTH
MECHANICS SHOP
FLOOR PLAN
 SCALE: 1/4" = 1'-0"



- FLOOR PLAN KEYNOTES**
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
 3. ALL DOORS ARE 3'-0" WIDE UNLESS NOTED OTHERWISE.
 4. ALL WINDOWS ARE 4'-0" WIDE UNLESS NOTED OTHERWISE.
 5. ALL CEILING HEIGHTS ARE 8'-0" UNLESS NOTED OTHERWISE.
 6. ALL FLOOR FINISHES ARE 4" CONCRETE ON GRADE UNLESS NOTED OTHERWISE.
 7. ALL WALL FINISHES ARE 5/8" GYP BOARD ON STUDS UNLESS NOTED OTHERWISE.
 8. ALL CEILING FINISHES ARE 5/8" GYP BOARD ON JOISTS UNLESS NOTED OTHERWISE.
 9. ALL MECHANICAL EQUIPMENT IS TO BE INSTALLED IN ACCORDANCE WITH THE 2015 MECHANICAL CODE.
 10. ALL ELECTRICAL EQUIPMENT IS TO BE INSTALLED IN ACCORDANCE WITH THE 2015 ELECTRICAL CODE.
 11. ALL PLUMBING EQUIPMENT IS TO BE INSTALLED IN ACCORDANCE WITH THE 2015 PLUMBING CODE.
 12. ALL FIRE PROTECTION EQUIPMENT IS TO BE INSTALLED IN ACCORDANCE WITH THE 2015 FIRE CODE.
 13. ALL ACCESSIBILITY REQUIREMENTS ARE TO BE MET IN ACCORDANCE WITH THE 2010 ADA STANDARDS.
 14. ALL MATERIALS AND METHODS OF CONSTRUCTION ARE TO BE APPROVED BY THE ARCHITECT.
 15. ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 16. ALL COSTS ARE TO BE INCLUDED IN THE BIDDING PROCESS.
 17. ALL CHANGES TO THE PLAN MUST BE APPROVED BY THE ARCHITECT.
 18. ALL NOTES ON THIS PLAN TAKE PRECEDENCE OVER ANY NOTES ON OTHER SHEETS.
 19. ALL NOTES ON THIS PLAN TAKE PRECEDENCE OVER ANY NOTES ON OTHER SHEETS.
 20. ALL NOTES ON THIS PLAN TAKE PRECEDENCE OVER ANY NOTES ON OTHER SHEETS.

WALL TYPE LEGEND

1. 1/2" GYP BOARD ON STUDS
 2. 5/8" GYP BOARD ON STUDS
 3. 5/8" GYP BOARD ON JOISTS

STUD SCHEDULE

1. 2x4 @ 16" O.C.
 2. 2x6 @ 16" O.C.
 3. 2x8 @ 16" O.C.

LEGEND

1. 1/2" GYP BOARD ON STUDS
 2. 5/8" GYP BOARD ON STUDS
 3. 5/8" GYP BOARD ON JOISTS

GENERAL NOTES

1. ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
2. ALL COSTS ARE TO BE INCLUDED IN THE BIDDING PROCESS.
3. ALL CHANGES TO THE PLAN MUST BE APPROVED BY THE ARCHITECT.
4. ALL NOTES ON THIS PLAN TAKE PRECEDENCE OVER ANY NOTES ON OTHER SHEETS.
5. ALL NOTES ON THIS PLAN TAKE PRECEDENCE OVER ANY NOTES ON OTHER SHEETS.
6. ALL NOTES ON THIS PLAN TAKE PRECEDENCE OVER ANY NOTES ON OTHER SHEETS.

ASSOCIATED DESIGN AND ENGINEERING INC.
 351 WEST CROWWELL AVE SUITE 106 • FRESNO, CA 93711 • OFFICE 559.431.2339 • FAX 559.431.2074 • OFFICE@adeinc.com • http://adeinc.com

CAL WEST RAIN - KERMAN

ARCHITECTURE
 ENGINEERING
 INTERIORS

REVISIONS

NO.	DATE	DESCRIPTION

A2-3

DATE: 08/20/15
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 DRAWN: [Signature]

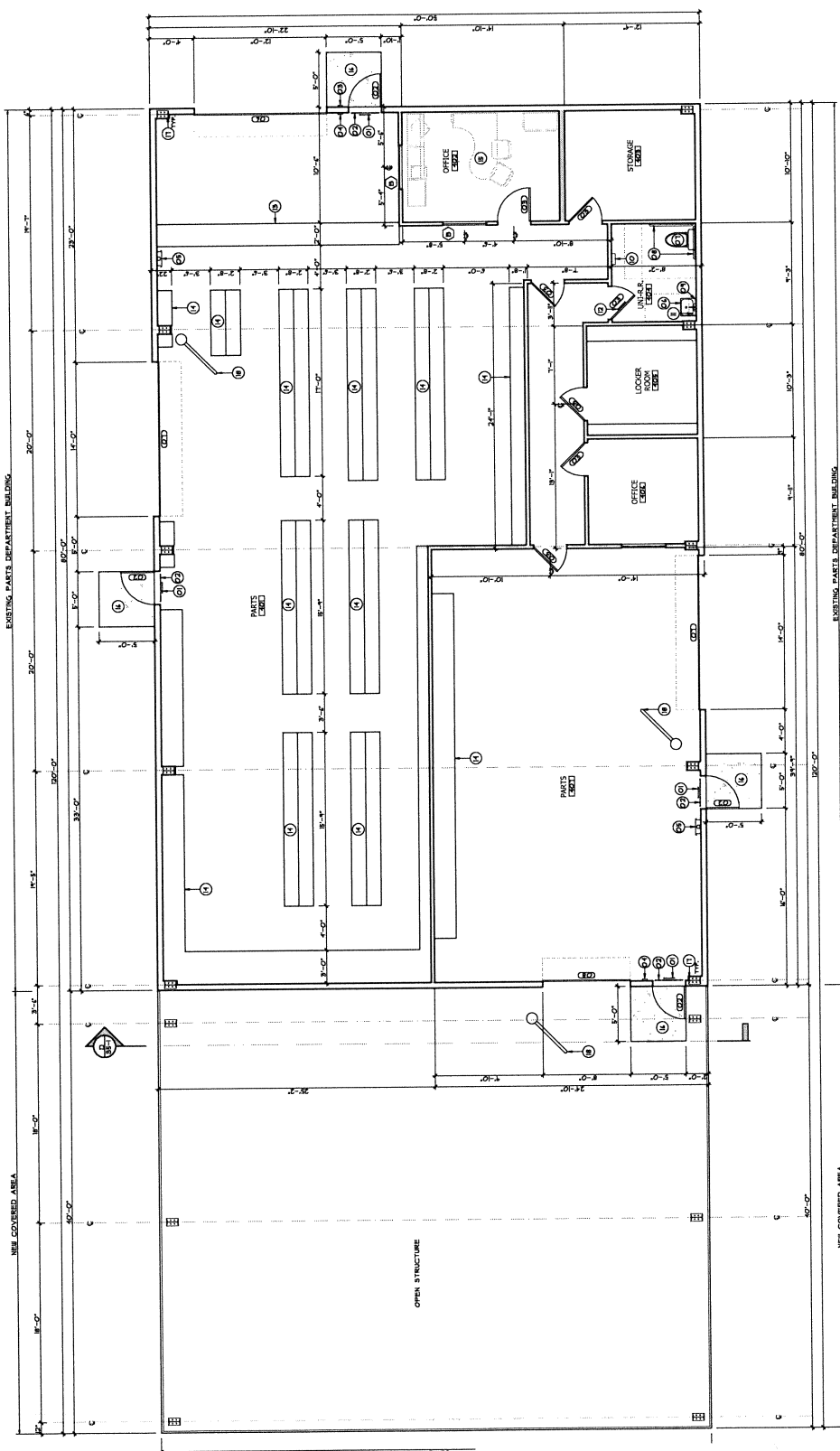
MICHAEL D. JUNDT 983396
 TERRY MOORE PE 58563
 JAMES QUINN 9269



PROJECT NO.	
DATE	08/02/19
CHARGE	A2-4
SHEET	

MICHAEL D. JUNTRES, P.E. 55396
 TERRY MOORE, P.E. 55523
 LAMES DUNN, CDS

- FLOOR PLAN KEYNOTES**
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
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 30. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
- WALL TYPE LEGEND**
- WALL TYPE 1: 1/2" GYP BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON INSIDE FACE.
- WALL TYPE 2: 1/2" GYP BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON INSIDE FACE AND 1/2" GYP BOARD ON OUTSIDE FACE.
- WALL TYPE 3: 1/2" GYP BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON INSIDE FACE AND 1/2" GYP BOARD ON OUTSIDE FACE AND 1/2" GYP BOARD ON INSIDE FACE.
- WALL TYPE 4: 1/2" GYP BOARD ON 2" X 4" STUDS @ 16" O.C. WITH 5/8" GYP BOARD ON INSIDE FACE AND 1/2" GYP BOARD ON OUTSIDE FACE AND 1/2" GYP BOARD ON INSIDE FACE AND 1/2" GYP BOARD ON OUTSIDE FACE.
- STUD SCHEDULE**
- STUD TYPE 1: 2" X 4" LVL @ 16" O.C.
- STUD TYPE 2: 2" X 4" LVL @ 24" O.C.
- STUD TYPE 3: 2" X 4" LVL @ 48" O.C.
- LEGEND**
1. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.
2. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.
3. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.
4. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.
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25. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.
26. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.
27. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.
28. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.
29. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.
30. ROOM NUMBER, SEE SHEET A-1 FOR SCHEDULE.



