



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: Chenguang Biotech America
- APPLICATION NOS.: Initial Study No. 7938 and Classified Conditional Use Permit Application No. 3690
- DESCRIPTION: Allow a value-added agricultural facility that will consist of a processing facility for raw agricultural materials including tomato pumice, grape seed, and industrial hemp for extraction of lycopene and CBD oil, and distribution of produced products on a 20-acre portion of an existing 38.33-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District (APN: 512-120-19S) (3025 N. Chateau Fresno, Fresno, CA).
- LOCATION: The project site is located at the northwest corner of N. Chateau Fresno Avenue and W. Shields Avenue, approximately 0.53 miles west of the city limits of the City of Fresno.

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: NO IMPACT:

The project site is located in an area utilized mainly for agricultural purposes with single-family residential uses present to support agricultural operations. There is no scenic vista or identified scenic resources within vicinity of the project. According to Figure OS-2 of the Fresno County General Plan, there are no scenic roadways in proximity of the project site. Therefore, no scenic vista or resource is expected to be affected by the project proposal.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized

area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is already improved with structures. Per the Applicant, along with the addition of new structures, the existing structures will be utilized towards their proposed operation. With the addition of new structures, there is a potential for the degrading of the existing visual character or quality of public views of the site and its surroundings, but in this case the new structures will be built in similar aesthetic to the existing character of the site. Based on the provided elevations of the proposed buildings and considering the existing nature of the site, a less than significant impact is seen from the project in regard to the existing visual character of the site.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Per the Applicant's Operational Statement, on-site lighting from the existing buildings and designed onto the new structures is anticipated. Therefore, to reduce the potential of glare from the project proposal, a mitigation measure shall be implemented so that outdoor lighting be hooded and directed downward so as not to shine on public right-of-way or adjacent properties.

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Per the 2016 Fresno County Important Farmlands Map, the subject property consists of land designated Urban and Built-Up Land, Farmland of Statewide Importance and Unique Farmland. Review of the proposal indicates that the project will utilize existing buildings and construct additional buildings to accommodate the proposal. The proposed improvements will encroach into land designated Farmland of Statewide Importance and Unique Farmland, thereby converting this land to an agriculturally-related use. Although the proposed use is not specifically towards the cultivation of agricultural produce, the use is a agricultural material processing facility. Full buildout of the parcel will occupy approximately 20 acres and the remaining land, per the Applicant's Operational Statement will be utilized for irrigated agricultural use. Therefore, although a conversion of land designated Farmland of Statewide Importance and Unique Farmland will occur, the conversion will still support the agricultural industry and the remaining land will still be in active agricultural use.

B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

FINDING: NO IMPACT:

Per the submitted Operational Statement, the proposed use is compliant with the underlying AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District and is subject to approval of a Classified Conditional Use Permit. The proposed use under the Fresno County Zoning Ordinance does not conflict with the existing zoning for agricultural use. The subject site is not contracted under the Williamson Act Program.

C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or

D. Result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The project site is not located on land zoned for or contains forest land, timberland or timberland zoned Timberland Production. The project will not result in the loss of forest land or conversion of forest land to non-forest use.

E. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The project proposes to allow a value-added agricultural use to the subject site. The project would not result in changes to the existing environment that could convert farmland or forestland to non-agricultural or forestland use.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?

FINDING: LESS THAN SIGNIFICANT IMPACT:

An Air Quality and Greenhouse Gas Analysis Report conducted by Mitchell Air Quality Consulting and prepared on January 12, 2021 for the subject application. The analysis indicated that project construction and operation would be subject to rules and regulations established by the San Joaquin Valley Air Pollution Control District (Air District) and would be consistent with the applicable Air Quality Plan. Thresholds for criteria pollutants established by the Air District for both operational and construction emissions are as follows: 100 tons per year of CO, 10 tons per year of NOx, 10 tons per year of ROG, 27 tons per year of SOx, 15 tons per year of PM10, and 15 tons per year of PM2.5. Per the Air Quality Analysis, the estimated annual construction and operational emissions of the project would not exceed the Air Pollution Control District's significance threshold. The analysis also concluded that the project would be consistent with the applicable Air Quality Attainment Plan and would not result in significant cumulative health impacts. The San Joaquin Valley Air Pollution Control District has reviewed the subject analysis and did not express concern with the estimates and conclusions made in the analysis.

- C. Expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Air Quality and Greenhouse Gas Analysis Report prepared by Mitchell Air Quality Consulting estimated maximum daily air pollutant emissions during construction and operation and concluded that the project would not exceed significance thresholds established by the San Joaquin Valley Air Pollution Control District. A Health Risk Assessment, identifying impacts of Toxic Air Contaminants and screening the results against significance thresholds established by the Air District determined that their screening score did not exceed significance thresholds. The San Joaquin Valley Air Pollution Control District has reviewed the data and conclusions and did not express concern.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is located in a mainly agricultural area and with rural residences pocketed throughout the region. Odors potentially originating from the project site would be similar in odors generated by the former fruit packing plant and surrounding agricultural area. Processes of the proposed operation would occur mainly indoors within a controlled environment where odors from organic matter decomposition will be avoided. The Air Quality and Greenhouse Gas Analysis Report concluded that the project is not expected to produce significant odor impacts with the nearest off-site sensitive receptor located approximately 276 feet south of the project site. The area is sparsely populated and would not expose substantial numbers of people to objectionable odor.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposes to utilize existing structures and construct additional structures for their operation. There is a total of 14 existing structures and 6 proposed structures to be utilized for the proposed operation. Ground-disturbance related to the construction of the proposed structures is situated on land previously utilized for agricultural production. Per the California Natural Diversity Database (CNDD), there are no reported occurrences of a special-status species on or in close proximity of the project site. Both the California Department of Fish and Wildlife and the U.S. Fish and Wildlife Service were notified of the subject application and did not express concern with the project. Therefore, in considering the current built state of the subject parcel, the past utilization of the project site, and no expressed concerns from responsible agencies and departments, the project is expected to have a less than significant impact due to the construction of new structures.

- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: NO IMPACT:

There were no sensitive natural communities or riparian habitat identified on the project site.

- C. Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

According to the National Wetlands Inventory, the project site does not contain or effect an identified wetland. Therefore, the project will have no impact on wetlands.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

As noted, the subject parcel is already improved with existing structures and was in agricultural production in the past. The project will include the development of additional structures, but in considering the disturbance of the site, the project area is not essential for the movement of native residents or wildlife species. The site did not have any identified wildlife corridor or wildlife nursery site present.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

The project will be expected to be in compliance with local, state, and federal regulations for protecting biological resources. There was no specific policy, ordinance, adopted Habitat Conservation Plan, Natural Community Conservation Plan or other Habitat Conservation Plan identified as being in conflict with the project proposal.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or
- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The subject property was utilized in the past as an agricultural production and packing operation. A portion of the site was improved with structures with the remaining land being utilized for agricultural production. In considering the past ground-disturbing activities related to the existing improvements and the disturbance associated with the agricultural operation, there is a high unlikelyhood that a historical or archaeological resource would be identified on the subject site. Although highly unlikely, a mitigation measure shall be implemented to ensure that cultural resources are properly handled and addressed in the event they are uncovered during ground-disturbing activities related to the proposal.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeological shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remans are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: NO IMPACT:

The project proposal would be built and subject to the most current building and energy code when constructing new structures and renovating existing structures for their operational needs. Reviewing agencies and departments did not express concern with the subject application to indicate that the project would result in significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources or conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

VII. GEOLOGY AND SOILS

Would the project:

A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:

1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

FINDING: NO IMPACT:

According to Figure 9-3 of the Fresno County General Plan Background Report (FCGPBR) and the Earthquake Hazard Zone Application (EQ Zapp), maintained by the California Department of Conservation, the project site is not located on or near a known earthquake fault or rupture of a known earthquake fault.

2. Strong seismic ground shaking?
3. Seismic-related ground failure, including liquefaction?

FINDING: NO IMPACT:

Per Figure 9-5 of the Fresno County General Plan Background Report (FCGPBR), in the event of a seismic hazard occurring, the project site is located on land identified as having a 0% to 20% peak horizontal ground acceleration assuming a 10% probability in 50 years. The FCGPBR indicates that the potential of ground shaking is minimal in Fresno County. Due to the minimal peak horizontal ground acceleration risk and minimal ground shaking risk, the project is not subject to adverse risk from ground shaking or seismic-related ground failure.

4. Landslides?

FINDING: NO IMPACT:

The subject parcel is situated in a relatively flat agricultural area. Per Figure 9-6 of the FCGPBR, the project is not located on land identified as being subject to moderate or high landslide hazard.

B. Result in substantial soil erosion or loss of topsoil?

FINDING: NO IMPACT:

The project will result in the loss of topsoil due to the construction of new structures and support equipment. The loss of topsoil would not result in adverse impacts or risk. Soil erosion patterns would be altered through the addition of impervious surfaces. The subject parcel is located on flat agricultural land and would not result in substantial soil erosion. Therefore, in considering the scope of the project and existing conditions of the environment, the project would not result in substantial soil erosion or loss of topsoil.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

FINDING: NO IMPACT:

There was no geologic unit or unstable soil identified on the project site. The project will be subject to the most current building code. Implementation of current building codes will ensure that the project is constructed taking into consideration existing site conditions.

- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

Per Figure 7-1 of the FCGPBR, the project is not located on land identified as having soil exhibiting moderately high to high soil expansion potential.

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Further review of the proposed septic system would occur during the building permit review and be subject to standards and regulations addressed under the Fresno County Local Area Management Plan (LAMP). Reviewing agencies and departments did not express concern with the project to indicate that the existing soil conditions would be incapable of adequately supporting the use of a septic system. A less than significant impact is seen as there will be additional review and requirements associated with the proposed septic system.

- F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

There were no unique paleontological resources or unique geologic features identified on the project site.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or

- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

A Greenhouse Gas Emissions Analysis prepared by Mitchel Air Quality Consulting for the subject application indicated that based on estimated emissions resulting from the project would result in a less than significant impact. The analysis utilized the California Emissions Estimator Model (CalEEMod) to quantify operational greenhouse gas emissions resulting from the project proposal. The estimates concluded that the project would result in 1,868.82 metric tons of CO₂e (MTCO₂e) per year. This estimate takes into consideration current state and local regulations for GHG emission reductions and compares the estimated GHG generation to a 2002-2004 baseline scenario of business as usual (BAU) to represent conditions if regulations were not adopted. Under the BAU scenario, the project is estimated to produce 2,419.79 MTCO₂e per year. When comparing BAU estimates to project estimates of the project, there would be a 22.8% reduction of emissions. In consideration of goals of Assembly Bill 32, thresholds of the San Joaquin Valley Air Pollution Control District identified a 29 percent reduction when compared to BAU to meet 2020 goals established under AB 32. In considering 2030 target goals under AB 32 for GHG emission reductions, the state goals of a 21.7 percent average reduction from all sources of GHG emissions is now required to achieve AB 32, year 2030 targets. With implementation of adopted regulations and on-site reductions from efficiency measures, the results of the estimated generation indicate that the project would have a 35.2% reduction in emissions by the year 2030 and meet percent reduction threshold of over 21.7%. Therefore, with consideration of the analysis, the project would have a less than significant impact on greenhouse gas emission generation and would not conflict with any plan, policy or regulation of reducing greenhouse gas emissions.

VIII. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project intends to process agricultural materials and produce lycopene, grape extract and CBG oil for domestic and international wholesale markets. The Department of Public Health, Environmental Health Division (EHD) has reviewed the subject application and indicated that the project would be subject to State and local standards and regulations for the storage and handling of hazardous materials and waste. These regulations can include submittal of a Hazardous Materials Business Plan and

compliance with California Code of Regulations, Title 22, Division 4.5. With compliance of State and local regulations for the handling and storage of hazardous materials/waste, the project would not create a significant hazard to the public through the routine, transport, use, or disposal of hazardous materials, or create a significant hazard to the public or environment through upset and accident conditions involving the release of hazardous materials into the environment.

- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

FINDING: NO IMPACT:

The project site is not likely to emit hazardous emissions and is not located within one-quarter mile of an existing or proposed school. As a note, the closest school-site is located approximately a half-miles southwest of the project site.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Per the NEPAssist database, the subject address is a listed hazardous materials/waste facility. In reviewing facility records provided by the Enforcement and Compliance History Online website provided by the U.S. Environmental Protection Agency, the subject facility is classified as “All Other Waste Management Services” and “Other Noncitrus Fruit Farming”. There is no violation history associated with the past use of the subject site. The subject proposal will be subject to reporting requirements with the EHD and further compliance with State and local regulations for the handling of hazardous materials and waste. The project, although located on this hazardous materials site, would have a less than significant impact due to the considerations above and would not result in the creation of a significant hazard to the public or the environment.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

The project site is not located within an airport land use plan or within two miles of a public airport or public use airport.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan; or

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: NO IMPACT:

Reviewing agencies and departments did not express concern with the project proposal to indicate that the project would result in the impairment of implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. Additionally, there were no concerns with the project in terms of exposing people or structures to adverse risk involving wildland fires.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality; or
- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The State Water Resources Control Board, the Water and Natural Resources Division and the Regional Water Quality Control Board were included on the review of the subject application.

The Water and Natural Resources Division concluded that the project site is not located within an area of the County defined as being a water short area and determined that the water supply of the area would be adequate to support the project.

The State Water Resources Control Board indicated that the project would meet the definition of a public water system and would be subject to the requirements of Senate Bill 1263 (SB 1263). Under the provisions of Senate Bill 1263, a preliminary technical report is required to be submitted to the State Water Resources Control Board at least 6 months prior to initiating construction of any water-related improvements. The preliminary technical report prepared by Quad Knopf Engineering was submitted to the SWRCB for review and approval. The SWRCB has reviewed the report and determined the report to be complete with the applicant able to move forward to submit full permit application materials for permitting of the public water system.

The Regional Water Quality Control Board has reviewed the project and indicated that the project under the proposal would be subject to additional review and permit with the Regional Water Quality Control Board for protecting the quality of surface and ground waters of the State. The project will be subject to regulation under Waste Discharge Requirements for the discharge of wastewater associated with the processing aspect of the operation. As the project proponent proposes to discharge process wastewater to

land, the project proponent is required to submit a Report of Waste Discharge. Further regulation under the RWQCB will include Salt and Nitrate Control Program and Domestic Wastewater discharge requirements. The requirements of the RWQCB are regulatory requirements and will be implemented with the project through Project Notes.

Through the acceptance of the preliminary technical report by the State Water Resources Control Board and compliance with regulatory requirements set by the Regional Water Quality Control Board, the project would have a less than significant impact on existing water supplies, and would not violate any water quality or waste discharge standards.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?

1. Result in substantial erosion or siltation on- or off-site;

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is located in a flat agricultural area. Through the construction of new structures, the project will result in the addition of impervious surfaces. Drainage patterns are likely to change, but County regulatory standards will require that a grading and drainage plan be required to verify new drainage patterns and ensure that improvements do not result in significant impact on drainage patterns. Due to the existing conditions of the project site and implementation of County regulatory standards the addition of impervious surfaces will not result in substantial erosion or siltation on- of off-site.

2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite?
3. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Aerial images of the site suggest that a ponding basin is located on the project site. In comparing aerial images to the site plan of the proposed operation, the existing ponding basin will be removed. The Development Engineering Section will require that an engineered grading and drainage plan be submitted to verify new drainage patterns and adequacy of on-site drainage conditions. This requirement will ensure that the project would not result in flooding on- or offsite and ensure that the project proposal will comply with County standards in terms of stormwater drainage systems.

4. Impede or redirect flood flows?

FINDING: NO IMPACT:

Per FEMA FIRM Panels 1540H and 1545H, the subject parcel is not subject to flooding from the 100-year storm. The project will not impede or redirect flood flows, as the site is not located in a flood zone.

- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: NO IMPACT:

As noted, the subject parcel is not located within a flood zone. Additionally, the project site is not located near a body of water to indicate adverse risk to tsunami or seiche events.

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject operation will be subject to all State and local requirements for water quality control and sustainable groundwater management. Review by the Water and Natural Resources Division, the State Water Resources Control Board and the Regional Water Quality Control Board indicate that the project will, with compliance of regulatory requirements, not result in adverse impacts on water resources.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community?

FINDING: NO IMPACT:

The project would not result in the physical divide of an established community.

- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: NO IMPACT:

Development in Fresno County is required to be consistent with the Fresno County General Plan. Goal LU-A of the Fresno County General Plan intends to promote the long-term conservation of productive and potentially-productive agricultural lands and to accommodate agricultural-support services and agriculturally-related activities that support the viability of agricultural and further the County's economic development goals.

Under General Plan Policy LU-A.3, the County may allow be discretionary permit in areas designated Agriculture, special agricultural uses and agriculturally-related activities, including value-added processing facilities and certain non-agricultural uses. Approval of these and similar uses in areas designated Agriculture shall be subject additional criteria. The listed criteria includes the use providing a needed service, preservation of productive agricultural land, and availability of resources.

Review of the project when considered with the applicable General Plan Goal and Policies did not produce conflicts or concerns. Therefore, the project will not cause a significant environmental impact due to a conflict with the Fresno County General Plan.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: NO IMPACT:

According to Figure 7-7 and 7-8 of the Fresno County General Plan Background Report, the project site is not located on land identified with mineral resources or located on a principal mineral production location.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

An Environmental Noise Assessment was produced for the project proposal and was reviewed by the Environmental Health Division for compliance with the Fresno County Noise Ordinance. The study lists the type of equipment utilized by the operation and noise levels at 4 meters from the source. Three sensitive receptors were identified in close proximity of the project site and utilized to identify potential noise impacts resulting from project operation. Based on the calculations and consideration of acoustical shielded provided by intervening buildings, project-related noise levels at off-site sensitive receptors would be below both daytime and night-time maximum noise level

thresholds established by the Fresno County Noise Ordinance. It was also noted in the assessment that the original proposed equipment layout could potentially exceed noise level standards at the nearest sensitive receptor. A revised equipment layout plan relocated the original blower location within Shed J at a greater setback and resulted in a reduction of expected noise levels and will be in compliance with Fresno County Standards.

The Environmental Health Division has reviewed the subject Environmental Noise Assessment and concurred with the findings of the provided study. Therefore, the provided Environmental Noise Assessment indicates that the project would result in a permanent increase in noise levels, but would not generate vibration or noise levels in excess of the Fresno County Noise Ordinance. A less than significant impact is seen.

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels; or

FINDING: NO IMPACT:

The project site is not located in the vicinity of a private airstrip or airport land use plan or within two miles of a public airport or public use airport.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?; or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The project intends to utilize an existing agricultural-supportive facility and construct additional structures in a mainly agricultural area. The project would not induce substantial unplanned population growth or displace a substantial number of people or housing.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental

impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?

1. Fire protection;

FINDING: NO IMPACT:

The North Central Fire Protection District has reviewed the subject application and indicated that the project shall comply with California Code of Regulations Title 24 – Fire Code and California Code of Regulations Title 19 – Public Safety. There was no expressed concern with the project to indicate that the North Central Fire Protection District would be adversely impacted by the project proposal.

2. Police protection;

3. Schools;

4. Parks; or

5. Other public facilities?

FINDING: NO IMPACT:

Reviewing agencies and departments did not express concern with the project proposal to indicate that the project would require the need of new or physically-altered governmental facilities in order to maintain acceptable service ratios, response times, or other performance objectives.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The project does not result in a population increase that would result in the increased use of neighborhood and regional parks or other recreational facilities such that deterioration of the facility would occur or require additional recreational facilities.

XVI. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities; or
- B. Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

A Trip Generation and Distribution Study was prepared for the subject application and reviewed by the Design Division, Road Maintenance and Operations Division, and the California Department of Transportation (Caltrans). Review of the study indicated that transportation impacts associated with the project proposal does not need further study through a Traffic Impact Study. The study indicated that the fourteen existing buildings will result in no net increase in traffic as these buildings are existing and are to be either demolished or utilized in same fashion to the existing use when operation of the proposed use is to occur. Based on the calculations and review by responsible departments, the project does not conflict with a program, plan, ordinance, or policy addressing the circulation system and is not inconsistent with CEQA Guidelines Section 15064.3 subdivision (b), for Vehicle miles traveled.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?; or
- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

Review of the project site circulation design did not provide comments to indicate that there is any hazardous design features or result in inadequate emergency access.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
 - 1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
 - 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in

subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Under the provisions of Assembly Bill 52, participating California Native American Tribes were notified of the subject application and given the opportunity to enter into consultation with the County on identifying and addressing potential tribal cultural resources. Participating California Native American Tribes did not express concern with the project to indicate presence of tribal cultural resources. There were no identified historical sites on the project site. A Mitigation Measure will be implemented to address a tribal cultural resource in the event that a resource is unearthed during ground-disturbing activities related to project construction.

* **Mitigation Measure(s)**

1. See Section V. Cultural Resources A., B., and C., Mitigation Measure #1

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Under Section X Hydrology and Water Quality, the State Water Resources Control Board will require that the project be permitted as a public water system. This required preparation of a technical report for review and approval by the State Water Resources Control Board and further permitting will ensure that less than significant impact occurs for construction of water facilities that will service the proposed operation. The Water and Natural Resources Division reviewed the application and indicated that water supplies for this region are adequate in servicing the operation.

- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Review of existing permit records indicate the presence of a wastewater treatment system. Per the Applicant's prepared Site Plan, it appears that an additional

wastewater treatment system will be developed. Wastewater treatment systems will be subject to the provisions of the Fresno County Local Area Management Plan (LAMP) and will be subject to further review when submitting for a building permit. Will implementation of regulations and standards administered through the Fresno County LAMP, the project would have a less than significant impact in terms of wastewater treatment capacity.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Reviewing agencies and departments did not express concern with the project proposal to indicate that a conflict with federal, state, or local management and reduction statutes for solid waste, or generate solid waste in excess of state or local standards.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or
- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

Per the 2007 Fresno County Fire Hazard Severity in LRA Map, produced by the California Department of Forestry and Fire Protection, the project site is not located within a State Responsibility Area or on land designated as very high fire hazard severity.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT:

As discussed in Section IV. Biological Resources, the project scope will result in the utilization of the existing built environment and also addition of new structures. The project will have a less than significant impact on wildlife species when considering the existing environment of the subject parcel and records indicating no occurrence of a special status species. The project will not result in the substantial degradation of the quality of the environment.

- B. Have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Project impacts related to Aesthetics, Cultural Resources, and Tribal Cultural Resources have been determined to have a less than significant impact with the implementation of recommended mitigation measures. These impacts were determined to not be cumulatively considerable.

- C. Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Environmental effects that potentially could have adverse effect on human beings were determined to have a less than significant impact through the review of prepared technical studies. Responsible agencies and departments concurred with the findings and conclusions of the prepared technical studies and determined that no substantial adverse effect on human beings would occur.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Classified Conditional Use Permit Application No. 3690, staff has concluded that the project will not have a significant effect on the environment.

It has been determined that there would be no impacts to Energy, Land Use Planning, Mineral Resources, Population and Housing, Public Services, Recreation, and Wildfire.

Potential impacts related to Agricultural and Forestry Resources, Air Quality, Biological Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, and Tribal Cultural Resources have determined to be less than significant with compliance of recommended Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY ENVIRONMENTAL CHECKLIST FORM

- 1. Project title:**
Initial Study No. 7938 and Classified Conditional Use Permit Application No. 3690
- 2. Lead agency name and address:**
County of Fresno Department of Public Works and Planning
2220 Tulare Street, 6th Floor
Fresno, CA 93721
- 3. Contact person and phone number:**
Thomas Kobayashi, Planner
(559) 600-4224
- 4. Project location:**
The project site is located at the northwest corner of N. Chateau Fresno Avenue and W. Shields Avenue approximately 0.53 miles west of the city limits of the City of Fresno.
- 5. Project sponsor's name and address:**
Chenguang Biotech America
5716 Corsa Avenue, Suite 110
West Lake Village, CA 91362
- 6. General Plan designation:**
Agricultural
- 7. Zoning:**
AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.
- 8. Description of project: (Describe the whole action involved, including, but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)**
Allow a value added agricultural facility that will consist of a processing facility for raw agricultural materials including tomato pumice, grape see, and industrial hemp for extraction of lycopene and CBD oil, and distribution of produced products on a 20-acre portion of an existing 38.33-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District
- 9. Surrounding land uses and setting: Briefly describe the project's surroundings:**
The project site is located in a mainly agricultural area with rural residential uses present and in the vicinity of the subject site.
- 10. Other public agencies whose approval is required (g., permits, financing approval, or participation agreement.)**
County of Fresno, Department of Public Works and Planning
Regional Water Quality Control Board
State Water Resources Control Board
County of Fresno, Department of Public Health, Environmental Health Division

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

Participating California Native American Tribes were notified of the subject application under the provisions of Assembly Bill 52 and given the opportunity to enter into consultation with the County to identify and address potential tribal cultural resources that could be impacted by the project. There was no consultation request and no concerns expressed by notified tribes to indicate potential cultural resources.

NOTE: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21080.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

DEVELOPMENT SERVICES DIVISION

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | |
|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Biological Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Mandatory Findings of Significance | |

DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT:

On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the Mitigation Measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required
- I find that as a result of the proposed project, no new effects could occur, or new Mitigation Measures would be required that have not been addressed within the scope of a previous Environmental Impact Report.

PERFORMED BY:

REVIEWED BY:



Thomas Kobayashi, Planner



David Randall, Senior Planner

Date: 9/2/21

Date: 9.2.21

**INITIAL STUDY
ENVIRONMENTAL CHECKLIST FORM
(Initial Study No. 7938 and
Classified Conditional Use Permit
Application No. 3690)**

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

1 = No Impact

2 = Less Than Significant Impact

3 = Less Than Significant Impact with Mitigation Incorporated

4 = Potentially Significant Impact

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 2 c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?
- 3 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- 2 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract?
- 1 c) Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production?
- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 1 e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable Air Quality Plan?
- 2 b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?
- 2 c) Expose sensitive receptors to substantial pollutant concentrations?
- 2 d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 2 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 c) Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- 1 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

V. CULTURAL RESOURCES

Would the project:

- 3 a) Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?
- 3 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?
- 3 c) Disturb any human remains, including those interred outside of formal cemeteries?

