

Document Root (Read-Only)

Selected Document

(New SCH Number) - MND - Initial Study No. 7664; Classified Conditional Use Permit Application No. 3655

Fresno County
Created - 11/4/2021 | Submitted - 11/4/2021
Ejaz Ahmad

Document Details

Lead Agency

Fresno County

Document Type

Mitigated Negative Declaration

Document Status

Submitted

Title

Initial Study No. 7664; Classified Conditional Use Permit Application No. 3655

Present Land Use

None (undeveloped land)

Document Description

Allow a Rural Commercial Center consisting of a convenience store/fast-food restaurant and a gasoline fueling facility (fuel island canopy with gasoline pumps) and related improvements on an approximately 1.78-acre portion of a 4.99-acre parcel in the RR (Rural Residential, two-acre minimum parcel size) Zone District. The project site is located on the northwest corner of W. Belmont and N. Cornelia Avenues approximately 2,190 feet south of the nearest city limits of the City of Fresno (5064 W. Belmont Avenue) (APN 312-390-13).

Attachments

CUP 3655 Enviromantl Checklist.pdf

CUP 3655 Initail Study.pdf

CUP 3655 Mitigation Monitoring.pdf

CUP 3655 MND (proposed).pdf

CUP 3655 NOC (signed).pdf

CUP 3655 NOI (Recorded).pdf

CUP 3655 Routing Pkg.pdf

CUP 3655 Summary Form.pdf

Contacts

Planner - *Ejaz Ahmad*

2220 Tulare Street, Suite A, Street Level

Fresno, CA 93721

Phone : (559) 600-4204

eahmad@fresnocountyca.gov

Regions

Counties

Fresno

Cities

Location Details

Cross Streets

Northwest corner of W. Belmont and N. Cornelia Avenues, Fresno

**Total Acres - 4.99 | Parcel Number - 31239013 | Township - 13S | Range - 19E |
Section - 34 | Base - Mt. Diab**

Local Action Types

Use Permit

Development Types

Commercial (Rural Commercial Center)(Sq. Ft. 5452, Acres 4.99, Employees 3)

Project Issues

Aesthetics | Agriculture and Forestry Resources | Air Quality | Biological Resources | Cultural Resources | Drainage/Absorption | Energy | Geology/Soils | Greenhouse Gas Emissions | Hazards & Hazardous Materials | Hydrology/Water Quality | Land Use/Planning | Mineral Resources | Noise | Population/Housing | Public Services | Recreation | Septic System | Sewer Capacity | Transportation | Tribal Cultural Resources | Utilities/Service Systems | Wildfire

Review Agencies

Air Resources Board | Caltrans, District 6 - Fresno/Bakersfield | Conservation, Department of | Fish and Wildlife, Region 4 - Central, Fresno | Forestry and Fire Protection, Department of | Regional Water Quality Control Board, Region 5 - Fresno | SWRCB, Division of Drinking Water, District 23

Review Period**Review Started**

11/5/2021

Review Ended

12/6/2021

Summary Form for Electronic Document Submittal

Form F

Lead agencies may include 15 hardcopies of this document when submitting electronic copies of Environmental Impact Reports, Negative Declarations, Mitigated Negative Declarations, or Notices of Preparation to the State Clearinghouse (SCH). The SCH also accepts other summaries, such as EIR Executive Summaries prepared pursuant to CEQA Guidelines Section 15123. Please include one copy of the Notice of Completion Form (NOC) with your submission and attach the summary to each electronic copy of the document.

SCH #: _____

Project Title: Initial Study No. 7664; Classified Conditional Use Permit No. 3655

Lead Agency: County of Fresno

Contact Name: Ejaz Ahmad

Email: eahmad@fresnocountyca.gov Phone Number: 559-600-4204

Project Location: Fresno Fresno
City *County*

Project Description (Proposed actions, location, and/or consequences).

Allow a Rural Commercial Center consisting of a convenience store/fast-food restaurant and a gasoline fueling facility (fuel island canopy with gasoline pumps) and related improvements on an approximately 1.78-acre portion of a 4.99-acre parcel in the RR (Rural Residential, two-acre minimum parcel size) Zone District. The project site is located on the northwest corner of W. Belmont and N. Cornelia Avenues approximately 2,190 feet south of the nearest city limits of the City of Fresno (5064 W. Belmont Avenue, Fresno) (APN 312-390-13).

Identify the project's significant or potentially significant effects and briefly describe any proposed mitigation measures that would reduce or avoid that effect.

AESTHETICS: D. The proposed uses may result in the creation of new sources of light and glare in the area. The proposed mitigation to hood and direct lighting away from adjacent properties and public right-of-ways would reduce impacts to a less than significant level.

CULTURAL RESOURCES A. B. C: The project site is not in a cultural resources area. The proposed mitigation measure requiring that if cultural resources are discovered all work shall be stopped and an archeologist shall evaluate the findings would reduce the impacts to less than significant.

ENERGY A. B: The project is unlikely to result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources. The proposed mitigation measure requiring idling of on-site vehicles and equipment be avoided to the most extent possible would reduce impacts to a less than significant.

TRANSPORTATION: A. The project is responsible for an equitable share of the cost of installing traffic signals on four intersections. The implementation of this proposed mitigation measure would reduce impacts to a less than significant.

If applicable, describe any of the project's areas of controversy known to the Lead Agency, including issues raised by agencies and the public.

No known controversies

Provide a list of the responsible or trustee agencies for the project.

None other than the lead agency (Fresno County)

Notice of Completion & Environmental Document Transmittal

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613
 For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

SCH #

Project Title: Initial Study No. 7664 (Daulat Sandhue)

Lead Agency: <u>County of Fresno</u>	Contact Person: <u>Ejaz Ahmad</u>
Mailing Address: <u>2220 Tulare Street, 6th Floor</u>	Phone: <u>(559) 600-4204</u>
City: <u>Fresno</u> Zip: <u>93721</u>	County: <u>Fresno</u>

Project Location: County: Fresno City/Nearest Community: Fresno

Cross Streets: Northwest corner of W. Belmont and N. Cornelia Avenues, Fresno Zip Code: _____

Longitude/Latitude (degrees, minutes and seconds): _____ ° _____ ' _____ " N / _____ ° _____ ' _____ " W Total Acres: 4.99

Assessor's Parcel No.: 312-390-13 Section: 34 Twp.: 13S Range: 19E Base: Mt. Diablo

Within 2 Miles: State Hwy #: _____ Waterways: _____

Airports: _____ Railways: _____ Schools: _____

Document Type:

CEQA: <input type="checkbox"/> NOP	<input type="checkbox"/> Draft EIR	NEPA: <input type="checkbox"/> NOI	Other: <input type="checkbox"/> Joint Document
<input type="checkbox"/> Early Cons	<input type="checkbox"/> Supplement/Subsequent EIR	<input type="checkbox"/> EA	<input type="checkbox"/> Final Document
<input type="checkbox"/> Neg Dec	(Prior SCH No.) _____	<input type="checkbox"/> Draft EIS	<input type="checkbox"/> Other: _____
<input checked="" type="checkbox"/> Mit Neg Dec	Other: _____	<input type="checkbox"/> FONSI	_____

Local Action Type:

<input type="checkbox"/> General Plan Update	<input type="checkbox"/> Specific Plan	<input type="checkbox"/> Rezone	<input type="checkbox"/> Annexation
<input type="checkbox"/> General Plan Amendment	<input type="checkbox"/> Master Plan	<input type="checkbox"/> Prezone	<input type="checkbox"/> Redevelopment
<input type="checkbox"/> General Plan Element	<input type="checkbox"/> Planned Unit Development	<input checked="" type="checkbox"/> Use Permit	<input type="checkbox"/> Coastal Permit
<input type="checkbox"/> Community Plan	<input type="checkbox"/> Site Plan	<input type="checkbox"/> Land Division (Subdivision, etc.)	<input type="checkbox"/> Other: _____

Development Type:

<input type="checkbox"/> Residential: Units _____ Acres _____	<input type="checkbox"/> Transportation: Type _____
<input type="checkbox"/> Office: Sq.ft. _____ Acres _____ Employees _____	<input type="checkbox"/> Mining: Mineral _____
<input checked="" type="checkbox"/> Commercial: Sq.ft. _____ Acres <u>4.99</u> Employees _____	<input type="checkbox"/> Power: Type _____ MW _____
<input type="checkbox"/> Industrial: Sq.ft. _____ Acres _____ Employees _____	<input type="checkbox"/> Waste Treatment: Type _____ MGD _____
<input type="checkbox"/> Educational: _____	<input type="checkbox"/> Hazardous Waste: Type _____
<input type="checkbox"/> Recreational: _____	<input type="checkbox"/> Other: _____
<input type="checkbox"/> Water Facilities: Type _____ MGD _____	

Project Issues Discussed in Document:

<input checked="" type="checkbox"/> Aesthetic/Visual	<input type="checkbox"/> Fiscal	<input checked="" type="checkbox"/> Recreation/Parks	<input type="checkbox"/> Vegetation
<input checked="" type="checkbox"/> Agricultural Land	<input checked="" type="checkbox"/> Flood Plain/Flooding	<input checked="" type="checkbox"/> Schools/Universities	<input checked="" type="checkbox"/> Water Quality
<input checked="" type="checkbox"/> Air Quality	<input checked="" type="checkbox"/> Forest Land/Fire Hazard	<input checked="" type="checkbox"/> Septic Systems	<input checked="" type="checkbox"/> Water Supply/Groundwater
<input checked="" type="checkbox"/> Archeological/Historical	<input checked="" type="checkbox"/> Geologic/Seismic	<input checked="" type="checkbox"/> Sewer Capacity	<input checked="" type="checkbox"/> Wetland/Riparian
<input checked="" type="checkbox"/> Biological Resources	<input checked="" type="checkbox"/> Minerals	<input checked="" type="checkbox"/> Soil Erosion/Compaction/Grading	<input type="checkbox"/> Growth Inducement
<input type="checkbox"/> Coastal Zone	<input checked="" type="checkbox"/> Noise	<input checked="" type="checkbox"/> Solid Waste	<input checked="" type="checkbox"/> Land Use
<input checked="" type="checkbox"/> Drainage/Absorption	<input checked="" type="checkbox"/> Population/Housing Balance	<input checked="" type="checkbox"/> Toxic/Hazardous	<input checked="" type="checkbox"/> Cumulative Effects
<input type="checkbox"/> Economic/Jobs	<input checked="" type="checkbox"/> Public Services/Facilities	<input checked="" type="checkbox"/> Traffic/Circulation	<input type="checkbox"/> Other: _____

Present Land Use/Zoning/General Plan Designation:

Undeveloped/RR (Rural Residential)/Rural Residential

Project Description: (please use a separate page if necessary)

Allow a Rural Commercial Center consisting of a convenience store/fast-food restaurant and a gasoline fueling facility (fuel island canopy with gasoline pumps) and related improvements on an approximately 1.78-acre portion of a 4.99-acre parcel in the RR (Rural Residential, two-acre minimum parcel size) Zone District. The project site is located on the northwest corner of W. Belmont and N. Cornelia Avenues approximately 2,190 feet south of the nearest city limits of the City of Fresno (5064 W. Belmont Avenue) (APN 312-390-13) (Sup. Dist. 1).

Note: The State Clearinghouse will assign identification numbers for all new projects. If a SCH number already exists for a project (e.g. Notice of Preparation or previous draft document) please fill in.

Reviewing Agencies Checklist

Lead Agencies may recommend State Clearinghouse distribution by marking agencies below with and "X".
If you have already sent your document to the agency please denote that with an "S".

- | | |
|---|---|
| <input checked="" type="checkbox"/> Air Resources Board | <input type="checkbox"/> Office of Historic Preservation |
| <input type="checkbox"/> Boating & Waterways, Department of | <input type="checkbox"/> Office of Public School Construction |
| <input type="checkbox"/> California Emergency Management Agency | <input type="checkbox"/> Parks & Recreation, Department of |
| <input type="checkbox"/> California Highway Patrol | <input type="checkbox"/> Pesticide Regulation, Department of |
| <input checked="" type="checkbox"/> Caltrans District # <u>6</u> | <input type="checkbox"/> Public Utilities Commission |
| <input type="checkbox"/> Caltrans Division of Aeronautics | <input checked="" type="checkbox"/> Regional WQCB # <u>5</u> |
| <input type="checkbox"/> Caltrans Planning | <input type="checkbox"/> Resources Agency |
| <input type="checkbox"/> Central Valley Flood Protection Board | <input type="checkbox"/> Resources Recycling and Recovery, Department of |
| <input type="checkbox"/> Coachella Valley Mtns. Conservancy | <input type="checkbox"/> S.F. Bay Conservation & Development Comm. |
| <input type="checkbox"/> Coastal Commission | <input type="checkbox"/> San Gabriel & Lower L.A. Rivers & Mtns. Conservancy |
| <input type="checkbox"/> Colorado River Board | <input type="checkbox"/> San Joaquin River Conservancy |
| <input checked="" type="checkbox"/> Conservation, Department of | <input type="checkbox"/> Santa Monica Mtns. Conservancy |
| <input type="checkbox"/> Corrections, Department of | <input type="checkbox"/> State Lands Commission |
| <input type="checkbox"/> Delta Protection Commission | <input type="checkbox"/> SWRCB: Clean Water Grants |
| <input type="checkbox"/> Education, Department of | <input checked="" type="checkbox"/> SWRCB: Water Quality |
| <input type="checkbox"/> Energy Commission | <input type="checkbox"/> SWRCB: Water Rights |
| <input checked="" type="checkbox"/> Fish & Game Region # _____ | <input type="checkbox"/> Tahoe Regional Planning Agency |
| <input type="checkbox"/> Food & Agriculture, Department of | <input type="checkbox"/> Toxic Substances Control, Department of |
| <input checked="" type="checkbox"/> Forestry and Fire Protection, Department of | <input checked="" type="checkbox"/> Water Resources, Department of |
| <input type="checkbox"/> General Services, Department of | |
| <input checked="" type="checkbox"/> Health Services, Department of | <input checked="" type="checkbox"/> Other: <u>US Fish & Wildlife</u> |
| <input type="checkbox"/> Housing & Community Development | <input checked="" type="checkbox"/> Other: <u>San Joaquin Valley Air Pollution Control District</u> |
| <input type="checkbox"/> Native American Heritage Commission | |

Local Public Review Period (to be filled in by lead agency)

Starting Date November 5, 2021 Ending Date December 6, 2021

Lead Agency (Complete if applicable):

Consulting Firm: <u>County of Fresno</u>	Applicant: <u>Daulat Sandhue</u>
Address: <u>2220 Tulare Street, 6th Floor</u>	Address: <u>P. O. Box 15010</u>
City/State/Zip: <u>Fresno, CA 93721</u>	City/State/Zip: <u>Fresno, CA 93702</u>
Contact: <u>Ejaz Ahmad, Project Planner</u>	Phone: <u>(559) 347-4241</u>
Phone: <u>559-600-4204</u>	

Signature of Lead Agency Representative:  Date: 11-04-2021

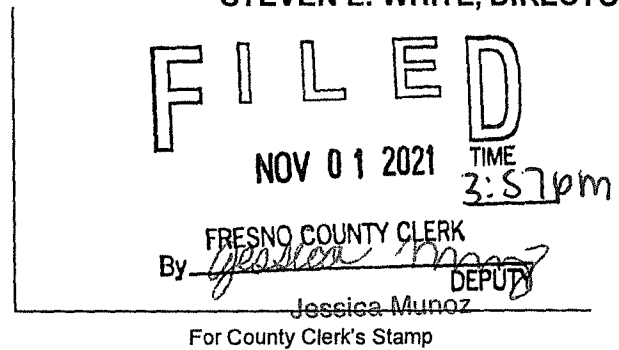
Authority cited: Section 21083, Public Resources Code. Reference: Section 21161, Public Resources Code.