NORTH
 PARTS DEPARTMENT
 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS

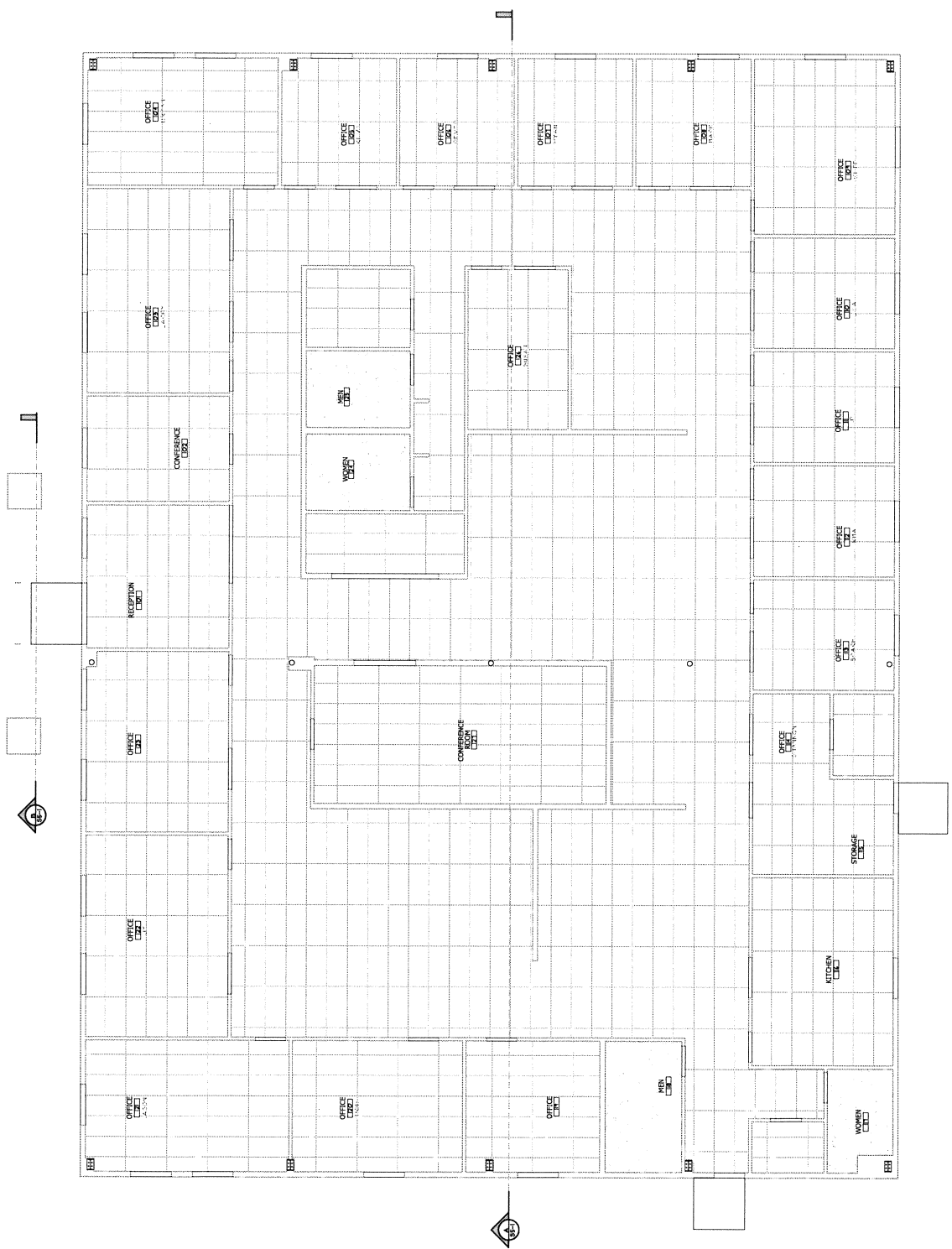
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

CEILING LEGEND

- REFLECTED CEILING ABOVE FRESH FLOOR
- ▨ REFLECTED CEILING 1'-6" BELOW CEILING ABOVE FRESH FLOOR
- ▩ REFLECTED CEILING 2'-0" BELOW CEILING ABOVE FRESH FLOOR

CEILING KEYNOTES

**ADMINISTRATION BUILDING
 REFLECTED CEILING PLAN**
 SCALE: 1/4" = 1'-0"
 NORTH



Professional Engineer Seal: State of California, License No. 53396, Michael D. Jundt, Mechanical.

REVISIONS
NO.
DATE
BY
DESCRIPTION

A8-2

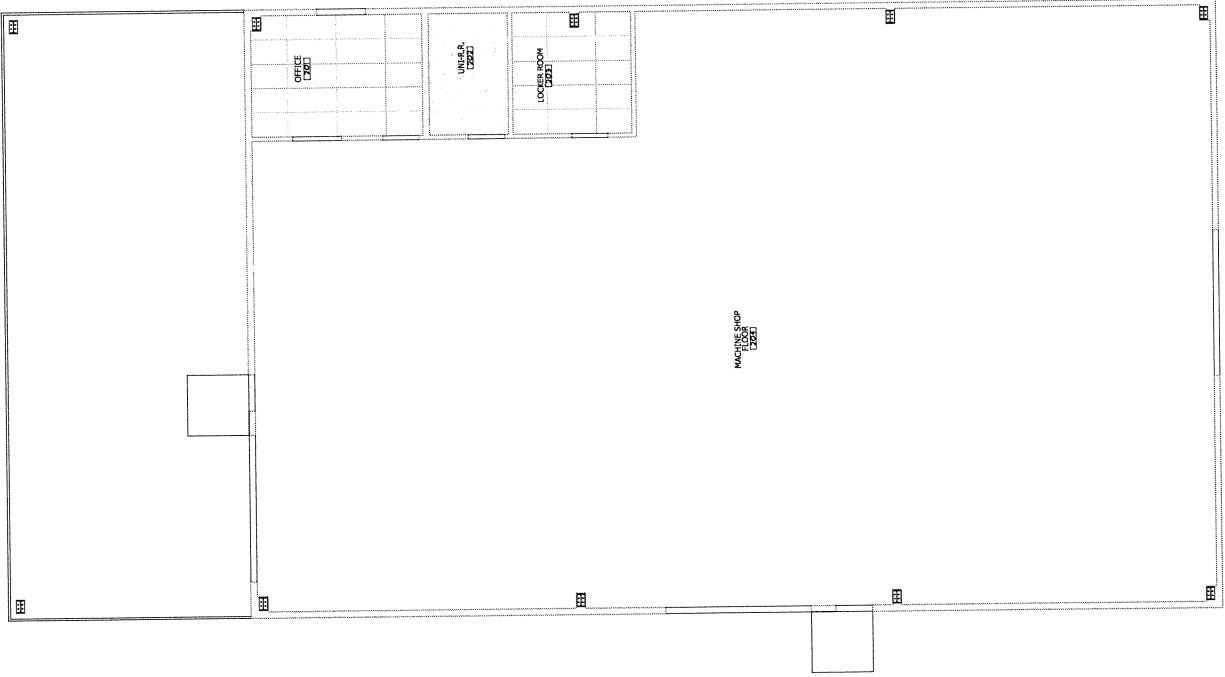
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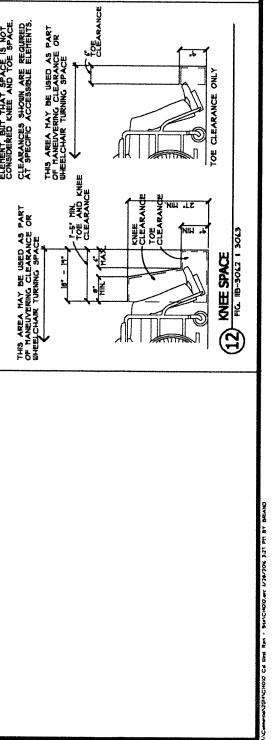
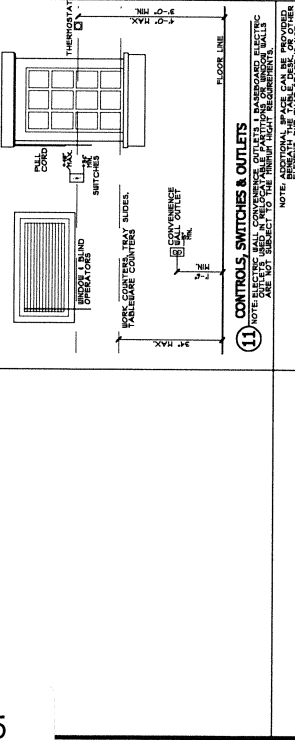
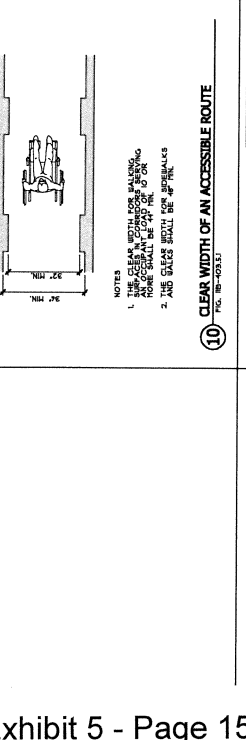
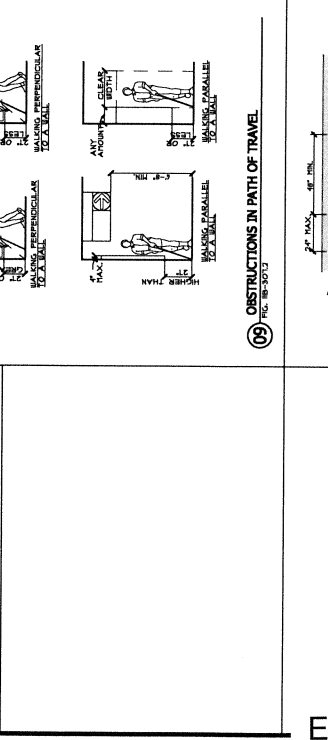
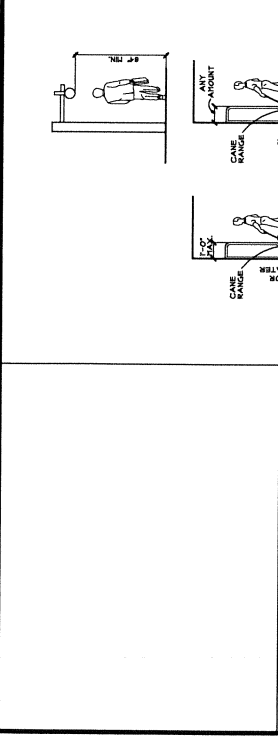
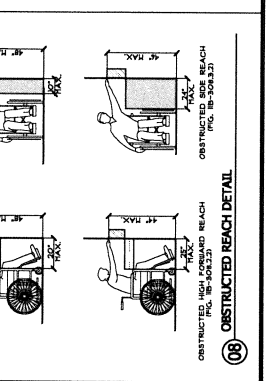
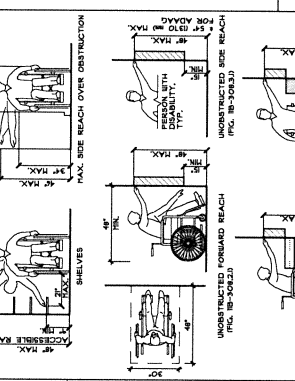
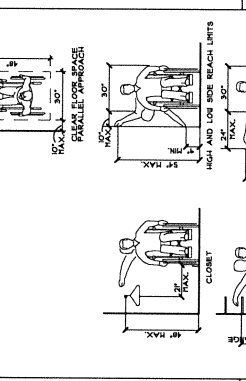
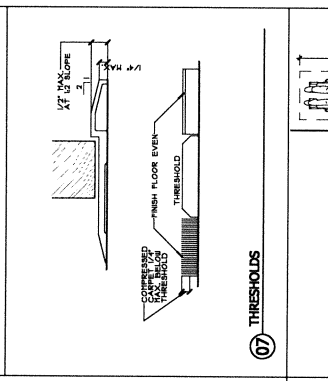
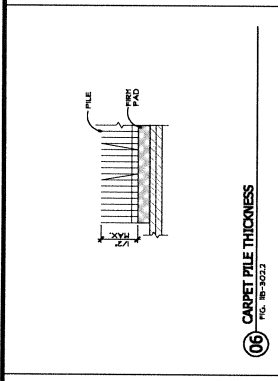
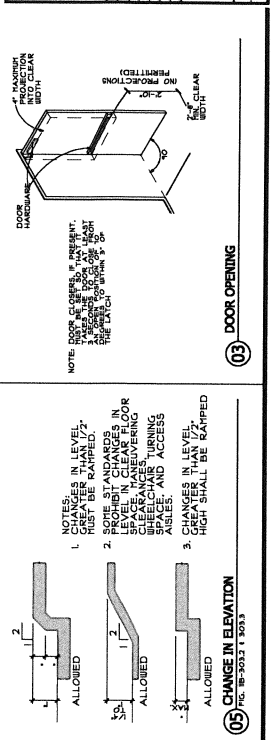
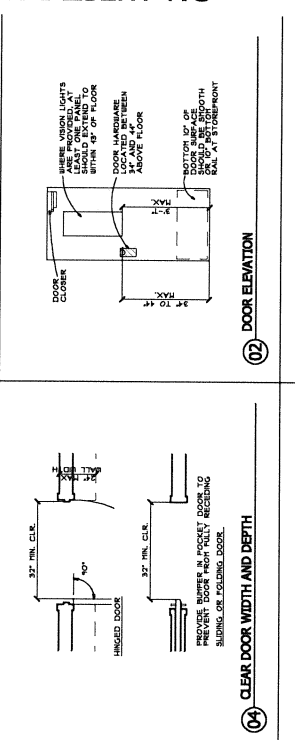
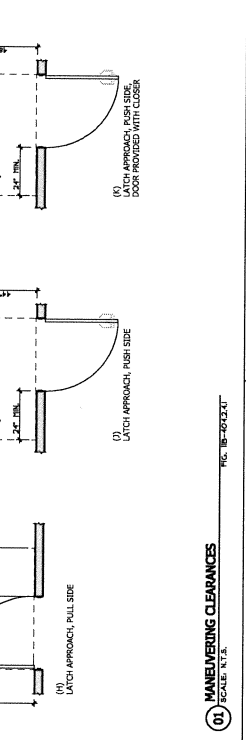
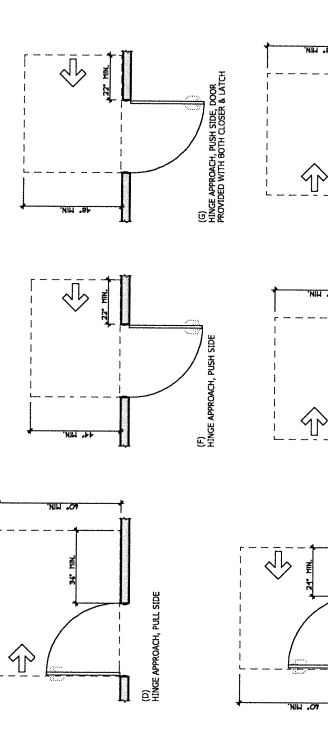
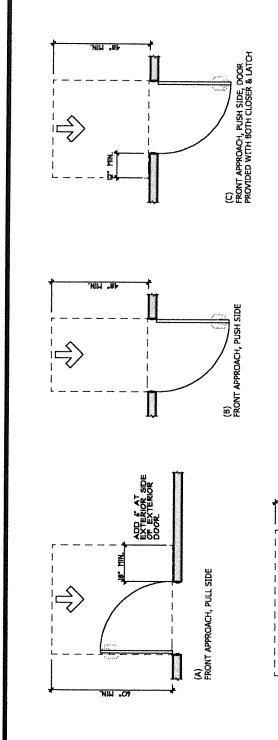
CEILING REMARKS