VI. ENERGY

Would the project:

- 1 a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?
- 1 b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

VII. GEOLOGY AND SOILS

Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 - 1 ii) Strong seismic ground shaking?
 - 1 iii) Seismic-related ground failure, including liquefaction?
 - 1 iv) Landslides?
- 1 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?
- 2 e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?
- 1 f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- 2 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- 2 b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 2 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 2 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 2 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?
- 1 f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 1 g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

X. HYDROLOGY AND WATER QUALITY

Would the project:

- 2 a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?
- 2 b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?
- 2 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 2 i) Result in substantial erosion or siltation on- or off-site;
 - 2 ii) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite;
 - 2 iii) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or
 - 1 iv) Impede or redirect flood flows?
- 1 d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?
- 2 e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

XI. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?
- 1 b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

XII. MINERAL RESOURCES

Would the project:

- 1 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 1 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

XIII. NOISE

Would the project result in:

- 2 a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 2 b) Generation of excessive ground-borne vibration or ground-borne noise levels?
- 1 c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

XIV. POPULATION AND HOUSING

Would the project:

- 1 a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and

businesses) or indirectly (for example, through extension of roads or other infrastructure)?

- 1 b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

XV. PUBLIC SERVICES

Would the project:

- 1 a) Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
- 1 i) Fire protection?
1 ii) Police protection?
1 iii) Schools?
1 iv) Parks?
1 v) Other public facilities?

XVI. RECREATION

Would the project:

- 1 a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- 1 b) Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

XVII. TRANSPORTATION

Would the project:

- 2 a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?
- 2 b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?
- 1 c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 d) Result in inadequate emergency access?

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- 3 a) Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
- 3 i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
- 3 ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public

Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 2 a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?
- 2 b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?
- 2 c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 2 d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?
- 2 e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- 1 a) Substantially impair an adopted emergency response plan or emergency evacuation plan?
- 1 b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?
- 1 c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?
- 1 d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 2 a) Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 2 b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)
- 2 c) Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

Documents Referenced:

This Initial Study is referenced by the documents listed below. These documents are available for public review at the County of Fresno, Department of Public Works and Planning, Development Services and Capital Projects Division, 2220 Tulare Street, Suite A, Fresno, California (corner of M & Tulare Streets).

- Fresno County General Plan, Policy Document and Final EIR
- Fresno County Zoning Ordinance
- Important Farmland 2016 Map, State Department of Conservation
- Fresno County Fire Hazard Severity Zones in LRA 2007 Map, State Department of Forestry and Fire Protection
- Air Quality and Greenhouse Gas Analysis Report, January 12, 2021, Mitchell Air Quality Consulting
- Environmental Noise Assessment, March 2, 2021, WJV Acoustics
- Senate Bill 1263 Preliminary Technical Report, March 12, 2021, Quad Knopf, Inc.
- Trip Generation and Distribution Methodology, January 12, 2021, VRPA Technologies, Inc.

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Notice of Completion & Environmental Document Transmittal

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613
For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

SCH #

Project Title: Initial Study No. 7938 and Classified Conditional Use Permit Application No. 3690

Lead Agency: County of Fresno, Department of Public Works and Planning Contact Person: Thomas Kobayashi
Mailing Address: 2220 Tulare Street, 6th Floor Phone: (559) 600-4224
City: Fresno Zip: 93721 County: Fresno

Project Location: County: Fresno City/Nearest Community: Fresno
Cross Streets: N. Chateau Fresno Avenue and W. Shields Avenue Zip Code:
Longitude/Latitude (degrees, minutes and seconds): Total Acres: 38.33
Assessor's Parcel No.: 512-120-19S Section: 19 Twp.: 13S Range: 19E Base:
Within 2 Miles: State Hwy #: Waterways:
Airports: Railways: Schools: Roosevelt Elementary

Document Type:

- CEQA: [] NOP [] Draft EIR [] NEPA: [] NOI [] Other: [] Joint Document
[] Early Cons [] Supplement/Subsequent EIR [] EA [] Final Document
[] Neg Dec (Prior SCH No.) [] Draft EIS [] Other:
[X] Mit Neg Dec [] FONSI

Local Action Type:

- [] General Plan Update [] Specific Plan [] Rezone [] Annexation
[] General Plan Amendment [] Master Plan [] Prezone [] Redevelopment
[] General Plan Element [] Planned Unit Development [X] Use Permit [] Coastal Permit
[] Community Plan [] Site Plan [] Land Division (Subdivision, etc.) [] Other:

Development Type:

- [] Residential: Units Acres
[] Office: Sq.ft. Acres Employees Transportation: Type
[] Commercial: Sq.ft. Acres Employees Mining: Mineral
[] Industrial: Sq.ft. Acres Employees Power: Type MW
[] Educational: Waste Treatment: Type MGD
[] Recreational: Hazardous Waste: Type
[] Water Facilities: Type MGD [X] Other: Value-Added Agricultural Facility

Project Issues Discussed in Document:

- [X] Aesthetic/Visual [] Fiscal [X] Recreation/Parks [] Vegetation
[X] Agricultural Land [X] Flood Plain/Flooding [X] Schools/Universities [X] Water Quality
[X] Air Quality [X] Forest Land/Fire Hazard [X] Septic Systems [X] Water Supply/Groundwater
[X] Archeological/Historical [X] Geologic/Seismic [X] Sewer Capacity [X] Wetland/Riparian
[X] Biological Resources [X] Minerals [X] Soil Erosion/Compaction/Grading [] Growth Inducement
[] Coastal Zone [X] Noise [X] Solid Waste [X] Land Use
[X] Drainage/Absorption [X] Population/Housing Balance [X] Toxic/Hazardous [X] Cumulative Effects
[] Economic/Jobs [X] Public Services/Facilities [X] Traffic/Circulation [X] Other: Energy/Wildfire

Present Land Use/Zoning/General Plan Designation:

Value-Added Agricultural Facility / AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) / Agricultural

Project Description: (please use a separate page if necessary)
Allow a value-added agricultural facility that will consist of a processing facility for raw agricultural materials including tomato pumice, grape seed, and industrial hemp for extraction of lycopene and CBD oil, and distribution of produced products on a 20-acre portion of an existing 38.33-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located at the northwest corner of N. Chateau Fresno Avenue and W. Shields Avenue, approximately 0.53 miles west of the city limits of the City of Fresno.

Note: The State Clearinghouse will assign identification numbers for all new projects. If a SCH number already exists for a project (e.g. Notice of Preparation or previous draft document) please fill in.

Reviewing Agencies Checklist

Lead Agencies may recommend State Clearinghouse distribution by marking agencies below with an "X".
If you have already sent your document to the agency please denote that with an "S".

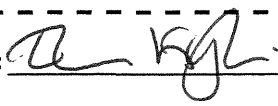
- | | |
|--|--|
| <input type="checkbox"/> Air Resources Board | <input type="checkbox"/> Office of Historic Preservation |
| <input type="checkbox"/> Boating & Waterways, Department of | <input type="checkbox"/> Office of Public School Construction |
| <input type="checkbox"/> California Emergency Management Agency | <input type="checkbox"/> Parks & Recreation, Department of |
| <input type="checkbox"/> California Highway Patrol | <input type="checkbox"/> Pesticide Regulation, Department of |
| <input checked="" type="checkbox"/> Caltrans District # <u>Fresno</u> | <input type="checkbox"/> Public Utilities Commission |
| <input type="checkbox"/> Caltrans Division of Aeronautics | <input checked="" type="checkbox"/> Regional WQCB # <u>Fresno</u> |
| <input type="checkbox"/> Caltrans Planning | <input type="checkbox"/> Resources Agency |
| <input type="checkbox"/> Central Valley Flood Protection Board | <input type="checkbox"/> Resources Recycling and Recovery, Department of |
| <input type="checkbox"/> Coachella Valley Mtns. Conservancy | <input type="checkbox"/> S.F. Bay Conservation & Development Comm. |
| <input type="checkbox"/> Coastal Commission | <input type="checkbox"/> San Gabriel & Lower L.A. Rivers & Mtns. Conservancy |
| <input type="checkbox"/> Colorado River Board | <input type="checkbox"/> San Joaquin River Conservancy |
| <input type="checkbox"/> Conservation, Department of | <input type="checkbox"/> Santa Monica Mtns. Conservancy |
| <input type="checkbox"/> Corrections, Department of | <input type="checkbox"/> State Lands Commission |
| <input type="checkbox"/> Delta Protection Commission | <input type="checkbox"/> SWRCB: Clean Water Grants |
| <input type="checkbox"/> Education, Department of | <input checked="" type="checkbox"/> SWRCB: Water Quality |
| <input type="checkbox"/> Energy Commission | <input type="checkbox"/> SWRCB: Water Rights |
| <input checked="" type="checkbox"/> Fish & Game Region # <u>Fresno</u> | <input type="checkbox"/> Tahoe Regional Planning Agency |
| <input checked="" type="checkbox"/> Food & Agriculture, Department of | <input type="checkbox"/> Toxic Substances Control, Department of |
| <input type="checkbox"/> Forestry and Fire Protection, Department of | <input type="checkbox"/> Water Resources, Department of |
| <input type="checkbox"/> General Services, Department of | <input checked="" type="checkbox"/> Other: <u>U.S. Fish and Wildlife Service</u> |
| <input type="checkbox"/> Health Services, Department of | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Housing & Community Development | |
| <input type="checkbox"/> Native American Heritage Commission | |

Local Public Review Period (to be filled in by lead agency)

Starting Date September 3, 2021 Ending Date October 4, 2021

Lead Agency (Complete if applicable):

Consulting Firm: <u>County of Fresno</u>	Applicant: <u>Chenguang Biotech America</u>
Address: <u>2220 Tulare Street, 6th Floor</u>	Address: <u>5716 Corsa Avenue, Suite 110</u>
City/State/Zip: <u>Fresno, CA 93721</u>	City/State/Zip: <u>West Lake Village, CA 91362</u>
Contact: <u>Thomas Kobayashi</u>	Phone: <u>N/A</u>
Phone: <u>(559) 600-4224</u>	

Signature of Lead Agency Representative:  Date: 9/3/21

Authority cited: Section 21083, Public Resources Code. Reference: Section 21161, Public Resources Code.

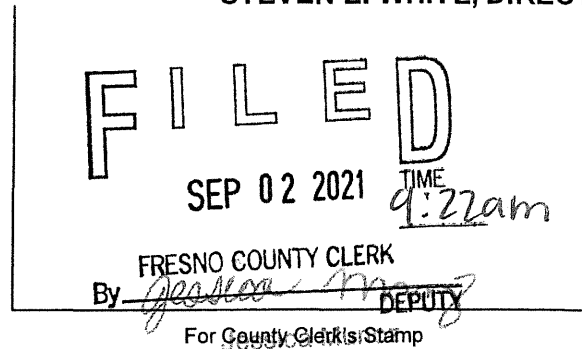


E202110000214

County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION



Notice is hereby given that the County of Fresno has prepared Initial Study (IS) No. 7938 pursuant to the requirements of the California Environmental Quality Act for the following proposed project:

INITIAL STUDY NO. 7938 and CLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3690 filed by **CHENGUANG BIOTECH AMERICA**, proposing to allow a value added agricultural facility that will consist of a processing facility for raw agricultural materials including tomato pumice, grape seed, and industrial hemp for extraction of lycopene and CBD oil, and distribution of produced products on a 20-acre portion of an existing 38.33-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District). The project site is located at the northwest corner of N. Chateau Fresno Avenue and W. Shields Avenue, approximately 0.53 miles west of the city limits of the City of Fresno (APN 512-120-19S) (Sup. Dist. 1).

(hereafter, the "Proposed Project")

The County of Fresno has determined that it is appropriate to adopt a Mitigated Negative Declaration for the Proposed Project. The purpose of this Notice is to (1) provide notice of the availability of IS No. 7938 and the draft Mitigated Negative Declaration, and request written comments thereon; and (2) provide notice of the public hearing regarding the Proposed Project.

Public Comment Period

The County of Fresno will receive written comments on the Proposed Project and Mitigated Negative Declaration from September 3, 2021 through October 3, 2021.

Email written comments to TKobayashi@fresnocountyca.gov, or mail comments to:

Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
Attn: Thomas Kobayashi
2220 Tulare Street, Suite A
Fresno, CA 93721

IS No. 7938 and the draft Mitigated Negative Declaration may be viewed at the above address Monday through Thursday, 9:00 a.m. to 5:00 p.m., and Friday, 8:30 a.m. to 12:30 p.m. (except holidays), or at www.co.fresno.ca.us/initialstudies. An electronic copy of the draft Mitigated Negative Declaration for the Proposed Project may be obtained from Thomas Kobayashi at the addresses above.

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*** SPECIAL NOTICE REGARDING PUBLIC PARTICIPATION DUE TO COVID-19 ***

Due to the current Shelter-in-Place Order covering the State of California and Social Distance Guidelines issued by Federal, State, and Local Authorities, the County is implementing the following changes for attendance and public comment at all Planning Commission meetings until notified otherwise. The Board chambers will be open to the public. Any member of the Planning Commission may participate from a remote location by teleconference pursuant to Governor Gavin Newsom's executive Order N-25-20. Instructions about how to participate in the meeting will be posted to: <https://www.co.fresno.ca.us/planningcommission> 72 hours prior to the meeting date.

- *The meeting will be broadcast. You are strongly encouraged to listen to the Planning Commission meeting at: <http://www.co.fresno.ca.us/PlanningCommission>.*
- *If you attend the Planning Commission meeting in person, you will be required to maintain appropriate social distancing, i.e., maintain a 6-foot distance between yourself and other individuals. Due to Shelter-in-Place requirements, the number of people in the Board chambers will be limited. Members of the public who wish to make public comments will be allowed in on a rotating basis.*
- *If you choose not to attend the Planning Commission meeting but desire to make general public comment on a specific item on the agenda, you may do so as follows:*

Written Comments

- *Members of the public are encouraged to submit written comments to: Planningcommissioncomments@fresnocountyca.gov. Comments should be submitted as soon as possible, but not later than 8:30am (15 minutes before the start of the meeting). You will need to provide the following information:*
 - *Planning Commission Date*
 - *Item Number*
 - *Comments*
- *Please submit a separate email for each item you are commenting on.*
- *Please be aware that public comments received that do not specify a particular agenda item will be made part of the record of proceedings as a general public comment.*
- *If a written comment is received after the start of the meeting, it will be made part of the record of proceedings, provided that such comments are received prior to the end of the Planning Commission meeting.*
- *Written comments will be provided to the Planning Commission. Comments received during the meeting may not be distributed to the Planning Commission until after the meeting has concluded.*
- *If the agenda item involves a quasi-judicial matter or other matter that includes members of the public as parties to a hearing, those parties should make arrangements with the Planning Commission Clerk to provide any written*

E202110000214

materials or presentation in advance of the meeting date so that the materials may be presented to the Planning Commission for consideration. Arrangements should be made by contacting the Planning Commission Clerk at (559) 600-4230.

PROGRAM ACCESSIBILITY AND ACCOMMODATIONS: The Americans with Disabilities Act (ADA) Title II covers the programs, services, activities and facilities owned or operated by state and local governments like the County of Fresno ("County"). Further, the County promotes equality of opportunity and full participation by all persons, including persons with disabilities. Towards this end, the County works to ensure that it provides meaningful access to people with disabilities to every program, service, benefit, and activity, when viewed in its entirety. Similarly, the County also works to ensure that its operated or owned facilities that are open to the public provide meaningful access to people with disabilities.

To help ensure this meaningful access, the County will reasonably modify policies/ procedures and provide auxiliary aids/services to persons with disabilities. If, as an attendee or participant at the meeting, you need additional accommodations such as an American Sign Language (ASL) interpreter, an assistive listening device, large print material, electronic materials, Braille materials, or taped materials, please contact the Current Planning staff as soon as possible during office hours at (559) 600-4497 or at imoreno@fresnocountyca.gov. Reasonable requests made at least 48 hours in advance of the meeting will help to ensure accessibility to this meeting. Later requests will be accommodated to the extent reasonably feasible.

Public Hearing

The Planning Commission will hold a public hearing to consider approving the Proposed Project and the Mitigated Negative Declaration on October 14, 2021, at 8:45 a.m., or as soon thereafter as possible, in Room 301, Hall of Records, 2281 Tulare Street, Fresno, California 93721. Interested persons are invited to appear at the hearing and comment on the Proposed Project and draft Mitigated Negative Declaration.

For questions please call Thomas Kobayashi (559) 600-4224.

Published: September 3, 2021

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7938	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Thomas Kobayashi Planner	Area Code: 559	Telephone Number: 600-4224	Extension: N/A
Project Applicant/Sponsor (Name): Chenguang Biotech America	Project Title: Classified Conditional Use Permit Application No. 3690		
Project Description: Allow a value-added agricultural facility that will consist of a processing facility for raw agricultural materials including tomato pumice, grape see, and industrial hemp for extraction of lycopene and CBD oil, and distribution of produced products on a 20-acre portion of an existing 38.33-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located at the northwest corner of N. Chateau Fresno Avenue and W. Shields Avenue, approximately 0.53 miles west of the city limits of the City of Fresno.			
Justification for Negative Declaration: It has been determined that there would be no impacts to Energy, Land Use Planning, Mineral Resources, Population and Housing, Public Services, Recreation, and Wildfire. Potential impacts related to Agricultural and Forestry Resources, Air Quality, Biological Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, and Tribal Cultural Resources have determined to be less than significant with compliance of recommended Mitigation Measures.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – September 3, 2021		Review Date Deadline: Planning Commission – October 14, 2021	
Date:	Type or Print Signature: David Randall Senior Planner	Submitted by (Signature): Thomas Kobayashi Planner	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

NOTICE OF DETERMINATION

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

County Clerk, County of Fresno
2221 Kern Street
Fresno, CA 93721

From: Fresno County Department of Public Works and Planning, Development Services and Capital Projects
2220 Tulare Street (corner of Tulare and "M") Suite "A", Fresno, CA 93721

Subject: Filing of Notice of Determination in compliance with Section 21152 of the Public Resource Code

Project: Initial Study No. 7938, Classified Conditional Use Permit Application No. 3690

Location: The subject parcel is located at the northwest corner of N. Chateau Fresno Avenue and W. Shields Avenue, approximately 0.53 miles west of the city limits of the City of Fresno (Sup. Dist. 1) (APN 512-120-19S).

Sponsor: Chenguang Biotech America

Description: Allow a value-added agricultural facility that will consist of a processing facility for raw agricultural materials including tomato pumice, grape see, and industrial hemp for extraction of lycopene and CBD oil, and distribution of produced products on a 20-acre portion of an existing 38.33-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

This is to advise that the County of Fresno (Lead Agency Responsible Agency) has approved the above described project on October 14, 2021, and has made the following determination:

1. The project **will** **will not** have a significant effect on the environment.
2. An Environmental Impact Report (EIR) **was not** prepared for this project pursuant to the provisions of CEQA. / A Mitigated Negative Declaration **was** prepared for this project pursuant to the provisions of CEQA.
3. Mitigation Measures **were** **were not** made a condition of approval for the project.
4. A statement of Overriding Consideration **was** **was not** adopted for this project.

This is to certify that the Initial Study with comments and responses and record of project approval is available to the General Public at Fresno County Department of Public Works and Planning, 2220 Tulare Street, Suite A, Corner of Tulare and "M" Streets, Fresno, California.

Thomas Kobayashi, Planner
(559) 600-4224 / TKobayashi@FresnoCountyCA.gov

Date

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DRAFT



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: October 14, 2020

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez, Assistant Director
Department of Public Works and Planning, Attn: John R. Thompson, Assistant Director
Development Services and Capital Projects, Attn: William M. Kettler, Division Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel Gutierrez/James Anders
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna
Development Services and Capital Projects, Building & Safety/Plan Check, Attn: Dan Mather
Resources Division, Solid Waste, Attn: Amina Flores-Becker
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: John Thompson/Nadia Lopez/Martin Querin/Wendy Nakagawa
Design Division, Transportation Planning, Attn: Mohammad Alimi/Dale Siemer/Brian Spaunhurst/Gloria Hensley
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager; Roy Jimenez
Department of Public Health, Environmental Health Division, Attn: Deep Sidhu/Steven Rhodes
Agricultural Commissioner, Attn: Melissa Cregan
County Counsel, Attn: Alison Samarin, Deputy County Counsel
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Matthew Nelson, Biologist
CA Regional Water Quality Control Board, Attn: Dale Harvey
CALTRANS, Attn: Dave Padilla
CA Department of Fish and Wildlife, Attn: Craig Bailey, Environmental Scientist & R4CEQA@wildlife.ca.gov
State Water Resources Control Board, Division of Drinking Water, Fresno District, Attn: Jose Robledo, Caitlin Juarez
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey/Cultural Resources Director
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/Hector Franco, Director/Shana Powers, Cultural Specialist II
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director/Kim Taylor, Cultural Resources Department/Sara Barnett, Cultural Resources

Department
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division),
Attn: PIC Supervisor
North Kings GSA, Attn: Kassy D. Chauhan, P.E. at kchauhan@fresnoirrigation.com
Fresno Irrigation District, Attn: Engr-Review@fresnoirrigation.com; Kassy D.
Chauhan, P.E. at kchuhan@fresnoirrigation.com
Kings River Conservation District, Attn: Rick Hoelzel
North Central Fire Protection District, Attn: George Mavrikis, Fire Marshall

FROM: Thomas Kobayashi, Planner
Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 7938 and Classified Conditional Use Permit Application
No. 3690

APPLICANT: Chenguang Biotech America

DUE DATE: October 29, 2020

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow a value added agricultural facility that will consist of a processing facility for raw agricultural materials including tomato pumice, grape seed, and industrial hemp (cannabis) for extraction of lycopene and CBD oil, and distribution of produced products on a 9.26-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District (3025 N. Chateau Fresno Avenue, Fresno, CA) (APN 512-120-19S).

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **October 29, 2020**. Any comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Thomas Kobayashi, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4224, or email TKobayashi@FresnoCountyCA.gov.

TK
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Activity Code (Internal Review):2432

Enclosures



Date Received: Oct. 1, 2020

CUP 3690
IS 7938

Fresno County Department of Public Works and Planning

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

(Application No.)

APPLICATION FOR:

- Pre-Application (Type) _____
- Amendment Application Director Review and Approval
- Amendment to Text for 2nd Residence
- Conditional Use Permit Determination of Merger
- Variance (Class)/Minor Variance Agreements
- Site Plan Review/Occupancy Permit ALCC/RLCC
- No Shoot/Dog Leash Law Boundary Other _____
- General Plan Amendment/Specific Plan/SP Amendment)
- Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:

Establish a processing facility for raw agricultural materials including tomato pumice, grape seed and industrial hemp (cannabis) for extraction of lycopene and CBD oil. Cultivation of existing orchard. Distribution of products produced. Adaptation of existing buildings to new uses and construction of new buildings on site.

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: North side of West Shields Avenue
between N Chateau Fresno and N Monroe Avenue
Street address: 2035 N Chateau Fresno, 8008 W Shields Avenue

APN: 512-120-19s Parcel size: 38.33 Section(s)-Twp/Rg: S 19 - T 13 S/R 19 E

ADDITIONAL APN(s) None

I, Bill Robinson (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Chenguang Biotech America	5716 Corsa Ave, Ste 110	West Lake Village, CA	91362	
Owner (Print or Type)	Address	City	Zip	Phone

Same

Bill Robinson, Sol Development Assoc.	906 N Street, Ste 100	Fresno, CA	93721	559-497-1900
Representative (Print or Type)	Address	City	Zip	Phone

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: <u>CUP 3690</u>	Fee: \$ <u>4,569.00</u>
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
PER/ <u>Initial Study</u> No.: <u>IS 7938</u>	Fee: \$ <u>3,901.00</u>
Ag Department Review:	Fee: \$ <u>93.00</u>
Health Department Review:	Fee: \$ <u>992.00</u>
Received By: <u>Thomas H.</u> Invoice No.: <u>134287</u>	TOTAL: \$ <u>9,555.00</u>

UTILITIES AVAILABLE:

WATER: Yes / No
Agency: (Well on site)

SEWER: Yes / No
Agency: (Septic on site)

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: _____ - T _____ S/R _____ E

Related Application(s): _____

APN # _____ - _____ - _____

Zone District: AE-20

APN # _____ - _____ - _____

Parcel Size: 38.33 acres

APN # _____ - _____ - _____



**Development Services
and
Capital Projects
Division**

Pre-Application Review

Department of Public Works and Planning

NUMBER: 19-109936
 APPLICANT: SIMONE FRUIT INC.
 PHONE: _____

PROPERTY LOCATION: 3025 N. CHATEAU FRESNO AVE & 8008 W. SHIELDS AVE
 APN: 512 - 120 - 19S ALCC: No Yes # _____ VIOLATION NO. NO
 CNEL: No Yes _____ (level) LOW WATER: No Yes _____ WITHIN 1/2 MILE OF CITY: No Yes _____
 ZONE DISTRICT: AE-20; SRA: No Yes _____ HOMESITE DECLARATION REQ'D.: No Yes _____
 LOT STATUS: _____

Zoning: Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
 Merger: May be subject to merger: No Yes _____ ZM# _____ Initiated _____ In process _____
 Map Act: () Lot of Rec. Map; () On '72 rolls; () Other _____; () Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes _____ DISTRICT: CENTRAL UNIFIED PERMIT JACKET: No _____ Yes
 FMFCD FEE AREA: (X) Outside () District No.: _____ FLOOD PRONE: No Yes _____
 PROPOSAL CONDITIONAL USE PERMIT TO ALLOW AGRICULTURAL PROCESSING STORAGE FACILITY OF PELLETS, VARIOUS AGRICULTURAL PRODUCE AND INDUSTRIAL HEMP WITHIN THE AE-20 ZONE DISTRICT

COMMENTS: _____
 ORD. SECTION(S): 816.3.A BY: ALBERT AGUILAR DATE: 12/23/19

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: Agricultural () GPA: _____
 COMMUNITY PLAN: _____ () AA: _____
 REGIONAL PLAN: _____ (X) CUP: \$4,569.00
 SPECIFIC PLAN: _____ () DRA: _____
 SPECIAL POLICIES: _____ () VA: _____
 SPHERE OF INFLUENCE: _____ () AT: _____
 ANNEX REFERRAL (LU-G17/MOU): _____ () JT: _____

PROCEDURES AND FEES:

() MINOR VA: _____
 (X) HD: \$992.00
 (X) AG COMM: \$93.00
 () ALCC: _____
 (X) IS PER: \$3,901.00
 () Viol. (35%): _____
 () Other: _____

COMMENTS: _____
 Filing Fee: \$9,555.00
 Pre-Application Fee: _____ - \$247.00
 Total County Filing Fee: \$9,308.00

FILING REQUIREMENTS:

- Land Use Applications and Fees
- This Pre-Application Review form
- Copy of Deed / Legal Description
- Photographs
- () Letter Verifying Deed Review
- IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Project Description / Operational Statement (Typed)
- () Statement of Variance Findings
- () Statement of Intended Use (ALCC)
- () Dependency Relationship Statement
- () Resolution/Letter of Release from City of _____
 Referral Letter # _____

OTHER FILING FEES:

- () Archaeological Inventory Fee: \$75 at time of filing
 (Separate check to Southern San Joaquin Valley Info. Center)
- CA Dept. of Fish & Wildlife (CDFW): (\$50) (\$50+\$2,406.75)
 (Separate check to Fresno County Clerk for pass-thru to CDFW.
 Must be paid prior to IS closure and prior to setting hearing date.)