E202110000281 **County of Fresno**

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

**NOTICE OF INTENT TO ADOPT A
MITIGATED NEGATIVE DECLARATION**



Notice is hereby given that the County of Fresno has prepared Initial Study Application (IS) No. 7664 pursuant to the requirements of the California Environmental Quality Act for the following proposed project:

INITIAL STUDY NO. 7664 for CLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3655 filed by **DAULAT SANDHUE**, proposing to allow a Rural Commercial Center consisting of a convenience store/fast-food restaurant and a gasoline fueling facility (fuel island canopy with gasoline pumps) and related improvements on an approximately 1.78-acre portion of a 4.99-acre parcel in the RR (Rural Residential, two-acre minimum parcel size) Zone District. The project site is located on the northwest corner of W. Belmont and N. Cornelia Avenues approximately 2,190 feet south of the nearest city limits of the City of Fresno (5064 W. Belmont Avenue, Fresno) (APN 312-390-13) (Sup. Dist. 1). Adopt the Mitigated Negative Declaration prepared for Initial Study No. 7664 and take action on Classified Conditional Use Permit Application No. 3655 with Findings and Conditions.

(hereafter, the "Proposed Project")

The County of Fresno has determined that it is appropriate to adopt a Mitigated Negative Declaration for the Proposed Project. The purpose of this Notice is to (1) provide notice of the availability of IS No. 7664 and the draft Mitigated Negative Declaration and request written comments thereon; and (2) provide notice of the public hearing regarding the Proposed Project.

Public Comment Period

The County of Fresno will receive written comments on the Proposed Project and Mitigated Negative Declaration from November 5, 2021 through December 6, 2021.

Email written comments to eahmad@fresnocountyca.gov, or mail comments to:

Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
Attn: Ejaz Ahmad
2220 Tulare Street, Suite A
Fresno, CA 93721

IS No. 7664 and the draft Mitigated Negative Declaration may be viewed at the above address Monday through Thursday, 9:00 a.m. to 5:00 p.m., and Friday, 8:30 a.m. to 12:30 p.m. (except

E202110000281

holidays). An electronic copy of the draft Mitigated Negative Declaration for the Proposed Project may be obtained from Ejaz Ahmad at the addresses above.

PROGRAM ACCESSIBILITY AND ACCOMMODATIONS: The Americans with Disabilities Act (ADA) Title II covers the programs, services, activities and facilities owned or operated by state and local governments like the County of Fresno ("County"). Further, the County promotes equality of opportunity and full participation by all persons, including persons with disabilities. Towards this end, the County works to ensure that it provides meaningful access to people with disabilities to every program, service, benefit, and activity, when viewed in its entirety. Similarly, the County also works to ensure that its operated or owned facilities that are open to the public provide meaningful access to people with disabilities.

To help ensure this meaningful access, the County will reasonably modify policies/ procedures and provide auxiliary aids/services to persons with disabilities. If, as an attendee or participant at the meeting, you need additional accommodations such as an American Sign Language (ASL) interpreter, an assistive listening device, large print material, electronic materials, Braille materials, or taped materials, please contact the Current Planning staff as soon as possible during office hours at (559) 600-4497 or at imoreno@fresnocountyca.gov. Reasonable requests made at least 48 hours in advance of the meeting will help to ensure accessibility to this meeting. Later requests will be accommodated to the extent reasonably feasible.

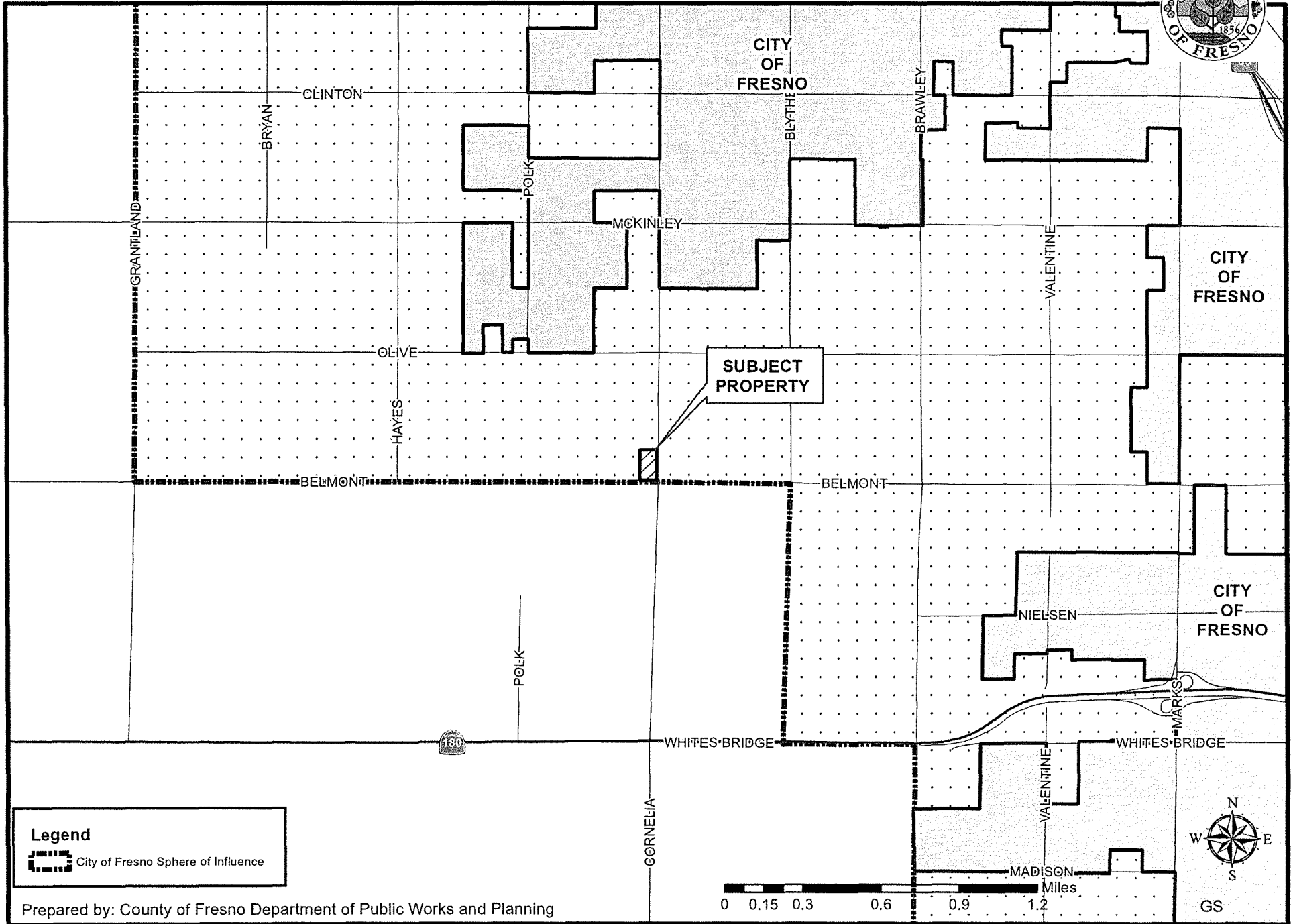
Public Hearing

The Planning Commission will hold a public hearing to consider approving the Proposed Project and the Mitigated Negative Declaration on December 16, 2021, at 8:45 a.m., or as soon thereafter as possible, in Room 301, Hall of Records, 2281 Tulare Street, Fresno, California 93721. Interested persons are invited to appear at the hearing and comment on the Proposed Project and draft Mitigated Negative Declaration.

For questions, please call Ejaz Ahmad at (559) 600-4204

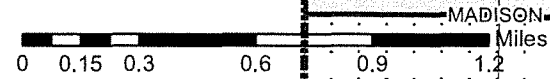
Published: November 5, 2021

LOCATION MAP



Legend

 City of Fresno Sphere of Influence





County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY ENVIRONMENTAL CHECKLIST FORM

1. **Project title:**
Initial Study No. 7664 and Classified Conditional Use Permit Application No. 3655
2. **Lead agency name and address:**
Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
2220 Tulare Street, 6th Floor
Fresno, CA 93721-2104
3. **Contact person and phone number:**
Ejaz Ahmad, Planner, (559) 600-4204
4. **Project location:**
The project site is located on the northwest corner of W. Belmont and N. Cornelia Avenues approximately 2,190 feet south of the nearest city limits of the City of Fresno (5064 W. Belmont Avenue) (APN 312-390-13) (Sup. Dist. 1).
5. **Project sponsor's name and address:**
Daulat Sandhue
P. O. Box 15010
Fresno, CA 93702
6. **General Plan designation:**
Rural Residential
7. **Zoning:**
Rural Residential (Rural Residential, two-acre minimum parcel size)
8. **Description of project: (Describe the whole action involved, including, but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)**
Allow a Rural Commercial Center consisting of a convenience store/fast-food restaurant and a gasoline fueling facility (fuel island canopy with gasoline pumps) and related improvements on an approximately 1.78-acre portion of a 4.99-acre parcel in the RR (Rural Residential, two-acre minimum parcel size) Zone District.
9. **Surrounding land uses and setting: Briefly describe the project's surroundings:**
The project site is to the west of and near the City of Fresno urban development. Limited active farming exists in the vicinity of the proposal; otherwise the area is mostly developed with single-family homes and related improvements.
10. **Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement.)**
None.
11. **Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, is there a plan for consultation that**

includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

NOTE: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code Section 21080.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code Section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code Section 21082.3(c) contains provisions specific to confidentiality.

The project site is not in an area determined to be highly or moderately sensitive to archeological resources. Pursuant to Assembly Bill (AB) 52, project information was routed to the Picayune Rancheria of the Chukchansi Indians, Dumna Wo Wah Tribal Government, Table Mountain Rancheria and Santa Rosa Rancheria Tachi Yokut Tribe offering them an opportunity to consult under Public Resources Code (PRC) Section 21080.3(b) with a 30-day window to formally respond to the County letter. No tribe requested for consultation, resulting in no further action on the part of the County. However, Table Mountain Rancheria (TMR) requested that in the unlikely event that cultural resources are identified on the property, the Tribe should be informed. As such, the Mitigation Measure included in the CULTURAL ANALYSIS section of this report will reduce impact to tribal cultural resources to less than significant.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | |
|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Biological Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Mandatory Findings of Significance | |

DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT:

On the basis of this initial evaluation:

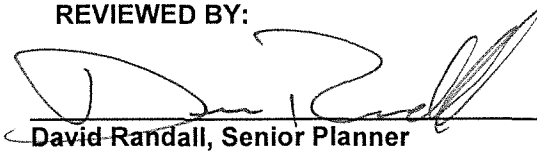
- I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the Mitigation Measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required
- I find that as a result of the proposed project, no new effects could occur, or new Mitigation Measures would be required that have not been addressed within the scope of a previous Environmental Impact Report.

PERFORMED BY:



Ejaz Ahmad, Planner

REVIEWED BY:



David Randall, Senior Planner

Date: 10-29-2021

Date: 10 29 21

EA:
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**INITIAL STUDY
ENVIRONMENTAL CHECKLIST FORM
(Initial Study Application No. 7664 and
Classified Conditional Use Permit Application No.
3655)**

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

1 = No Impact

2 = Less Than Significant Impact

3 = Less Than Significant Impact with Mitigation Incorporated

4 = Potentially Significant Impact

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 2 c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from a publicly accessible vantage point.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?
- 3 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- 2 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract?
- 1 c) Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production?
- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 1 e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable Air Quality Plan?
- 2 b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?
- 2 c) Expose sensitive receptors to substantial pollutant concentrations?
- 2 d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 1 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 c) Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- 1 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

V. CULTURAL RESOURCES

Would the project:

- 3 a) Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?
- 3 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?
- 3 c) Disturb any human remains, including those interred outside of formal cemeteries?

VI. ENERGY

Would the project:

- 2 a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources during project construction or operation?
- 1 b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

VII. GEOLOGY AND SOILS

Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - 2 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 - 2 ii) Strong seismic ground shaking?
 - 2 iii) Seismic-related ground failure, including liquefaction?
 - 1 iv) Landslides?
- 2 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 2 d) Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?
- 2 e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?
- 2 f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- 2 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- 2 b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 1 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 1 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?
- 1 f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 1 g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

X. HYDROLOGY AND WATER QUALITY

Would the project:

- 2 a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?
- 2 b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?
- 2 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 2 i) Result in substantial erosion or siltation on or off site;
 - 2 ii) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site;
 - 2 iii) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or
 - 2 iv) Impede or redirect flood flows?
- 1 d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?
- 1 e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

XI. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?
- 2 b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

XII. MINERAL RESOURCES

Would the project:

- 1 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 1 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

XIII. NOISE

Would the project result in:

- 2 a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 2 b) Generation of excessive ground-borne vibration or ground-borne noise levels?
- 1 c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, exposing people residing or working in the project area to excessive noise levels?

XIV. POPULATION AND HOUSING

Would the project:

- 1 a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and

businesses) or indirectly (for example, through extension of roads or other infrastructure)?

- 1 b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

XV. PUBLIC SERVICES

Would the project:

- 2 a) Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
 - 2 i) Fire protection?
 - 1 ii) Police protection?
 - 1 iii) Schools?
 - 1 iv) Parks?
 - 1 v) Other public facilities?

XVI. RECREATION

Would the project:

- 1 a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- 1 b) Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

XVII. TRANSPORTATION

Would the project:

- 3 a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?
- 2 b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?
- 1 c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 d) Result in inadequate emergency access?

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- 2 a) Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
 - 2 i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k), or
 - 2 ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? In applying the criteria set

forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 2 a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?
- 2 b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?
- 2 c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 1 d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?
- 1 e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- 1 a) Substantially impair an adopted emergency response plan or emergency evacuation plan?
- 1 b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?
- 1 c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?
- 1 d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 2 a) Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 2 b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)
- 1 c) Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Documents Referenced:

This Initial Study is referenced by the documents listed below. These documents are available for public review at the County of Fresno, Department of Public Works and Planning, Development Services and Capital Projects Division, 2220 Tulare Street, Suite A, Fresno, California (corner of M & Tulare Streets).

Fresno County General Plan, Policy Document and Final EIR

Fresno County Zoning Ordinance

Important Farmland 2010 Map, State Department of Conservation

Air Quality and Greenhouse Gas Analysis Report prepared by Mitchell Air Quality Consulting, dated August 2, 2019.