CEILING LEGEND

[Symbol]	INDICATES OFFER BOARD CEILING HUNG FLOOR
[Symbol]	INDICATES TYPE OF HUNG FLOOR
[Symbol]	INDICATES THE TYPE OF CEILING HUNG FLOOR

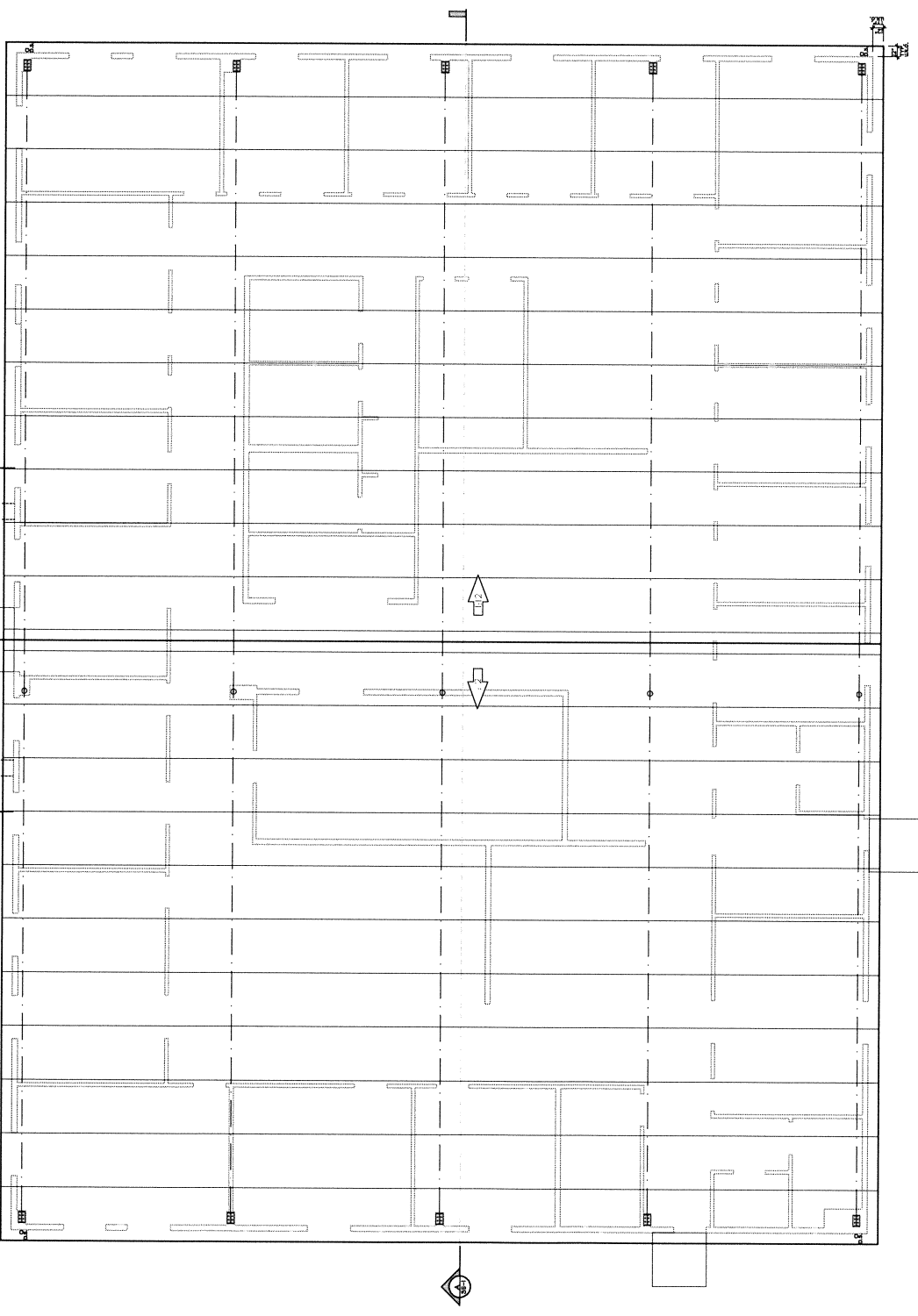
NORTH
MACHINE SHOP
REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"





MICHAEL D. JUNDT S.E. 56336
 TERRY MOORE P.E. 56529
 JAMES QUINN C269
 PROJECT NO. 10-000000000000000000

ROOF FRAMING KEYNOTES
 01 METAL ROOFING, SEE METAL BUILDING DRAWINGS.
 02 METAL BUILDING DECKING, SEE METAL BUILDING DRAWINGS.
 03 METAL BUILDING WALLS, SEE METAL BUILDING DRAWINGS.
 04 METAL BUILDING FLOORING, SEE METAL BUILDING DRAWINGS.
 05 METAL BUILDING CEILING, SEE METAL BUILDING DRAWINGS.
 06 METAL BUILDING INTERIORS, SEE METAL BUILDING DRAWINGS.
 07 METAL BUILDING EXTERIORS, SEE METAL BUILDING DRAWINGS.
 08 METAL BUILDING DETAILS, SEE METAL BUILDING DRAWINGS.
 09 METAL BUILDING ACCESSORIES, SEE METAL BUILDING DRAWINGS.
 10 METAL BUILDING FINISHES, SEE METAL BUILDING DRAWINGS.