BY: Thomas Kobayashi DATE: 1/8/20
 PHONE NUMBER: (559) _____

- NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:
- () COVENANT
 - () MAP CERTIFICATE
 - () PARCEL MAP
 - () FINAL MAP
 - () FMFCD FEES
 - () ALUC or ALCC
 - SITE PLAN REVIEW
 - BUILDING PLANS
 - BUILDING PERMITS
 - () WASTE FACILITIES PERMIT
 - () SCHOOL FEES
 - () OTHER (see reverse side)

PLU # 113 Fee: \$247.00
 Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

RECEIVED
 COUNTY OF FRESNO
 OCT 01 2020
 DEPARTMENT OF PUBLIC WORKS
 AND PLANNING
 DEVELOPMENT SERVICES DIVISION

OVER.....



RECEIVED
COUNTY OF FRESNO

OCT 01 2020

County of Fresno

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. 7938

Project No(s). CUP 360

Application Rec'd.: 10/1/20

GENERAL INFORMATION

- Property Owner: Chenguang Biotech, America Phone/Fax: 86-110-885-1999
Mailing Address: 5716 Corsa Ave., Ste 110, Westlake Village, CA 91362-7354
Street City State/Zip
- Applicant: Chenguang Biotech, America Phone/Fax: 86-110-885-1999
Mailing Address: 5716 Corsa Ave., Ste 110, Westlake Village, CA 91362-7254
Street City State/Zip
- Representative: Bill Robinson
SOI Development Assoc., LLC Phone/Fax: 559-497-1900
Mailing Address: 906 N' STREET, STE 100, FRESNO, CA 93721
Street City State/Zip
- Proposed Project: Processing facility for raw material from agricultural operations including tomato pomice, grape seed and industrial hemp (cannabis) for exaction of lycopene and CBD oil.
- Project Location: NWC West Shields Ave & Chateau Fresno
- Project Address: 8008 West Shields Ave., 2035 Chateau Fresno
- Section/Township/Range: 19 / 13S / 19E 8. Parcel Size: ± 38.33 ac
- Assessor's Parcel No. 512-120-196

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

<input type="checkbox"/> LAFCo (annexation or extension of services)	<input checked="" type="checkbox"/>	SJVUAPCD (Air Pollution Control District)
<input type="checkbox"/> CALTRANS	<input type="checkbox"/>	Reclamation Board
<input type="checkbox"/> Division of Aeronautics	<input type="checkbox"/>	Department of Energy
<input type="checkbox"/> Water Quality Control Board	<input type="checkbox"/>	Airport Land Use Commission
<input type="checkbox"/> Other _____		

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: AE-20

14. Existing General Plan Land Use Designation¹: Agriculture

ENVIRONMENTAL INFORMATION

15. Present land use: former Simone Fruit Company, Inc., plant
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

see existing site plan and proposed site plan submitted with application.

Describe the major vegetative cover: none at plant, some at office, adjacent orchard.

Any perennial or intermittent water courses? If so, show on map: None

Is property in a flood-prone area? Describe:

No

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Agriculture, orchards

South: Agriculture, single family rural residence, vineyards

East: Agriculture, orchard

West: Agriculture, vineyards

17. What land use(s) in the area may be impacted by your Project?: None anticipated

18. What land use(s) in the area may impact your project?: None anticipated

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes No

B. Daily traffic generation:

I. Residential - Number of Units 0
Lot Size 1 (Caretaker house)
Single Family 0
Apartments 0

II. Commercial - Number of Employees ± 50
Number of Salesmen TBD
Number of Delivery Trucks 30
Total Square Footage of Building 106,099 (Existing & new)

III. Describe and quantify other traffic generation activities: all traffic will be related to deliveries and shipping for plant operations.

20. Describe any source(s) of noise from your project that may affect the surrounding area: plant operations

21. Describe any source(s) of noise in the area that may affect your project: NONE

22. Describe the probable source(s) of air pollution from your project: plant operations

23. Proposed source of water:

private well

community system³--name: existing on-site

24. Anticipated volume of water to be used (gallons per day)²: 13,000
25. Proposed method of liquid waste disposal:
 septic system/individual
 community system³-name (existing on-site)
26. Estimated volume of liquid waste (gallons per day)²: 6500
27. Anticipated type(s) of liquid waste: Wash water from processing
28. Anticipated type(s) of hazardous wastes²: solvents used in extraction
(hexane, ethyl acetate, ethanol, acetone)
29. Anticipated volume of hazardous wastes²: TBD
30. Proposed method of hazardous waste disposal²: Per County and State regulations
31. Anticipated type(s) of solid waste: packing materials, office and residential
32. Anticipated amount of solid waste (tons or cubic yards per day): < 1 ton
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): ±80%
34. Proposed method of solid waste disposal: haul off for recycling by contract hauler
35. Fire protection district(s) serving this area: Fresno County Fire Protection District
36. Has a previous application been processed on this site? If so, list title and date: existing fruit processing plant built in 1965
37. Do you have any underground storage tanks (except septic tanks)? Yes No
38. If yes, are they currently in use? Yes No

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

Wm Robinson

SIGNATURE

09-20-20

DATE

¹Refer to Development Services Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2017: \$3,078.25 for an EIR; \$2,216.25 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

09-20-20

Date

RECEIVED
COUNTY OF FRESNO

OCT 01 2020

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

County of Fresno

Conditional Use Permit Operational Statement & Project Description

Chenguang Biotech Group Company., Ltd. Processing Plant

1. **Nature of the operation--what do you propose to do? Describe in detail.**

In an existing idle fruit facility along with the addition of new buildings, Chenguang Biotech proposes to establish a pellet processing and extraction plant utilizing raw agricultural materials including tomato pumice, grape seed, industrial hemp (cannabis) and other locally available natural materials to make lycopene, grape extract and CBG oil for domestic and international wholesale markets. Processing will use locally available feedstock from existing and future agricultural suppliers and operations.

The +/- 38.33 acre property (APN 512-120-21s) at 3025 N Chateau Fresno, NWC of W Shields, is the former site of Simone Fruit Company, Inc. in Fresno County and currently contains several existing buildings and structures constructed of brick, wood framing, concrete and steel.

The future buildout of the facility will occupy approximately 20 acres. The remainder of the site will remain in an irrigated agricultural use.

The existing buildings will be retrofitted for processing utilizing materials from agricultural operations. Some of the existing buildings may be used as-is and there will be some new buildings for support of the operations.

Operations will include receiving raw materials into a storage yard. Materials will be moved to the processing facility where they will go through a drying process to remove loose soil and receive a cleaning rinse with water. Materials will be shredded for extraction purposes and some pelletized which will be moved to the warehouse to await shipping.

2. **Operational time limits:**

Months (if seasonal): *July-September*

Days per week: *Seven*

Hours: *Around the clock in shifts*

total hours per day: *24*

Special activities: *None*

Both indoors and outdoors

Operations will be primarily seasonal as stated above with various materials being received from a wide variety of ag operations. Hours of operation are generally 24 hours a day for the processing season, seven days per week.

Recently received raw materials will be stock piled in the storage area. Cleaning, shredding, pelletizing, extraction and baling operations will be conducted inside of the existing buildings and new buildings. Processed materials will be stored in the warehouse prior to shipping.

3. **Number of customers or visitors:**

Average no. per day:

Maximum no. per day:

Hours (when they will be there):

Visitors or customers to the site will be during hours of operation and could be as high as approximately 20 to view operations but this type of visitation will be limited to a few times a year.

4. Number of employees:

Current: *Site is idle*

Future: *Approximately 50*

Hours they work: *24 hours in shifts*

Do any live on-site as a caretaker? *Yes*

Number of employees will be limited during the first several months after the proposed use of facility is approved while buildings are being rehabbed, equipment installed and new buildings constructed. It is anticipated during this period of approximately four to six months employees will be limited and construction personal will be on-site periodically daily.

The number of employees during periods of full operations is anticipated to be approximately 50 daily. This may increase somewhat in future years of operation.

5. Service and delivery vehicles:

Number: *30*

Type: *25 tons trucks*

Frequency: *Daily*

Delivery vehicles will vary in size for various Ag raw materials. The number of delivery vehicles on a daily basis during full operations is anticipated to be an average of 30 and could be additional in future years of operation depending on the availability of raw materials.

Service vehicles will be those typically required for repair and maintenance of the facility and equipment.

6. Access to the site:

Public Road: *Yes*

Surface: *Paved*

Access to the site will be as is currently on the south side of the property from W Shields Ave and from the east side of the property from N Chateau Fresno which are paved County roads.

7. Number of parking spaces for employees, customers, and service/delivery vehicles.

Type of surfacing on parking area.

There is some existing on-site paved parking which will be utilized and additional parking will be added as the site is expanded with new buildings. Proposed parking stalls include 17 standard, 2 accessible and 7 truck parking.

Service vehicles will temporarily park closest to the building they are visiting.

Delivery vehicles will stop at the receiving building and proceed to the storage area for unloading.

Shipping vehicles will arrive at and depart from the warehouse.

8. Are any goods to be sold on-site? If so, are these goods grown or produced on-site or at some other location? *No*

Reprocessed materials may be sold by orders placed through the office for shipping to domestic markets. Orders for international markets will be ordered through the office and shipped to export facilities.

9. What equipment is used?

Some stationary equipment for processing of specific raw materials will include that used for rinsing, drying, shredding, pelletizing and baling. Other stationary equipment will be used specifically for extraction processing. All equipment types and specifications will be included in construction documents submitted for plan check and permits.

10. What supplies or materials are used and how are they stored?

Some raw Ag materials will be stored in a designated storage area to await processing operations. Other raw materials will be unloaded in the storage and moved to a warehouse for protection during storage before reprocessing. Baled reprocessed materials will be stored in the warehouse before shipping.

11. Does the use cause an unsightly appearance?

Noise? *Very minor* Glare? *No* Dust? *Minor* Odor? *No*. If so, explain how this will be reduced or eliminated?

Existing facility is in the AE-20 Zone District and is of a visual character typical of agricultural type buildings and operations. To enhance the appearance of the facility and screen the storage, some area fencing may be modified and additional installed as required.

Noise produced from operations will be contained within the buildings and is not expected to be excessive for facility operations and may be less than the previous fruit processing operation.

No additional glare is anticipated from the existing buildings or operations. Raw Ag materials will be organic and therefore not anticipated to reflect much light. On site lighting will be as exists and that which is designed into the new site improvements.

Dust from operations will be minimal since processing will be contained within the buildings. Parking and storage areas are paved or will be paved so dust from traffic will be minimal.

Odor from operations is not anticipated to be unusual or excessive for Ag material processing so omissions will be minimal.

12. List any solid or liquid wastes to be produced.

Estimated volume of wastes: How and where is it stored? How is it hauled, and where is it disposed? How often?

Processed Ag materials are considered to be recyclable waste and will be almost completely reprocessed so very little solid waste will be produced. Liquid waste will be limited to rinse water which will be primarily filtered and recycled. The waste from rinsing of materials will be soil and will be deposited in the open Ag area on site for existing agricultural operations. Domestic liquid waste will go to the existing onsite septic system. Any waste material that is not suitable for reuse will be disposed in accordance with local and state regulations.

13. Estimated volume of water to be used (gallons per day). Source of water?

Daily water usage during months of rehabbing the buildings and grounds is anticipated to be less than 500 gallons per day, during full operations it is anticipated that approximately 13,000 gallons per day will be used.

The source of water will be as it exists from an on-site well.

14. **Describe any proposed advertising including size, appearance, and placement.**

Signage will be minimal, including rebranding of the existing buildings and site for identification. Specific signage will be included in the Site Plan Review documents.

15. **Will existing buildings be used or will new buildings be constructed?**

Describe type of construction materials, height, color, etc. Provide floor plan & elevations, if appropriate.

Most existing building will be reused. Retrofitting will alter the buildings primarily on the interior. New buildings are anticipated to be added to the facility as needed for the various operations. Floor Plans will be included in Site Plan Review documents.

16. **Explain which buildings or what portion of buildings will be used in the operation.**

Most all existing buildings will be reused. The interior of the existing fruit processing buildings will be retrofitted for storage operations and new buildings will be used for pelletizing and extraction processes. Existing office space will be reused for operations administration.

There are 14 existing buildings totaling 80,769 square feet and 10 new buildings and structures proposed totaling 85,330 square feet per the Site Plan sheet A-1.2.

17. **Will any outdoor lighting or an outdoor sound amplification system be used?** Describe and indicate when used.

Existing outdoor lighting will be utilized and new lighting added with new building installations. It is anticipated that there will be no outdoor sound amplification.

18. **Landscaping or fencing proposed? Describe type and location.**

Existing fencing will be used and expanded with the addition of new buildings. Any existing landscaping will remain. Any required new landscaping will be designed into the site for Site Plan Review documents.

19. **Any other information that will provide a clear understanding of the project or operation.**

The reuse of the existing buildings and structures of the former facility will put vacant buildings back into a productive use and eventually create up to +/- 50 new jobs. The retrofitting of the existing buildings, installation of new equipment for processing operations and the construction of new buildings will provide employment for the various construction related tasks. The reduction of residual agricultural materials will reduce the solid waste stream and the processing of feedstock materials will provide products useful to the public and institutions.

20. **Identify all Owners, Officers, and/or Board Members for each application submitted; this may be accomplished by submitting a cover letter in addition to the information provided on the signed application forms.**

Chenguang Biotech Group Co., Ltd. is an international publically traded corporation headquartered in Quizhou County, Hebei Province, China. Lu Qiguo is President.

Fresno County Recorder
Paul Dictos, CPA

2020-0007004

Recorded at the request of:
CHICAGO TITLE FRESNO - 7330

01/17/2020 03:44 02

Titles: 1 Pages: 3

Fees: \$17.00

CA SB2 Fees:\$0.00

Taxes: \$1980.00

Total: \$1997.00

RECORDING REQUESTED BY:

Chicago Title Company

Escrow No.: 45001909-450-SM

Title No.: 45001909

**WHEN RECORDED MAIL DOCUMENT AND
TAX STATEMENT TO:**

Chenguang Biotech (America) LLC

5716 Corsa Avenue Ste. 110

Westlake Village, CA 91362-7354

APN: 512-120-19

SPACE ABOVE THIS LINE FOR RECORDER'S USE

The undersigned declares exemption under the following:

Exempt from fee per GC 27388.1 (a) (2); recorded in connection
with a transfer subject to the imposition of documentary transfer
tax

Property Address: 3025 N. Chateau, Fresno, CA 93723

GRANT DEED

THE UNDERSIGNED GRANTOR(s) DECLARE(s)

- This transfer is exempt from the documentary transfer tax.
- The documentary transfer tax is \$1,980.00 and is computed on:
 - the full value of the interest or property conveyed.
 - the full value less the liens or encumbrances remaining thereon at the time of sale.

The property is located Unincorporated area of Fresno.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Simone Fruit Co., Inc., a California corporation

hereby GRANT(s) to

Chenguang Biotech (America) LLC, a California limited liability company

the following real property in the County of Fresno, State of CA:

SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF.

RECEIVED
COUNTY OF FRESNO

OCT 01 2020

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

Dated: December 16, 2019

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below..

Simone Fruit Co., Inc.,
a California corporation

By: Mauro Simone
Mauro Simone, President

By: Laureen Simone
Laureen Simone, Secretary

NOTARY ACKNOWLEDGEMENT(S) TO GRANT DEED

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Fresno) SS:

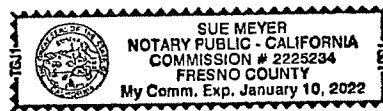
On Jan 7, 2020 before me, Sue Meyer
a Notary Public, personally appeared Mauro Simone, Laureen Simone

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature] (Seal)



**EXHIBIT A
LEGAL DESCRIPTION**

For APN/Parcel ID(s): 512-120-19

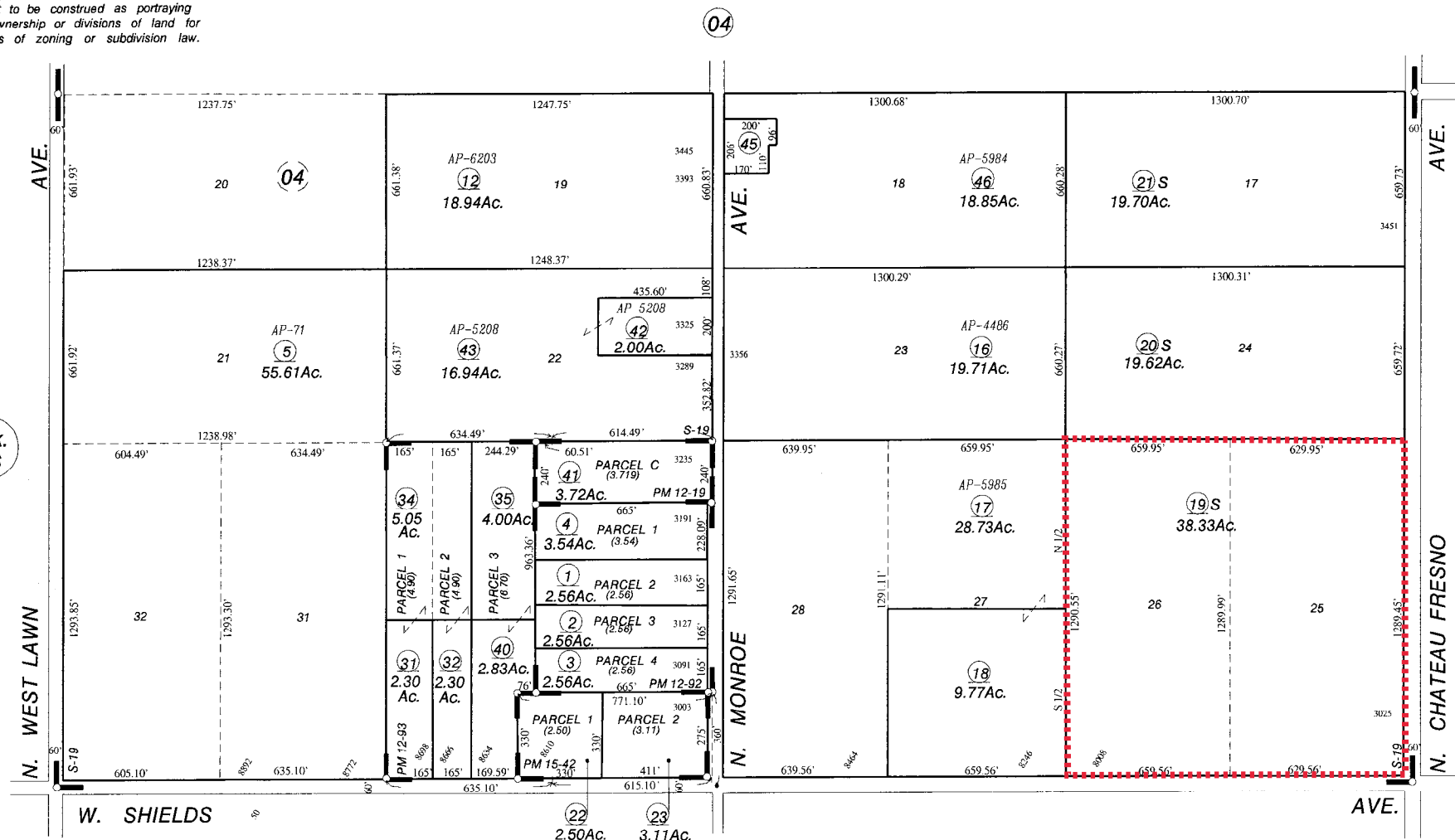
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 25 AND 26 IN THE SUBDIVISION OF SECTION 19, TOWNSHIP 13 SOUTH, RANGE 19 EAST, MOUNT DIABLO BASE AND MERIDIAN, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, BEING A PART OF THE MINOR AND THORNTON LANDS, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 9, PAGE 37 OF PLATS, FRESNO COUNTY RECORDS.

EXCEPTING THEREFROM AN UNDIVIDED ONE-HALF INTEREST IN AND TO ALL OIL, GAS AND MINERAL RIGHTS, AS RESERVED BY ARTHUR C. NELSON, ET UX, IN THE DEED RECORDED JANUARY 11, 1952 IN BOOK 3108, PAGE 329 OF OFFICIAL RECORDS, DOCUMENT NO. 1818.

--- NOTE ---

This map is for Assessment purposes only.
It is not to be construed as portraying
legal ownership or divisions of land for
purposes of zoning or subdivision law.