Traffic Impact Study by Peters Engineering Group, dated March 23, 2021.

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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

APPLICANT: Daulat Sandhue
APPLICATION NOS.: Initial Study No. 7664 and Classified Conditional Use Permit Application No. 3655.

DESCRIPTION: Allow a Rural Commercial Center consisting of a convenience store/fast-food restaurant and a gasoline fueling facility (fuel island canopy with gasoline pumps) and related improvements on an approximately 1.78-acre portion of a 4.99-acre parcel in the RR (Rural Residential, two-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the northwest corner of W. Belmont and N. Cornelia Avenues approximately 2,190 feet south of the nearest city limits of the City of Fresno (5064 W. Belmont Avenue) (APN 312-390-13) (Sup. Dist. 1).

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: NO IMPACT:

The project site is developed with a single-family residence and related improvements. The site borders with Belmont and Cornelia Avenues which are not identified as scenic drives in the County General Plan. No scenic vistas or scenic resources including trees, rock outcroppings, or historic buildings were identified on or near the site that could potentially be impacted by the project. No impact on scenic resources would occur.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed improvements include a 3,476 square-foot building to house a convenience store/fast-food restaurant, a 1,976 square foot gasoline fueling facility with fuel dispensing pumps, paved parking and circulation area with ingress/egress from Belmont and Cornelia Avenues, onsite well and septic system, and a ponding basin.

The project site is to the west of and near the City of Fresno urban development. Limited active farming exists in the vicinity of the proposal; otherwise the area is mostly developed with single-family homes and related improvements.

Upon development of the property, the most visible structure from the site to surrounding areas will be the proposed single story 33 foot-tall building accommodating a convenience store /fast-food restaurant and a 19-foot-tall fuel canopy located within approximately 1.78-acre portion of a 4.99-acre project site. The proposed development will be compatible in height, design and construction with the similar commercial development in the area. The project will have a less than significant impact on the visual character of the site or its surroundings.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project will require outdoor lighting around the building, underneath fuel canopy and within parking and circulation areas. To minimize any light and glare impact resulting from this proposal, the project will adhere to the following Mitigation Measure.

* **Mitigation Measure**

1. *All outdoor lighting shall be hooded and directed downward as to not shine toward adjacent properties and public streets.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use; or
- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

FINDING: NO IMPACT:

The project site is not prime farmland and is not enrolled in a Williamson Act Land Conservation Contract. The site is classified as Rural Residential Land on 2016 Fresno County Important Farmland Map. The subject proposal is not in conflict with Rural Residential zoning on the property and is an allowed use with discretionary land use approval and adherence to the applicable General Plan Policies.

- C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or
- D. Result in the loss of forest land or conversion of forest land to non-forest use; or
- E. Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of farmland to non-agricultural use or conversion of forestland to non-forest use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is not farmland or forest land. The project is appropriately allowed for RR zone district with the approval of subject conditional use permit and will not bring any significant physical changes to the area.

Given the active farming south and northeast of the project site, the Fresno County Agricultural Commissioner's Office requires that a "Right-to-Farm notice shall be recorded informing the occupants of the project site to accept the inconveniences and discomfort associated with normal farm activities. This requirement will be included as a Condition of Approval.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

An Air Quality and Greenhouse Gas Analysis Report, was prepared for the project by Mitchell Air Quality Consulting, dated August 2, 2019 and was provided to the San

Joaquin Valley Air Pollution Control District (District) for comments. No concerns were received from SJVAPCD.

Construction and operation of the project would contribute the following criteria pollutant emissions: reactive organic gases (ROG), carbon monoxide (CO), nitrogen dioxide (NO₂), sulfur dioxide (SO₂), and particulate matter (PM₁₀ and PM_{2.5}).

As discussed in II. B below, emissions of ROG, NO_x, PM₁₀, and PM_{2.5} associated with the construction and operation of the project would not exceed the District's significance thresholds. Furthermore, as discussed in III. C below, the project would not result in CO hotspot that would violate CO standards. The project is consistent with the current AQP (Air Quality Plan) and the impact would be less than significant.

According to the San Joaquin Valley Air Pollution Control District, the project specific annual emissions of criteria pollutants are not expected to exceed any of the following District significance thresholds: 100 tons per year of carbon monoxide (CO), 10 tons per year of oxides of nitrogen (NO_x), 10 tons per year of reactive organic gases (ROG), 27 tons per year of oxides of sulfur (SO_x), 15 tons per year of particulate matter of 10 microns or less in size (PM₁₀), or 15 tons per year of particulate matter of 2.5 microns or less in size (PM_{2.5}). The project will comply with all applicable rules and regulations (e.g. Regulation VIII Fugitive PM₁₀ Prohibitions, Rule 2010 (Permits Required), Rule 2201 (New and Modified Stationary Source Review) Rule 9510 (Indirect Source Review), Rule 4692 (Commercial Charbroiling, Rule 4002 (National emissions Standards for Hazardous Air Pollutants), Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings) and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations).

- B. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The primary pollutants of concern during project construction and operation are ROG, NO_x, CO, PM₁₀, and PM_{2.5}. The San Joaquin Valley Air Pollution Control District (SJVAPCD) Guidance for Assessing, and Monitoring Air Quality Impacts (GAMAQI) adopted in 2015 contains threshold for CO, NO_x, ROG, SO_x PM₁₀ and PM_{2.5}. The SJVAPCD's annual emission significance thresholds used for the project define the substantial contribution for both operational and construction emissions are 10 tons per year ROG, 10 tons per year NO_x 100 tons per year CO, 27 tons per year SO_x, 15 tons per year PM₁₀ and 15 tons per year PM_{2.5}. The project does not contain sources that would produce substantial quantities of SO₂ emissions during construction and operation.

Per the Air Quality and Greenhouse Gas Analysis Report, the 2020 construction emissions (ton per year) associated with the project would be 0.03 for ROG, 0.19 for NO_x, 0.15 for CO, and 0.01 for PM₁₀ and PM_{2.5} which are less than the threshold of significance. Likewise, the operational emission over the life of the project, primarily

from mobile sources, would be 0.35 for ROG, 0.66 for NO_x, 2.00 for CO, 0.26 for PM₁₀ and 0.07 for PM_{2.5} which are also less than the threshold of significance.

As discussed above, the regional analysis of the construction and operational emissions indicates that the project would not exceed the District's significance thresholds and is consistent with the applicable Air Quality Attainment Plan. Therefore, the project would not result in significant cumulative health impacts.

C. Expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Sensitive receptors are defined as hospitals, residences, convalescent facilities, and schools. The closest sensitive receptor, a single-family residence, is located approximately 186 feet south of the proposed gasoline fueling facility across Belmont Avenue.

Per the Air Quality and Greenhouse Gas Analysis Report, an analysis of maximum daily emissions during construction and operation of the project was conducted to determine if emissions would exceed 100 pounds per day for any pollutant of concern which include NO_x, CO, PM₁₀ or PM_{2.5}. The maximum daily construction emissions (pound per day) would be 23.42 for NO_x, 8.56 for CO, 1.62 for PM₁₀ and 0.74 for PM_{2.5} and would not exceed SJVAPCD screening thresholds for any pollutant.

Operational emissions are generated on-site by area sources such as consumer products, landscape maintenance, energy use, and onsite motor vehicle operation at the project site. Most motor vehicle emissions would occur distant from the site and would not contribute to a violation of ambient air quality standards, making the analysis highly conservative. Maximum daily air pollutant Emissions (pound per day) during operations (2020) would be 3.73 for NO_x, 12.26 for CO, 1.47 for PM₁₀ and 0.41 for PM_{2.5} and would not exceed SJVAPCD screening thresholds for any pollutant.

Localized high levels of CO are associated with traffic congestion and idling or slow-moving vehicles. Given the average daily project related trips generated, modeling to demonstrate that a CO hotspot is possible was not required for the project.

Project construction would involve the use of diesel-fueled vehicles and equipment that emit DPM (diesel particulate matter), which is considered a Toxic Air Contaminants (TAC). The SJVAPCD's latest threshold of significance for TAC emissions is an increase in cancer risk for the maximally exposed individual of 20 in a million.

The California Air Resources Board (ARB) recommends a 50-foot separation for typical gas dispensing facilities. The proposed fueling station (gas pumps) is located more than 96 feet from the nearest sensitive receptor (a residence). An analysis prepared using the SJVAPCD Health Risk Prioritization Screening Tool to determine if a health risk assessment would be required showed that the project cancer risk score result was 0.11 compared to the screening threshold of 10 and chronic and acute risk scores

were 0.0055 and 0.033 respectively compared to the screening threshold of 1. Health risk would be further minimized by the implementation of SJVAPCD Rule 4622 which limit emissions of gasoline vapors from storage tanks and from the transfer of gasoline into motor vehicle fuel tanks primarily through the installation of vapor recovery systems.

In conclusion, localized impacts from criteria pollutant emissions would not exceed SJVAPCD screening thresholds and that the project does not include substantial amounts of diesel equipment and truck trips that would result in a significant increase in cancer risk, chronic risk, and acute risk due to TAC emissions. The impacts would be less than significant.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Odor impacts on residential areas and other sensitive receptors, such as hospitals, day-care centers, and schools. The project is located near residences in an agricultural/ rural residential area where similar odors are common.

Per the SJVAPCD, gasoline fueling station is not a common land use type that is known to produce odors in the Air Basin. The common odor producing land uses are landfills, transfer stations, sewage treatment plants, wastewater pump stations, composting facilities, feed lots, coffee roasters, asphalt batch plants, and rendering plants. The project would not engage in any of these activities. Therefore, the project would not be considered a generator of objectionable odors during operations.

During construction, the various diesel-powered vehicles and equipment in use on-site would create localized odors. These odors would be temporary and would not likely be noticeable for extended periods of time beyond the project's site boundaries. The potential for diesel odor impacts would therefore be less than significant.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- C. Has a substantial adverse effect on state or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

The project site is located on the outskirts of the City of Fresno and is surrounded by rural residential development. The site is fallow and disturbed with prior farming operations and improvements related to a single-family residence. The neighboring parcel are also pre-disturbed with residential development and farming, and as such does not provide habitat for state or federally listed species. Further, the site contains no riparian features or wetlands or waters under the jurisdiction of the United States.

The project was routed to the California Department of Fish and Wildlife and the U.S. Fish and Wildlife Service for review and comments. Neither agency commented on the project.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

No wildlife or fish movement features (e.g., waterways, arroyos, ridgelines) or any wildlife nursery sites are present on the property. No impact to these resources would occur.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

FINDING: NO IMPACT:

The project will not conflict with any local policies or ordinances protecting biological resources and is not subject to the County tree preservation policy or ordinance.

- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

The project site is within an area covered by the PG&E San Joaquin Valley Operation and Maintenance Habitat Conservation Plan (HCP) which applies only to PG&E's activities and not the subject proposal.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or

- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: NO IMPACT:

The project site is not in an area determined to be highly or moderately sensitive to archeological resources. The Native Americans Heritage Commission conducted a Sacred Lands Search for the project site and reported negative results in its search for any sacred sites. However, given the discussion in TRIBAL CULTURAL RESOURCES in Section XVIII of this report, in the unlikely event cultural resources are discovered during ground disturbance, the following Mitigation Measure, when implemented, will reduce the impacts on cultural resources to less than significant.

* **Mitigation Measure**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures shall be followed by photos, reports, video, and etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources during project construction or operation?
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project is unlikely to result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources. To minimize the potential for wasteful or inefficient consumption of energy resources, the project will require adherence to the following Mitigation Measure.

* **Mitigation Measure**

1. *The idling of on-site vehicles and equipment will be avoided to the most extent possible to avoid wasteful or inefficient energy consumption during project construction.*

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
 1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 2. Strong seismic ground shaking?
 3. Seismic-related ground failure, including liquefaction?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Per Figure 9-5 of the Fresno County General Plan Background Report, the project site is in an area which has 10 percent probability of seismic hazard in 50 years with peak horizontal ground acceleration of zero to 20 percent. The project development would be subject to building standards, which include specific regulations to protect improvements against damage caused by earthquake and/or ground acceleration.

4. Landslides?

FINDING: NO IMPACT:

Per Figure 9-6 of the Fresno County General Plan Background Report, the project site is not in an area of landslide hazards. The site is flat with no topographical variations, which precludes the possibility of landslides.

- B. Result in substantial soil erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Per Figure 7-3 of the Fresno County General Plan Background Report, the project site is not in an area of erosion hazards. Grading activities resulting from this proposal may result in loss of some topsoil due to compaction and overcovering of soil to prepare for the foundation for building and parking. However, the impact would be less than significant with Project Notes requiring approval of an Engineered Grading and Drainage Plan and securing a Grading Permit prior to the site grading.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

FINDING: NO IMPACT:

As noted above, the project site is flat with no topographical variations. The site bears no potential for on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse due to the project-related improvements. As a standard requirement, a soil compaction report may be required prior to the issuance of building permits to ensure the weight-bearing capacity of the soils for the proposed building and fueling facility.

- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Per Figure 7-1 of the Fresno County General Plan Background Report, the project site is not in an area of expansive soils. However, the project construction will implement all applicable requirements of the most recent California Building Standards Code and will consider hazards associated with shrinking and swelling of expansive soils.

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the City of Fresno, Department of Public Utilities, the nearest sanitary sewer main to serve the proposed project is a 45-inch sewer trunk located approximately 2,640-feet to the west of the site at the intersection of N. Polk and West Belmont Avenues.

The City of Fresno did not express any concerns regarding the use of an individual septic system for the project. The project will utilize onsite sewage disposal system.

Per the comments provided by the Fresno County Department of Public Health, Environmental Health Division (Health Department), the project will be subject to the following requirements included as Project Notes: 1) the applicant shall submit a sewage feasibility analysis/engineered septic system for the Health Department for review and approval and install the system under permit and inspection by the Department of Public Works and Planning Building and Safety Section; 2) the location of the onsite sewage disposal area shall be identified and cordoned off to prevent vehicle traffic from driving over, causing damage and possible failure of the septic system; and 3) the sewage disposal system serving the abandoned residence shall be properly destroyed under permit and inspection.

- F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section V. CULTURAL RESOURCES above.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

An Air Quality and Greenhouse Gas Analysis Report completed by Mitchell Air Quality Consulting, dated August 2, 2019, estimated project GHG emissions for construction and operation using the California Emissions Estimator Model (CalEEMod) version 2016.3.2 [California Air Pollution Control Officers Association (CAPCOA) 2017], which is the most current version of the model approved for use by SJVAPCD.

The total GHG emission generated during all phases of construction for 2020 is 26.24 metric tons of CO₂ per year. However, in order to account for the construction emissions, amortization of the total emission generated during construction based on 30-year life of the development amounts to 0.87 metric tons of CO₂ per year which is less than significant.