TYPICAL FRAMING SPANS
 1. JOIST SPAN: 20'-0" ON CENTER
 2. PURLIN SPAN: 20'-0" ON CENTER
 3. BEAM SPAN: 20'-0" ON CENTER
 4. GIRDER SPAN: 20'-0" ON CENTER
 5. MEZzanINE BEAM SPAN: 20'-0" ON CENTER
 6. MEZzanINE GIRDER SPAN: 20'-0" ON CENTER
 7. MEZzanINE JOIST SPAN: 20'-0" ON CENTER
 8. MEZzanINE PURLIN SPAN: 20'-0" ON CENTER

ROOF FRAMING NOTES
 1. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AISC STEEL ECTION BUILT UP SHAPES MANUAL AND THE AISC STEEL JOIST HANDBOOK.
 2. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AISC STEEL ECTION BUILT UP SHAPES MANUAL AND THE AISC STEEL JOIST HANDBOOK.
 3. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AISC STEEL ECTION BUILT UP SHAPES MANUAL AND THE AISC STEEL JOIST HANDBOOK.
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 10. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AISC STEEL ECTION BUILT UP SHAPES MANUAL AND THE AISC STEEL JOIST HANDBOOK.

**ADMINISTRATION BUILDING
 ROOF FRAMING PLAN**
 SCALE: 1/4" = 1'-0"

PROVIDED BY: CAL WEST RAIN - KERMAN

DATE: 08/11/10

CHG#: S4-2

REVISIONS:

NO.	DATE	DESCRIPTION
1	08/11/10	ISSUED FOR PERMIT

CAL WEST RAIN - KERMAN

ARCHITECTURE
ENGINEERING
FORENSIC SERVICES

ASSOCIATED DESIGN AND ENGINEERING INC.

351 WEST CROSWELL AVE. SUITE 108 ■ FRESNO, CA 93711 ■ OFFICE 559.431.2369 ■ FAX 559.431.2074 ■ office@adec.com ■ <http://adec.com>

MICHAEL D. JUNT 553396
TERRY MOORE P.E. 55527
JAMES CLANN 55669

ROOF FRAMING KEYNOTES

01 METAL ROOFING, SEE METAL BUILDING CHALLENGE.

02 METAL BUILDING CHALLENGE, SEE METAL BUILDING CHALLENGE.

03 METAL BUILDING CHALLENGE, SEE METAL BUILDING CHALLENGE.

04 METAL BUILDING CHALLENGE, SEE METAL BUILDING CHALLENGE.

05 METAL BUILDING CHALLENGE, SEE METAL BUILDING CHALLENGE.

06 METAL BUILDING CHALLENGE, SEE METAL BUILDING CHALLENGE.

07 METAL BUILDING CHALLENGE, SEE METAL BUILDING CHALLENGE.

TYPICAL FRAMING SPANS

2" X 8" @ 12" O.C. PERPENDICULAR TO GUTTER

2" X 8" @ 12" O.C. PARALLEL TO GUTTER

2" X 10" @ 12" O.C. PERPENDICULAR TO GUTTER

2" X 10" @ 12" O.C. PARALLEL TO GUTTER

2" X 12" @ 12" O.C. PERPENDICULAR TO GUTTER

2" X 12" @ 12" O.C. PARALLEL TO GUTTER

ROOF FRAMING NOTES

1. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE METAL BUILDING CHALLENGE.

2. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE METAL BUILDING CHALLENGE.

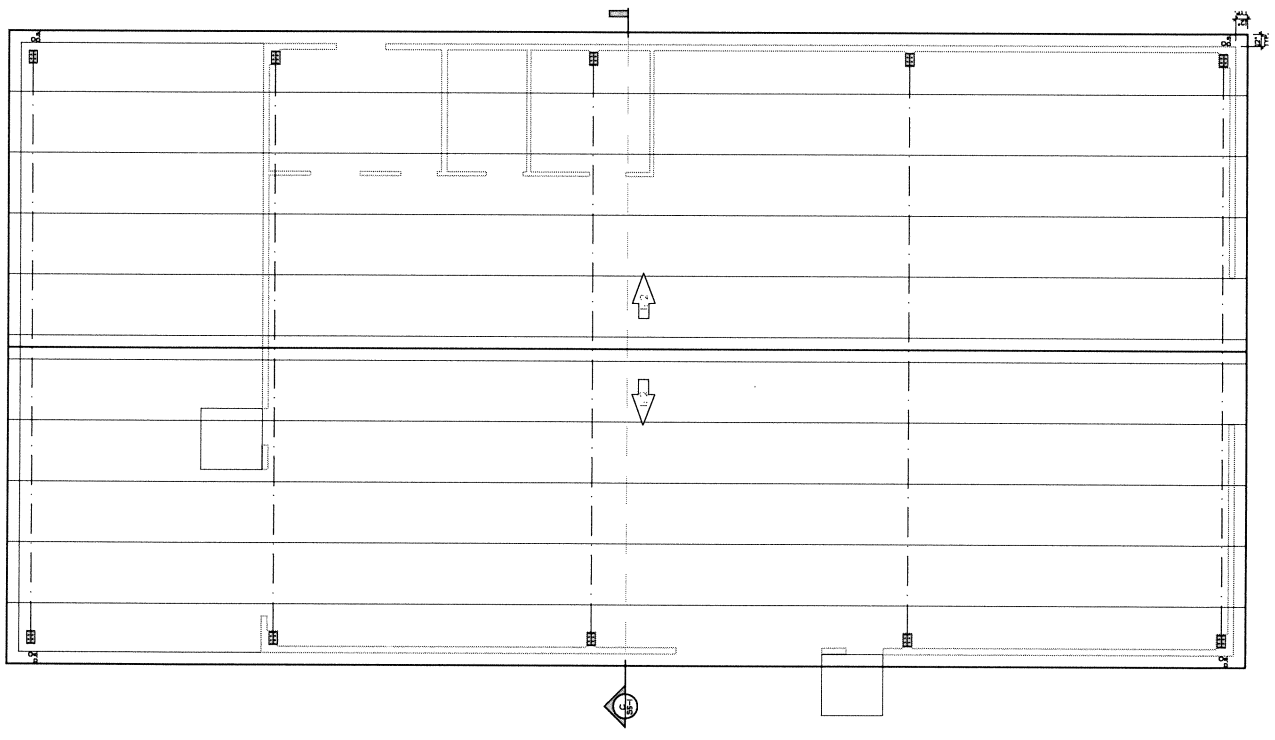
3. ALL FRAMING SHALL BE PERFORMED IN ACCORDANCE WITH THE METAL BUILDING CHALLENGE.

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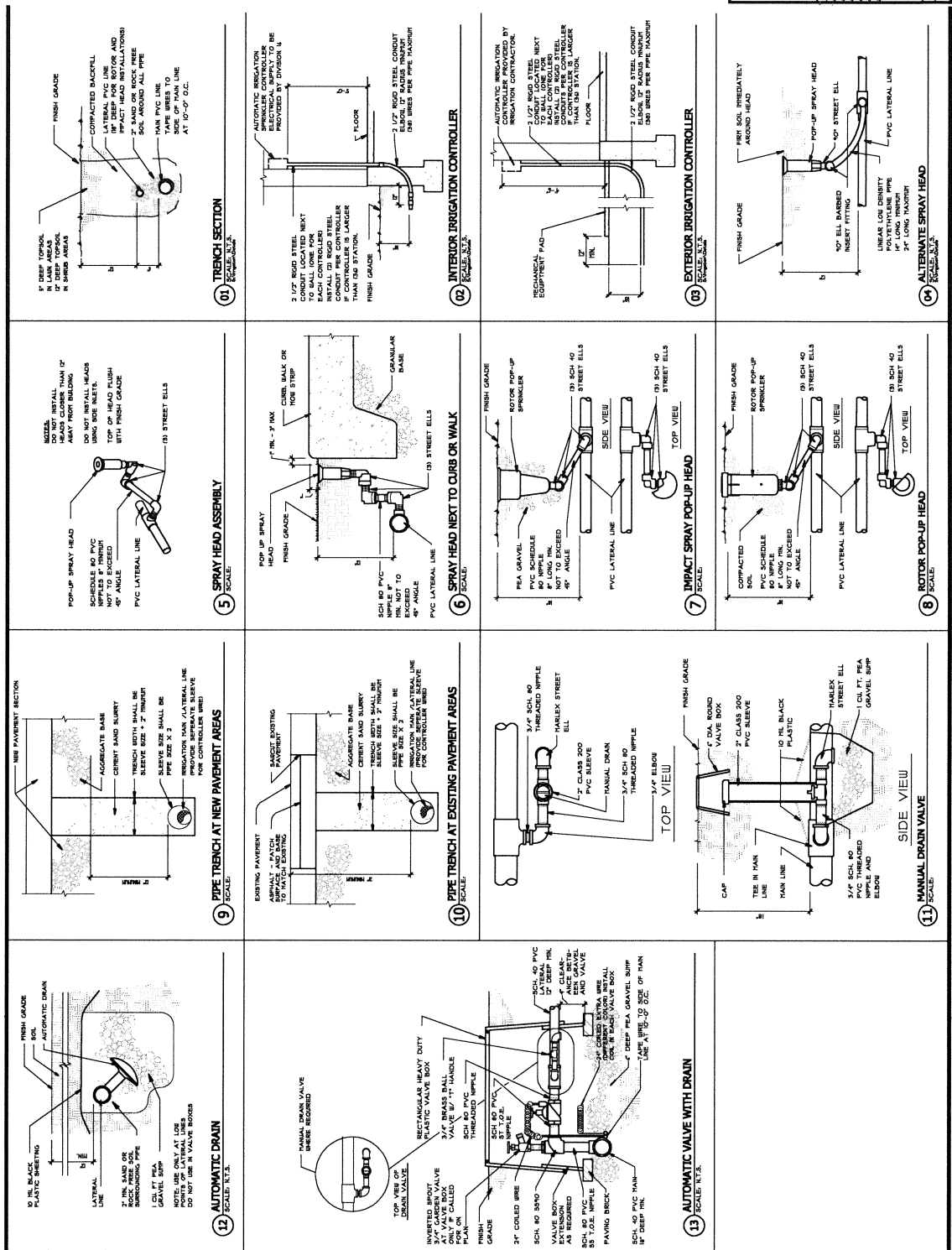