Bk.
16

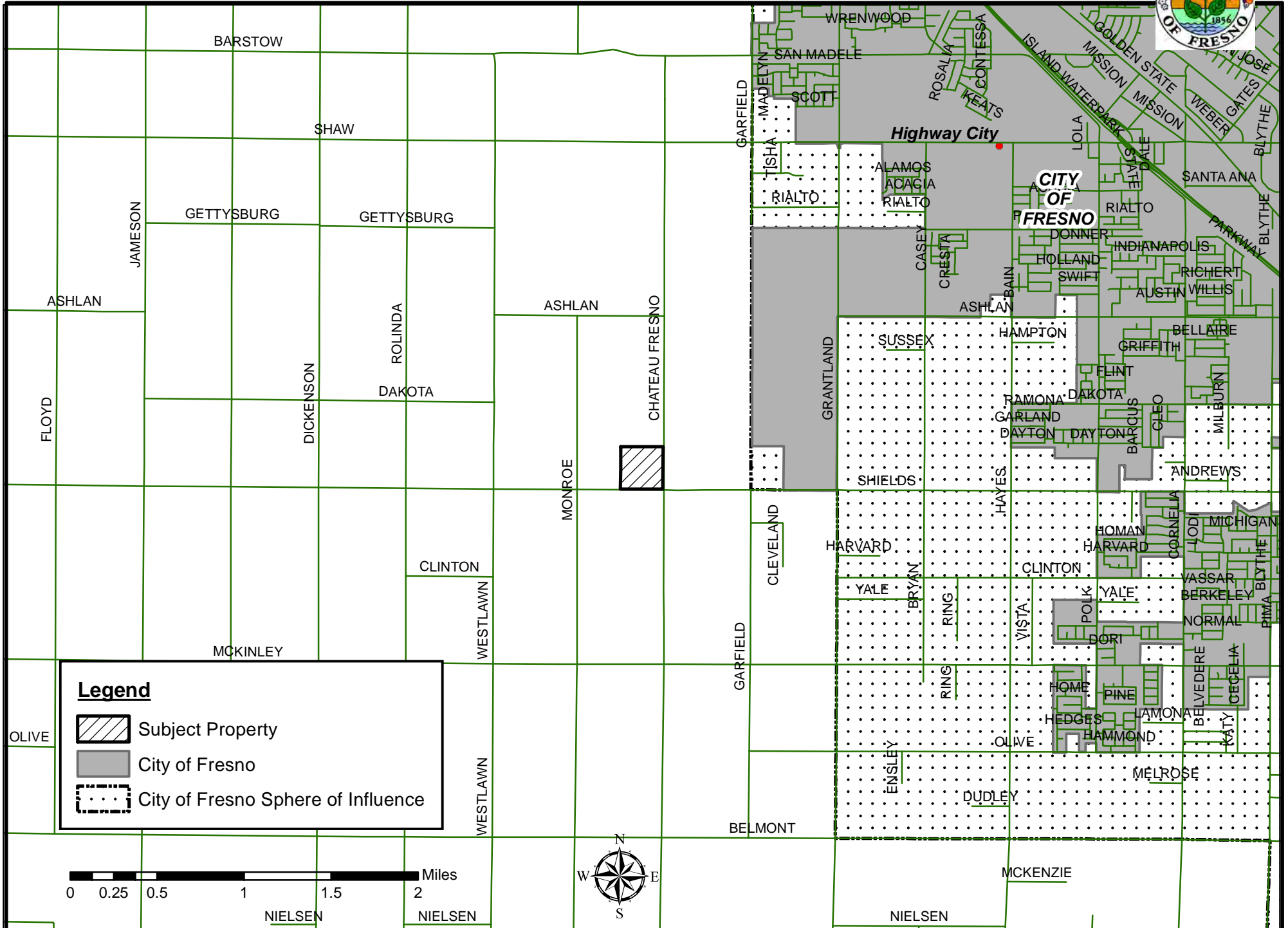
Bk.
312

Subdivision of Sec. 19, T.13S., R.19E. - Plat Bk. 9, Pg. 37
Parcel Map No. 1686 - Bk. 12, Pg. 19
Parcel Map No. 2126 - Bk. 12, Pg. 92
Parcel Map No. 2127 - Bk. 12, Pg. 93
Parcel Map No. 2398 - Bk. 15, Pg. 42

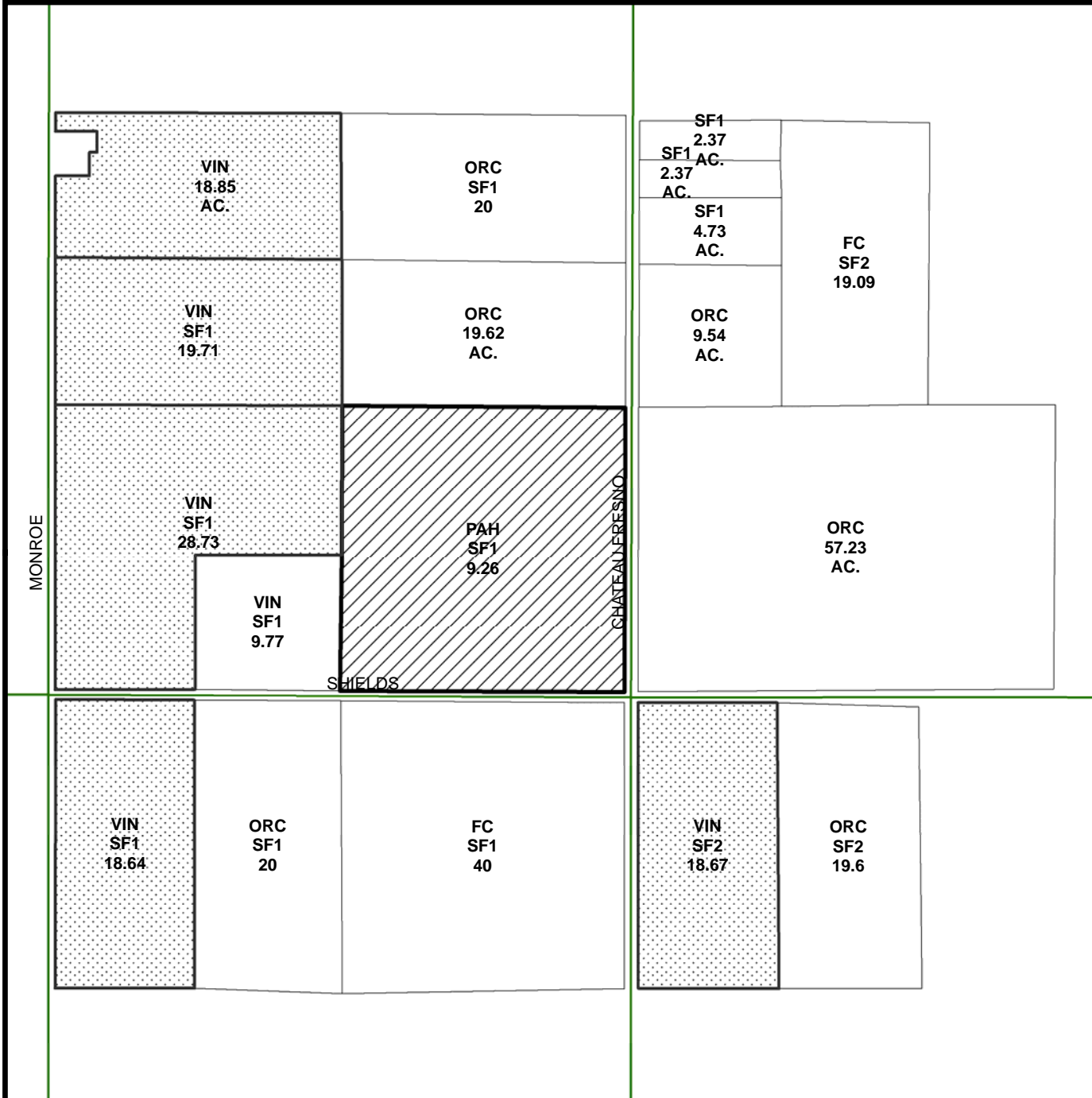
Assessor's Map Bk.512 - Pg. 12
County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

LOCATION MAP



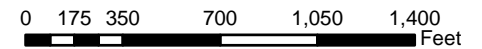
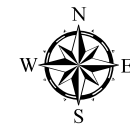
EXISTING LAND USE MAP



LEGEND	
FC	FIELD CROP
ORC	ORCHARD
PAH	PACKING HOUSE
SF#	SINGLE FAMILY RESIDENCE
VIN	VINEYARD
V	VACANT

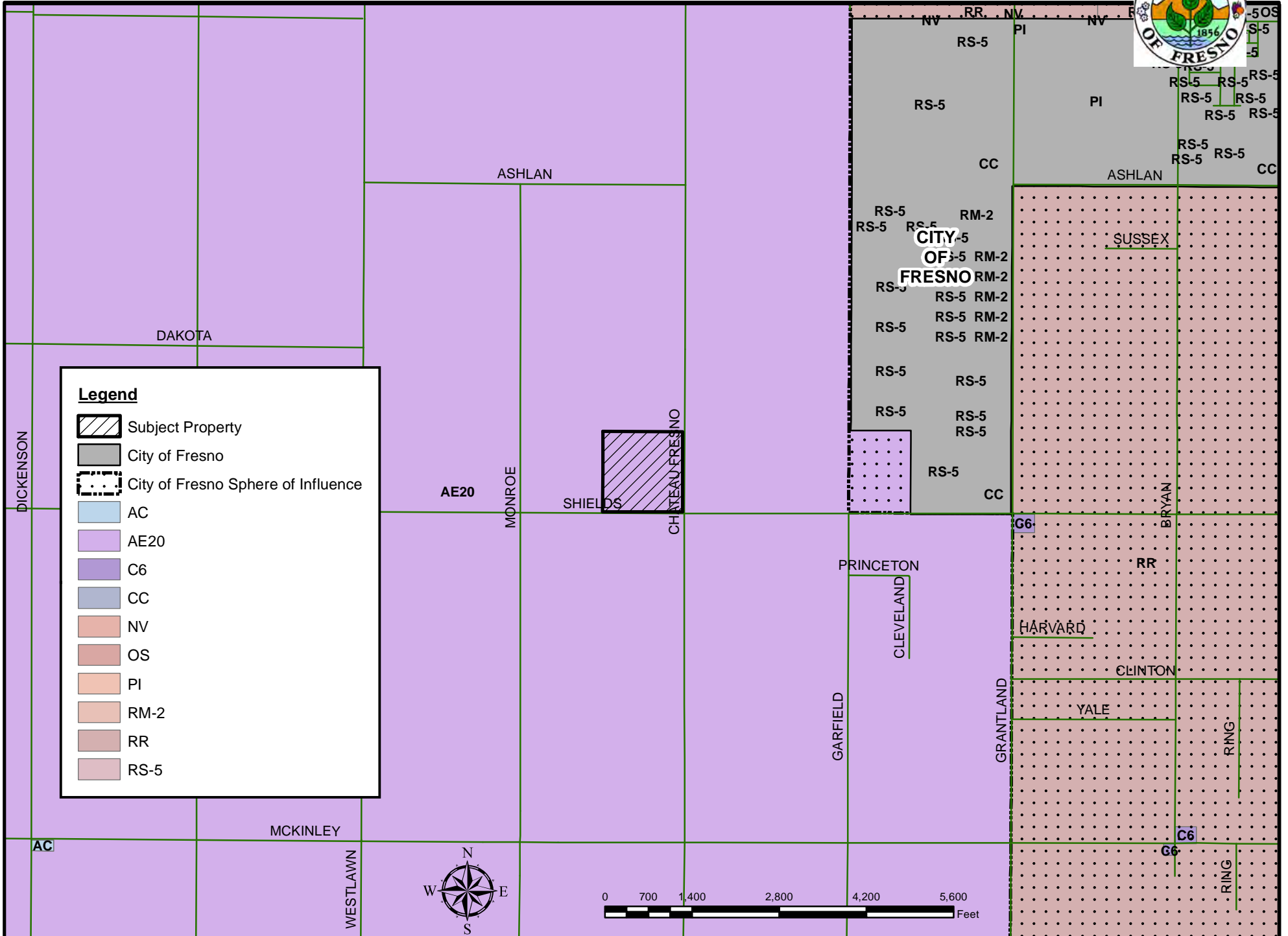
LEGEND:

-  Subject Property
-  Ag Contract Land

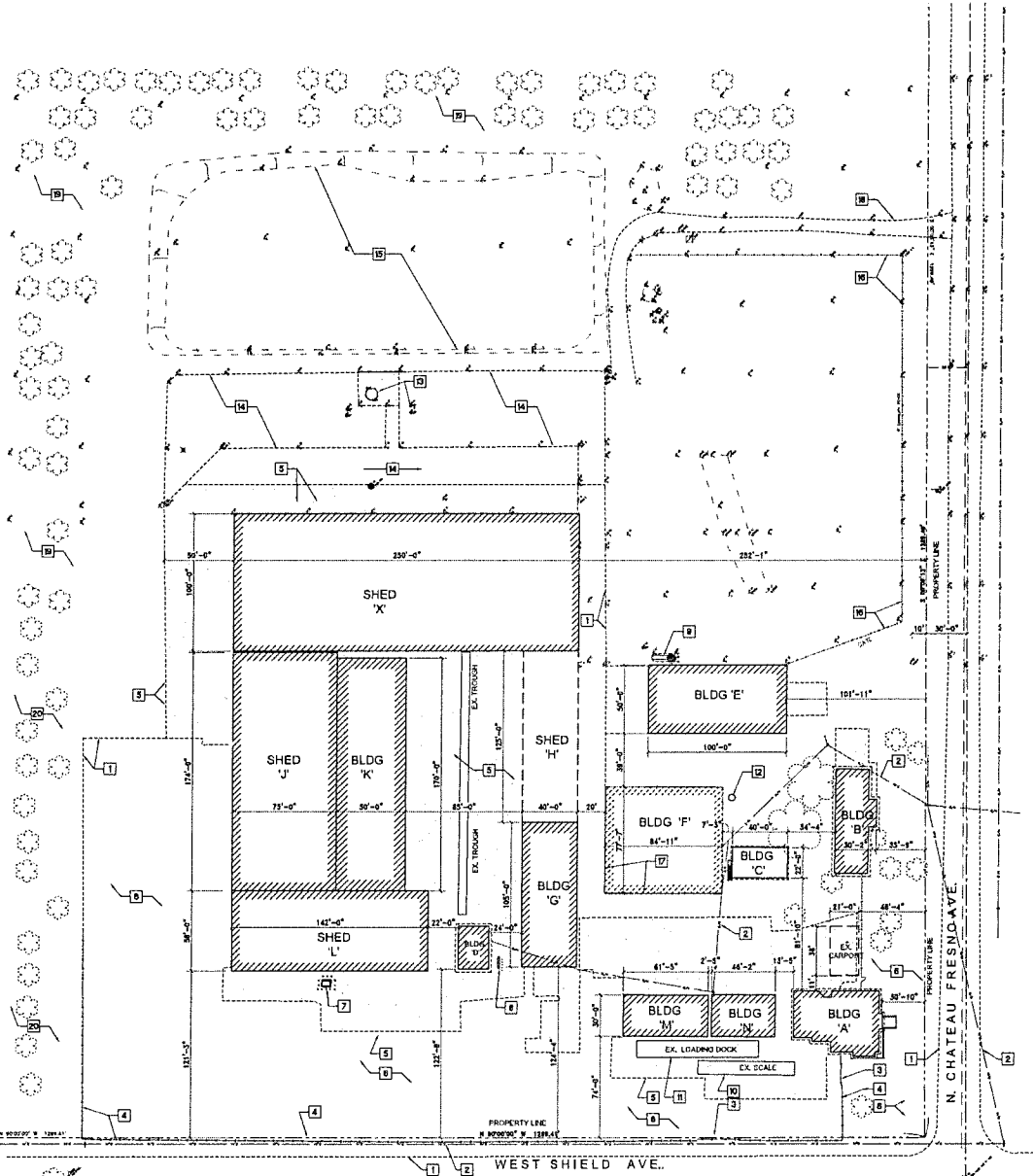


Department of Public Works and Planning
Development Services Division

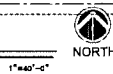
EXISTING ZONING MAP



This sheet and its contents and those on the property of SJA Design Group and no use shall be granted without express written consent.



EXISTING PARTIAL SITE PLAN



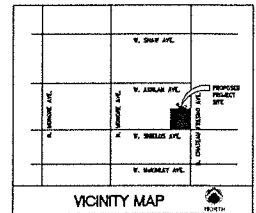
Project Information	
Applicant: CHENGLANG BIOTECH AMERICA, LLC N. CHATEAU AVE. FRESNO, CA.	
Address: 8008 W. SHIELDS AVE. FRESNO, CA. 93712	
A.P.N.: 210-120-192	
Site Area: AREA = 38.13 AC / 1,663,654 sq. ft. EXISTING ZONE: A220 - DUESIGNATE AG. EXISTING USE: OLD FARMING HORSE	
PROPOSED USE: CANNABIS CULTIVATION, EXTRACTION AND DISTRIBUTION AS WELL AS AGRICULTURE, CULTIVATION OF EXISTING ORCHARDS AND THE PROCESSING & DISTRIBUTION OF THOSE PRODUCTS	

SJA
Design Group

1915 Carolina Ave.
Clovis CA 93611
PH: 559.593.9892

Demo Site Keynotes	
No.	Description
1	EXISTING EDGE OF PAVEMENT
2	EXISTING OVERHEAD ELECTRICAL
3	EXISTING CHAIN LINK ROLLING GATE
4	EXISTING 7' HIGH CYCLONE WIRE FENCE REPAIR AS NEEDED
5	EXISTING CONCRETE PAVING TO BE PATCHED AND REPAIRED AS NEEDED
6	EXISTING ASPHALT PAVING TO BE PATCHED AND REPAIRED AS NEEDED
7	EXISTING PG&E TRANSFORMER ON CONC. PAD WITH BOLLARDS
8	EXISTING GAS METERS
9	EXISTING PROPANE TANK
10	EXISTING TRUCK SCALE
11	EXISTING LEADING DOOR
12	EXISTING WELL
13	EXISTING SUMP PUMP WITH PORTION OF PAVED CONCRETE & BOLLARDS TO REMAIN
14	EXISTING PORTION OF PAVED CONCRETE TO BE REMOVED
15	EXISTING CATCH BASIN TO BE REMOVED
16	EXISTING PORTION OF CYCLONE WIRE FENCE AND GATE TO BE REMOVED
17	EXISTING BUILDING TO BE DEMOLISHED
18	EXISTING DIRT ROAD TO BE REMOVED
19	EXISTING PORTION ORCHARDS SHOWING PORTION OF TREES TO BE REMOVED
20	EXISTING PORTION ORCHARD TO REMAIN

Ex. Building Legend			
No.	DESCRIPTION	BUILD AREA	OCCUP. TYPE
A	EXISTING 1 STORY OFFICE BUILDING	2,245sf	B
B	EXISTING 1 STORY RESIDENCE	1,933sf	R-1
C	EXISTING TWO STORY RESIDENCE BUILDING (GARAGE 1ST FLR)	660sf	R-1
D	EXISTING 1 STORY LAB & RESTROOMS	862sf	B
E	EXISTING ONE STORY PRE-FAB METAL BUILDING TO BE USED AS STORAGE	890sf	S-1
F	EXISTING ONE STORY PROCESSING & PACKING PLANT TO BE DEMOLISHED	4,513sf	F-1
G	EXISTING ONE STORY COLD STORAGE BUILDING TO BE USED AS PACKING	4,200sf	F-1
H	EXISTING PRE-FAB METAL SHED STORAGE	5,000sf	S-1
X	EXISTING PRE-FAB METAL SHED FRUIT STORAGE AREA	25,000sf	S-1
J	EXISTING PRE-FAB METAL SHED STORAGE AREA	13,000sf	S-1
K	EXISTING 2 STORY IDENTIFICATION BUILDING TO BE USED AS STORAGE	8,500sf	S-1
L	EXISTING PRE-FAB METAL SHED FRUIT TO BE USED AS STORAGE AREA	8,234sf	S-1
M	EXISTING SHELTER BUILDING TO BE USED AS STORAGE AREA	1,844sf	S-1
N	EXISTING COLD STORAGE BUILDING TO BE USED AS STORAGE	1,400sf	S-1



Chenguang Biotech American
8008 West Shields Ave
Fresno, CA 93722



Date: 09.11.2020
Project: # 20030

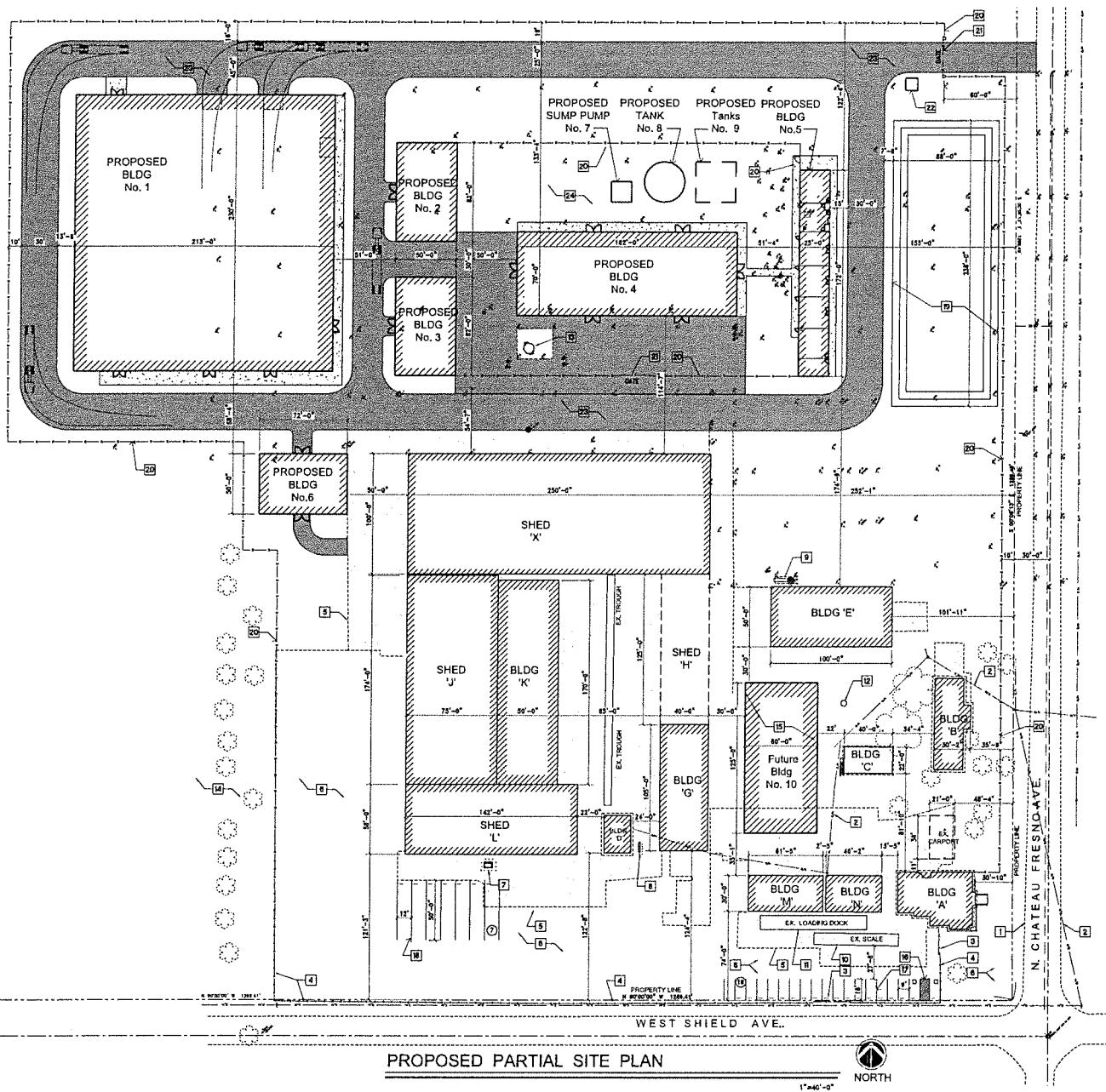
Existing Site Plan

Revisions
Δ x

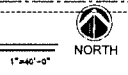
SHEET NO.

A1.1

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PROPOSED PARTIAL SITE PLAN



Ex. Building Legend		
No.	DESCRIPTION	BLDG AREA OCCUP. TYPE
A	EXISTING 1 STORY OFFICE BUILDING	2,840sf B
B	EXISTING 1 STORY RESIDENCE	1,339sf B-1
C	EXISTING TWO STORY RESIDENCE BUILDING (LOCAL CHURCH 1ST FLS)	880sf B-1
D	EXISTING 1 STORY LAB & RESTROOMS	883sf B
E	EXISTING ONE STORY PRE-FAB METAL BUILDING TO BE USED AS STORAGE	880sf S-1
F	EXISTING ONE STORY BLD DEMOLISHED	8,933sf F-1
Q	EXISTING ONE STORY COLD STORAGE BUILDING TO BE USED AS PACKING	4,200sf F-1
H	EXISTING PRE-FAB METAL SHED	3,000sf S-1
X	EXISTING PRE-FAB METAL SHED FROM STORAGE AREA	23,000sf S-1
J	EXISTING PRE-FAB METAL SHED STORAGE AREA	18,000sf S-1
K	EXISTING 2 STORY DECONTAMINATION BUILDING TO BE USED AS STORAGE	6,500sf S-1
L	EXISTING PRE-FAB METAL SHED FROM TO BE USED AS STORAGE AREA	8,234sf S-1
M	EXISTING SULFUR BUILDING TO BE USED AS STORAGE AREA	1,844sf S-1
N	EXISTING COLD STORAGE BUILDING TO BE USED AS STORAGE	1,400sf S-1

New Building Legend		
No.	DESCRIPTION	BLDG AREA OCCUP. TYPE
1	1 STORY DRYING PLANT AREA	48,890sf F-1
2	1 STORY PRODUCTS STORAGE	4,100sf S-1
3	1 STORY PELLET STORAGE	4,100sf S-1
4	1 STORY EXTRACTION PLANT AREA	13,740sf F-1
5	1 STORY EXTRACTION PLANT OFFICE WOOD USED 1A. BREAK ROOM 1B. RESTROOMS 1C. GENERATOR ROOM 1D. HIGH VOLTAGE ELECT. RM 1E. EQUIPMENT ROOM	4,300sf B
6	1 STORY HOLDER	3,900sf U
7	SUMP PUMP	
8	COOLING TOWER / FIRE TANK	
9	UNDERGROUND SOLVENT TANKS	
10	FUTURE STORAGE BUILDING	7,500sf S-1

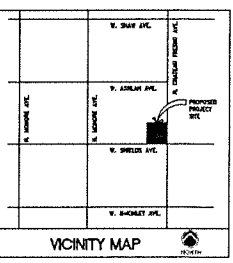
Project Information
 Applicant: CHENGUANG BIOTECH AMERICA, LLC
 N. CHATEAU AVE. FRESNO, CA.
 Address: 8008 W. SHIELDS AVE. FRESNO, CA. 93712
 A.P.N.: 510-120-185

Site Area:
 AREA = 38.143 AC / 1,659,884 sq. ft.
 EXISTING AGRIC. ZONE = EXCLUSIVE AG.
 EXISTING USE: OLD FARMHOUSE

PROPOSED USE: CANNABIS CULTIVATION, EXTRACTION AND DISTRIBUTION AS WELL AS AGRICULTURE CULTIVATION OF EXISTING ORCHARD AND THE PROCESSING & DISTRIBUTION OF THESE PRODUCTS

PARKING PROVIDED:
 STORAGE STALLS = 17 STALLS
 ACCESSIBLE STALLS = 2 STALLS
 TOTAL PARKING = 19 STALLS
 PLUS TRUCK PARKING = 7 STALLS

Proposed Site Keynotes	
No.	Description
1	EXISTING EDGE OF PAVEMENT
2	EXISTING OVERHEAD ELECTRICAL TO REMAIN
3	EXISTING CHAIN LINK ROLLING GATE TO REMAIN
4	EXISTING 7' HIGH CYCLOPE WIRE FENCE TO REMAIN
5	EXISTING CONCRETE PAVING TO BE PATCHED AND REPAIRED AS NEEDED
6	EXISTING ASPHALT PAVING TO BE PATCHED AND REPAIRED AS NEEDED
7	EXISTING POLE TRANSFORMER ON CONC. PAD WITH ROLLAGE TO REMAIN
8	EXISTING GAS METERS TO REMAIN
9	EXISTING PROPANE TANK TO REMAIN
10	EXISTING TRUCK SCALE TO REMAIN
11	EXISTING LEADING ROCK TO REMAIN
12	EXISTING WELL TO REMAIN
13	EXISTING SUMP PUMP WITH PORTION OF PAVED CONCRETE TO REMAIN
14	EXISTING PORTION OF TREES FROM ORCHARD TO BE REMAIN
15	NEW FUTURE STORAGE BLDG
16	NEW ACCESSIBLE PARKING STALL WITH STRIPING, SIGNAGE, LOADING ZONE
17	NEW EMPLOYEE PARKING STALLS WITH CONCRETE WHEEL STOPS
18	TRUCK PARKING STALLS
19	NEW CATCH BASIN
20	NEW PERIMETER FENCING 7 FEET HIGH
21	NEW VEHICULAR SLIDING GATE
22	NEW SECURITY GUARD BLDG
23	NEW ASPHALT PAVED ROAD
24	NEW LANDSCAPE AREA
25	NEW FENCE GATE



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 Clovis CA 93611
 Ph: 559.593.9692

Chenguang Biotech American
 8008 West Shields Ave
 Fresno, CA 93722



Date: 09.11.2020
 Drawn By: Susan Jones
 Project # 20038

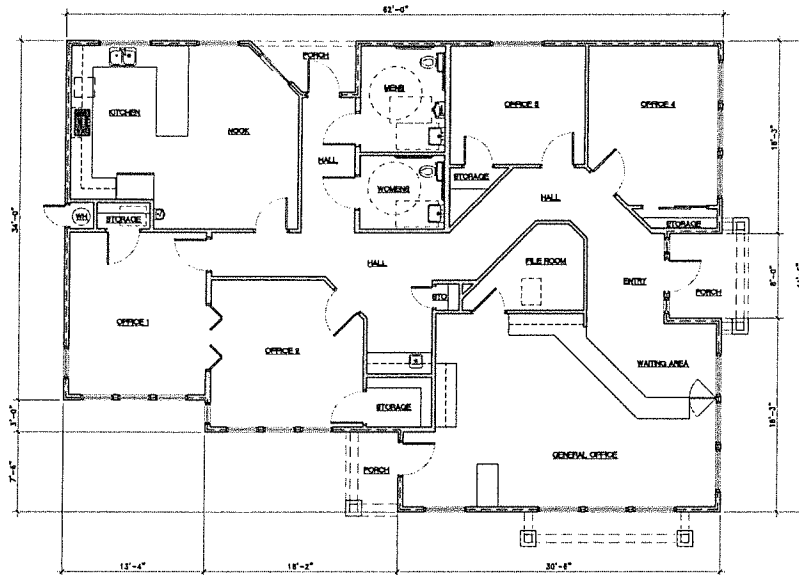
Proposed Site Plan

Revisions
 Δ x

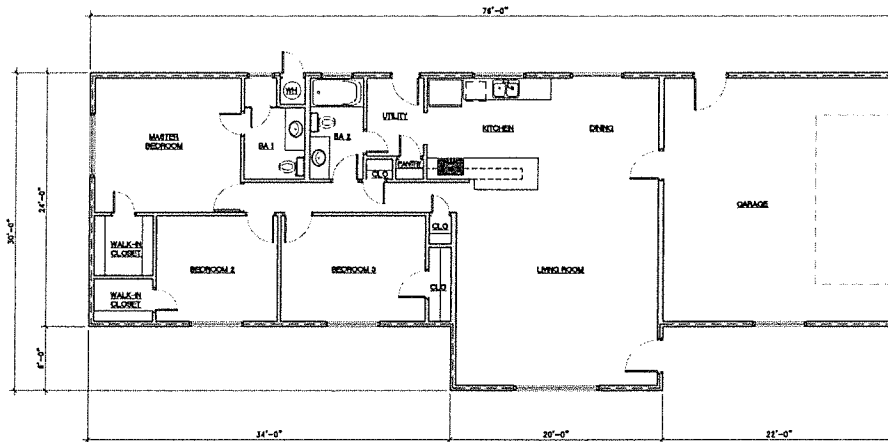
SHEET No.