The total GHG emission generated during operation of the project would be approximately 373.94 metric tons of CO_{2e} under Business As Usual (BAU) and 274.86 metric tons of CO₂ for year 2020. The project would achieve a reduction of 26.5 percent from BAU which is 4.8 percent beyond the 21.7 percent average reduction required by Assembly Bill (AB) 32 targets (AB 32 requires GHGs emitted in California be reduced to 1990 levels by the year 2020). Likewise, the total GHG emission generated during operation of the project would be approximately 373.94 metric tons of CO_{2e} under Business As Usual (BAU) and 199.04 metric tons of CO₂ for year 2030. The project would achieve a reduction of 48.6 percent from BAU which is 21.5 percent beyond the 21.7 percent average reduction required by AB 32 targets. The project is consistent with the 2017 Scoping Plan and will contribute a reasonable fair-share contribution (through compliance of Title 24 and CALGreen; regulations on energy production, fuels, and voluntary actions to improve energy efficiency in existing development) to achieving 2030 target.

- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Adopted in 2006, Assembly Bill (AB) 32 focuses on reducing Greenhouse Gases to 1990 levels by the year 2020. Pursuant to the requirements in AB 32, the Air Resources Board (ARB) adopted the Climate Change Scoping Plan in 2008, which outlines actions recommended to obtain that goal. The Scoping Plan calls for reduction in California's GHG emissions, cutting approximately 30 percent (currently 21.7 percent) from BAU emission levels projected for 2020 to achieve AB 32 targets. The Scoping Plan contains a variety of strategies to reduce the State's emissions. The project is consistent with most of the strategies contained in the Scoping Plan while others are not applicable to the project.

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment; or
- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

FINDING: LESS THAN SIGNIFICANT IMPACT:

As noted above, the project entails construction of a convenience store/fast-food restaurant and a gasoline fueling facility on an approximately 1.78-acre portion of a 4.99-acre parcel.

The Fresno County Department of Public Health, Environmental Health Division (Health Department) reviewed the proposal and requires the following as Project Notes: 1) Prior to the operation of the fuel facility, a spill prevention control and countermeasure plan (SPCC) shall be required for aboveground petroleum storage tanks with greater than or equal to 1320-gallons of storage capacity; 2) facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5; 3) any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan electronically pursuant to the HSC, Division 20, Chapter 6.95; 4) All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5; and 5) Waste Tire Haulers may require to obtain a permit from the California Department of Resources Recycling and Recovery.

Furthermore, demolition of existing residence and/or any other structures on the property shall be subject to the following requirements: 1) should the structure have an active rodent or insect infestation, the infestation shall be abated prior to remodel of the structure in order to prevent the spread of vectors to adjacent properties; 2) if asbestos-containing materials are encountered, the San Joaquin Valley Air Pollution Control District shall be contacted; 3) if a structure was constructed prior to 1979 or if lead-based paint is suspected to have been used in these structures, then prior to remodel work the California Department of Public Health, Childhood Lead Poisoning Prevention Branch, United States Environmental Protection Agency, Region 9, State of California, Industrial Relations Department, Division of Occupational Safety and Health, Consultation Service (CAL-OSHA) shall be contacted; and 4) any construction materials deemed hazardous as identified in the demolition process must be characterized and disposed of in accordance with current federal, state, and local requirements.

The project is not within one-quarter mile of an existing school. The nearest school, McKinley Elementary School, is approximately 0.9 miles northeast southeast of the project site.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

According to the search results of the U.S. EPA's NEPAAssist Tool, the project site is not listed as a hazardous materials site. The project will not create hazards to the public or the environment.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

Per the Fresno County *Airport Land Use Compatibility Plan Update* adopted by the Airport Land Use Commission (ALUC) on December 3, 2018, the nearest public airport, Fresno Chandler Executive Airport, is approximately 3.1 miles southeast of the project site. At that distance, the airport will not result in a safety hazard or excessive noise for people visiting the project site.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

FINDING: NO IMPACT:

The project site is in an area where existing emergency response times for fire protection, emergency medical services, and sheriff protection meet adopted standards. The project does not include any characteristics (e.g., permanent road closures) that

would physically impair or otherwise interfere with emergency response or evacuation in the project vicinity. These conditions preclude the possibility of the proposed project conflicting with an emergency response or evacuation plan. No impacts would occur.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: NO IMPACT:

Per Figure 9-9 of the Fresno County General Plan Background Report, the project site is outside of the State Responsibility area for wildland fire protection. The project will not expose persons or structures to wildland fire hazards.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?

FINDING: NO IMPACT:

See discussion in Section VII. E. GEOLOGY AND SOILS regarding wastewater discharge.

The Regional Water Quality Control Board, Central Valley Region reviewed the proposal and expressed no concerns related to groundwater quality.

- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the State Water Resources Control Board (SWRCB), Division of Drinking Water (DDW), the project will meet the definition of transient non-community public water system, shall comply with Senate Bill 1263 (SB 1263), and be permitted by SWRCB-DDW as a public water system. As part of SB 1263, the applicant has provided technical report to SWRCB-DDW satisfaction making the case that there is no nearby public water system the project could connect to. The project will require drilling of a new well on the property to provide 1200 gallons of water per day to meet the project demand and will also obtain a public water system permit form SWRCB-DDW to operate it.

According to the City of Fresno, Department of Public Utilities, Planning, and Engineering, the project is in Growth Area 2 of the City of Fresno formally named South East Growth Area (SEGA) service zone. According to the Ground Water Sustainability Act (GWSA) of 2014, SEGA was split in Growth Area 1 and Growth Area 2 to promote

inner city development and to limit the expansion growth in outer city limits thus reducing ground water pumping. The Growth Area 2, within which the project site is located, is not allowed new development until the year 2035. Furthermore, presently there are no water main line in the immediate area the project could connect to.

According to the Water and Natural Resources Division (WNRD) of the Fresno County Department of Public Works and Planning the project will use limited water, is not within an area of the County defined as being a water short area, and expressed no concerns with the availability/sustainability of water for the project. To conserve water, a Condition of Approval will require that all new landscaping for the property shall comply with MWELO (Model Water Efficient Landscape Ordinance) standards to conserve water.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:
1. Result in substantial erosion or siltation on or off site?
 2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site; or
 3. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or
 4. Impede or redirect flood flows?

FINDING: LESS THAN SIGNIFICANT IMPACT:

No natural drainage channels run through the project site. Fresno Irrigation District (FID) open canal (Houghton No. 78) runs westerly approximately 2,700 feet east of the project site and crosses the intersection of Belmont and Cornelia Avenues. Likewise, FID's Tracy No. 44 runs southerly traversing the east side of the subject property and crosses Belmont Avenue approximately 30 feet south of the subject property. A Project Note would require that; 1) any street and/or utility improvement plans along Blythe Avenue, Cornelia Avenue, Belmont Avenue, or in the vicinity of this pipeline/canal, shall require FID's review and approval; and 2) a Grading and Drainage Plan shall be provided to ensure that the proposed development will not endanger the structural integrity of the pipeline/canal.

As noted in Section VII. B. Geology and Soils above, any changes to the existing drainage pattern resulting from this proposal will require review and approval of an Engineered Grading and Drainage Plan by and a Grading Permit from the Development Engineering Section of the Development Services Division. Additionally, any run-off generated by the site development will be required to be retained on site per County Standards.

The project site lies within the Fresno Metropolitan Flood Control District (FMFCD) drainage area "CK" and shall be subject to the following requirements included as Project Notes: 1) the project shall pay drainage fees at the time of development based on the fee rates in effect at that time; 2) storm drainage patterns for the development shall conform to the District Master Plan; 3) all improvement plans for any proposed construction of curb and gutter or storm drainage facilities shall be reviewed and approved by FMFCD for conformance to the District Master Plan within the project area; 3) site development shall not interfere with the operation and maintenance of the existing canal/pipeline on the property; 4) temporary storm drainage facility be provided on the property until permanent service becomes available; and 5) construction activity shall secure a storm water discharge permit.

- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: NO IMPACT:

According to the Federal Emergency Management Agency (FIRM) Panel 1545H, the project site is not subject to flooding from the 100-year storm.

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

Reviewing agencies and departments did not express concern with the application to indicate that the project will conflict with or obstruct implementation of a water quality control plan or sustainable management plan.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community?

FINDING: NO IMPACT:

The project will not divide the established communities of Fresno. The project site is outside the City boundaries.

- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject property is designated Rural Residential in the Fresno County General Plan and is within the City of Fresno Sphere of Influence (SOI). The project was referred to

the City for possible annexation, but the City elected to not pursue annexation at this time. The City of Fresno General Plan designates the site as Medium Density Residential planned land use and is not consistent with the County General Plan.

The Fresno County General Plan allows non-agricultural uses on Rural Residential land provided applicable General Plan policies are met.

General Plan Policy LU-E.1, criteria a. b. e. g. h. is met in that the project is a cluster of uses (convenience store with a and gasoline fueling facility; fast-food restaurant) at one location; will provide fueling and retail services for the surrounding area comprised of rural residential development; will have a combined frontage of the development on Belmont and Cornelia Avenues less than 660 feet (1/8 of a mile) and consist of two separate commercial uses (convenience store with fueling facility and a restaurant); is located at the intersection of one of the two streets (Belmont Avenue) classified as Arterial in the County General Plan. Criteria c. d. and f. of the Policy is not met in that the project is not within or adjacent to an existing commercial facility and is located one-mile (more than two miles required) west of an existing approved commercial center – a minimarket.

Policy LU-G. 14 is met in that the project site is in the City of Fresno Sphere of Influence, was referred to the city for consideration of possible annexation, the City elected to not annex the property and released it to be processed in the County of Fresno.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: NO IMPACT:

Per Figure 7-8 of the Fresno County General Plan Background Report, the project site is outside of a mineral-producing area of the County.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project has the potential to expose nearby residents to elevated noise levels during construction. A Project Note would require that all construction related noise shall adhere to the Fresno County Noise Ordinance.

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: NO IMPACT:

See discussion in Section IX, E. above.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure); or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The project will not induce population growth in the area. No housing is proposed by this application.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:
 - 1. Fire protection?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the North Central Fire Protection District (NCFPD), the project shall comply with California Code of Regulations Title 24 – Fire Code and California Code of Regulations Title 19 and construction plans shall be submitted to the County prior to

receiving NCFPD conditions of approval for the project. This requirement will be included as a Project Note.

1. Police protection?
3. Schools; or
4. Parks; or
5. Other public facilities?

FINDING: NO IMPACT:

The project will not impact the existing public services or result in the need for additional public services related to police protection, schools, or parks.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The proposed project will not induce population growth which may require construction of new or expanded recreational facilities in the area.

XVII. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION
INCORPORATED:

The project will not conflict with any policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities. The project area is rural in nature and is not planned for any transit, bikeways, or pedestrian facilities per the Transportation and Circulation Element of the Fresno County General Plan.

The Design Division of the Fresno County Department of Public Works and Planning reviewed the project and required that a Traffic Impact Study (TIS) shall be prepared to assess the project's potential impacts to County and State roadways.

Peters Engineering Group prepared a Traffic Impact Study (TIS), dated March 23, 2021 which determined the following:

The proposed project is a local-serving use and will not be a regional retail destination drawing trips from distant areas. The study intersections are currently operating at acceptable LOS (Level of Service) during the weekday peak hours with acceptable calculated 95th -percentile queues. With construction of the project and other pending projects, the study intersections are expected to continue to operate at acceptable LOS during the weekday peak hours with acceptable calculated 95th -percentile queues. Therefore, the project will not cause or contribute to the need for construction of improvements.

Furthermore, all four of the study intersections (included in the City of Fresno TSMI fee program) are expected to operate at LOS F during the weekday peak hours by the year 2040 (with or without the Project) and will require signalization to operate at acceptable LOS. The project may be required to contribute to the City of Fresno TSMI fee program or otherwise contribute a fair share of the cost of the future construction to account for its share of the cumulative traffic issue. A left-turn lane at the site access driveway on Cornelia Avenue is not warranted based on the year 2040 volumes; however, a left-turn lane at the site access driveway on Belmont Avenue is warranted based on the year 2040 volumes. Considering the Arterial designation of Belmont Avenue and the proximity of the driveway to Cornelia Avenue, it is likely that future construction of a median would not accommodate a left-turn lane from Belmont Avenue.

The Design Division and the Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning and the California Department of Transportation (Caltrans) reviewed and identified no concerns with TIS. The project will pay its fair share as identified in the TIS for offsite improvements and has been included as Mitigation Measures below:

* **Mitigation Measures:**

1. *At the time of application for a Site Plan Review for the proposed use, the applicant shall enter into an agreement with the County of Fresno to participate on a pro-rata basis per acreage developed in the funding of future off-site traffic improvement defined in items a, b, c, d below. The traffic improvement and the project's maximum pro-rata share is as follows:*

a. *Install a traffic signal (one) at Olive and Cornelia Avenues. The project's fair share construction cost is \$7,676.00 (or 1.9%) of a total construction cost estimate of \$404,000.*

- b. *Install a traffic signal (one) at Belmont and Hayes Avenues. The project's fair share construction cost is \$14,136.00 (or 3.8%) of a total construction cost of \$372,000.*
- c. *Install a traffic signal (one) at Belmont and Cornelia Avenues. The project's fair share construction cost is \$16,968.00 (or 4.2%) for a total construction cost of \$404,000.*
- d. *Install a traffic signal (one) at Belmont and Blythe Avenues. The project's fair share construction cost is \$10,100.00 (or 2.5%) for a total construction cost of \$404,000.*

The County shall update cost estimates for the above specified improvements prior to execution of the agreement. The Board of Supervisors pursuant to Ordinance Code Section 17.88 shall annually adopt a Public Facilities Fee addressing the updated pro-rata costs. The Public Facilities Fee shall be related to off-site road improvements, plus costs required for inflation based on the Engineering News Record (ENR) 20 Cities Construction Cost Index.

The subject proposal is within City of Fresno Sphere of Influence. The City of Fresno Public Works Department, Traffic Operations & Planning Division, also commented on the TIS with regards to traffic impact on City roadways/intersections and requires the following as a Conditions of Approval: 1) the project shall pay Traffic Signal Mitigation Impact (TSMI) Fee per the City's Master Plan Schedule, Fresno Major Street Impact (FMSI) Fee and Regional Transportation Mitigation Fee (RTMF) prior to issuance of building permits

Per the Development Engineering comments on the project, Belmont Avenue is classified as Arterial and Cornelia Avenue is classified as Collector in the County's General Plan and requires additional road right-of-way according to Precise Plan Line Serial No. 91. Currently, Belmont Avenue has an existing right-of-way of 30 feet north of section line and Cornelia Avenues has an existing right-of-way of 40 feet west of section line. A Condition of Approval would require that additional right-of-way shall be provided along parcel frontage to meet the ultimate right-of-way for these streets.

- B. Be in conflict or be inconsistent with the California Environmental Quality Act (CEQA) Guidelines Section 15064.3, subdivision (b)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The State of California Governor's Office of Planning and Research document entitled *Technical Advisory on Evaluating Transportation Impacts* in CEQA dated December 2018 (OPR Technical Advisory) indicates that projects that generate or attract fewer than 110 trips per day generally may be presumed to cause a less-than-significant transportation impact. The OPR Technical Advisory states: "By adding retail

opportunities into the urban fabric and thereby improving retail destination proximity, local-serving retail development tends to shorten trips and reduce VMT.