NORTH

MACHINE SHOP

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

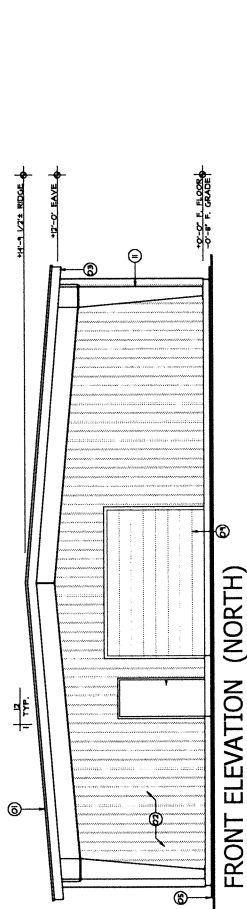


- ELEVATION KEYNOTES**
- 1. SEE ARCHITECTURAL SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.
 - 2. ALL METAL FABRICATION SHALL BE PERFORMED IN ACCORDANCE WITH THE AIAA 9000 SERIES.
 - 3. ALL METAL FABRICATION SHALL BE PERFORMED IN ACCORDANCE WITH THE AIAA 9000 SERIES.
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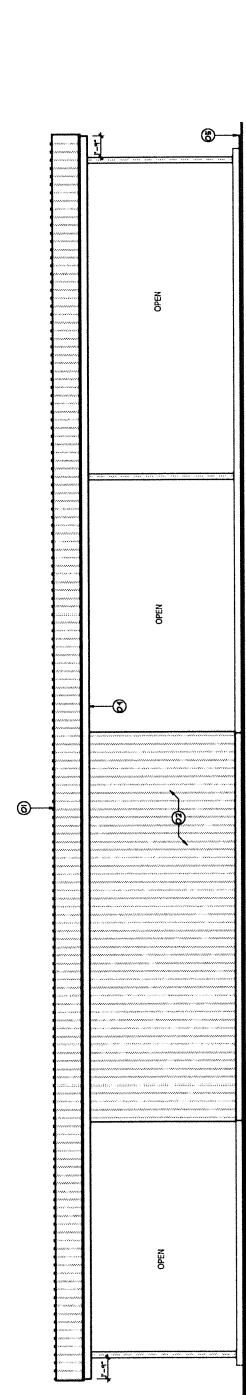
EXT. FINISH SCHEDULE

ITEM	MATERIAL	FINISH	COLOR
001	VERTICAL	TRD	
002	HORIZONTAL	TRD	
003	GLAZING	TRD	
004	GLAZING	TRD	
005	GLAZING	TRD	
006	GLAZING	TRD	
007	GLAZING	TRD	
008	GLAZING	TRD	
009	GLAZING	TRD	
010	GLAZING	TRD	

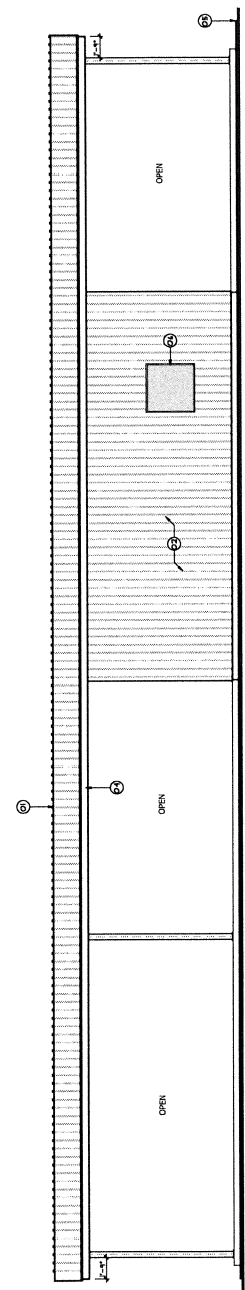
- ELEVATION NOTES**
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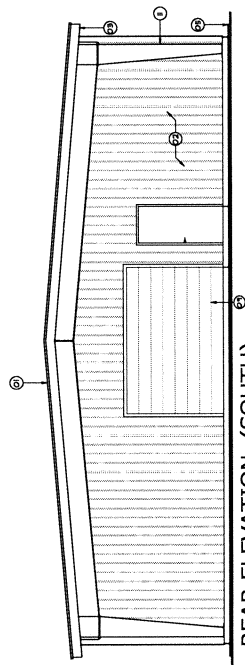
FRONT ELEVATION (NORTH)



LEFT ELEVATION (WEST)



RIGHT ELEVATION (EAST)



REAR ELEVATION (SOUTH)

**MECHANICS SHOP
 EXTERIOR ELEVATIONS**
 SCALE: 1/4" = 1'-0"

PLASTER AND PAINT WORK
 LAMES QUINN C9269
 MICHAEL D. JUNDT S.E. 55336
 TERRY MOORE P.E. 65553

- ELEVATION KEYNOTES**
- 1. SEE PLAN FOR WINDOW SIZES.
 - 2. SEE PLAN FOR WINDOW SIZES.
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 - 100. SEE PLAN FOR WINDOW SIZES.

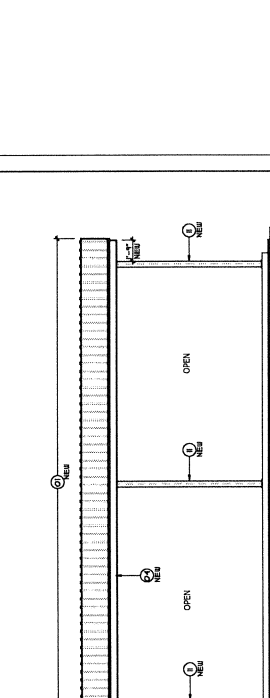
EXT. FINISH SCHEDULE

ITEM	MATERIAL	COLOR
001	VERTICAL	TRD
002	HORIZONTAL	TRD
003	GLAZING	LOW-E
004	FRAMES	ANODIZED

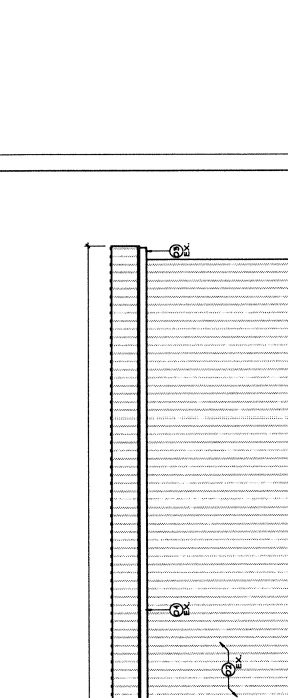
ELEVATION NOTES

1. SEE PLAN FOR WINDOW SIZES.
2. SEE PLAN FOR WINDOW SIZES.

FRONT ELEVATION (EAST)



LEFT ELEVATION (NORTH)



RIGHT ELEVATION (SOUTH)