A1.2

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FLOOR PLAN- EXISTING OFFICE (Building 'A')



FLOOR PLAN- EXISTING RESIDENCE (Building 'B')



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8008 West Shields Ave
Fresno, CA 93722

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Drawn By: Susan Jones
Project # 20028

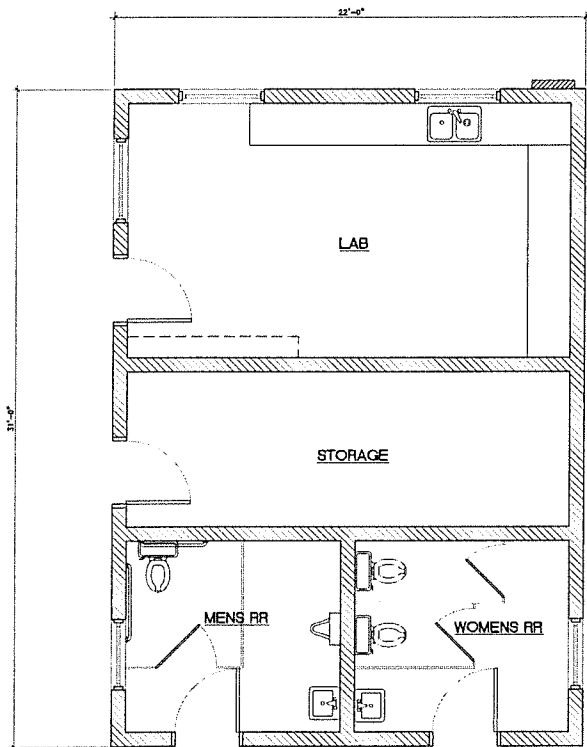
Ex. Office &
Ex. Residence

Revisions
Δ x

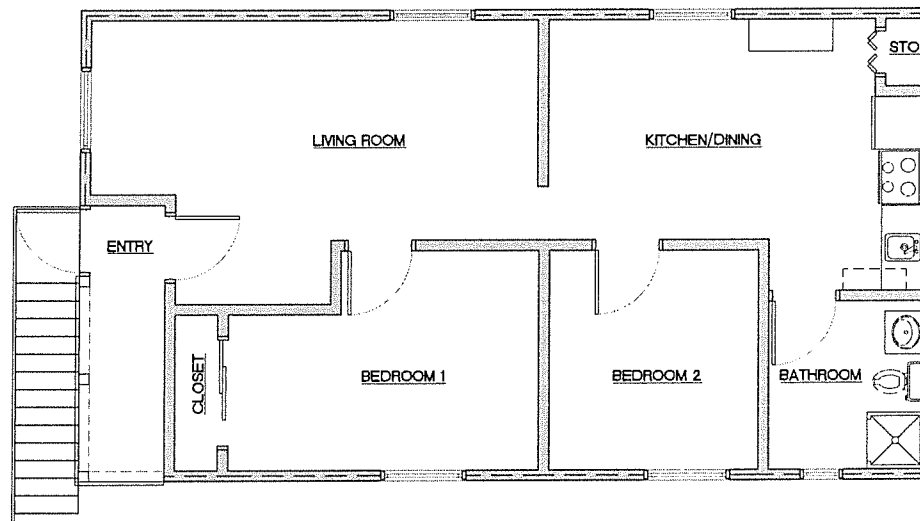
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A2.0

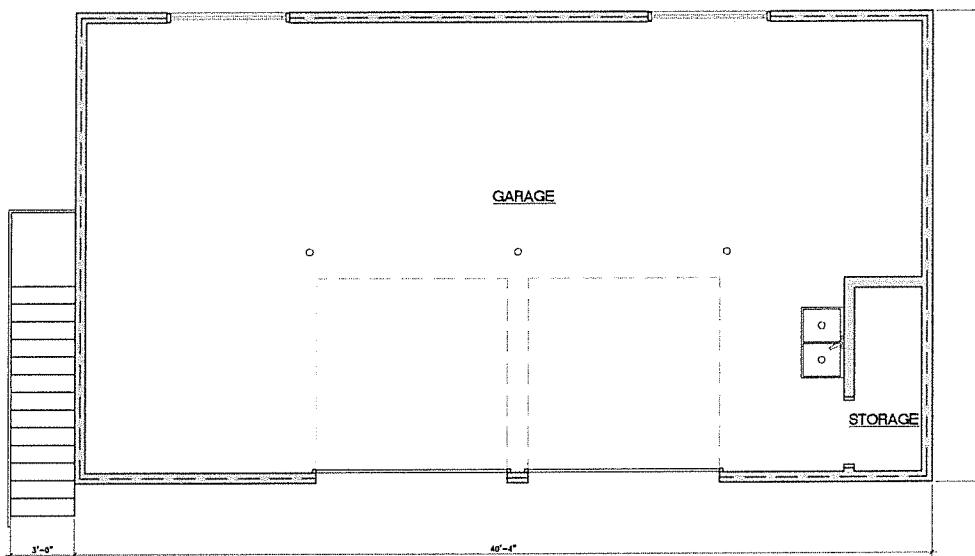
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EXISTING RR & Lab (Building 'D')



EXISTING RESIDENCE 2- 2ND FLOOR (Building 'C')



EXISTING RESIDENCE 2- 1ST FLOOR (Building 'C')



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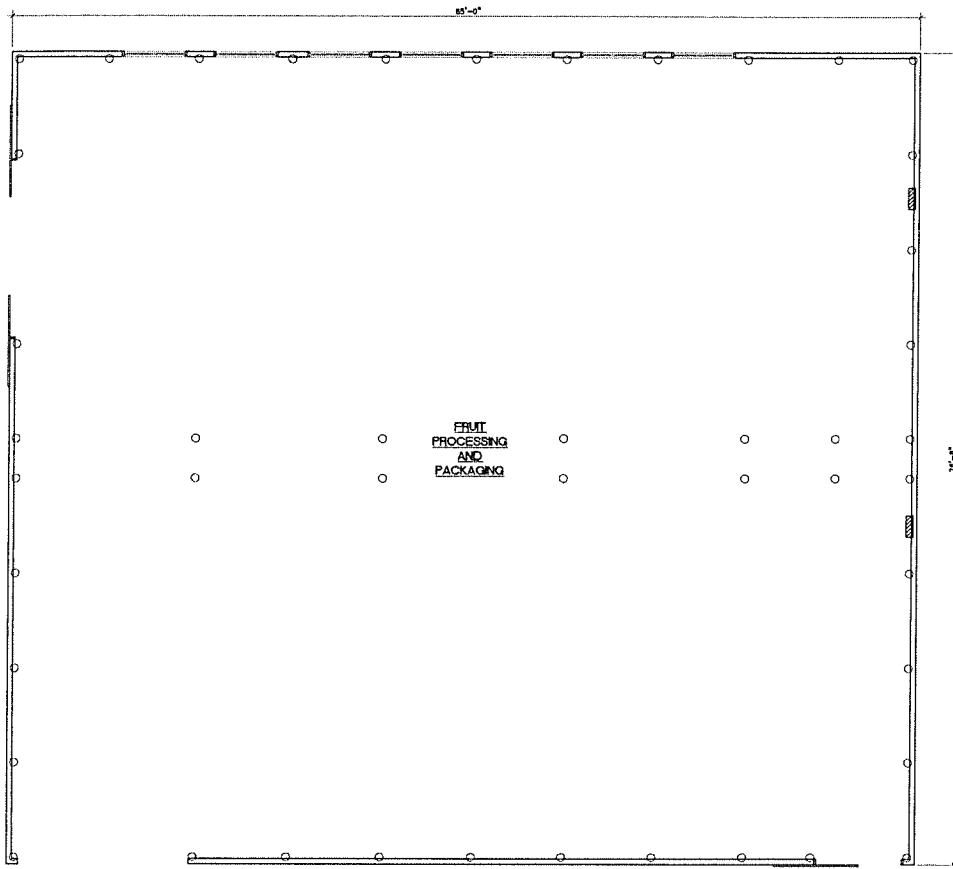
Floor Plan-
Ex. RR / Lab &
Residence 2

Revisions
Δ x

SHEET No.

A2.1

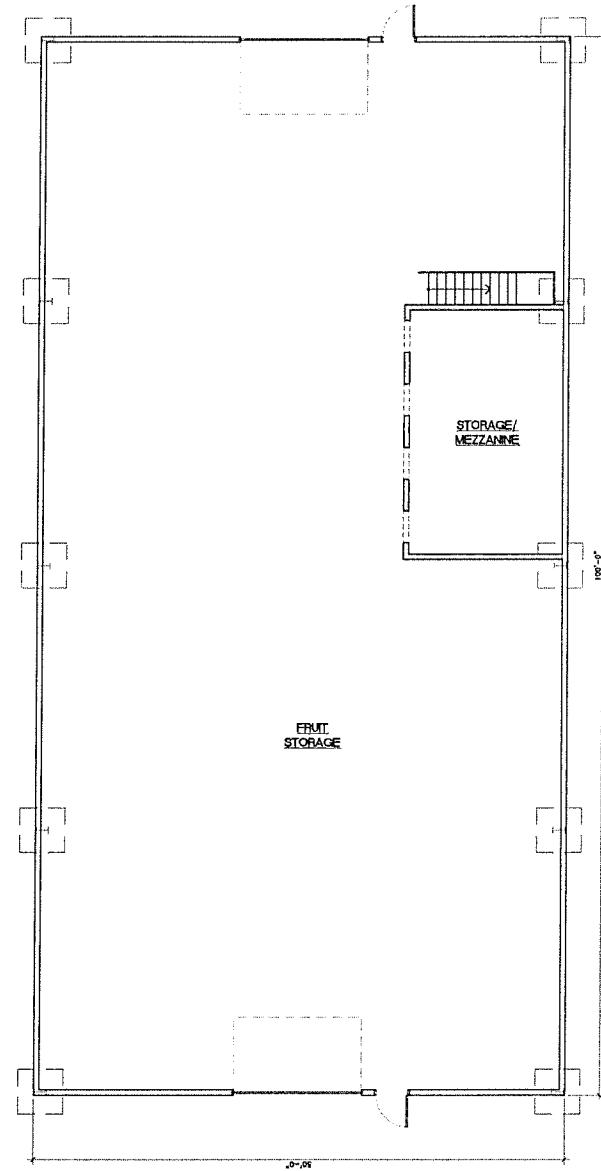
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FLOOR PLAN- EXISTING PROCESSING AND PACKAGING PLANT (Building 'F')



3/16"=1'-0"



FLOOR PLAN- EXISTING FRUIT STORAGE (Building 'E')



3/16"=1'-0"

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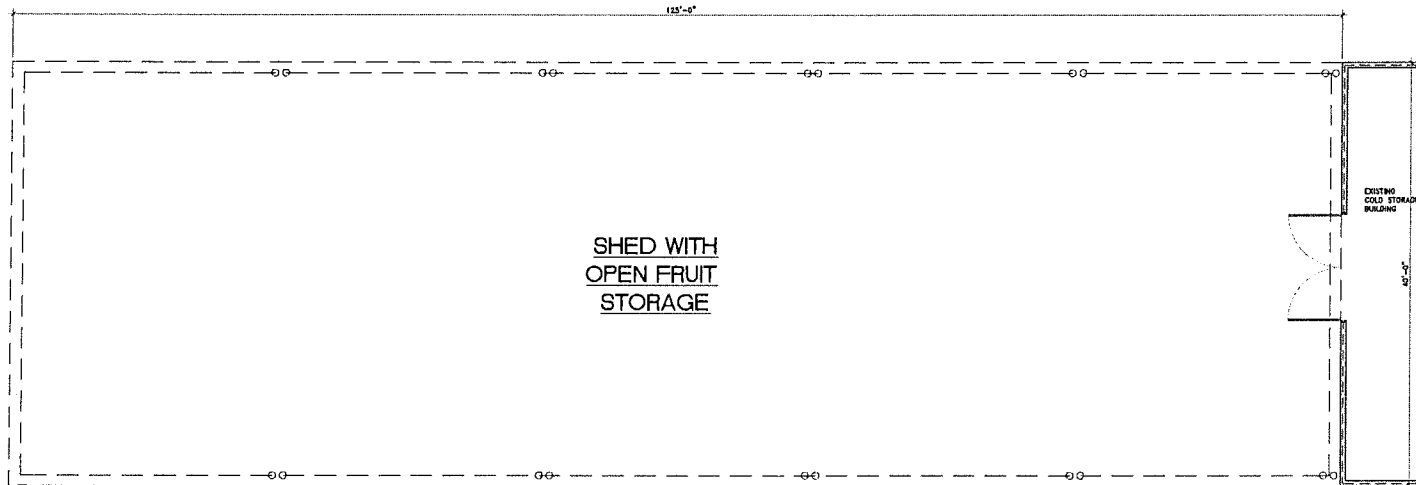
Ex. Fruit Storage & Processing Plant

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Δ x

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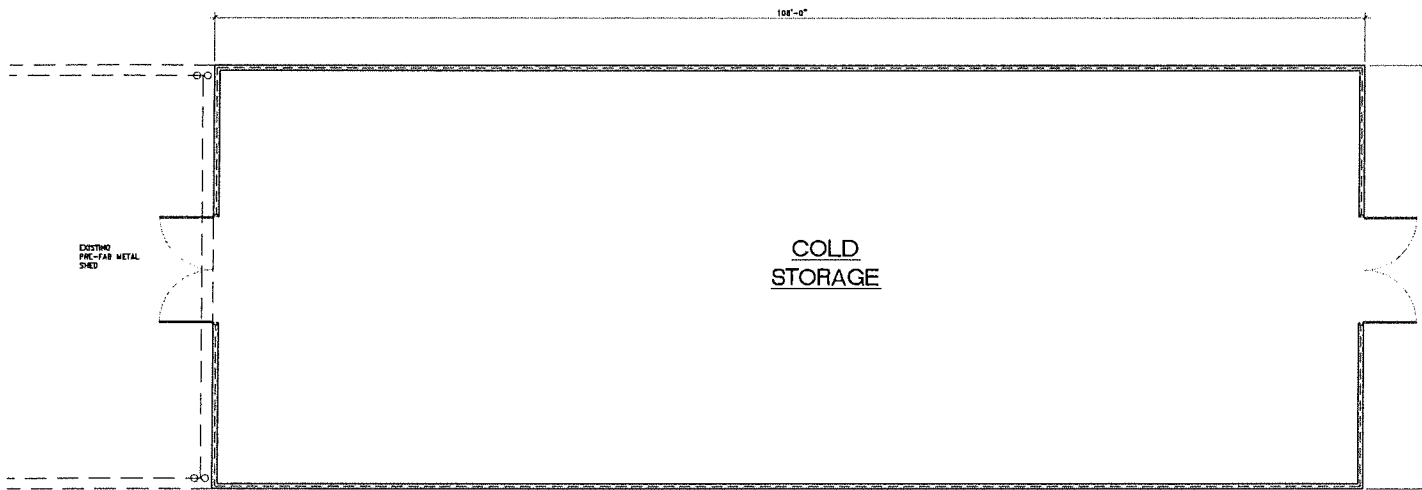


FLOOR PLAN- EXISTING STORAGE SHED (Shed 'H')



NORTH

3/16"=1'-0"



FLOOR PLAN- EXISTING COLD STORAGE (Building 'G')



NORTH

3/16"=1'-0"

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Ex
Storage Shed &
Cold Storage

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A2.3

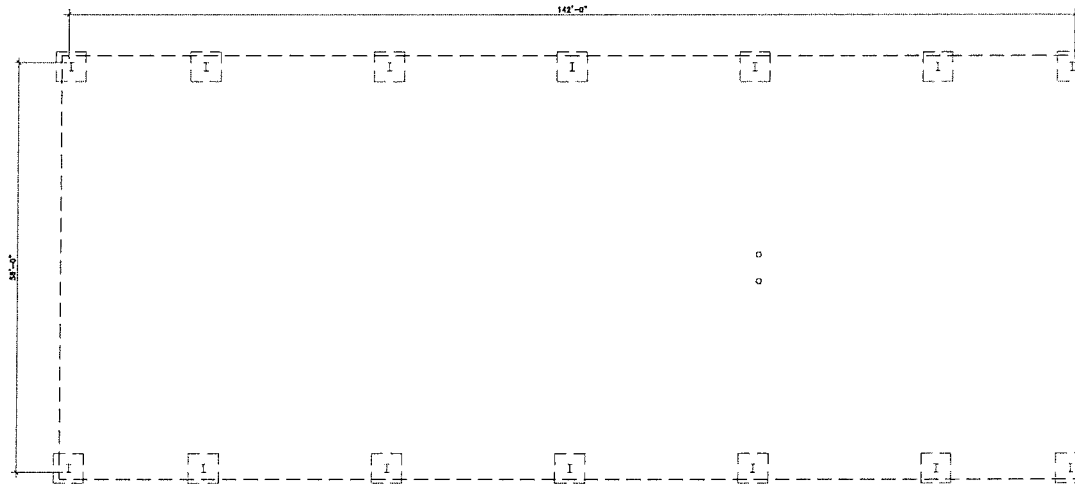
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FLOOR PLAN- EXISTING OPEN SHED FRUIT STORAGE AREA (Shed 'X')



1/8"=1'-0"



FLOOR PLAN- EXISTING OPEN SHED FRUIT PROCESSING AREA (Shed 'L')



1/8"=1'-0"

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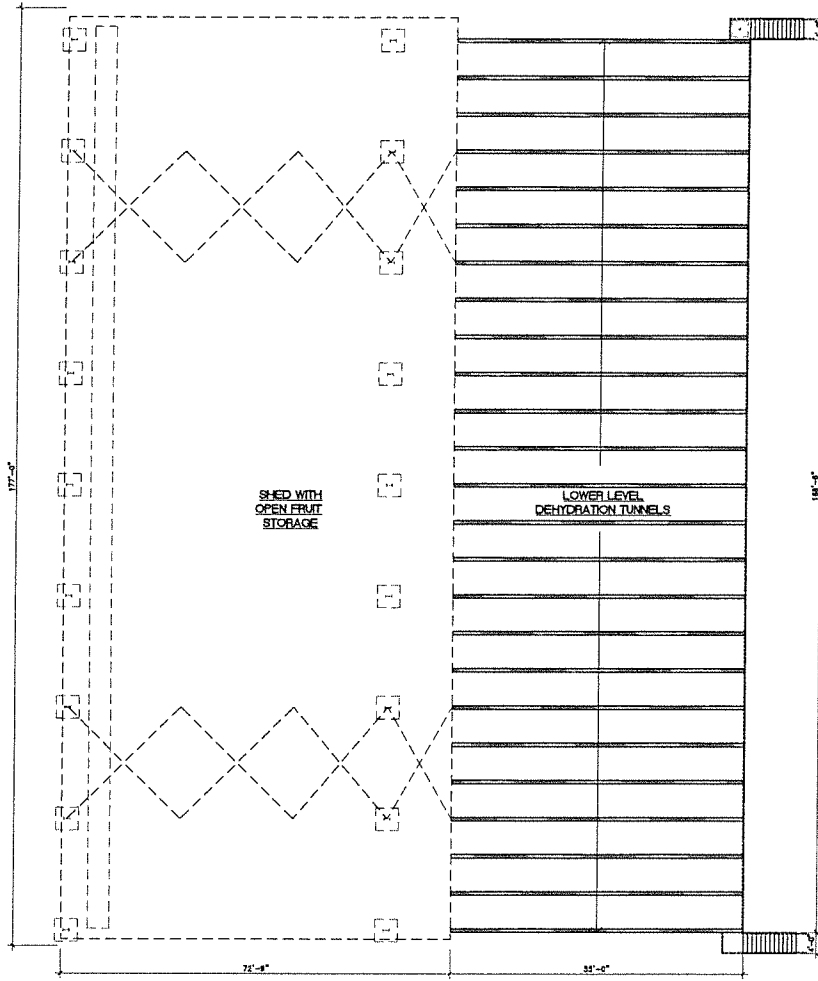
**Floor Plan-
Ex. Fruit Storage
& Processing
Plant**

Revisions
Δ x

SHEET No.

A2.4

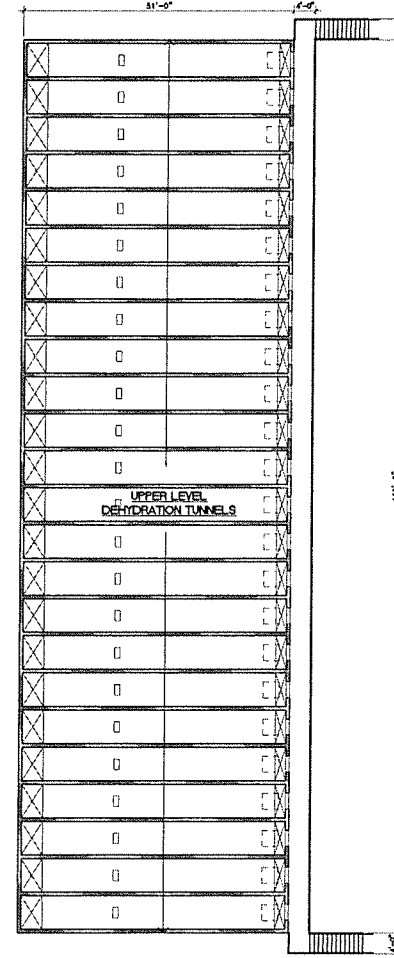
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FLOOR PLAN- EX. DEHYFRATION BLDG LOWER LEVEL (Shed 'J' & Bldg 'K')



1/12"=1'-0"



EX. DEHYFRATION BLDG UPPER LEVEL (Building 'K')



1/12"=1'-0"

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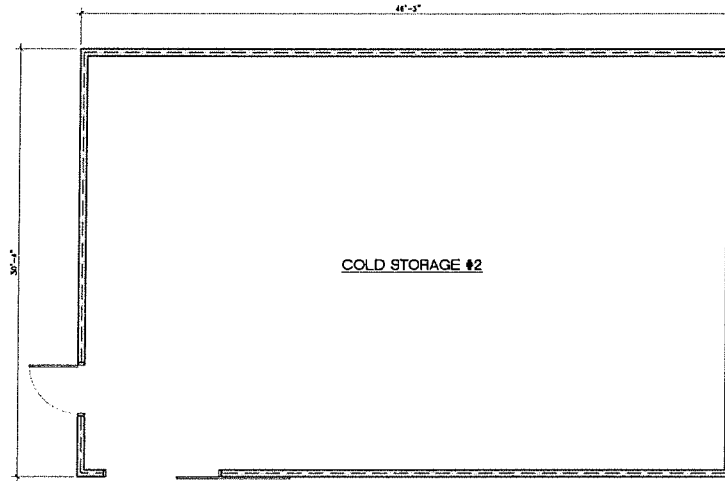
Floor Plan-
Dehydration Bldg

Revisions
Δ x

SHEET No.