The California Department of Transportation (Caltrans) stated that the project is a locally serving retail business. Such business typically reduces vehicle travel by providing a more proximate retail destination and is presumed to have a less than significant impact on vehicle miles traveled. As such, the project would create a less than-significant transportation impact.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

FINDING: NO IMPACT:

The project site borders with Cornelia and Belmont Avenues. The design of the proposed facility includes no sharpe curves. The site sits at the corner of Belmont and Cornelia Avenues will gain access off these streets without creating any traffic hazards. As noted above, the project will be subject to providing additional right-of-way for Brawley Avenue.

- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

The project design provides for adequate number of access for general and emergency use. The proposed facility will sue access drives off Cornelia Avenue and off Belmont Avenue for ingress and egress.

The Fresno County Fire Protection District (District) expressed no concerns related to the site emergency access. The District will conduct additional review prior to the issuance of building permits.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k); or
 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision

(c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is not in an area determined to be highly or moderately sensitive to archeological resources. Pursuant to Assembly Bill (AB) 52, project information was routed to the Picayune Rancheria of the Chukchansi Indians, Dumna Wo Wah Tribal Government, Table Mountain Rancheria and Santa Rosa Rancheria Tachi Yokut Tribe offering them an opportunity to consult under Public Resources Code (PRC) Section 21080.3(b) with a 30-day window to formally respond to the County letter. No tribe requested for consultation, resulting in no further action on the part of the County. However, Table Mountain Rancheria (TMR) requested that in the unlikely event that cultural resources are identified on the property, the Tribe should be informed. As such, the Mitigation Measure included in the CULTURAL ANALYSIS section of this report will reduce impact to tribal cultural resources to less than significant.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section VII. E. GEOLOGY AND SOILS above. The project will not result in the relocation or construction of new electric power, natural gas, or telecommunications facilities.

- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section X. B. HYDROLOGY AND WATER QUALITY above.

- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section VII. E. GEOLOGY AND SOILS above.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals:
or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project development will not generate solid waste more than the capacity of local landfill sites.

All solid wastes produced by the proposed facility will be collected for the local landfill through regular trash collection service and will adhere to local and state standards for disposal of solid wastes.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or
- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

The project site is not in or near state responsibility area or land classified as very high fire hazard severity zones. The North Central Fire Protection District expressed no concerns related to fire hazard.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will have no impact on biological resources. Impacts on cultural resources have been reduced to a less than significant level with the incorporation of a Mitigation Measure discussed in Section V. CULTURAL RESOURCES above.

- B. Have impacts that are individually limited, but cumulatively considerable ("cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Each of the projects located within Fresno County has been or would be analyzed for potential impacts, and appropriate project-specific Mitigation Measures are developed to reduce that project's impacts to less than significant levels. Projects are required to comply with applicable County policies and ordinances. The incremental contribution by the proposed project to overall development in the area is less than significant

The project will adhere to the permitting requirements and rules and regulations set forth by the Fresno County Grading and Drainage Ordinance, San Joaquin Air Pollution Control District, and California Code of Regulations Fire Code at the time development occurs on the property. No cumulatively considerable impacts relating to Agricultural and Forestry Resources, Air quality, Greenhouse Gas Emission or Transportation were identified in the project analysis. Impacts identified for Aesthetics, Cultural Resources, Energy and Transportation will be mitigated by compliance with the Mitigation Measures listed in Sections I., Section V, Section VI and Section XVII of this report.

- C. Have environmental effects which will cause substantial adverse effects on human beings either directly or indirectly?

FINDING: NO IMPACT:

No substantial impacts on human beings, either directly or indirectly, were identified in the analysis.

CONCLUSION/SUMMARY

Based upon Initial Study No. 7664 prepared for Classified Conditional Use Permit Application No. 3655, staff has concluded that the project will not have a significant effect on the environment.

It has been determined that there would be no impacts to biological resources, mineral resources, population and housing, recreation, or wildfire.

Potential impacts related to agriculture and forestry resources, air quality, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, noise, public services, tribal cultural resources and utilities and service systems have been determined to be less than significant.

Potential impacts to aesthetics, cultural resources, energy, and transportation have been determined to be less than significant with the identified Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Streets, Fresno, California.

EA:

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File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below for County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7664	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Ejaz Ahmad, Planner	Area Code: 559	Telephone Number: 600-4204	Extension: N/A
Applicant (Name): Daulat Sandhue	Project Title: Classified Conditional Use Permit Application No. 3655		
Project Description: Allow a Rural Commercial Center consisting of a convenience store/fast-food restaurant and a gasoline fueling facility (fuel island canopy with gasoline pumps) and related improvements on an approximately 1.78-acre portion of a 4.99-acre parcel in the RR (Rural Residential, two-acre minimum parcel size) Zone District. The project site is located on the northwest corner of W. Belmont and N. Cornelia Avenues approximately 2,190 feet south of the nearest city limits of the City of Fresno (5064 W. Belmont Avenue, Fresno) (APN 312-390-13) (SUP. DIST. 1).			
Justification for Mitigated Negative Declaration: Based upon the Initial Study (IS 7664) prepared for Classified Conditional Use Permit Application No. 3655, staff has concluded that the project will not have a significant effect on the environment. No impacts were identified related to biological resources, mineral resources, population and housing, recreation, or wildfire. Potential impacts related to agriculture and forestry resources, air quality, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, noise, public services, tribal cultural resources and utilities and service systems have been determined to be less than significant. Potential impacts related to aesthetics, cultural resources, energy, and transportation have been determined to be less than significant with the included Mitigation Measure. The Initial Study and Mitigated Negative Declaration (MND) is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southeast corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – November 5, 2021		Review Date Deadline: Planning Commission – December 6, 2021	
Date: October 29, 2021	Type or Print Name: David Randall, Senior Planner	Submitted by (Signature):	

State 15083, 15085

County Clerk File No. _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**

**Mitigation Monitoring and Reporting Program
Initial Study Application No. 7664
Classified Conditional Use Permit Application No. 3655**

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
*1.	Aesthetics	All outdoor lighting shall be hooded and directed downward as to not shine toward adjacent properties and public streets.	Applicant	Applicant/Fresno County Department of Public Works and Planning (PWP)	On-going; for duration of the project
*2.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures shall be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PWP	During construction of the construction
*3.	Energy	The idling of on-site vehicles and equipment will be avoided to the most extent possible to avoid wasteful or inefficient energy consumption during project construction.	Applicant	Applicant/PWP	During construction of the construction
*4.	Transportation	At the time of application for a Site Plan Review for the proposed use, the applicant shall enter into an agreement with the County of Fresno to participate on a pro-rata basis per acreage developed in the funding of future off-site traffic improvement defined in items a, b, c, d below. The traffic improvement and the project's maximum pro-rata share is as follows: a. Install a traffic signal (one) at Olive and Cornelia Avenues. The project's fair share construction cost is	Applicant	Applicant/PWP	Prior to issuance of Building Permit

		<p>\$7,676.00 (or 1.9%) of a total construction cost estimate of \$404,000.</p> <p>b. Install a traffic signal (one) at Belmont and Hayes Avenues. The project's fair share construction cost is \$14,136.00 (or 3.8%) of a total construction cost of \$372,000.</p> <p>c. Install a traffic signal (one) at Belmont and Cornelia Avenues. The project's fair share construction cost is \$16,968.00 (or 4.2%) for a total construction cost of \$404,000.</p> <p>d. Install a traffic signal (one) at Belmont and Blythe Avenues. The project's fair share construction cost is \$10,100.00 (or 2.5%) for a total construction cost of \$404,000.</p> <p>The County shall update cost estimates for the above specified improvements prior to execution of the agreement. The Board of Supervisors pursuant to Ordinance Code Section 17.88 shall annually adopt a Public Facilities Fee addressing the updated pro-rata costs. The Public Facilities Fee shall be related to off-site road improvements, plus costs required for inflation based on the Engineering New Record (ENR) 20 Cities Construction Cost Index.</p>			
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*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document.

EA:

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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: September 20, 2019

TO: Development Services and Capital Projects, Attn: William M. Kettler, Division Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: Marianne Mollring, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn: Tawanda Mtunga
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna
Development Services and Capital Projects, Building & Safety/Plan Check, Attn: Chuck Jonas
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: John Thompson/Wendy Nakagawa
Design Division, Transportation Planning, Attn: Brian Spaunhurst
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager
Department of Public Health, Environmental Health Division, Attn: Steven Rhodes/Deep Sidhu
City of Fresno, Public Utilities Department, Attn: Scott Mozier, Director
City of Fresno, Public Utilities Dept., Division of Water, Attn: Lon Martin, Manager
City of Fresno, Planning & Development Department, Attn: Mike Sanchez
City of Fresno, Traffic Engineering, Attn: Jill Gormley
Fresno Metropolitan Flood Control District, Attn: developmentreview@fresnofloodcontrol.org
Fresno Irrigation District, Attn: Engr-Review@fresnoirrigation.com
Agricultural Commissioner, Attn: Fred Rinder
U.S. Fish and Wildlife Service, Attn: Matthew Nelson
CA Regional Water Quality Control Board, Attn: centralvalleyfresno@waterboards.ca.gov
CA Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov
State Water Resources Control Board, Division of Drinking Water, Fresno District, Attn: Jose Robledo
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chuckchansi Indians, Attn: Tara C. Estes-Harter, THPO/Cultural Resources Director
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/Hector Franco, Director/Shana Powers, Cultural Specialist II
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director/Kim Taylor, Cultural Resources Department/Sara Barnett, Cultural Resources Department
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division), Attn: PIC Supervisor
North Central Fire Protection District, Attn: George D. Mavrikis, Fire Marshal

FROM: Ejaz Ahmad, Planner 
Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 7664 and Classified Conditional Use Permit Application
No. 3655

APPLICANT: Daulat Sandhue

DUE DATE: October 4, 2019

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject applications proposing to allow a Rural Commercial Center for an automobile service station and a restaurant with related improvements on a 4.99-acre parcel in the RR (Rural Residential, two-acre minimum parcel size) Zone District.

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **October 4, 2019**. Any comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Ejaz Ahmad, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4204, or email eahmad@fresnocountyca.gov.

EA:
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Activity Code (Internal Review): 2381

Enclosures



Fresno County Department of Public Works and Planning

Date Received: 07/2/19

CUP3655

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class)/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

CUP TO ALLOW RURAL COMMERCIAL CENTER FOR A AUTOMILES SERVICE STATION & RESTAURANT

Per-app # 39570

CEQA DOCUMENTATION: [X] Initial Study [] PER [] N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: NORTH side of W. BELMONT AVE.

between N. CORNELIA AVE. and N. HAYES AVE.

Street address: 5064 W. BELMONT AVE.

APN: 312-390-13 Parcel size: 4.90 Ac Section(s)-Twp/Rg: S 34 - T .13s S/R .19 E

ADDITIONAL APN(s):

I, D Sash (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Table with 5 columns: Name, Address, City, Zip, Phone. Rows include DAULAT SANDHUE (Owner and Applicant) and ELIAS SALIBA, ARCHITECT (Representative).

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: CUP 3655 Fee: \$ 4,569.00
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
PER/Initial Study No.: IS 7664 Fee: \$ 3,901.00
Ag Department Review: Fee: \$ 992.00
Health Department Review: Fee: \$
Received By: EJAZ Invoice No.: TOTAL: \$ 9,462.00

UTILITIES AVAILABLE:

WATER: Yes [] / No [X]
Agency:
SEWER: Yes [] / No [X]
Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section: Sect-Twp/Rg: - T S/R E

Related Application(s): - None -
Zone District: RR
Parcel Size: 4.9 acres



Development Services
and
Capital Projects Division

Mail To:
ELIAS SALIBA
AESTHETICS DESIGNS
4668 W. PINE AVE.
FRESNO, CA 93722
Email:
ELIASSALIBA4668@
COMCAST.NET

Pre-Application Review
Department of Public Works and Planning

NUMBER: 39570
APPLICANT: SANDHU TRUCKLINE INC
PHONE: (559) 347-4241

PROPERTY LOCATION: 5064 W BELMONT AVE FRESNO CA 93723
APN: 312 - 390 - 13 ALCC: No Yes # VIOLATION NO. 18-108128
CNEL: No Yes (level) LOW WATER: No Yes WITHIN 1/2 MILE OF CITY: No Yes FRESNO
ZONE DISTRICT: RR; SRA: No Yes HOMESITE DECLARATION REQ'D.: No Yes
LOT STATUS:

Zoning: Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No Yes ZM# Initiated In process
Map Act: (4.90 AC PAR 3 P/M 3101 BK 20 PG 75 SEC 34 13/19) Lot of Rec. Map; () on '72 rolls; () other ; () Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes DISTRICT: Central Unified Trustee Area 4, State Center CC Trustee Area 2 PERMIT JACKET: No Yes
FMFCD FEE AREA: () Outside District No.: CK FLOOD PRONE: No AREA OF MINIMAL FLOOD HAZARD Yes
PROPOSAL Conditional Use Permit to allow the use of a Rural Commercial Center Development for a future Automobile Service Station & Restaurant.

COMMENTS: SEWER CONNECTION PERMITTED ON 8/21/75.
ORD. SECTION(S): 820.3-K; 867-A.2.(b)(g) BY: OBER RAMIREZ DATE: 11/30/18

GENERAL PLAN POLICIES:	PROCEDURES AND FEES:
LAND USE DESIGNATION: <u>Rural Residential</u> () GPA: <u> </u> () MINOR VA: <u> </u>	COMMUNITY PLAN: <u> </u> () AA: <u> </u> (<input checked="" type="checkbox"/>) HD: <u>\$ 992.00</u>
REGIONAL PLAN: <u> </u> (<input checked="" type="checkbox"/>) CUP: <u>\$ 4,569.00</u> () JAG COMM: <u> </u>	SPECIFIC PLAN: <u> </u> () DRA: <u> </u> () ALCC: <u> </u>
SPECIAL POLICIES: <u> </u> () VA: <u> </u> (<input checked="" type="checkbox"/>) IS/PER*: <u>\$ 3,901.00</u>	SPHERE OF INFLUENCE: <u> </u> () AT: <u> </u> () Viol. (35%): <u> </u>
ANNEX REFERRAL (LU-G17/MOU): <u> </u> () JT: <u> </u> () Other: <u> </u>	Filing Fee: \$ <u>9,462.00</u>
COMMENTS: <u> </u>	Pre-Application Fee: <u>\$247.00</u>
	Total County Filing Fee: <u>\$ 9,215.00</u>

FILING REQUIREMENTS:

- Land Use Applications and Fees
- This Pre-Application Review form
- Copy of Deed / Legal Description
- Photographs
- Letter Verifying Deed Review
- IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Project Description / Operational Statement (Typed)
- Statement of Variance Findings
- Statement of Intended Use (ALCC)
- Dependency Relationship Statement
- Resolution/Letter of Release from City of

OTHER FILING FEES:

- Archaeological Inventory Fee: \$75 at time of filing
(Separate check to Southern San Joaquin Valley Info. Center)
- CA Dept. of Fish & Wildlife (CDFW): (\$50) (\$50+\$2,280.75)
(Separate check to Fresno County Clerk for pass-thru to CDFW.
Must be paid prior to IS closure and prior to setting hearing date.)