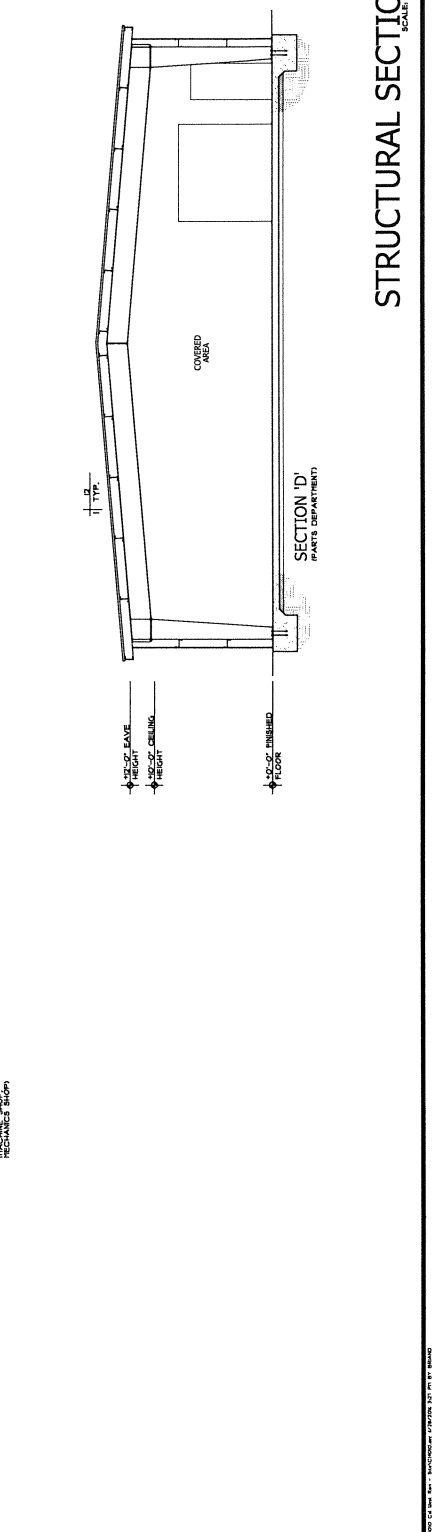
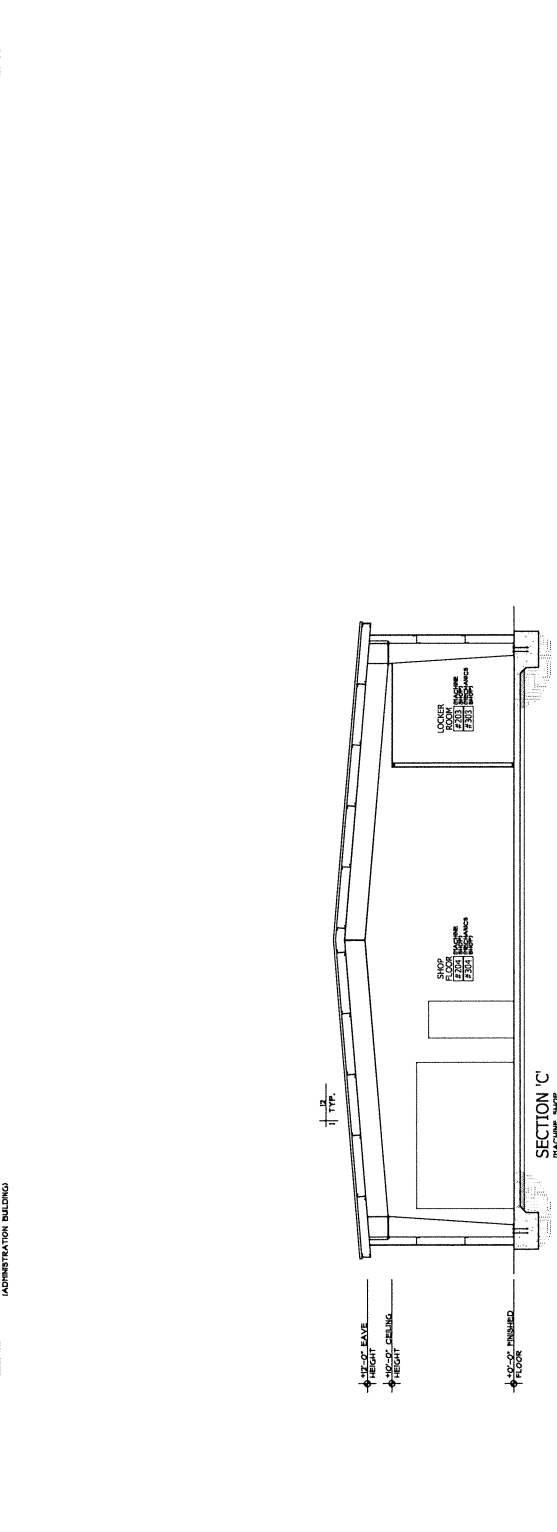
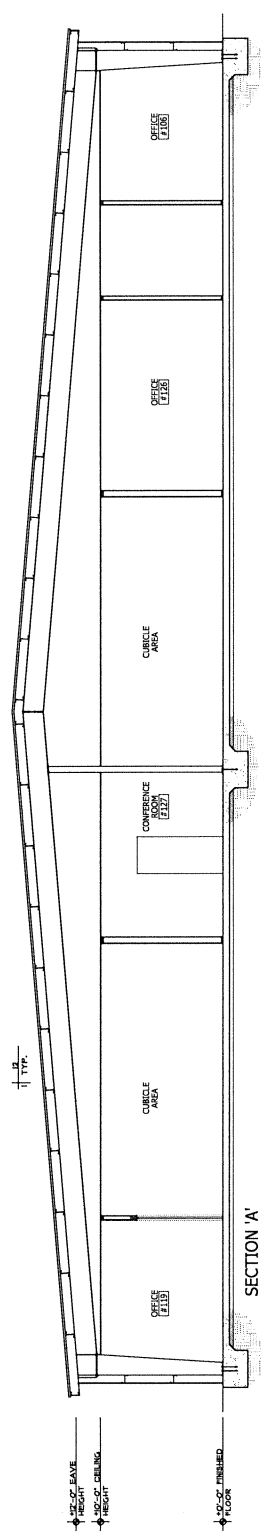


REAR ELEVATION (WEST)



- STRUCTURAL SECTIONS**
01. ROOF PLAN
 02. SECTION A'
 03. SECTION B'
 04. SECTION C'
 05. SECTION D'
 06. SECTION E'
 07. SECTION F'
 08. SECTION G'
 09. SECTION H'
 10. SECTION I'
 11. SECTION J'
 12. SECTION K'
 13. SECTION L'
 14. SECTION M'
 15. SECTION N'
 16. SECTION O'
 17. SECTION P'
 18. SECTION Q'
 19. SECTION R'
 20. SECTION S'
 21. SECTION T'
 22. SECTION U'
 23. SECTION V'
 24. SECTION W'
 25. SECTION X'
 26. SECTION Y'
 27. SECTION Z'
 28. SECTION AA'
 29. SECTION BB'
 30. SECTION CC'
 31. SECTION DD'
 32. SECTION EE'
 33. SECTION FF'
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 35. SECTION HH'
 36. SECTION II'
 37. SECTION JJ'
 38. SECTION KK'
 39. SECTION LL'
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 42. SECTION OO'
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- SECTION NOTES**
1. SEE GENERAL NOTES FOR ALL NOTES.
 2. SEE GENERAL NOTES FOR ALL NOTES.
 3. SEE GENERAL NOTES FOR ALL NOTES.
 4. SEE GENERAL NOTES FOR ALL NOTES.



STRUCTURAL SECTIONS
 SCALE: 1/4" = 1'-0"

EXHIBIT 7

Cal West Rain Conditional Use Permit Operational Statement July 1, 2016

Applicant: Cal West Rain Inc.
c/o Mr. Larry Isheim & Mr. Jim Martin
4939 N. Madera Ave.
Kerman, Ca. 93630

Property Owner: Cal West Rain Inc.

Project Address: 4939 N. Madera Avenue
Kerman, CA 93630

Representative: Dirk Poeschel Land Development Services, Inc.
923 Van Ness Ave., Suite No. 200
Fresno, CA 93721

APN: 015-340-81

Zoning: AE-20

Area: 16.45 +/- acres

Request:

The applicant seeks approval of a conditional use permit to allow the expansion of an existing agricultural pump and irrigation systems and sales facility.

Background:

Almost 27 years ago, San Joaquin Valley Farming company felt a need to have both an irrigation and pump company as a supplier. The result of that need was an idea by Larry Isheim and Jim Martin. Larry's expertise in design, installation, and service of agricultural irrigation systems combined with Jim's experience in pumps created the company of Cal West Rain.

Established in the fall of 1989 with one office in Kerman, Cal West Rain has added offices in Paso Robles and Hanford, as well as the sales and service of irrigation engines to the irrigation and pump business. Cal West Rain is the complete ag. Irrigation company. From one of the largest well developing engines to the last tiny drip emitter, Cal West Rain designs, sells, and services it all. Cal West Rain is a member of the International Irrigation Association, and has three Certified Irrigation Designers on staff.

The company remains locally owned and operated and serves a multicounty area. The need for expansion and improvement to site circulation and security have also prompted the proposed project. No changes to the core business will occur as a result of the proposed land-use permit. Except the ability to create more jobs

Fresno County General Plan Policy LU-A.3 and General Plan Table LU-3 provides the County with the authority to allow the development of organic and inorganic fertilizer manufacturing facilities through the approval of a discretionary permit in agricultural areas subject to various criteria. The criteria and the applicability of the project to those criteria are as follows.

- a. *The use shall provide a needed service to the surrounding agricultural area which cannot be provided more efficiently within urban areas or which requires location in a non-urban area because of unusual site requirements or operational characteristics.*

Cal West Rain provides needed irrigation services to the agricultural community. The project’s proximity to agricultural users and major roadways is critical to efficiently serving the agricultural industry.

Operational Characteristics

The facility is open 7 AM to 5 PM Monday-Fridays and 7 AM to 12 PM on Saturday for normal business activities. Cal West Rain designs, sells and repairs agricultural pipe, pumps and related materials such as valves, drip line and related irrigation parts and supplies. The business is cyclical and occurs on a demand basis after typical business hours. After hours operations may be necessary to address client demand.

Some irrigation parts and materials are sold on site. These sales are all to the agricultural community and not to the general consumer. The project will generate an estimated 20 customers daily. It is estimated that approximately 14 deliveries occur per day of varying sizes and delivery vehicles.

Approximately 28 administrative staff will be at the facility from 7 AM to 5 PM. In addition, 9 sales staff will also be stationed at the facility but are typically off-site addressing customer needs. Approximately 20 employees provide mechanical, electrical, and other fabrication tasks to repair agricultural pipe and pumps. A summary of company employees is provided in EXHIBIT “A” attached hereto.

Hours of Operation

Activity	Current	Proposed
Office	8:00am-5:00pm	SAME
Material Receiving	SAME	SAME
Material Shipping	SAME	SAME
Sales	7:00am-5:00pm	SAME
Maintenance	7:00pm-5:00am	SAME

Note; Some maintenance activities will be performed after hours to address customer service emergencies.

Deliveries

Typical light duty delivery vehicles bring packages to the facility at least once a day. Deliveries of plastic irrigation pipe and irrigation drip line to and from the site occur approximately 2 times a day (4 trip ends). Said deliveries are accommodated by semi-truck tractor vehicles. Steel column pipe and pump parts are delivered 2 times per week by semi-truck.

Most deliveries of material to and from the site are via light to heavy duty trucks. Such deliveries occur on an average of 10 times a day (20 trip ends).

Private parcel service vehicles also visit the site on average 2 times a day (4 trip ends).

Site Access

The site currently has an ingress egress point on Shaw Avenue approximately 170 ft. from the intersection of the Hwy 145, 4-way stop sign. This driveway will be used exclusively by employees.

As illustrated on the project site plan prepared by Associated Design of Fresno, the second drive approach on Shaw Avenue is approximately 600 ft. west of Hwy 145 is proposed to be used by service personnel and deliveries.

Phasing

Construction of proposed improvements will be phased as demand and economics dictate.

Security

Security cameras will be installed on the site. During off business hours a private security firm will monitor the site, as appropriate. Security lighting will be hooded and directed in such a manner as to not annoy nearby property owners. No caretakers residence is proposed.

The site will be enclosed with a 6 foot chain link fence. Access to the site will be gated.

Storage of Materials

Various commodities such as pumps, wire, pipe, and other components of agricultural irrigation will be stored on-site. Storage of such materials will comply with applicable fire codes and zoning ordinance requirements.

No fuel is stored on site.

Water Supply

Reference is made to the project site plan prepared by Associated Design of Fresno. The aforementioned site plan illustrates the location of the existing wells on the subject site. A domestic well that produces approximately 15gpm exists on-site as noted on the aforementioned site plan. In agricultural well is also located on the aforementioned site plan that is used for fire protection purposes. A 30,000-gallon storage tank is also proposed.

The applicant is aware that the expansion will necessitate a review of the water supply system for domestic and fire protection purposes. The proposed project will comply with all applicable public health and fire protection quality and quantity standards.