A2.5

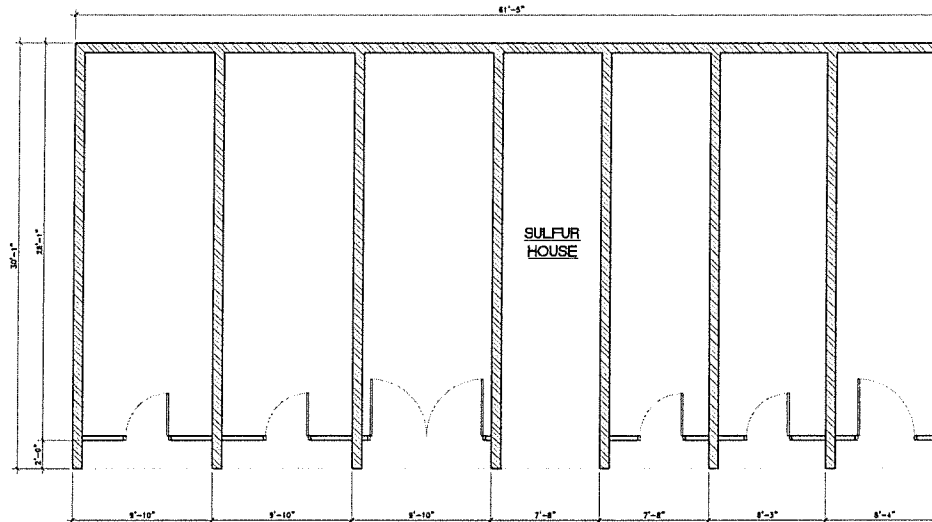
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FLOOR PLAN- EXISTING COLD STORAGE 2 (Building 'N')



NORTH
1/4"=1'-0"



FLOOR PLAN- EXISTING SULFUR HOUSE (Building 'M')



NORTH
1/4"=1'-0"

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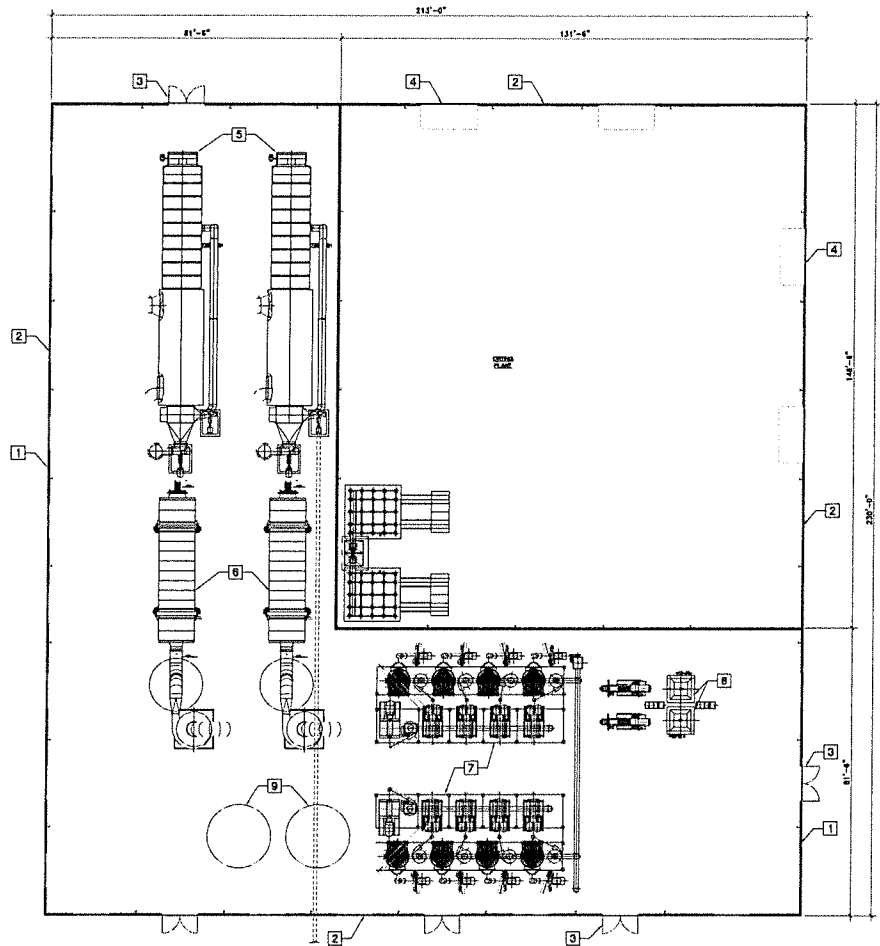
Ex. Cold Storage
2 & Ex. Sulfur
House

Revisions
Δ x

SHEET No.

A2.6

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Keynotes	
No.	Description
1	PRE MANUFACTURED METAL BUILDING
2	PEMB WINDOWS
3	HOLLOW METAL DOOR
4	16'W x 16'H ROLL UP DOOR
5	HOT AIR GENERATOR
6	DRYING MACHINE
7	SCREENING MACHINE
8	PELLETIZER
9	SEED DRYING MACHINE

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Date: 09.11.2020
Drawn By: Susan Jones
Project # 20038

Building No. 1
Floor Plan

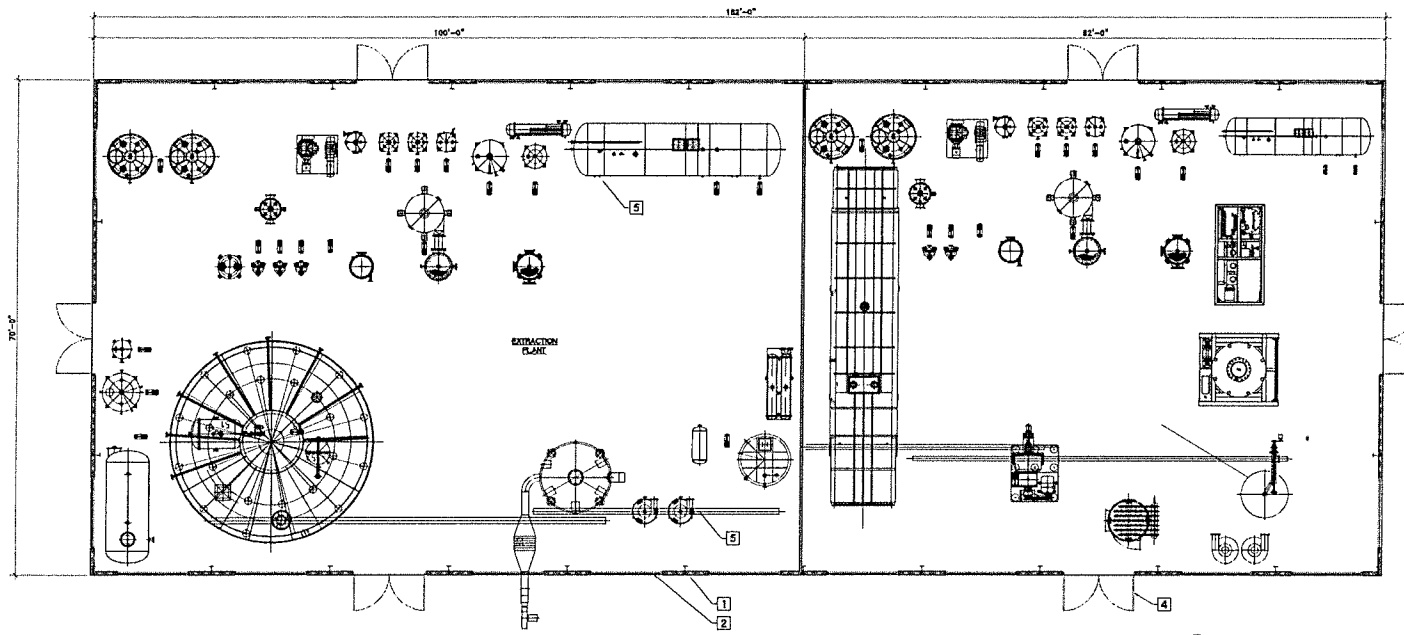
Revisions
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SHEET No.
A2.7

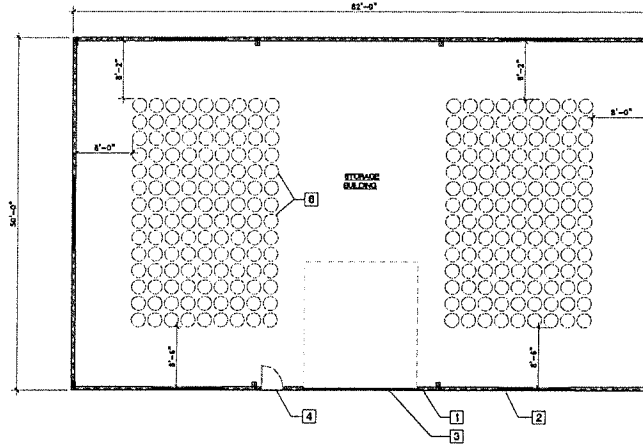
FLOOR PLAN- BUILDING No. 1



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FLOOR PLAN- BUILDING NO. 4



FLOOR PLAN- BUILDING NO. 2 - BLDG 3 SIM.



Keynotes	
No.	Description
1	PPE MANUFACTURED METAL BUILDING
2	PEW WINDOWS
3	18'W x 18'H ROLL UP DOOR
4	HOLLOW METAL DOOR
5	EXTRACTION EQUIPMENT
6	55 GALLON DRUMS (200L) FINISH PRODUCTS STORED ON GROUND



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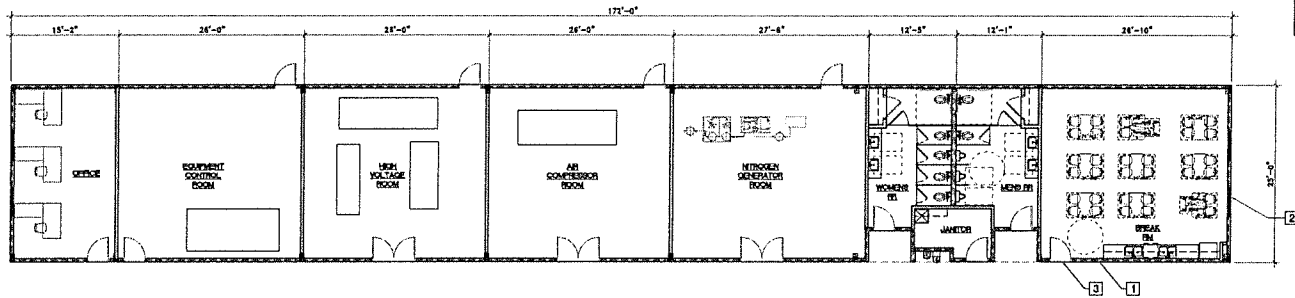
Building
No. 2&3
Floor Plan

Revisions
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SHEET No.

A2.8

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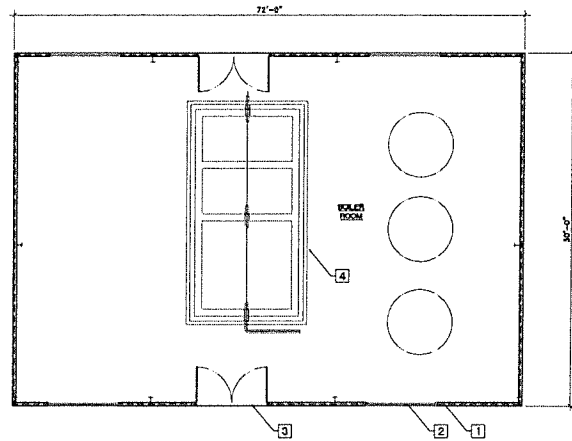


FLOOR PLAN- BUILDING NO. 5



Keynotes	
No.	Description
1	PRE MANUFACTURED METAL BUILDING
2	PMMS WINDOWS
3	HOLLOW METAL DOOR
4	BOILER ROOM EQUIPMENT

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FLOOR PLAN- BUILDING NO. 6



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Date: 08.11.2020
Drawn By: Susan Jones
Project # 20038
Building No. 5 & 6
Floor Plan

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SHEET No.
A2.9

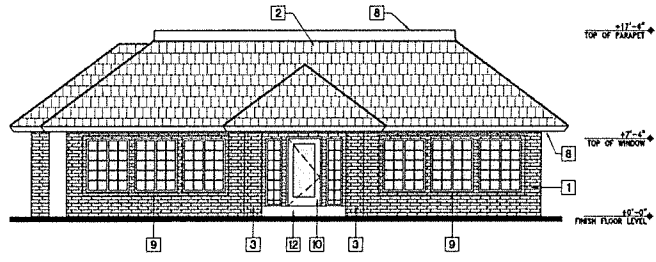
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Keynotes	
No.	Description
1	EXISTING BRICK VENEER EXTERIOR WALL
2	EXISTING FLAT ROOF TILE
3	EXISTING BUILDING COLUMN
4	EXISTING DECORATIVE LIGHT FIXTURE
5	EXISTING SERVICE PANEL
6	EXISTING GAS METER
7	EXISTING HOLLOW METAL DOOR
8	EXISTING FASCIA BOARD
9	EXISTING WINDOWS
10	EXISTING FULL LIGHT DOOR
11	EXISTING CONCRETE STEPS
12	EXISTING CONCRETE RAMP

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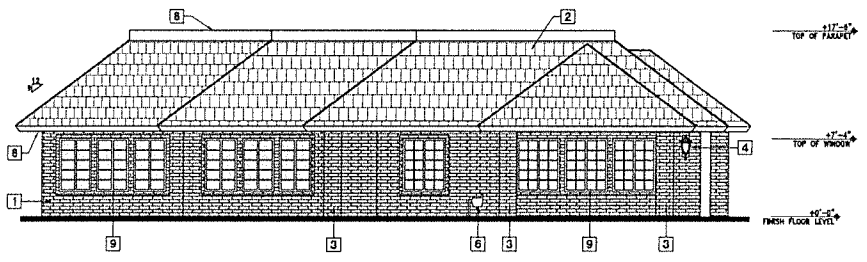
1515 Carolina Ave.
Clovis CA 93211

PH: 559. 593.9692



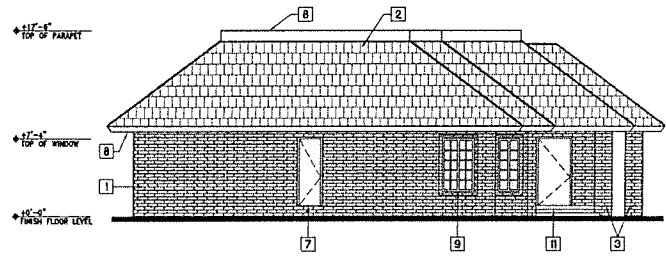
East Elevation - office bldg 'A'

3/16"=1'-0"



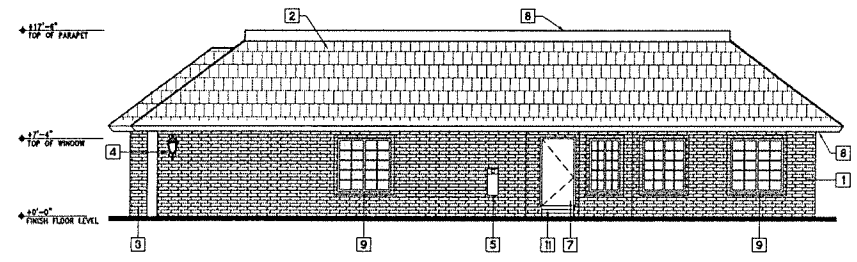
South Elevation - Office Bldg 'A'

3/16"=1'-0"



West Elevation - office bldg 'A'

3/16"=1'-0"



North Elevation - Office Bldg 'A'

3/16"=1'-0"

Chenguang Biotech American

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Date: 06.02.2020
Drawn By: Susan Jones
Project # 20038
Exterior Elev
Office Bldg 'A'

Revisions
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SHEET No.
A3.1

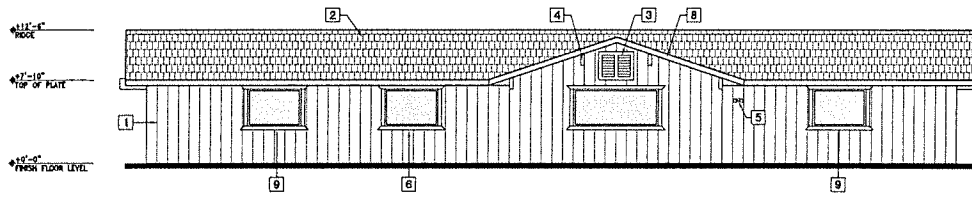
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Keynotes	
No.	Description
1	EXISTING PLYWOOD SIDING
2	EXISTING FLAT ROOF TILE
3	EXISTING GABLE END VENTS
4	EXISTING 4X12 OUTRIGGER
5	EXISTING FLOOD LIGHT
6	EXISTING WOOD TRIM
7	EXISTING EXTERIOR DOOR
8	EXISTING FASCIA BOARD
9	EXISTING WINDOWS
10	EXISTING GARAGE DOOR
11	EXISTING SERVICE PANEL
12	EXISTING GAS METER
13	EXISTING AC UNIT

SJA
Design Group

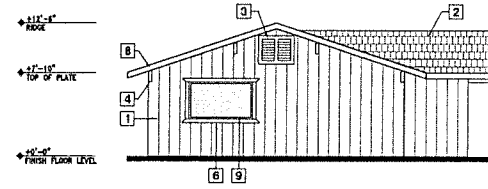
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PH: 559. 593.9692



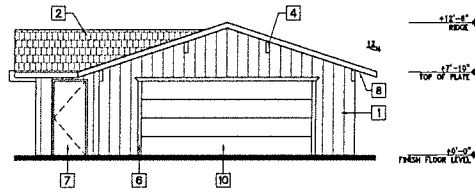
East Elevation - Residence Bldg 'B'

3/16"=1'-0"



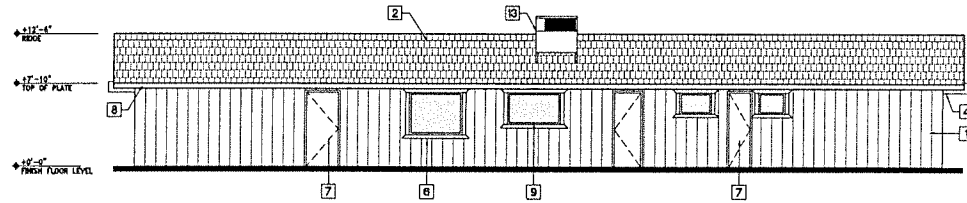
South Elevation Residence Bldg 'B'

3/16"=1'-0"



North Elevation Residence Bldg 'B'

3/16"=1'-0"



West Elevation Residence Bldg 'B'

3/16"=1'-0"

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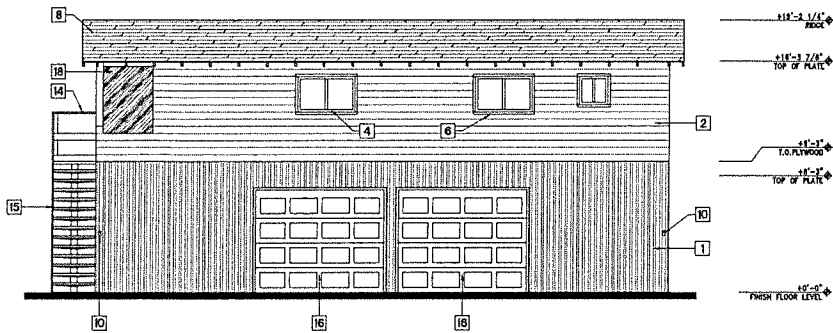
Date: 06.02.2020
Drawn By: Susan Jones
Project # 20038
Exterior Elev
Residence
Bldg 'B'

Revisions
Δ X

SHEET No.

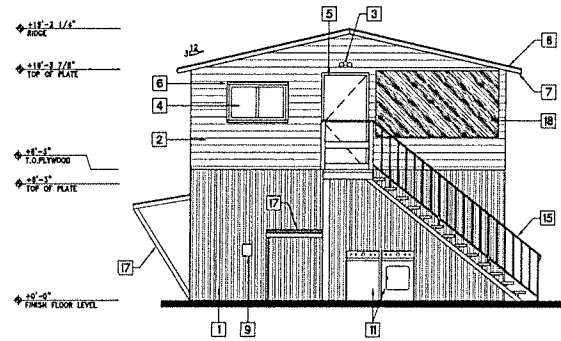
A3.2

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South Elevation Residence Bldg 'C'

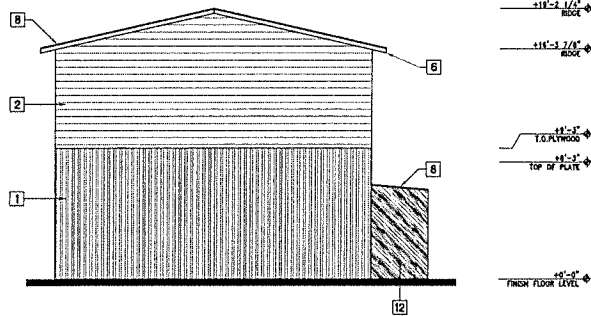
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West Elevation Residence Bldg 'C'

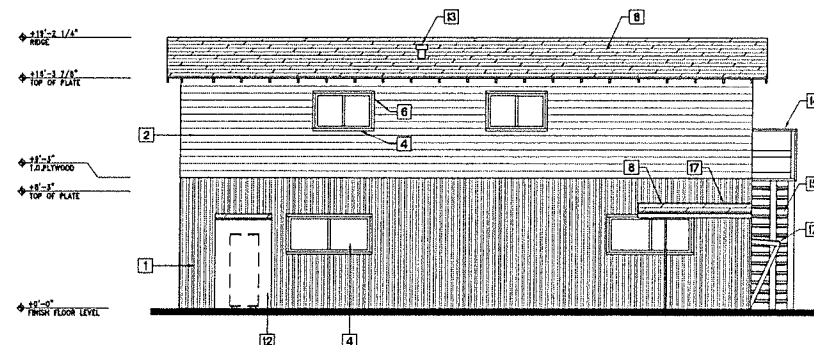
1/4"=1'-0"

Keynotes	
No.	Description
1	EXISTING METAL SIDING
2	EXISTING WOOD PANEL SIDING
3	EXISTING EXTERIOR FLOOD LIGHTS
4	EXISTING WINDOWS
5	EXISTING EXTERIOR DOORS
6	EXISTING WOOD TRIM
7	EXISTING WOOD FASCIA
8	EXISTING SHINGLE ROOF
9	EXISTING ELECTRICAL PANEL
10	EXISTING HOSE BIB
11	EXISTING WASHER AND DRYER
12	EXISTING LEAN-TO SHED FOR WATER HEATER
13	EXISTING T-TOP ROOF VENT
14	EXISTING GUARDRAIL
15	EXISTING STAIRS AND HANDRAIL
16	EXISTING GARAGE DOORS
17	EXISTING LEAN-TO CANOPY
18	EXISTING ENTRY OPENINGS COVERED WITH PLYWOOD



East Elevation Residence Bldg 'C'

1/4"=1'-0"



North Elevation Residence Bldg 'C'

1/4"=1'-0"

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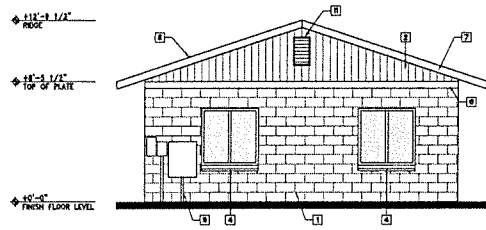
Chenguang Biotech American
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Date: 06.02.2020
Drawn By: Susan Jones
Project # 20038
Exterior Elev
Residence 2
Bldg 'C'

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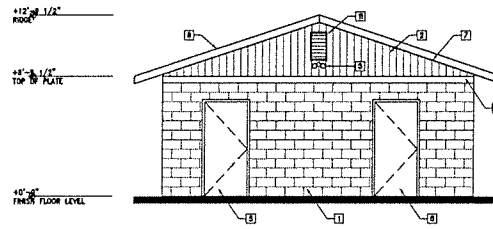
SHEET No.
A3.3

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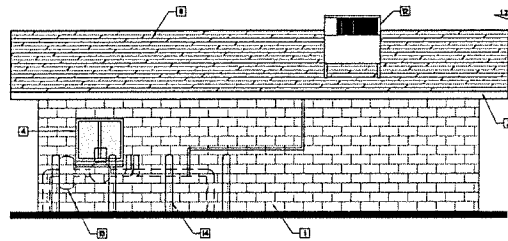
North Elevation Lab & RR Bldg 'D'

1/4"=1'-0"



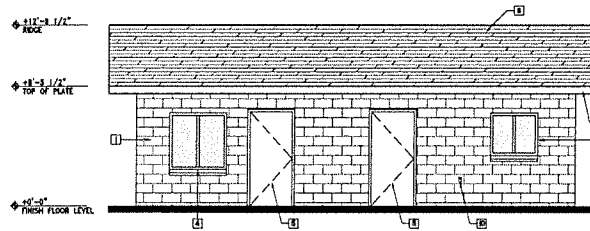
South Elevation Lab & RR Bldg 'D'