BY: Ejaz Ahmad Referral Letter #
PHONE NUMBER: (559) 600 - 4204 DATE: 11/30/18

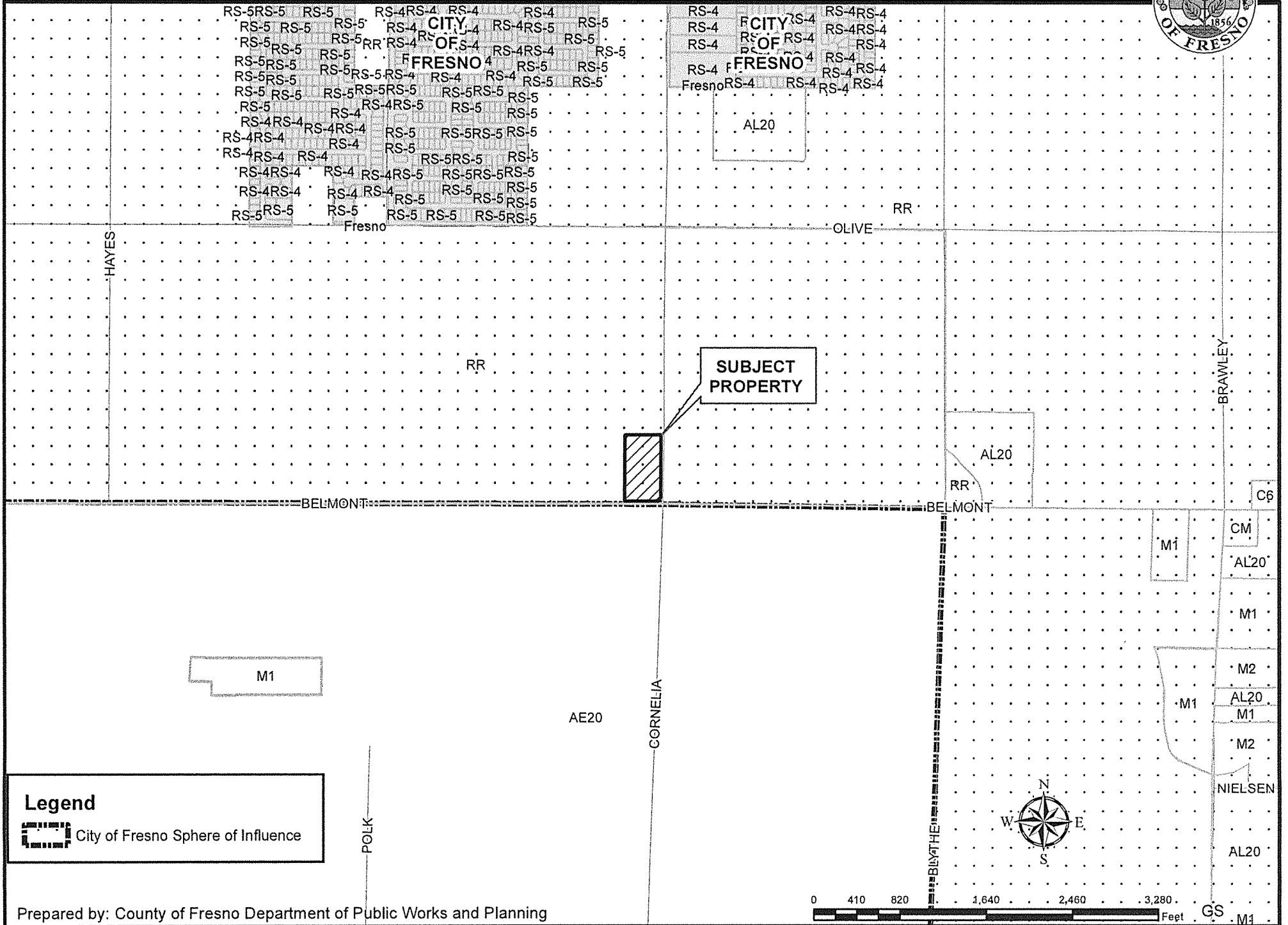
PLU # 113 Fee: \$247.00
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

<input type="checkbox"/> COVENANT	<input checked="" type="checkbox"/> SITE PLAN REVIEW
<input type="checkbox"/> MAP CERTIFICATE	<input checked="" type="checkbox"/> BUILDING PLANS
<input type="checkbox"/> PARCEL MAP	<input checked="" type="checkbox"/> BUILDING PERMITS
<input type="checkbox"/> FINAL MAP	<input checked="" type="checkbox"/> WASTE FACILITIES PERMIT
<input type="checkbox"/> FMFCD FEES	<input checked="" type="checkbox"/> SCHOOL FEES
<input type="checkbox"/> ALUC or ALCC	<input type="checkbox"/> OTHER (see reverse side)

OVER.....

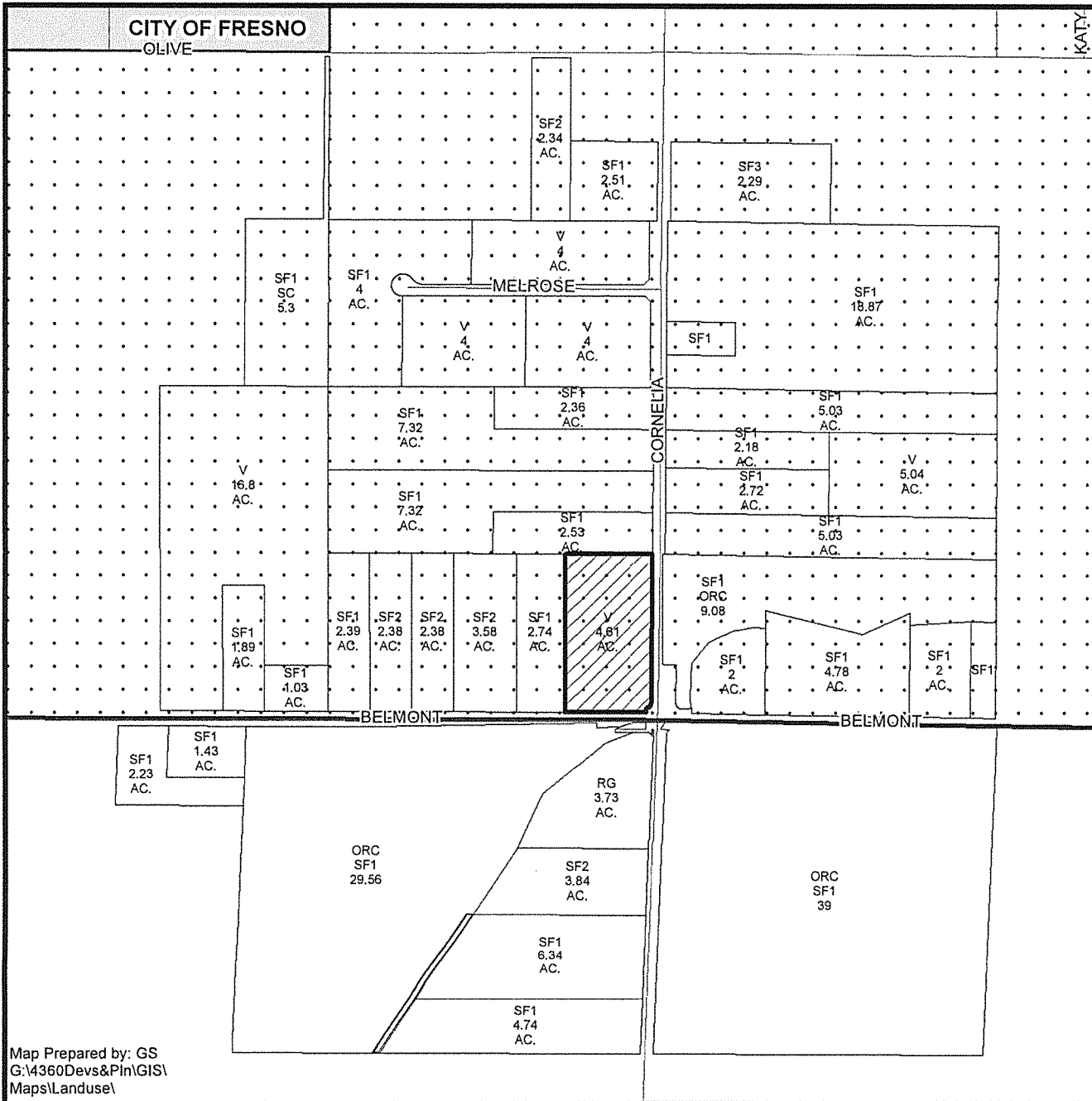
EXISTING ZONING MAP



Legend
 City of Fresno Sphere of Influence

CUP 3655

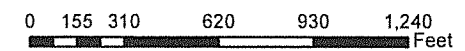
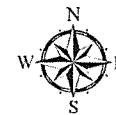
EXISTING LAND USE MAP



LEGEND	
ORC	- ORCHARD
RG	- RESIDENTIAL GROUP FACILITY
SC	- SEASONAL CROP
SF#	- SINGLE FAMILY RESIDENCE
V	- VACANT

LEGEND:

 Subject Property



Map Prepared by: GS
 G:\4360Devs&Pln\GIS\Maps\Landuse\

Department of Public Works and Planning
 Development Services Division

**OPERATIONAL STATEMENT
FOR PROPOSED FOOD & FUELING
4 MPD'S GAS STATION,FOODSTORE, SUBWAY
APN: 312-039-13. CORNELIA & BELMONT NWC, FRESNO**

Proposed 1,976 sf gas canopy with 4MPD's (multi pump dispenser), 38 MG Above ground fuel storage tanks (AST) 3,474 sf Food store including subway. Development to occupy 1.78 Ac while remaining portion of the 4.9 Acre property to remain unimproved.

1. Nature of the operation: customers in the area drive to store, buy fuel, pay at the pump or inside store, groceries, soda, milk, cigarettes, lotto, food.
2. Operation Time Limits: open your round, 7 days/week, 2 shifts per day, 5:00am to Midnight. No special activities.
3. Number of Customers: 200 customers /day as average. 300 maximum during busy Holidays, may drop in anytime, mostly early morning and afternoon.
4. Number of Employees: 3 persons per shift, total 6/day...
5. Service & Delivery Vehicles: 8 deliveries /week by vendor trucks.
6. Access to Site: <P> driveway off Cornelia & <P> driveway off Belmont.
7. Parking: <P> paved site 24 Parking stalls plus 8 under gas island canopy (32 total). Type of surfacing proposed Asphaltaceous concrete.
8. Goods Sales: Groceries, gas, beverages, beer, wine, dairy products, hot Mexican meals and Subway sandwiches.
9. Equipments used: WIF/WIC, cash register, soda machine, coffee maker... sandwich shop and serving equipments...
10. Supplies: Canned & frozen food, oil cans, groceries...stored on Gondolas accessible from aisles. Dairy products stored in WIC, frozen food in WIF. Dry storage on racks.
11. Unsightly appearance of use: no noise or odors anticipated. No glare or dust to be produced.
12. Solid Wastes: 150 LB/day of domestic garbage, 140 pounds of paper/card box, will be stored in a container and hauled by solid waste management twice/week.
13. Liquid waste: anticipated 800 gal/day of domestic liquid waste to proposed Public sewer line extension from existing line on Polk Ave.
Water use: Estimated consumption 1,200 gal/day. Source proposed new water well replacing existing with onsite water storage tanks.
14. Advertising: site sign with fuel prices at street intersection corner. Building sign displaying business name/franchise brands.
15. Existing buildings: Existing 1,744 s.f. single family residence and existing 160 s.f. water tower on the site caught on fire and to be removed.
16. Building operation: Proposed food store for gas sales, Food & groceries. Subway sandwiches.
17. Outdoor lighting: <P> lighting fixtures mounted on building walls, canopy ceiling, and parking light poles, all hooded. No sound amplification systems to be used.
18. Landscaping: Proposed along streets and parking lot.
19. Fences: Proposed 6' high Chain link Fence around ponding basin and line of maximum area of development.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY	
IS No.	<u>7664</u>
Project No(s).	<u>3655</u>
Application Rec'd:	<u>July 2, 2019</u>

GENERAL INFORMATION

- Property Owner :** DAULAT SANDHUE **Phone/Fax** (559) 347-4241

Mailing Address: P.O. BOX 15010 FRESNO CA, 93702

Street City State/Zip
- Applicant :** DAULAT SANDHUE **Phone/Fax:** (559) 347-4241

Mailing Address: P.O. BOX 15010 FRESNO CA, 93702

Street City State/Zip
- Representative:** ELIAS SALIBA, ARCHITECT **Phone/Fax:** (559) 276-0479

Mailing Address: 4668 W. PINE AVE. FRESNO CA, 93722

Street City State/Zip
- Proposed Project:** PROPOSED 1,976 s.f. GAS CANOPY WITH 4 MULTI-PUMP DISPENSERS, 38 MG ABOVE GROUND FUEL STORAGE TANKS, 3,474 s.f. FOOD STORE INCLUDING SUBWAY. DEVELOPMENT TO OCCUPY 2.08 Ac WHILE REMAINING 2.82 of 4.8 Acre PROPERTY TO REMAIN UNIMPROVED.
- Project Location:** 5064 W. BELMONT AVE. FRESNO, CA 93723
- Project Address:** 5064 W. BELMONT AVE. FRESNO, CA 93723
- Section/Township/Range:** 34 / T.13S / R.19E **Parcel Size:** 4.9 Acres
- Assessor's Parcel No.** 312-390-13 **OVER.....**

10. Land Conservation Contract No. (If applicable): _____

11. What other agencies will you need to get permits or authorization from:

- | | | | |
|-------------------------------------|---|-------------------------------------|---|
| _____ | LAFCo (annexation or extension of services) | <input checked="" type="checkbox"/> | SJVUAPCD (Air Pollution Control District) |
| _____ | CALTRANS | _____ | Reclamation Board |
| _____ | Division of Aeronautics | _____ | Department of Energy |
| <input checked="" type="checkbox"/> | Water Quality Control Board | _____ | Airport Land Use Commission |
| _____ | Other <u>FMFCD, NCFPD</u> | | |

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? _____ Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: RURAL RESIDENTIAL (RR)

14. Existing General Plan Land Use Designation¹: RURAL RESIDENTIAL (RR)

ENVIRONMENTAL INFORMATION

15. Present land use: RESIDENTIAL

Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

EXISTING RESIDENCE BURNED DOWN FROM FIRE. EXISTING WATER TOWER TO REMAIN.