Storm Drainage

Reference is made to the project site plan prepared by Associated Design of Fresno. The aforementioned site plan indicates a storm water retention basin. The site will be graded in such a manner as to direct all project storm water to the on-site collection area illustrated on the project site plan.

Repair Activities

All repair activities occur within the existing or proposed buildings. Repairs encompass this assemblage and rehabilitation of agricultural pumps of varying sizes up to...hp/

Parking Area

Parking for 25 visitors, 143 employees, and 104 company service/delivery vehicles as shown on the project site plan. The parking area is either paved with asphalt or covered in compacted gravel and will meet county parking standards.

Equipment List

Fork lifts

Solid and liquid waste

A minimal amount of solid waste is generated by the office and employee break room. It is estimated that the daily solid waste is 1 +/- cyd. The solid waste is placed in a roll off container that is serviced weekly by Mid Valley Sanitation.

Liquid waste is limited to the restrooms and employee break room. Liquid waste flows to the existing on-site septic system. A vehicle wash area will be located as illustrated on the project site plan. Required filters and traps are used as required by applicable regulations.

Material scraps such as steel and brass are either recycled for product or transported off site to wholesalers.

Water usage

Water is supplied by an on-site well. Water is used in the restrooms and employee break room. In addition, water may be used occasionally for dust prevention purposes. Typical domestic water usage (restroom and employee break room) would be approximately 6,500 gallons a day. Water for dust control cannot be accurately quantified but is estimated not to exceed 3,000 gallons per day when required.

Signage

A sign providing the facility name, address and 24-hr contact number may be installed on the Shaw Ave. main driveway. An advertising sign is also proposed at the location detailed on the project site plan.

Outdoor lighting

Outdoor lighting will be located on the site for operational purposes. All lights will be shielded or otherwise directed to keep the lighting on-site and not impact adjacent properties.

Landscaping & Fencing

Future landscaping is proposed on the 20 ft. frontage of Madera Highway and Shaw Ave. as shown on the attached site plan.

Construction Phasing

- | | |
|---------|--|
| Phase 1 | Construct building 1 (Administration), building 5 (Field Prep Awning), parking lot, and install water tank, fire pump and hydrant. |
| Phase 2 | Demo existing offices and field prep area awning. |
| Phase 3 | Construct building 3 (Shop building). |
| Phase 4 | Repair and construct building 4 (Parts Building) and parking lot |
| Phase 5 | Demo existing parts building. |
| Phase 6 | Construct building 2 (Shop Building) |
| Phase 7 | Complete remaining on and off site work. |

EXHIBIT "A"

Employee Summary

Category	Number of Employees
Administrative	16
Sales	9
Pump Crews	55
Electricians	5
Warehouse	6
Machinist/Mechanics	4
Irrigation Foreman	3
Welders	3
Pump Testing	2
Total:	103

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EXHIBIT 8

County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT:** Associated Design and Engineering/Cal-West Rain
- APPLICATION NOS.:** Initial Study Application No. 7169 and Conditional Use Permit Application No. 3534
- DESCRIPTION:** Allow the expansion of an existing agricultural pump and irrigation sales facility on a 16.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District
- LOCATION:** The subject parcel is located on the southwestern corner of Madera Avenue (SR 145) and West Shaw Avenue, approximately 4.6 miles north of the city limits of the City of Kerman (4865 N. Madera Avenue, Kerman, CA 93630) (Sup. Dist. 1) (APN 015-340-81).

I. AESTHETICS

- A. Would the project have a substantial adverse effect on a scenic vista; or
- B. Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway?

FINDING: NO IMPACT:

Madera Avenue and Shaw Avenue are not designated as Scenic Highways by the County's General Plan and no other scenic resources were identified through this analysis. Therefore, the project will have no effect on scenic vistas.

- C. Would the project substantially degrade the existing visual character or quality of the site and its surroundings?

FINDING: NO IMPACT:

The subject parcel is located in an area of agricultural uses, with some residential uses existing on smaller parcels. There is an existing agricultural pump and irrigation sales facility on the northern third of the parcel. Existing improvements include offices, materials storage and a machine shop. Five new buildings will be constructed to support this application and some of the existing offices will be replaced. Parking areas will be paved and the final site plan will present a more cohesive and developed layout than

the existing open parking plan. Storage and job preparation areas will be relocated away from the exterior of the site, presenting a neater visual than the existing layout where storage is occurring adjacent to the roadside.

- D. Would the project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project has the potential to create new sources of glare and light through the use of exterior security lighting. A mitigation measure requiring that these lights be hooded and pointed downward so as not to shine at adjacent properties will bring this impact to less than significant.

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and pointed downwards so as not to shine on adjacent properties.*

II. AGRICULTURAL AND FORESTRY RESOURCES

- A. Would the project convert prime or unique farmlands or farmland of statewide importance to non-agricultural use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Important Farmlands 2014 map shows that the northern third of the parcel is designated as semi-agricultural and rural land and the southern two-thirds is classified as Prime farmland. Historically, agricultural operations have shared the parcel with the existing operation of the pump and irrigation sales facility; however, the current proposal will expand that use into approximately 10 acres of land that is currently designated as Prime. The General Plan contains a list of uses that are permitted in areas designated agriculture (Table LU-3). Irrigation systems administration offices and farm equipment and machinery sales, rental, storage, and maintenance are allowed in areas designated as Agriculture, subject to the approval of a Conditional Use Permit, which is being processed concurrently with the adoption of a Mitigated Negative Declaration for this Initial Study. While the prime land will not be farmed in the future, it is still serving an agricultural use and as such, the loss of farmland is a less than significant impact.

- B. Would the project conflict with existing agricultural zoning or Williamson Act Contracts; or
- C. Would the project conflict with existing zoning for or cause rezoning of forest land, timberland, or timberland zoned Timberland Production; or
- D. Would the project result in the loss of forest land or conversion of forest land to non-forest use; or

- E. Would the project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural uses or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The proposed project is not sited on land that is under Williamson Act Contract or designated as forestland. The proposed use of the parcel is supportive of agricultural farming and will not contribute to the conversion of land from agricultural or forest uses.

III. AIR QUALITY

- A. Would the project conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Would the project violate any air quality standard or contribute to an existing or projected air quality violation; or
- C. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- D. Would the project expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

An Air Impact Assessment was completed on November 22, 2016 by the San Joaquin Valley Air Pollution Control District. That review determined that, with compliance to existing regulations, the baseline emissions for construction and operation will be less than two tons NOx per year and two tons PM10 per year. This complies with the emission reduction requirements of District Rule 9510.

- E. Would the project create objectionable odors affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel is located in an area of agricultural land uses with some single-family homes and a church clustered near the West Shaw and North Madera Avenue intersection. The project consists primarily of the sale and servicing of irrigation systems. Day to day business consists of designing, selling, and repairing agricultural pipe, pumps, and related materials such as valves, drip line, and related parts and supplies. Some sales of parts may occur on site, but the majority of non-administrative employees work off-site. These types of activities are not expected to generate objectionable odors.

IV. BIOLOGICAL RESOURCES

- A. Would the project have a substantial adverse effect, either directly or through habitat modifications, on any candidate, sensitive, or special-status species; or
- B. Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS)?

FINDING: NO IMPACT:

The subject parcel is not in an area where any candidate, sensitive, or special-status species have been identified nor is it near any riparian areas. The California National Diversity Database does not show any species in the vicinity and neither CDFW nor USFWS expressed concerns when the project was routed for their review. Review of CDFW's and USFWS's sensitive community resources did not identify any such areas near the project site.

- C. Would the project have a substantial adverse effect on federally-protected wetlands as defined by Section 404 of the Clean Water Act through direct removal, filling, hydrological interruption or other means; or
- D. Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

The project is not located near any natural wetlands. There is a semi-permanently flooded riverine system known as the Herndon No. 39 canal, located on the north side of West Shaw Avenue, which is owned and operated by Fresno Irrigation District. This canal delivers water for irrigation purposes and does not represent a migratory wildlife corridor.

- E. Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Would the project Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local regional, or state habitat conservation plan?

FINDING: NO IMPACT:

The project will not conflict with any local policies or ordinances protecting biological resource or with any adopted conservation plan.

V. CULTURAL RESOURCES

- A. Would the project cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5; or
- B. Would the project cause of substantial adverse change in the significance of an archeological resource pursuant to Section 15064.5; or
- C. Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature; or
- D. Would the project disturb any human remains, including those interred outside of formal cemeteries; or
- E. Would the project cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Due to the project's proximity to the San Joaquin River, there is a reasonable likelihood that cultural resources are present. A mitigation measure which requires that all work is halted if an artifact is uncovered will reduce potential impacts to less than significant.

Review of the 1891 *Atlas of Fresno County California* indicates there was once a historical building near the area of this application; however, this building has since been removed and no other historic buildings were identified.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activity, all work shall be halted in the area of the find, and an archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground disturbing activity, no further disturbance is to occur until the Fresno County Coroner has made the necessary findings as to origin and disposition. If such remains are determined to be Native American, the Coroner must notify the Native American Commission within 24 hours.*

VI. GEOLOGY AND SOILS

- A. Would the project expose people or structures to potential substantial adverse effects, including risk of loss, injury or death involving:
 1. Rupture of a known earthquake?
 2. Strong seismic ground shaking?
 3. Seismic-related ground failure, including liquefaction?

4. Landslides?

FINDING: NO IMPACT:

The subject parcel is not located in an area prone to earthquakes, ground shaking, or other seismic-related ground failure. The parcel is not located in an area of steep slopes and therefore is not at risk of landslides.

- B. Would the project result in substantial erosion or loss of topsoil; or
- C. Would the project result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse; or
- E. Would the project be located on expansive soils, creating substantial risks to life or property?

FINDING: NO IMPACT:

The soil on the parcel is Hanford Sandy Loam, silty substratum. This type of soil is naturally well drained, has a very low run-off class, and is not susceptible to expansion. The project is not located in an area that is known to be at risk of landslides, lateral spreading, subsidence, liquefaction, or collapse and therefore no adverse impacts were identified.

- F. Would the project have soils incapable of adequately supporting the use of septic tanks or alternative disposal systems where sewers are not available for wastewater disposal?

FINDING: NO IMPACT:

This project was reviewed by the Fresno County Department of Public Health, Environmental Health Division who expressed no concerns relating to the ability of the soils to support the use of the proposed septic system.