1/4"=1'-0"



East Elevation Lab & RR Bldg 'D'

1/4"=1'-0"



West Elevation Lab & RR Bldg 'D'

1/4"=1'-0"

Keynotes	
No.	Description
1	EXISTING CMU BLOCK EXTERIOR WALL
2	EXISTING WOOD PANEL SIDING
3	EXISTING EXTERIOR FLOOD LIGHTS
4	EXISTING WINDOWS
5	EXISTING EXTERIOR DOORS
6	EXISTING WOOD TRIM
7	EXISTING WOOD FASCIA
8	EXISTING SHINGLE ROOF
9	EXISTING ELECTRICAL PANEL
10	EXISTING HOSE BIB
11	EXISTING GABLE END VENTS
12	EXISTING AC UNIT
13	EXISTING GAS PIPELINE
14	EXISTING POLLARD

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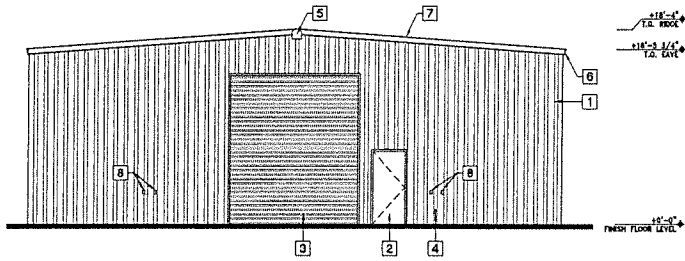


Date: 09.11.2020
Drawn By: Susan Jones
Project # 20038
Exterior Elev
Lab & RR
Bldg 'D'

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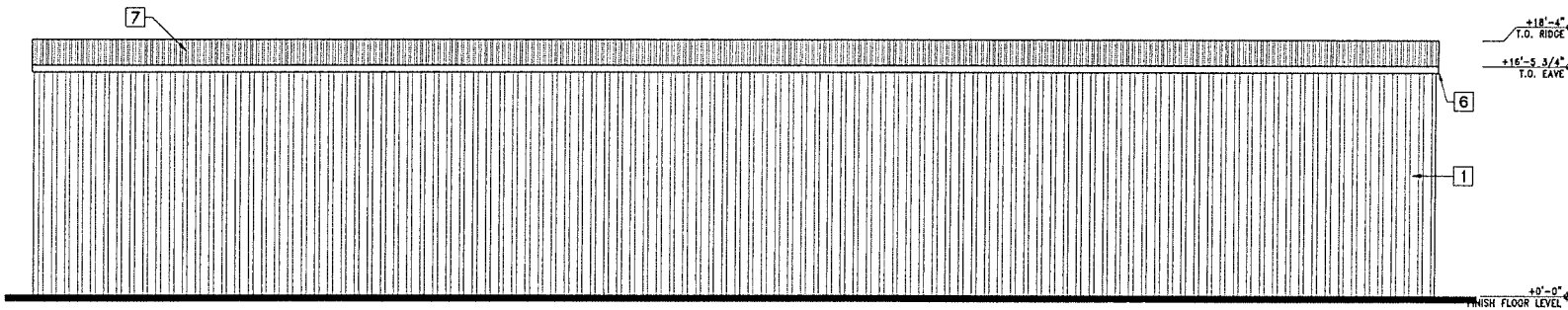
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West Elevation Storage Shed 'E' (East Elev. Similar)

3/16"=1'-0"



South Elevation Storage Shed 'E' (North Elev. Similar)

3/16"=1'-0"

Keynotes	
No.	Description
1	EXISTING METAL EXTERIOR WALL
2	EXISTING EXTERIOR DOORS
3	EXISTING ROLL UP DOOR
4	EXISTING HOSE BIB
5	EXISTING LIGHT FIXTURE
6	EXISTING METAL FASCIA
7	EXISTING METAL ROOF
8	EXISTING WEATHER PROOF ELECTRICAL OUTLET

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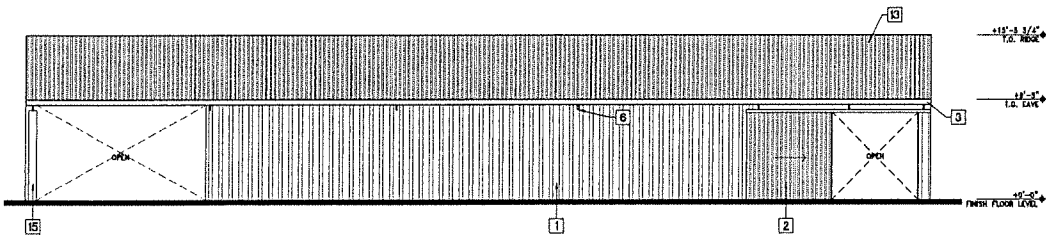
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Drawn By: Susan Jones
Project # 20038
Exterior Elev
Storage Shed 'E'

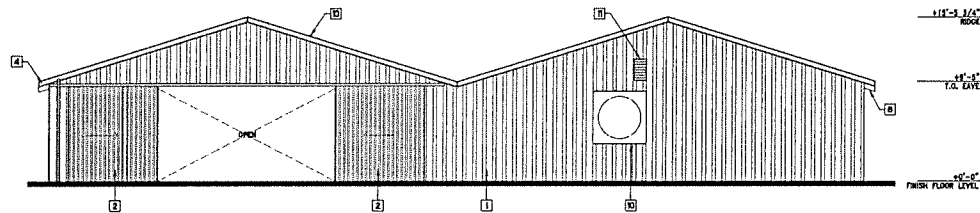
Revisions
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SHEET No.
A3.5

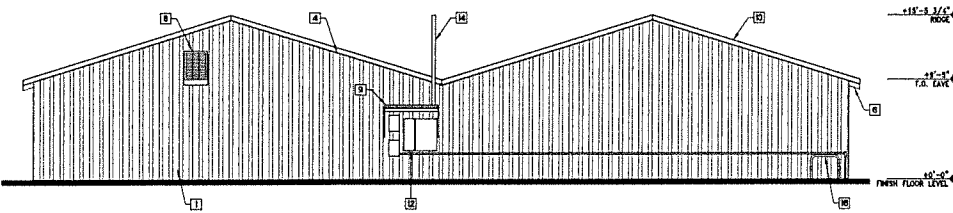
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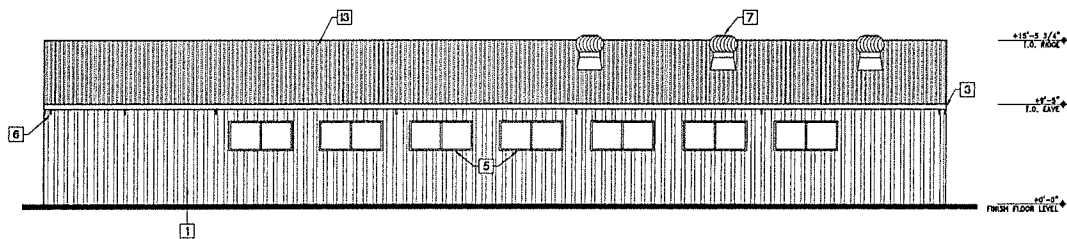
South Elevation - Packing & Processing Bldg 'F'



West Elevation - Packing & Processing Bldg 'F'



East Elevation - Packing & Processing Bldg 'F'



North Elevation Packing & Processing Bldg 'F'

Keynotes	
No.	Description
1	EXISTING METAL EXTERIOR WALL
2	EXISTING EXTERIOR SLIDING DOORS
3	EXISTING WOOD FASCIA
4	EXISTING METAL FASCIA
5	EXISTING WINDOWS
6	EXISTING RAFTER
7	EXISTING TURBINE ROOF VENT
8	EXISTING AC UNIT
9	EXISTING LEAN-TO CANOPY
10	EXISTING OPENING FOR EXHAUST VENT
11	EXISTING GABLE VENT
12	EXISTING ELECTRICAL METER
13	EXISTING METAL ROOF
14	EXISTING ELECTRICAL POLE
15	EXISTING EXPOSED WOOD COLLAR
16	EXISTING WATER PUMP FOR WELL

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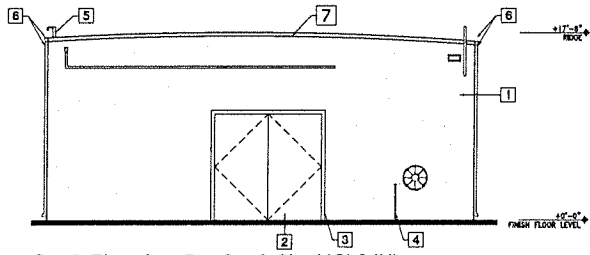
Date: 06.02.2020
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Project # 20038

Exterior Elev
Processing &
Packaging
Bldg 'F'

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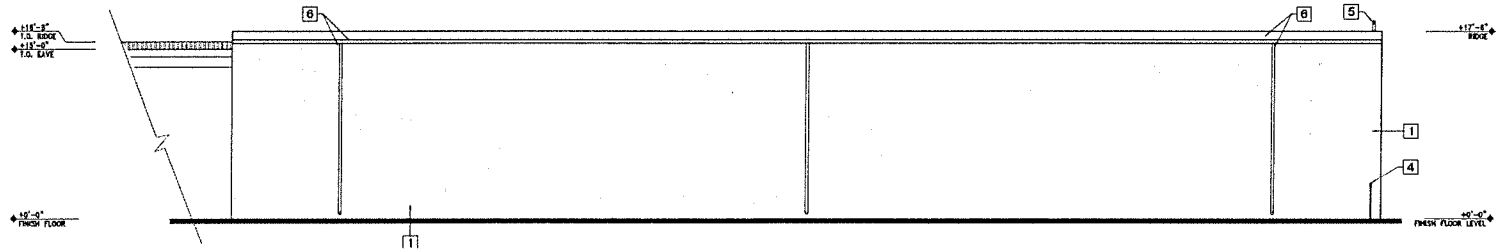
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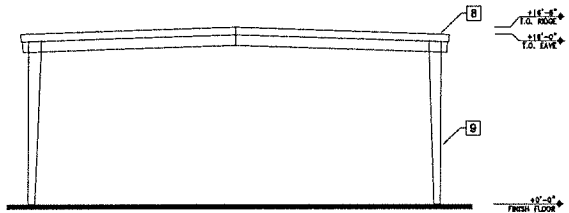
South Elevation -Dry Sto & Shed 'G' & 'H' (OPPOSITE WALL SIMILAR)

3/16"=1'-0"



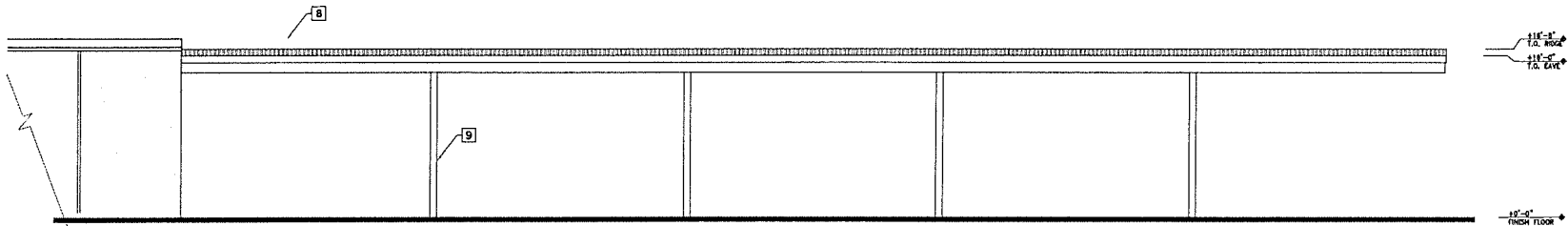
West Elevation -Dry Sto & Shed 'G' & 'H' (OPPOSITE WALL SIMILAR)

3/16"=1'-0"



North Elevation -Dry Sto & Shed 'G' & 'H' (OPPOSITE WALL SIMILAR)

3/16"=1'-0"



East Elevation -Dry Sto & Shed 'G' & 'H' (OPPOSITE WALL SIMILAR)

3/16"=1'-0"

Keynotes	
No.	Description
1	EXISTING STUCCO EXTERIOR WALL
2	EXISTING EXTERIOR DOORS
3	EXISTING WOOD TRIM
4	EXISTING HOSE BIB
5	EXISTING SECURITY CAMERA
6	EXISTING GUTTER AND DOWNSPOUT
7	EXISTING METAL COPING FLASHING
8	EXISTING METAL ROOFING
9	EXISTING STEEL COLUMN



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 Project # 2003B

Exterior Elevations Ex. Cold Storage & Storage Shed

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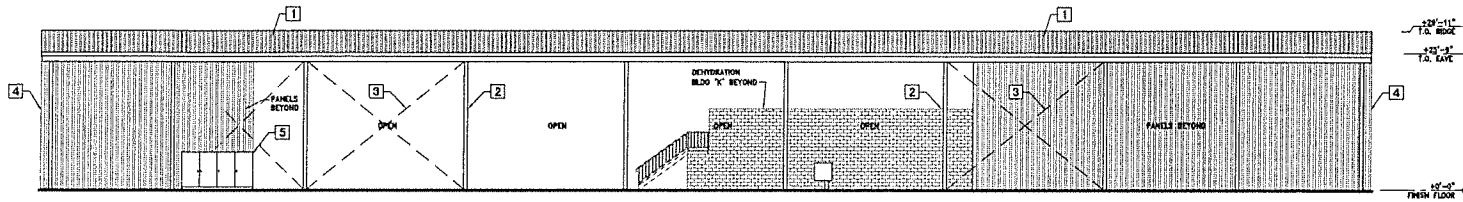
SHEET No.

A3.7

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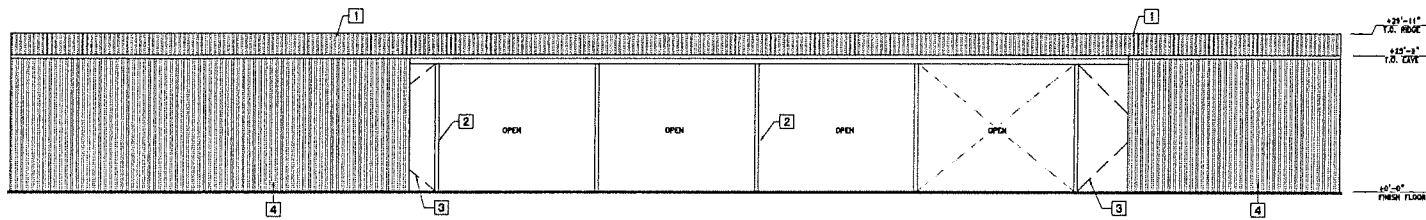
Keynotes	
No.	Description
1	EXISTING METAL ROOF
2	EXISTING STEEL COLUMN
3	EXISTING CABLE BRACING
4	EXISTING 2 HR SEPARATION WALL W/ METAL SIDING
5	EXISTING ELECTRICAL SWITCHGEAR

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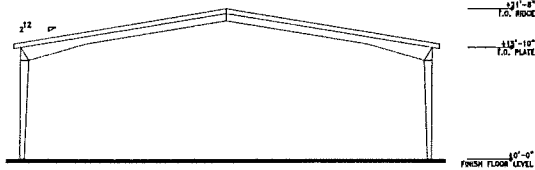
North Elevation - Fruit Storage Shed 'X'

3/32"=1'-0"



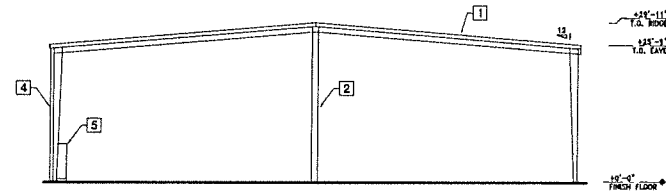
South Elevation - Fruit Storage Shed 'X'

3/32"=1'-0"



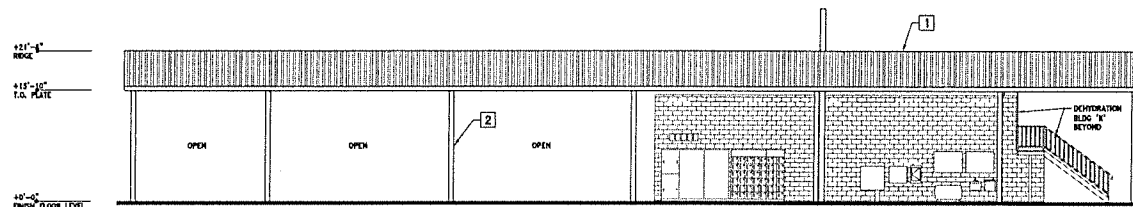
East Elevation - Fruit Processing Shed 'L' (West similar)

3/32"=1'-0"



East Elevation - Fruit Storage Shed 'I' (West similar)

3/32"=1'-0"



South Elevation - Fruit Storage Shed 'L'

1/8"=1'-0"

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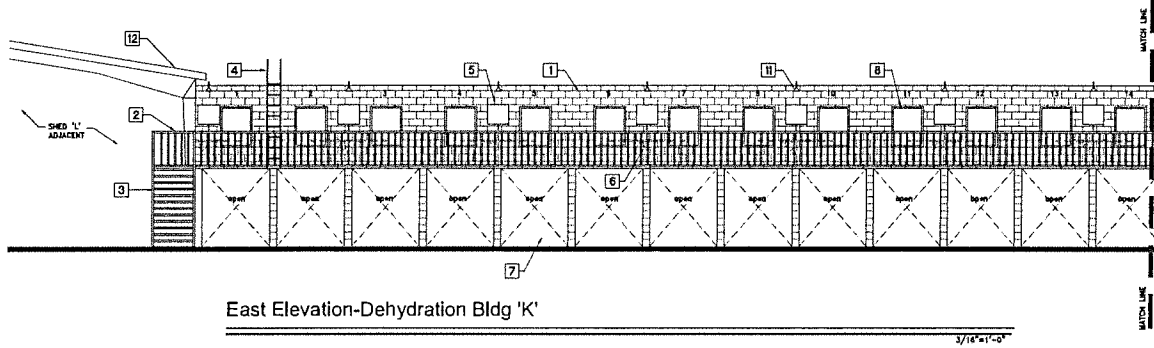
Date: 09.11.2020
Drawn By: Susan Jones
Project # 20038

Exterior
Elevations Ex.
Fruit Storage

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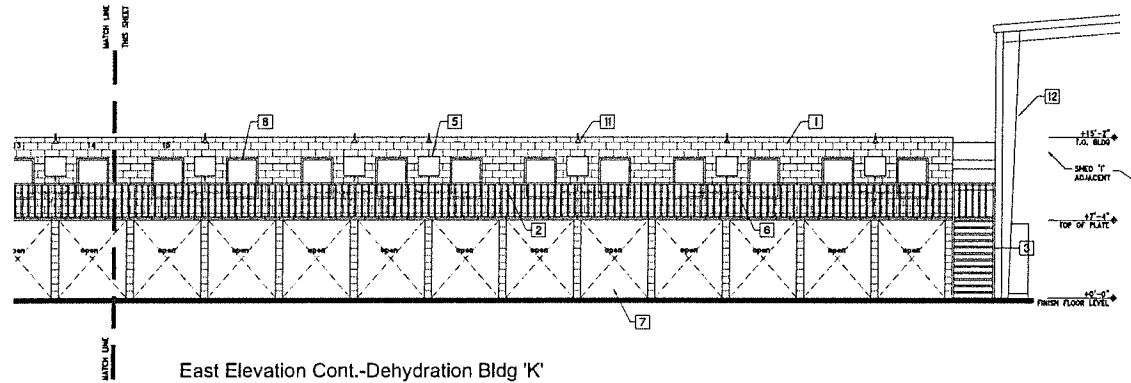
SHEET No.
A3.8

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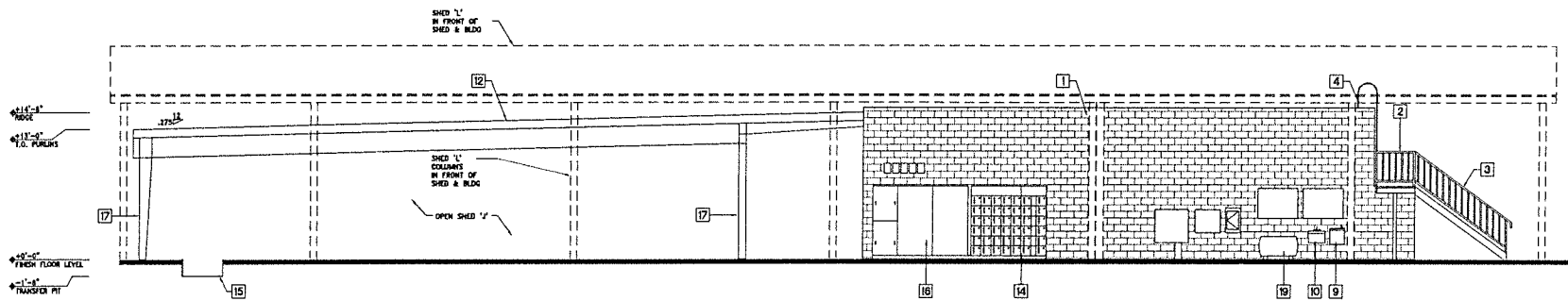
East Elevation-Dehydration Bldg 'K'

3/16"=1'-0"



East Elevation Cont.-Dehydration Bldg 'K'

3/16"=1'-0"



South Elevation-Dehydration Bldg 'K' & Shed 'J'

3/16"=1'-0"

Keynotes	
No.	Description
1	EXISTING CMU BLOCK EXTERIOR WALL
2	EXISTING GUARDRAIL
3	EXISTING STAIRS AND HAND RAIL
4	EXISTING ROOF ACCESS LADDER
5	EXISTING CONTROL BOX FOR DOUBLE DECK CONTAINER DRYER
6	EXISTING BURNER WITH GAS REGULATOR FOR DOUBLE DECK CONTAINER DRYER
7	EXISTING LOWER LEVEL DEHYDRATION FUNNELS
8	EXISTING UPPER LEVEL DEHYDRATION FUNNELS
9	EXISTING DRIVING FOUNTAIN
10	EXISTING WALL MOUNTED UTILITY SINK
11	EXISTING EXTERIOR LIGHTS
12	EXISTING PRE-FABRICATED METAL SHED
13	EXISTING DOUBLE METAL DOORS
14	EXISTING MOTOR CONTROL CENTER
15	EXISTING TRANSFER PIT
16	EXISTING 1200 AMP ELECTRICAL MAINSWITCH GEAR
17	EXISTING METAL COLUMN
18	EXISTING PROPANE TANK
19	EXISTING PROPANE TANK

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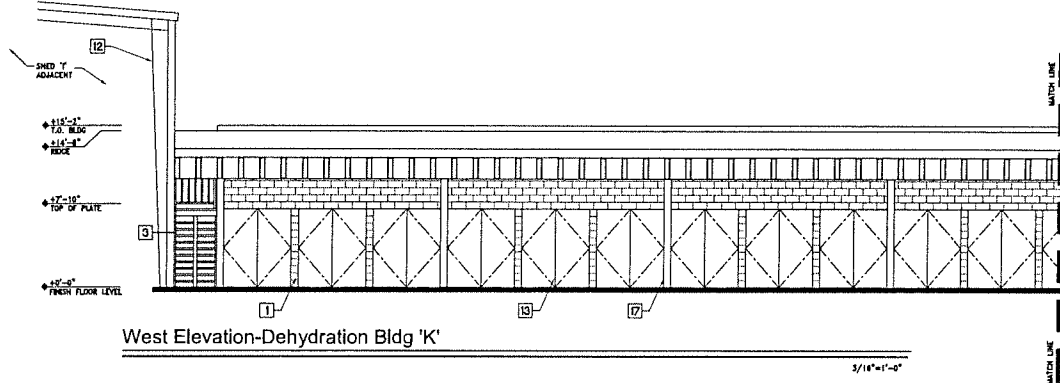
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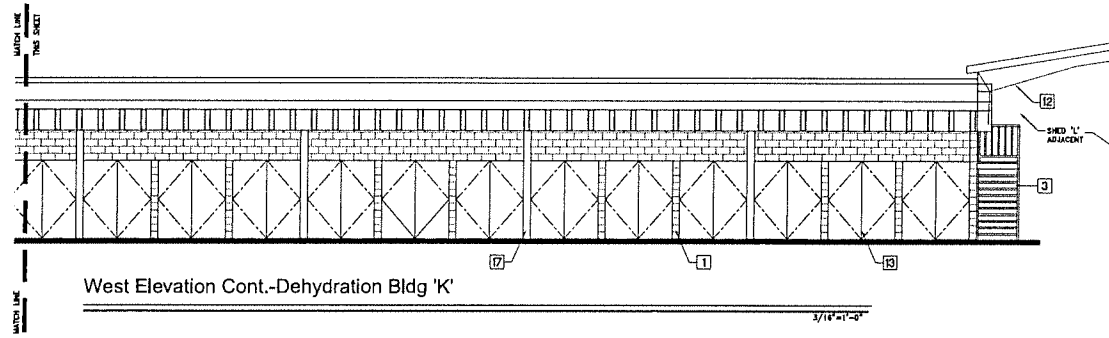
Date: 06.02.2020
Drawn By: Susan Jones
Project # 20039
**Exterior Elev
Dehydration
Bldg 'K' &
Shed 'J'**

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A3.9



West Elevation-Dehydration Bldg 'K'