Describe the major vegetative cover: DESERT

Any perennial or intermittent water courses? If so, show on map: NO

Is property in a flood-prone area? Describe:
ZONE X MINIMAL FLOOD HAZARD

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: RURAL RESIDENTIAL

South: AE-20 EXCLUSIVE AGRICULTURE

East: RURAL RESIDENTIAL

West: RURAL RESIDENTIAL

17. What land use(s) in the area may be impacted by your Project?: NONE

18. What land use(s) in the area may impact your project?: NONE

19. **Transportation:**

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 X Yes No

B. **Daily traffic generation:**

I. Residential - Number of Units	<u>N/A</u>
Lot Size	<u>4.9 Acres</u>
Single Family	<u>N/A</u>
Apartments	<u>N/A</u>
II. Commercial - Number of Employees	<u>3/Shift, 6/Day</u>
Number of Salesmen	<u>N/A</u>
Number of Delivery Trucks	<u>8/Week</u>
Total Square Footage of Building	<u>3,474 s.f.</u>

III. Describe and quantify other traffic generation activities: _____
200 Customers/Day, 300 Max. During Busy Holidays

20. Describe any source(s) of noise from your project that may affect the surrounding area: _____
TRAFFIC

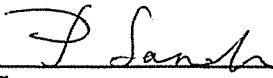
21. Describe any source(s) of noise in the area that may affect your project: _____
NONE

22. Describe the probable source(s) of air pollution from your project: _____
RUNNING MOTOR VEHICLES

23. Proposed source of water:
(X) private well
() community system³—name: N/A OVER.....

- 24. Anticipated volume of water to be used (gallons per day)²: 1,200 GPD
- 25. Proposed method of liquid waste disposal:
 septic system/individual
 community system³-name _____
- 26. Estimated volume of liquid waste (gallons per day)²: 800 GPD
- 27. Anticipated type(s) of liquid waste: PLUMBING FIXTURES FROM FOOD STORE/RESTAURANT
- 28. Anticipated type(s) of hazardous wastes²: GAS LEAKS/SPILLS
- 29. Anticipated volume of hazardous wastes²: NONE
- 30. Proposed method of hazardous waste disposal²: COLLECT AND REMOVE THE DISCHARGE
- 31. Anticipated type(s) of solid waste: PAPER/CARD BOX & DOMESTIC GARBAGE
- 32. Anticipated amount of solid waste (tons or cubic yards per day): 0.15 TONS/DAY
- 33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): 0.14 TONS/DAY
- 34. Proposed method of solid waste disposal: HAULED BY SOLID WASTE MANAGEMENT
- 35. Fire protection district(s) serving this area: NORTH CENTRAL FIRE PROTECTION DISTRICT
- 36. Has a previous application been processed on this site? If so, list title and date: PRE APP#: 39570
- 37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No
- 38. If yes, are they currently in use? Yes _____ No _____ N/A

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.


 SIGNATURE

7/1/2019
 DATE

¹Refer to Development Services and Capital Projects Conference Checklist
²For assistance, contact Environmental Health System, (559) 600-3357
³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

(Revised 12/14/18)

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2019: \$3,271.00 for an EIR; \$2,354.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

7/1/19

Date



Development and Resource Management Department

2600 Fresno Street, Third Floor
Fresno, California 93721-3604
(559) 621-8003 FAX (559) 498-1012
www.fresno.gov

Jennifer K. Clark
Director

RECEIVED
SEP 18 2019

FRESNO COUNTY
DEPT. OF
PUBLIC WORKS & PLANNING

September 13, 2019

Ejaz Ahmad
Public Works and Development Services Division
2220 Tulare Street, Suite A, First Floor
Fresno, California 93721

Dear Mr. Ahmad:

SUBJECT: FRESNO COUNTY REFERRAL NO. 1014 FOR PROPERTY LOCATED ON THE NORTHWEST CORNER OF WEST BELMONT AND NORTH CORNELIA AVENUES AT 5064 WEST BELMONT AVENUE COVERING 4.90 ACRES (APN: 312-390-13)

County Referral No. 1014 relates to an approximately 4.90 acre property located on the northwest corner of West Belmont and north Cornelia Avenues in Fresno County and located on the boundary of the City's Sphere of Influence. The applicants are proposing to file a Classified Conditional Use Permit to allow development as a rural commercial center. The site is presently zoned R-R (rural residential) in the County of Fresno. The applicant is proposing an automobile service station/restaurant.

The City of Fresno General Plan designates the site as Medium Density Residential planned land use. The City's current land use designation would not permit the proposed commercial operation and would necessitate a general plan amendment and rezone process with the City of Fresno. Moreover, the project site is located with Growth Area 2 of the General Plan. This location mandates that additional environmental analysis be performed, specifically a complete water assessment analysis. There are presently no water mains or sewer lines in the immediate area for the project to easily connect with. In addition, given the proposed uses a Traffic Impact Study will be required to determine the impacts and prospective mitigations on area roads including Freeway 180.

Pursuant to Section 4.1 of the MOU between the City of Fresno and County of Fresno an application that is within one mile of the city limits of the City of Fresno and within the City's Sphere of Influence shall first be referred to the City for possible annexation. The City of Fresno elects to **NOT** pursue annexation of the subject property and strongly recommends against a release to the County.

As noted above, the subject site is located within Growth Area 2 of the Fresno General Plan which mandates additional environmental analysis prior to any development commencing within the area. The City is also strongly recommending denial of the proposed CUP. Should the applicant decide to move forward, the City of Fresno respectfully requests the opportunity to review and comment on subsequent submittals on the subject site including any technical studies that are performed.

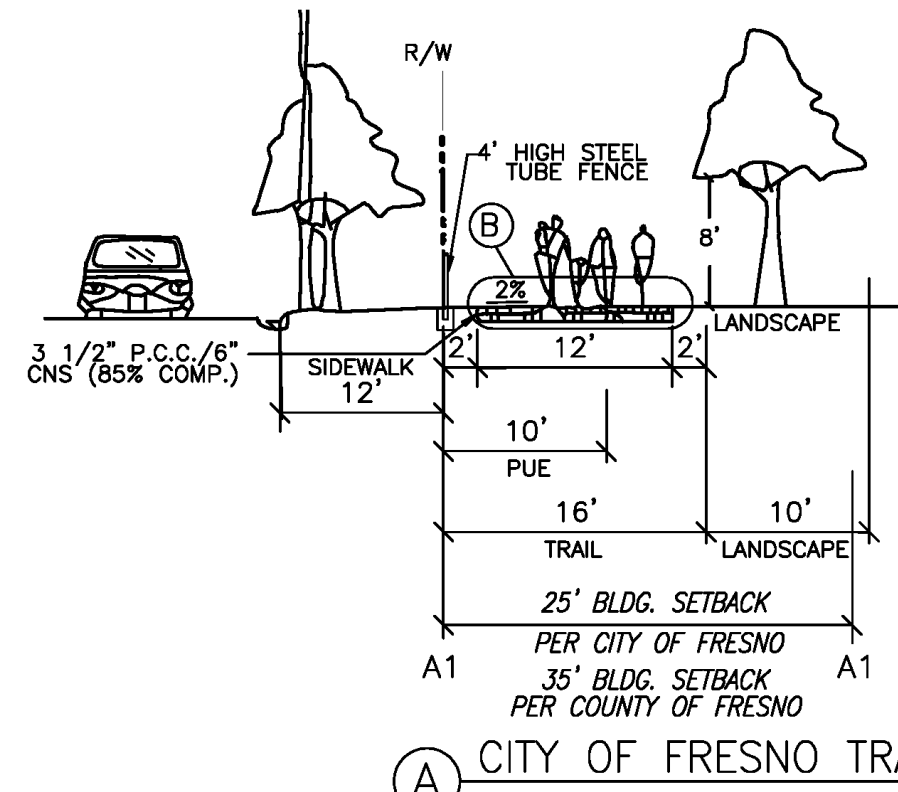
Please contact this office at (559) 621-8040, if you have any further questions regarding this document.

Sincerely,

Mike Sanchez, AICP, MCRP
Assistant Director

c: Bernard Jimenez

SANDHU FOOD & FUEL



NOTES:

- 2 DAY WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT PRIOR TO OCCUPANCY.
- UNDERGROUND ALL EXISTING OFFSITE OVERHEAD UTILITIES WITHIN THE LIMITS OF THIS SITE/MAP AS PER FMC SECTION 15-4114
- DEED(S) OF EASEMENT(S) FOR THE REQUIRED DEDICATION(S) SHALL BE PREPARED BY THE OWNER/DEVELOPER'S ENGINEER AND SUBMITTED TO THE CITY WITH VERIFICATION OF OWNERSHIP PRIOR TO ISSUANCE OF BUILDING PERMITS.
- INSTALL STREET LIGHTS ON ALL FRONTS TO CITY STANDARDS AS DETERMINED BY THE CITY TRAFFIC ENGINEER STREET LIGHTING PLANS ARE REQUIRED AND MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT/ENGINEERING SERVICES PRIOR TO COMMENCEMENT OF THE WORK.
- SUBMIT ENGINEERED STREET CONSTRUCTION PLANS TO PUBLIC WORKS DEPARTMENT, TRAFFIC AND ENGINEERING SERVICES.
- SUBMIT STREET LIGHTING PLANS TO PUBLIC WORKS DEPARTMENT, TRAFFIC AND ENGINEERING SERVICES.

GENERAL NOTES:
R=155' MIN. (25 MPH)
REFERENCE P-60

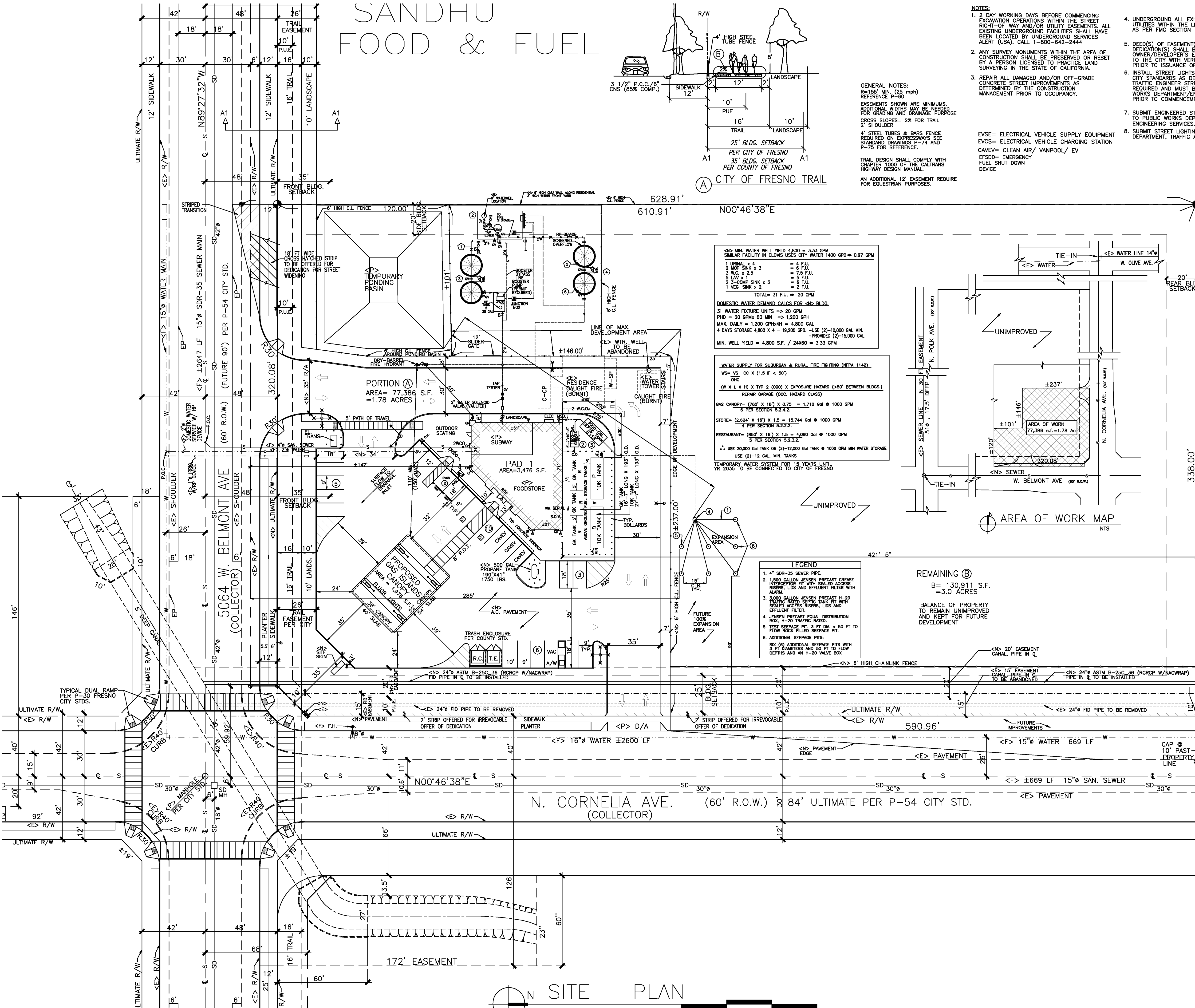
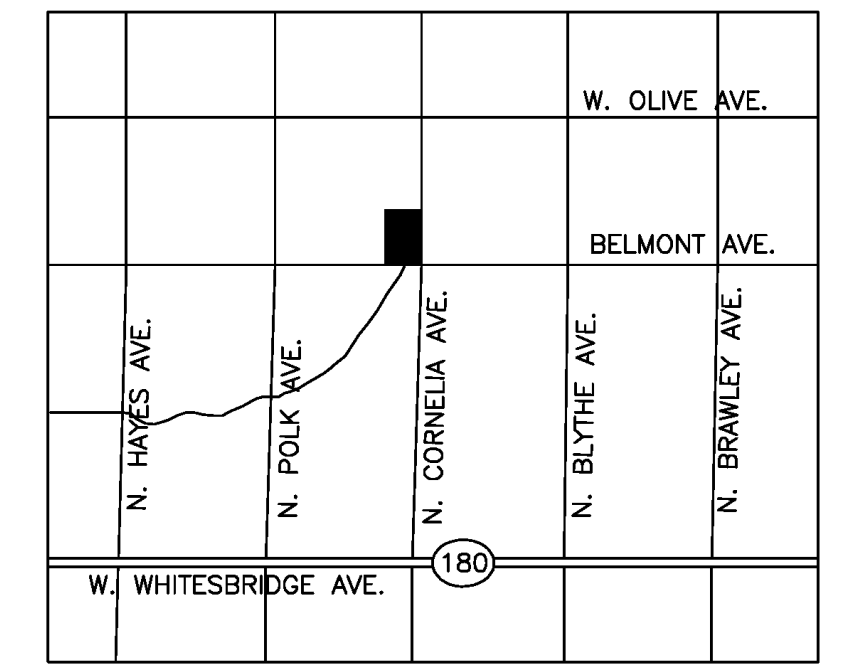
EASEMENTS SHOWN ARE MINIMUMS. ADDITIONAL WIDTHS MAY BE NEEDED FOR GRADING AND DRAINAGE PURPOSES

CROSS SLOPES= 2% FOR TRAIL 2' SHOULDER

4" STEEL TUBES & BARS FENCE REQUIRED ON EXPRESSWAYS SEE STANDARD DRAWINGS P-74 AND P-75 FOR REFERENCE.

TRAIL DESIGN SHALL COMPLY WITH CHAPTER 1000 OF THE CALTRANS HIGHWAY DESIGN MANUAL.