VII. GREENHOUSE GAS EMISSIONS

- A. Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Would the project conflict with any applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project was reviewed by the Air District and no impacts to greenhouse gas emissions were identified. The project will be required to comply with energy efficient building design and vehicles accessing the site will be increasingly fuel-efficient. The Air

Impact Assessment performed by the San Joaquin Valley Air Pollution Control District determined that the level of emissions was low enough to comply with the emission reduction requirements of District Rule 9510.

VIII. HAZARDS AND HAZARDOUS MATERIALS

- A. Would the project create a significant public hazard through routine transport, use or disposal of hazardous materials; or
- B. Would the project create a significant public hazard involving accidental release of hazardous materials into the environment; or
- C. Would the project create hazardous emissions or utilize hazardous materials, substances or waste within one quarter-mile of a school?

FINDING: NO IMPACT:

There is no use, transport, or disposal of hazardous materials proposed as part of this project.

- D. Would the project be located on a hazardous materials site?

FINDING: NO IMPACT:

The project site is not a documented hazardous materials site per the Certified Unified Program Agencies (CUPA) records list dated October 11, 2016 or the National Priority List (NPL) last updated on December 12, 2016. Based on this research, staff has determined that the project site is not located on a hazardous materials site.

- E. Would a project located within an airport land use plan or, absent such a plan, within two miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area; or
- F. Would a project located within the vicinity of a private airstrip result in a safety hazard for people residing or working in the project area?

FINDING: NO IMPACT:

The nearest airport to the subject parcel is Bland Field, located outside of the city limits of Kerman, approximately 7 miles south of the subject site. A review of aerial photos of the site and surrounding area revealed no private landing strips within 5 miles.

- G. Would the project impair implementation of or physically interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan; or
- H. Would the project expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

FINDING: NO IMPACT:

The subject parcel is not located in an area prone to wildfires and would not impair implementation of an Emergency Response or Evacuation Plan.

IX. HYDROLOGY AND WATER QUALITY

- A. Would the project violate any water quality standards or waste discharge requirements or otherwise degrade water quality; or
- B. Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge so that there would be a net deficit in aquifer volume or a lowering of the local groundwater table?

FINDING: NO IMPACT:

No adverse impacts to groundwater supplies were identified by the reviewing agencies. The project estimates that the office and breakroom will use approximately 6,500 gallons per day and that water for dust control will not exceed 3,000 gallons per day when it is required. The applicant will be required to comply with the Model Water Efficient Landscape Ordinance, which will reduce the amount of water spent on landscaping by requiring preparation of landscape plans by a licensed landscape architect and use of water-efficient emitters.

- C. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off site; or
- D. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in flooding on or off site?

FINDING: NO IMPACT:

The project site is not in the vicinity of a stream or river.

- E. Would the project create or contribute run-off which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted run-off; or
- F. Would the project otherwise substantially degrade water quality?

FINDING: NO IMPACT:

All run-off from the project will be retained on-site in a retention basin, as required by Fresno County Ordinance.

- G. Would the project place housing within a 100-year floodplain; or

- H. Would the project place structures within a 100-year flood hazard area that would impede or redirect flood flows?

FINDING: NO IMPACT:

According to FEMA, FIRM Panel 1252H, the subject property is located in flood zone X, which is area determined to be outside the 0.2% annual chance floodplain.

- I. Would the project expose persons or structures to levee or dam failure?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel is located in an area shown to be at risk of inundation by dam failure by Figure 9-8 of the Fresno County General Plan Background Report (FCGPBR); however, no reviewing agencies expressed concerns that the project's location would create exceptional risk due to dam failure. The site is approximately 0.85 miles south of the San Joaquin River and the use does not propose new housing or residential development.

- J. Would the project cause inundation by seiche, tsunami or mudflow?

FINDING: NO IMPACT:

The project is not at risk of inundation by seiche, tsunami or mudflow due to its location.

X. LAND USE AND PLANNING

- A. Will the project physically divide an established community?

FINDING: NO IMPACT:

The project is an expansion of the existing irrigation and pump sales facility and does not propose any improvements beyond the existing property lines. No established communities will be physically divided by this project.

- B. Will the project conflict with any Land Use Plan, policy or regulation of an agency with jurisdiction over the project?

FINDING: NO IMPACT:

The commercial pump and irrigation sales proposed on the parcel is permitted with approval of a Conditional Use Permit, which is being processed concurrently with adoption of the Mitigated Negative Declaration prepared for this Initial Study.

- C. Will the project conflict with any applicable Habitat Conservation Plan or Natural Community Conservation Plan?

FINDING: NO IMPACT:

There are no Habitat Conservation or Natural Community Conservation Plans in the vicinity of the project site.

XI. MINERAL RESOURCES

- A. Would the project result in the loss of availability of a known mineral resource; or
- B. Would the project result in the loss of availability of a locally-important mineral resource recovery site designated on a General Plan?

FINDING: NO IMPACT:

The subject parcel is not located at a resource recovery site and will not result in the loss of availability of a known mineral resource.

XII. NOISE

- A. Would the project result in exposure of people to severe noise levels; or
- B. Would the project result in exposure of people to or generate excessive ground-borne vibration or ground-borne noise levels; or
- C. Would the project cause a substantial permanent increase in ambient noise levels in the project vicinity; or
- D. Would the project result in a substantial temporary or periodic increase in ambient noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Cal-West Rain has been operating an agricultural pump and irrigation sales facility on this site since 1989. The proposed expansion requires approval of a use permit. The project may create a small increase in noise due to the loading and unloading of materials and truck traffic; however, since this represents a minor increase from the existing noise generation from the site, this impact is less than significant.

- E. Would the project expose people to excessive noise levels associated with a location near an airport or a private airstrip; or
- F. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: NO IMPACT:

The project site is not located near an airstrip.

XIII. POPULATION AND HOUSING

- A. Would the project induce substantial population growth either directly or indirectly; or
- B. Would the project displace substantial numbers of existing housing; or
- C. Would the project displace substantial numbers of people, necessitating the construction of housing elsewhere?

FINDING: NO IMPACT:

Approval of this project would not induce substantial population growth and would not displace people or housing.

XIV. PUBLIC SERVICES

- A. Would the project result in substantial adverse physical impacts associated with the provision of new or physically-altered public facilities in the following areas:
 - 1. Fire protection;
 - 2. Police protection;
 - 3. Schools;
 - 4. Parks; or
 - 5. Other public facilities?

FINDING: NO IMPACT:

No adverse impacts associated with new or physically altered public facilities were identified by reviewing agencies.

XV. RECREATION

- A. Would the project increase the use of existing neighborhood and regional parks; or
- B. Would the project require the construction of or expansion of recreational facilities?

FINDING: NO IMPACT:

The project will not increase the use of existing parks nor would it require the construction or expansion of those facilities.

XVI. TRANSPORTATION/TRAFFIC

- A. Would the project conflict with any applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation; or
- B. Would the project conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demands measures?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Since the number of employees on site is not changing from the existing operation of the irrigation and pump sales, it was determined that approval of this project would have a less than significant effect on the performance of the circulation system and all congestion management programs. No significant traffic impacts were identified.

- C. Would the project result in a change in air traffic patterns?

FINDING: NO IMPACT:

The project will have no effect on air traffic patterns.

- D. Would the project substantially increase traffic hazards due to design features; or
- E. Would the project result in inadequate emergency access; or
- F. Would the project conflict with adopted plans, policies or programs regarding public transit, bicycle or pedestrian facilities or otherwise decrease the performance or safety of such facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Review by Caltrans and the Fresno County Road Maintenance and Operations Division determined that both North Madera Avenue and West Shaw Avenue will remain of adequate width and pavement to support the project.

XVII. UTILITIES AND SERVICE SYSTEMS

- A. Would the project exceed wastewater treatment requirements; or
- B. Would the project require construction of or the expansion of new water or wastewater treatment facilities?

FINDING: NO IMPACT:

The office building on the project site will be served by a septic system. No impacts to wastewater treatment facilities were identified. The Fresno County Department of Public

Health, Environmental Health Division did not express any concerns that wastewater treatment capacities would be impacted.

- C. Would the project require or result in the construction or expansion of new storm water drainage facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The applicant has included on-site storm water ponding basins to collect run-off from the site and retain it per County standards.

- D. Would the project have sufficient water supplies available from existing entitlements and resources, or are new or expanded entitlements needed?

FINDING: NO IMPACT:

The project will be served by an on-site well which has historically served the pump and irrigation sales on this property.

- E. Would the project result in a determination of inadequate wastewater treatment capacity to serve project demand; or
- F. Would the project be served by a landfill with sufficient permitted capacity; or
- G. Would the project comply with federal, state and local statutes and regulations related to solid waste?

FINDING: NO IMPACT:

The project will comply with federal, state, and local statutes and regulations related to solid waste and no reviewing agency expressed concerns that the proposed waste would be in excess of existing capacity.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

- A. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California prehistory or history?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

While no impacts to the habitats or populations of fish and wildlife species were identified, the project may have the potential to impact historical resources. With compliance to the mitigation measure detailed in Section V, which requires that work

shall stop and an archeologist shall be called to evaluate any findings and make any necessary mitigation recommendations, this impact is reduced to less than significant.

- B. Does the project have impacts that are individually limited, but cumulatively considerable?

FINDING: LESS THAN SIGNIFICANT IMPACT:

This project has the potential to contribute to cumulatively considerable air impacts; however compliance to existing regulations set forth by the San Joaquin Valley Air Pollution Control District will reduce that impact to less than significant.

- C. Does the project have environmental impacts which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No adverse impacts on human beings were identified in the course of this analysis.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Conditional Use Permit Application No. 3534, staff has concluded that the project will not/will have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Geology and Soils, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use and Planning, Mineral Resources, Public Services, and Recreation.

Potential impacts related to Agricultural and Forestry Resources, Air Quality, Greenhouse Gas Emissions, Hydrology and Water Quality, Noise, Transportation and Traffic, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics and Cultural Resources have determined to be less than significant with compliance with the noted Mitigation Measures.

A Mitigated Negative Declaration/Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southeast corner of Tulare and "M" Street, Fresno, California.

CMM

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