AN ADDITIONAL 12' EASEMENT REQUIRE FOR EQUESTRIAN PURPOSES.



LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA, COUNTY OF FRESNO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL 3 OF PARCEL MAP 3101, IN THE UNINCORPORATED AREA OF THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE THEREOF FILED FOR RECORD JUNE 8, 1976 IN BOOK 20 OF PARCEL MAPS, PAGE 75, FRESNO COUNTY RECORDS.

A.P.N. 312-390-13

PROJECT DATA

AGENCY OF JURISDICTION: COUNTY OF FRESNO
ASSESSOR PARCEL NO.: 312-390-13
PROJ. ADDRESS: 5064 W. BELMONT AVE.
FRESNO, CA 93723

CURRENT ZONING: RR

SITE GROSS AREA: ±213,388 S.F. = 4.90 ACRES
AREA TO BE OFFERED AFTER DEDICATION: 5,091 S.F.
NET AREA AFTER DEDICATION: ±208,297 S.F. = 4.78 ACRES

PROPOSED AREA FOR DEVELOPMENT:
PORTION A: ±77,386 S.F. = 1.78 ACRES
REMAINING B: ±130,911 S.F. = 3.0 ACRES

PROPOSED PARKING STALLS:
CAR PKG. (8'x18'-INCLUDING ADA) = 24 P.S.
8 UNDER CANOPY = 8 P.S.
TOTAL = 32 P.S.

PARKING REQUIRED: REQ'D
1/200 (<1000S.F.) RESTAURANT= 5
1/200 FOODS STORE= 13
TOTAL = 18 P.S., (1) ADA PKG. REQ., PROVIDED (2)

CLEAN AIR/VANPOOL/EV 26-50 = 3 PKG. REQ. (INCLUDED ABOVE)
EVCS 26-50 = 2

PROPOSED USE: AUTOMOBILE SERVICE STATION & FOODSTORE
W/ SUBWAY, ABOVE GROUND FUEL TANKS

BLDG. AREAS:
<E> RESIDENCE BURNED DOWN:
FIRST FLR: 988 S.F.
SECOND FLR: 758 S.F.
TOTAL: 1,746 S.F.

<E> WATER TOWER BURNED DOWN: 180 S.F.
TOTAL TO BE REMOVED: 1,904 S.F.

<N> FOOD STORE: 2,624 S.F.
<N> SUBWAY: 852 S.F.
TOTAL: 3,476 S.F.

<N> GAS ISLAND CANOPY: 1,876 S.F.
(52'x38')

OCCUPANCY: M
TYPE OF CONSTRUCTION: VB, 2B
<N> BUILDING COVERAGE: 5,452 S.F. / 207,070 S.F. = 0.0268x100 = 2.60%

REQ'D YARDS
FRONT = 35' (BELMONT)
SIDE = 20'
REAR BLDG. = 20'
STREET SIDE = 25' (CORNELIA)

OCT. 18, 2021
OCT. 15, 2021
MAY 10, 2021
APRIL 23, 2021
JAN 25, 2021
JULY 16, 2020
REVISIONS

THIS IS AN ORIGINAL UNPUBLISHED WORK AND MAY NOT BE REPRODUCED, BURKAD-ED, PUBLISHED OR OTHERWISE USED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT OF ELIAS SALIBA, AIA, ARCHITECT

PROJECT/LOCATION
SANDHU FOOD & FUEL
BELMONT & CORNELIA NWC

DRAWN BY
AESTHETICS DESIGNS
PLANNING CONSULTATIONS, SITE PLANS
RESIDENTIAL, COMMERCIAL

ELIAS SALIBA
ARCHITECT
AIA, AIA-CES, CPRE, NSF
4088 W. PINE AVE., FRESNO, CA 93722
(559) 276-0479
elias@aestheticsdesigns.com

SHEET CONTENTS
SITE PLAN,

SHEET NO.
SP

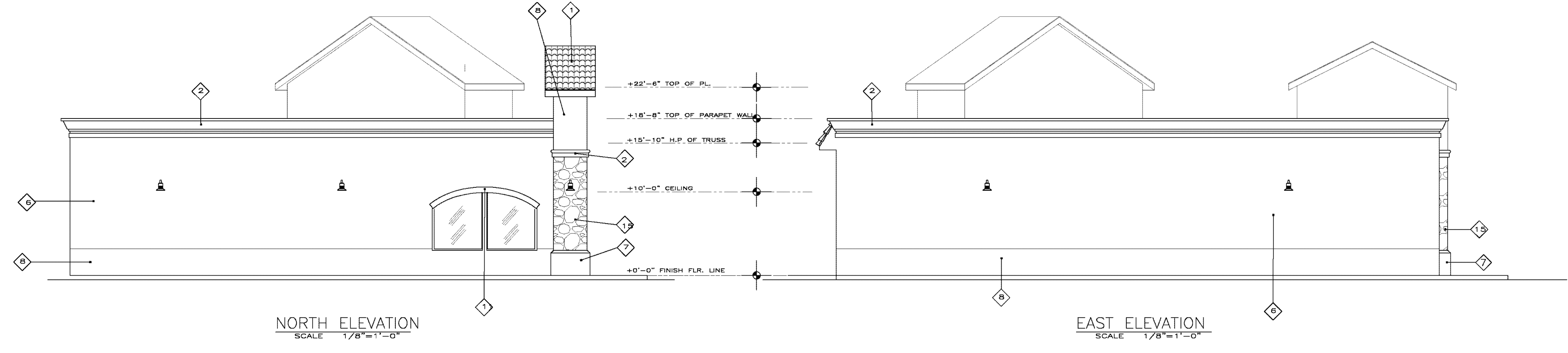




WEST ELEVATION
SCALE 1/8"=1'-0"

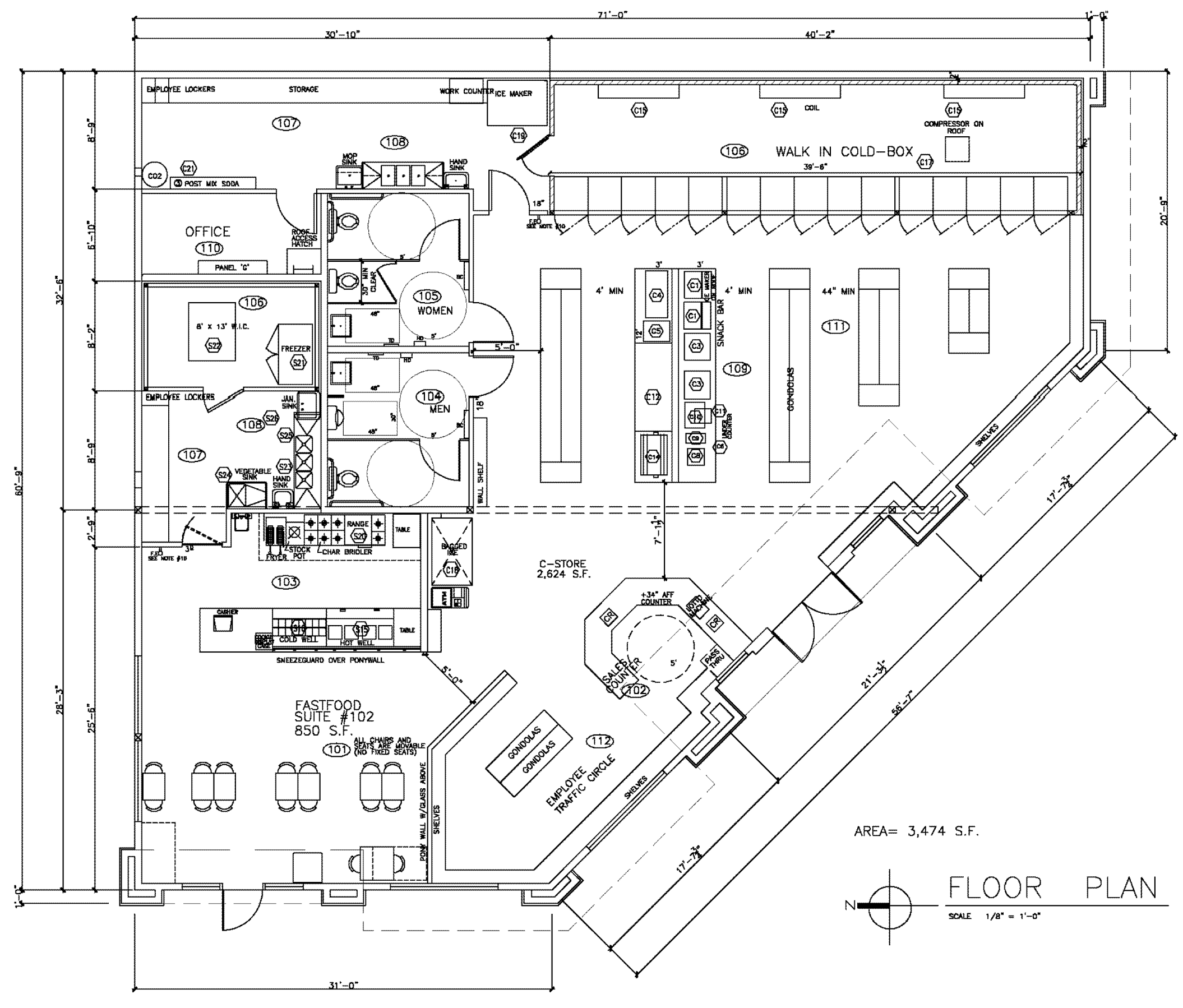


SOUTH ELEVATION
SCALE 1/8"=1'-0"

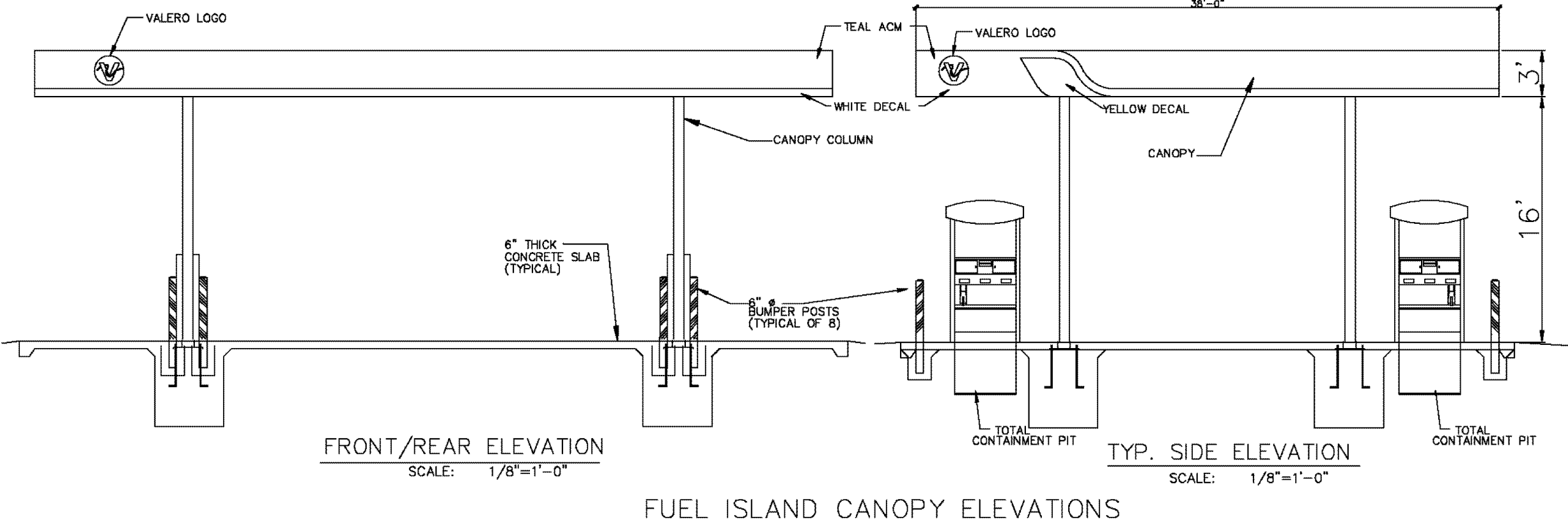


NORTH ELEVATION
SCALE 1/8"=1'-0"

EAST ELEVATION
SCALE 1/8"=1'-0"



FLOOR PLAN
SCALE 1/8"=1'-0"



FRONT/REAR ELEVATION
SCALE: 1/8"=1'-0"

TYP. SIDE ELEVATION
SCALE: 1/8"=1'-0"

FUEL ISLAND CANOPY ELEVATIONS

EXTERIOR ELEVATIONS LEGEND	
MATERIAL	DESCRIPTION/COLOR
1	METAL ROOFING, STANDING SEAM DECRA ORANGE
2	FOAM CORNICE SW6335-FIREBRICK
3	STUCCO EXPANSION JOINT PAINTED TO MATCH ADJACENT SURFACE
4	ALUMINUM STOREFRONT SYSTEM +9' HT., BRONZE ANOD.
5	CARWASH ROLLUP DOOR (IF APPLICABLE) NOT USED
6	STUCCO WALLS & SOFFIT SW2853-NEW COLONIAL YELLOW
7	TILE BASE/STUCCO ACCENT COLOR SW2806-ROOKWOOD BROWN
8	STUCCO ACCENT COLOR SW2806-ROOKWOOD BROWN
9	WALL MOUNTED LIGHTS TO BE SELECTED
10	ALUMINUM REVEAL (PAINTED) TO MATCH WALL
11	FOAM TRIM SW6335-FIREBRICK
12	BLDG. SIGN LOCATION PER COUNTY STD'S
13	METAL DOOR AND FRAME MATCH WALL
14	DECORATIVE COLUMNS NOT USED
15	STONEVENEER W/ OVERSICUT INSTALLATION EL DORADO/CORONADO STONE
16	FOAM MEDALLION W/ SMOOTH STUCCO FINISH NOT USED
17	ILLUMINATED BUILDING ADDRESS SIGN PER COUNTY STD'S
18	PARAPET CAPS / LEADERS/CANTS / MISS PAINT TO MATCH ADJACENT SURFACES
19	STUCCO ACCENT COLOR ---
20	SLATE VENEER ---
21	METAL AWNING SW2806-ROOKWOOD BROWN
22	FABRIC AWNING PYROSTONE, FLAME RETARDANT
23	SHAPED FOAM MOLDING / FABRIC AWNING SW2806-ROOKWOOD BROWN

OWNER/APPLICANT:

DAULAT SANDHUE
SANDHU TRANSPORT, INC.
P.O. BOX 15010
FRESNO CA, 93702

REVISIONS
FEB. 18, 2019
JAN 28, 2019

PROJECT/LOCATION
SANDHUE FOOD & FUEL
BELMONT & CORNELIA NWC

DESIGNER
AESTHETICS
DRAFTING DESIGNS
PLANNING CONSULTATIONS, SITE PLANS
RESIDENTIAL, COMMERCIAL
ELIAS SALIBA, AIA, C.S.I.
ARCHITECT, C.F.S.E.I.
4668 W. PINE AVE.
FRESNO, CA 93722
(559) 276-0479

SHEET CONTENTS
EXT. ELEV.
FOOR PLAN

SHEET NO.
A3