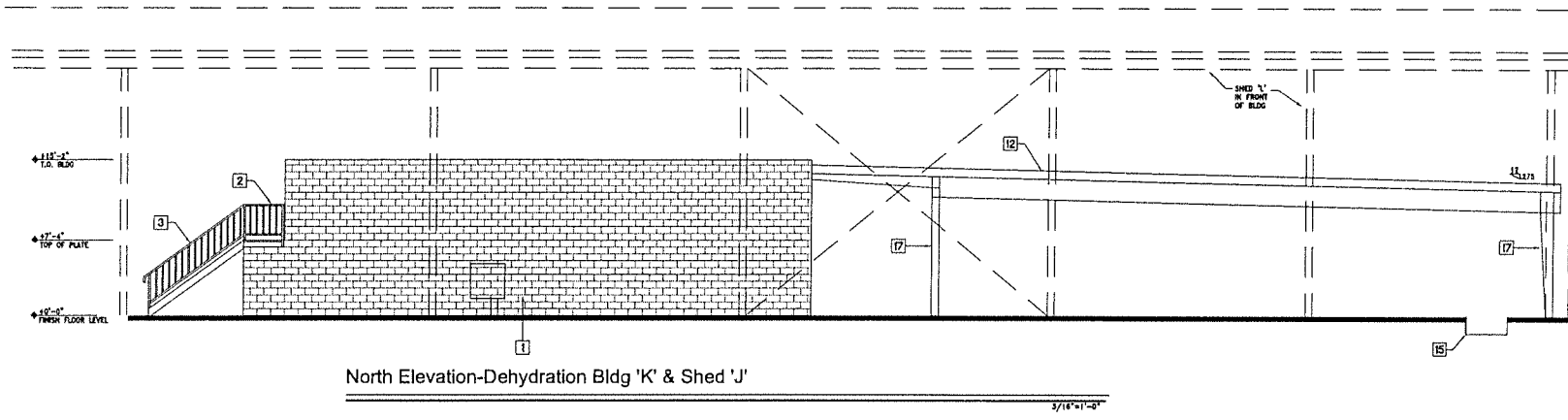
West Elevation Cont.-Dehydration Bldg 'K'

Keynotes	
No.	Description
1	EXISTING CMU BLOCK EXTERIOR WALL
2	EXISTING GUARDRAIL
3	EXISTING STAIRS AND HAND RAIL
4	EXISTING ROOF ACCESS LADDER
5	EXISTING CONTROL BOX FOR DOUBLE DECK CONTAINER DRYER
6	EXISTING BURNER WITH GAS REGULATOR FOR DOUBLE DECK CONTAINER DRYER
7	EXISTING LOWER LEVEL DEHYDRATION FUNNELS
8	EXISTING UPPER LEVEL DEHYDRATION FUNNELS
9	EXISTING WATER FOUNTAIN
10	EXISTING WALL MOUNTED UTILITY SINK
11	EXISTING EXTERIOR LIGHTS
12	EXISTING PRE-FABRICATED METAL SHED
13	EXISTING DOUBLE METAL DOORS
14	EXISTING MOTOR CONTROL CENTER
15	EXISTING TRANSFER PIT
16	EXISTING ELECTRICAL PANEL
17	EXISTING METAL COLUMN

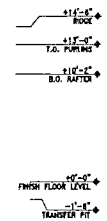


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North Elevation-Dehydration Bldg 'K' & Shed 'J'



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 Project # 20039
**Exterior Elev
 Dehydration
 Bldg 'K' &
 Shed 'J'**

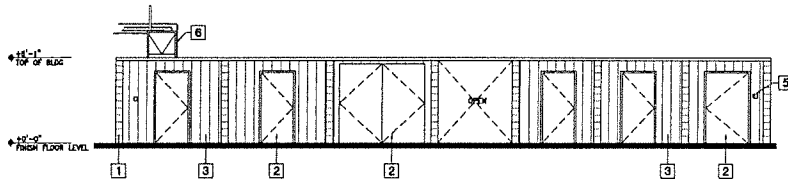
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A3.10

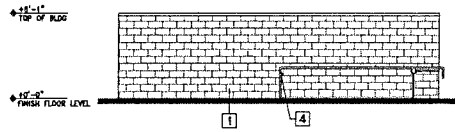
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North Elevation -Sulfur House Bldg 'M'

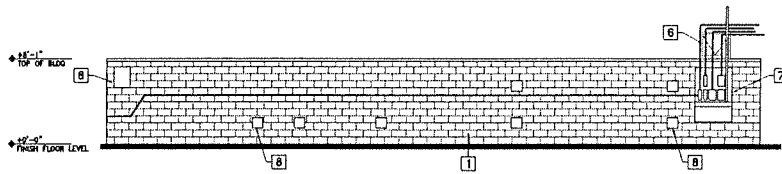
3/16"=1'-0"



East Elevation -Sulfur House Bldg 'M'

(OPPOSITE WALL SIMILAR)

3/16"=1'-0"



South Elevation -Sulfur House Bldg 'M'

3/16"=1'-0"

Keynotes	
No.	Description
1	EXISTING CMU BLOCK EXTERIOR WALL
2	EXISTING EXTERIOR DOORS
3	EXISTING WOOD PANEL SIDING
4	EXISTING HOSE BIB
5	EXISTING WALL OUTLET AND SWITCH
6	EXISTING MAKE UP AIR UNIT
7	EXISTING CONTROL AND ELECTRICAL METER
8	EXISTING COVERED OPENING



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 Exterior
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 Sulfur House Bldg
 'M'

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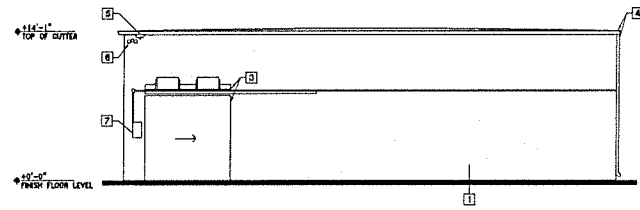
A3.11

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Keynotes	
No.	Description
1	EXISTING STUCCO EXTERIOR WALL
2	EXISTING EXTERIOR DOORS
3	EXISTING EXTERIOR SLIDING DOOR ON TRACK
4	EXISTING GUTTER AND DOWNSPOUT
5	EXISTING SECURITY CAMERA
6	EXISTING EXTERIOR FLOOD LIGHTS
7	EXISTING ELECTRICAL PANEL

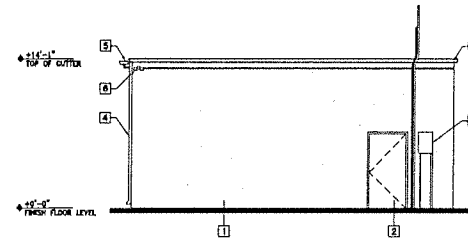
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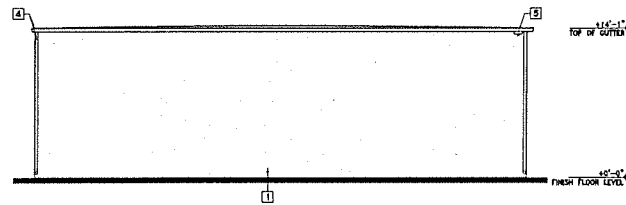
North Elevation -Cold Storage 2 Bldg 'N'

3/16"=1'-0"



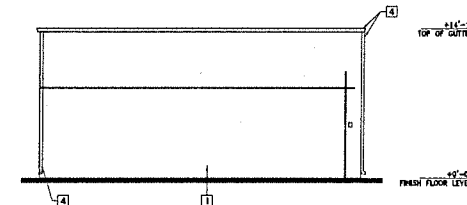
East Elevation -Cold Storage 2 Bldg 'N'

3/16"=1'-0"



South Elevation -Cold Storage 2 Bldg 'N'

3/16"=1'-0"



West Elevation -Cold Storage 2 Bldg 'N'

3/16"=1'-0"

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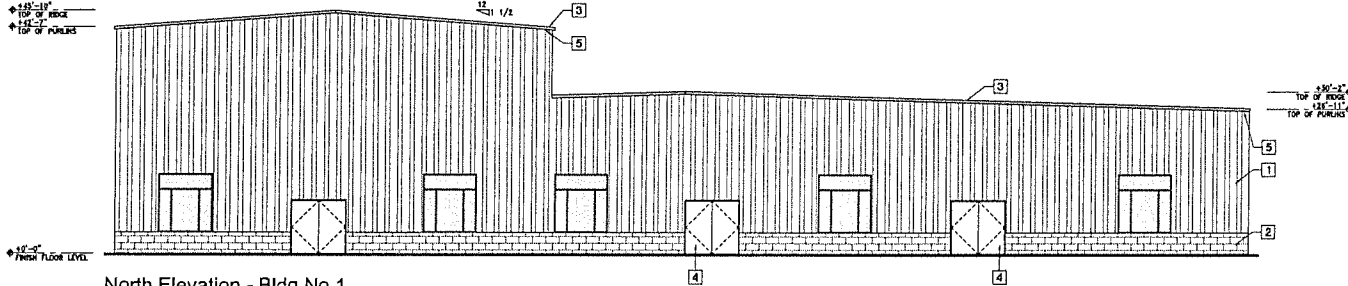
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Exterior
Elevations Ex.
Cold Storage 2
Bldg 'N'

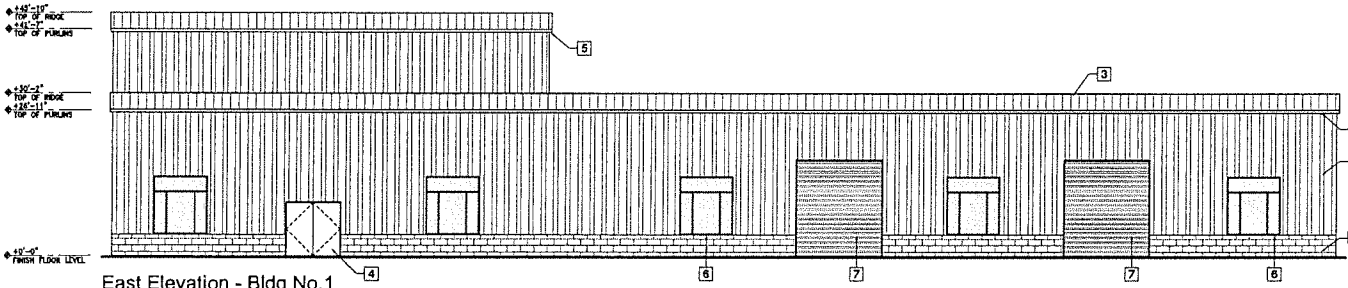
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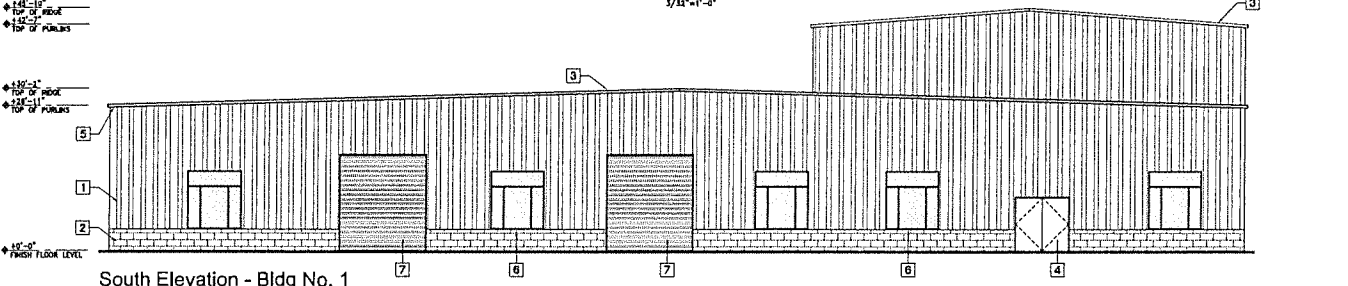
A3.12



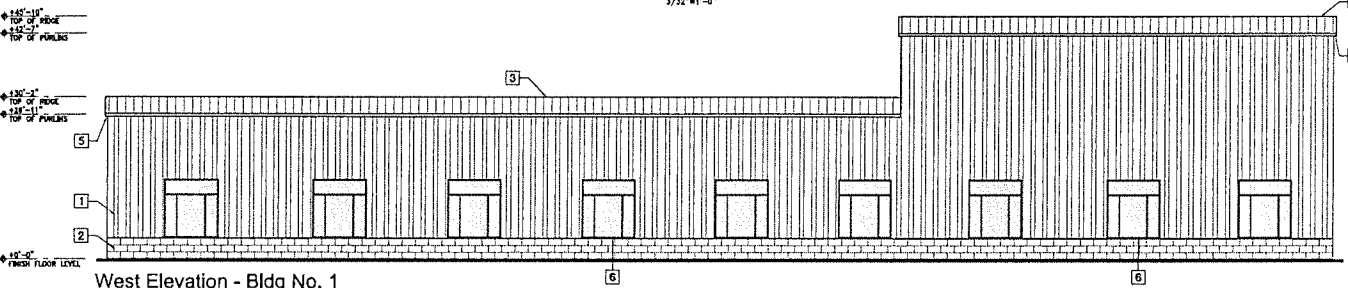
North Elevation - Bldg No. 1



East Elevation - Bldg No. 1



South Elevation - Bldg No. 1



West Elevation - Bldg No. 1

Keynotes	
No.	Description
1	INSULATED VERTICAL METAL PANELS
2	BRICK VENEER
3	METAL ROOF
4	EXTERIOR METAL DOORS
5	METAL TRIM
6	WINDOW WITH PLASTIC FRAME
7	ROLL UP DOORS

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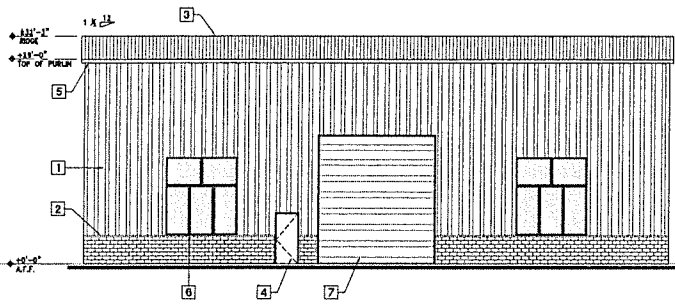


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Exterior Elevations Bldg No.1

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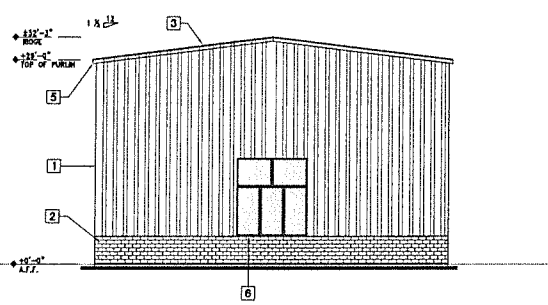
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A3.13

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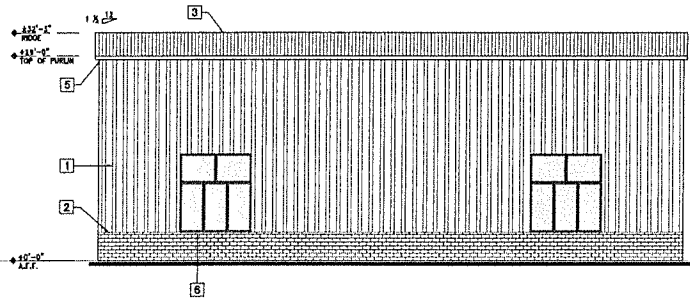
West Elevation - Bldg No. 2 (Bldg 3 Sim.)

1/8"=1'-0"



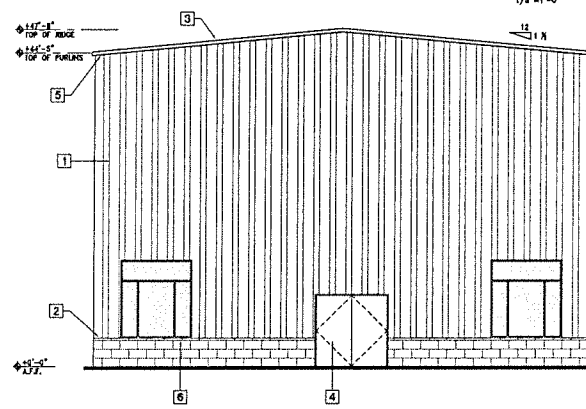
South Elevation - Bldg No. 2 (Bldg 3 Sim) North Elev. Sim.

1/8"=1'-0"



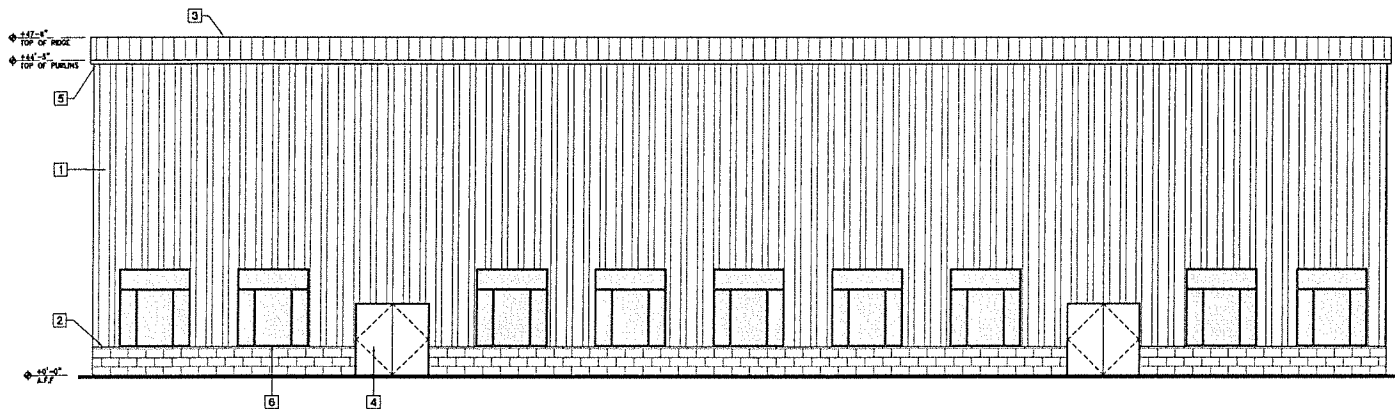
East Elevation - Bldg No. 2 (Bldg 3 Sim.)

1/8"=1'-0"



West Elevation - Bldg No. 4 (East Sim.)

1/8"=1'-0"



South Elevation - Bldg No. 4 (North Elev Sim.)

1/8"=1'-0"

Keynotes	
No.	Description
1	INSULATED VERTICAL METAL PANELS
2	BRICK VENEER
3	METAL ROOF
4	EXTERIOR METAL DOORS
5	METAL TRIM
6	WINDOW WITH PLASTIC FRAME
7	ROLL UP DOORS

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Exterior Elevations
Bldg No 2, 3, & 4

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Keynotes	
No.	Description
1	INSULATED VERTICAL METAL PANELS
2	BRICK VENEER
3	METAL ROOF
4	EXTERIOR METAL DOORS
5	METAL TRIM
6	WINDOW WITH PLASTIC FRAME
7	HIGH & LOW DRINKING FOUNTAIN

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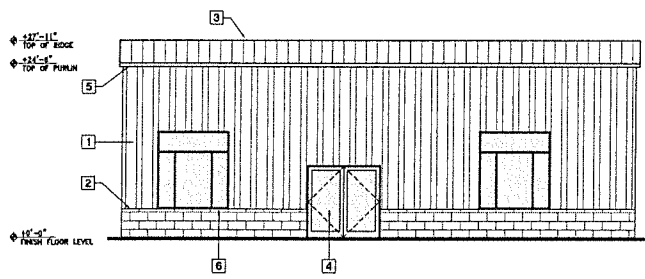
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Project #: 20038
Exterior Elevations Bldg 5&6

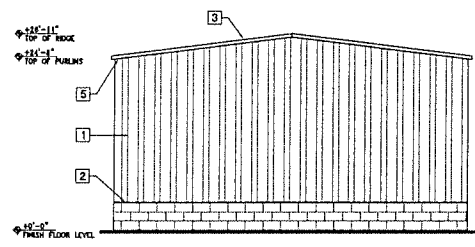
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SHEET No.
A3.15



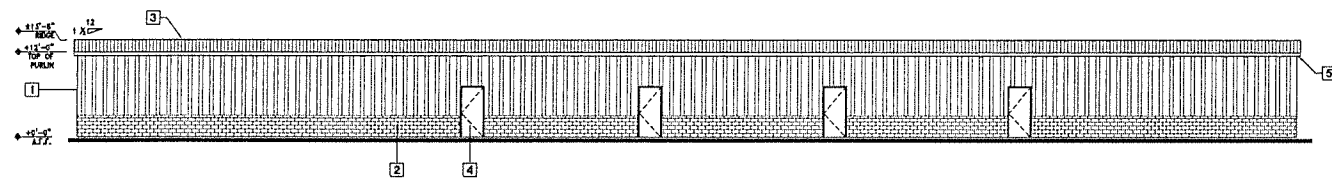
South Elevation - Bldg No. 6 (North Elev Sim)

1/8"=1'-0"



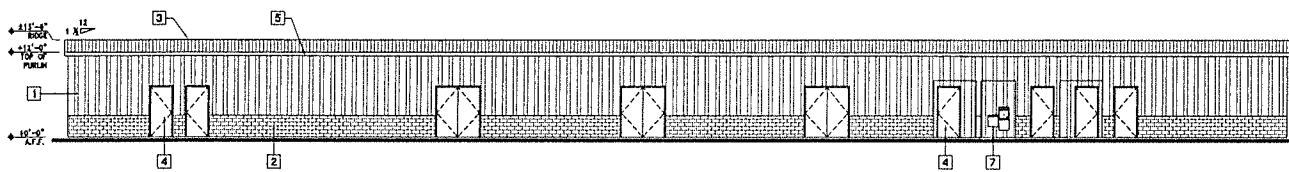
East Elevation - Bldg No. 6 (West Elev Sim)

1/8"=1'-0"



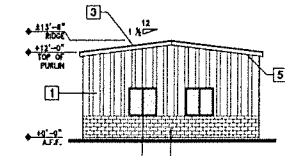
North Elevation - Bldg No. 5

1/8"=1'-0"



South Elevation - Bldg No. 5

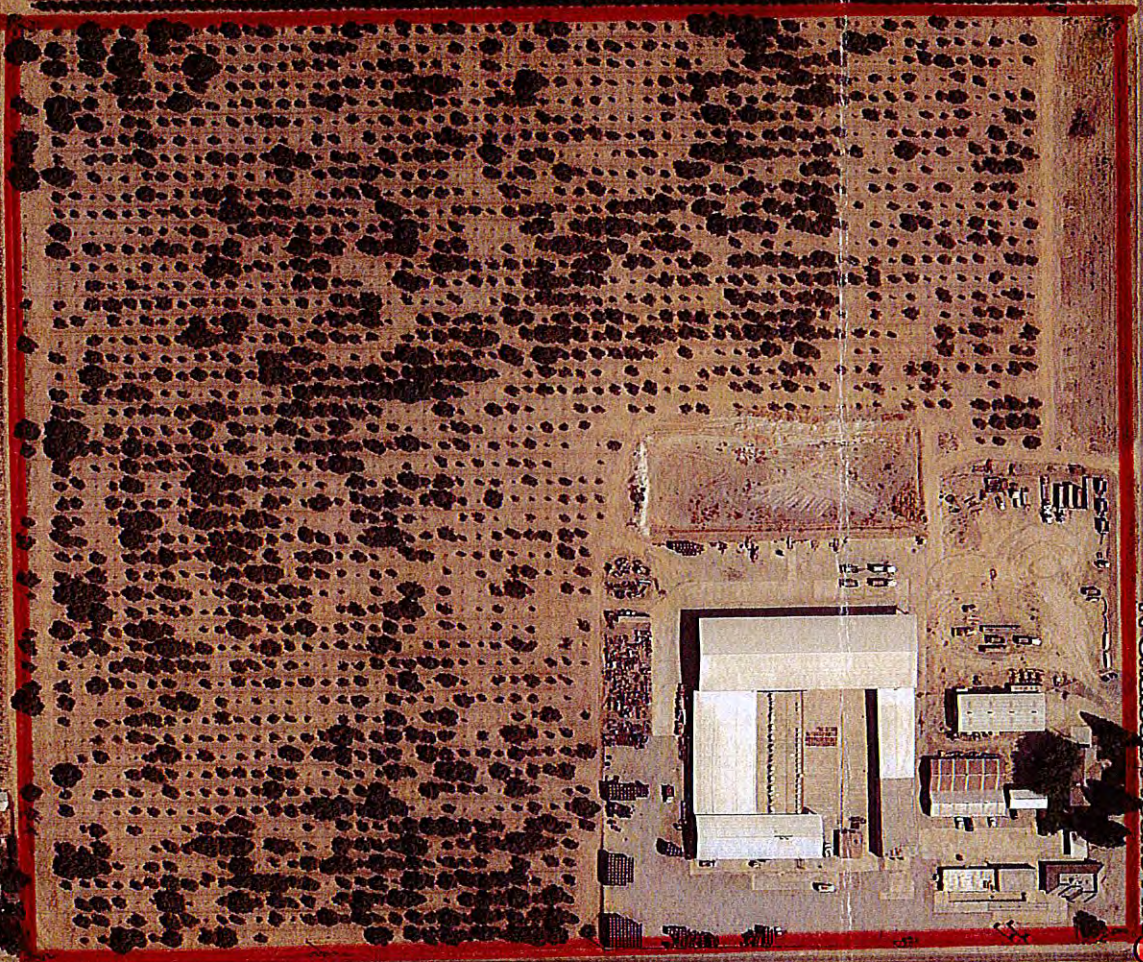
1/8"=1'-0"



East Elev - Bldg No. 5 (West Elev Sim)

1/8"=1'-0"

Legend
📍 N Chateau Fresno Ave & W Shields Ave



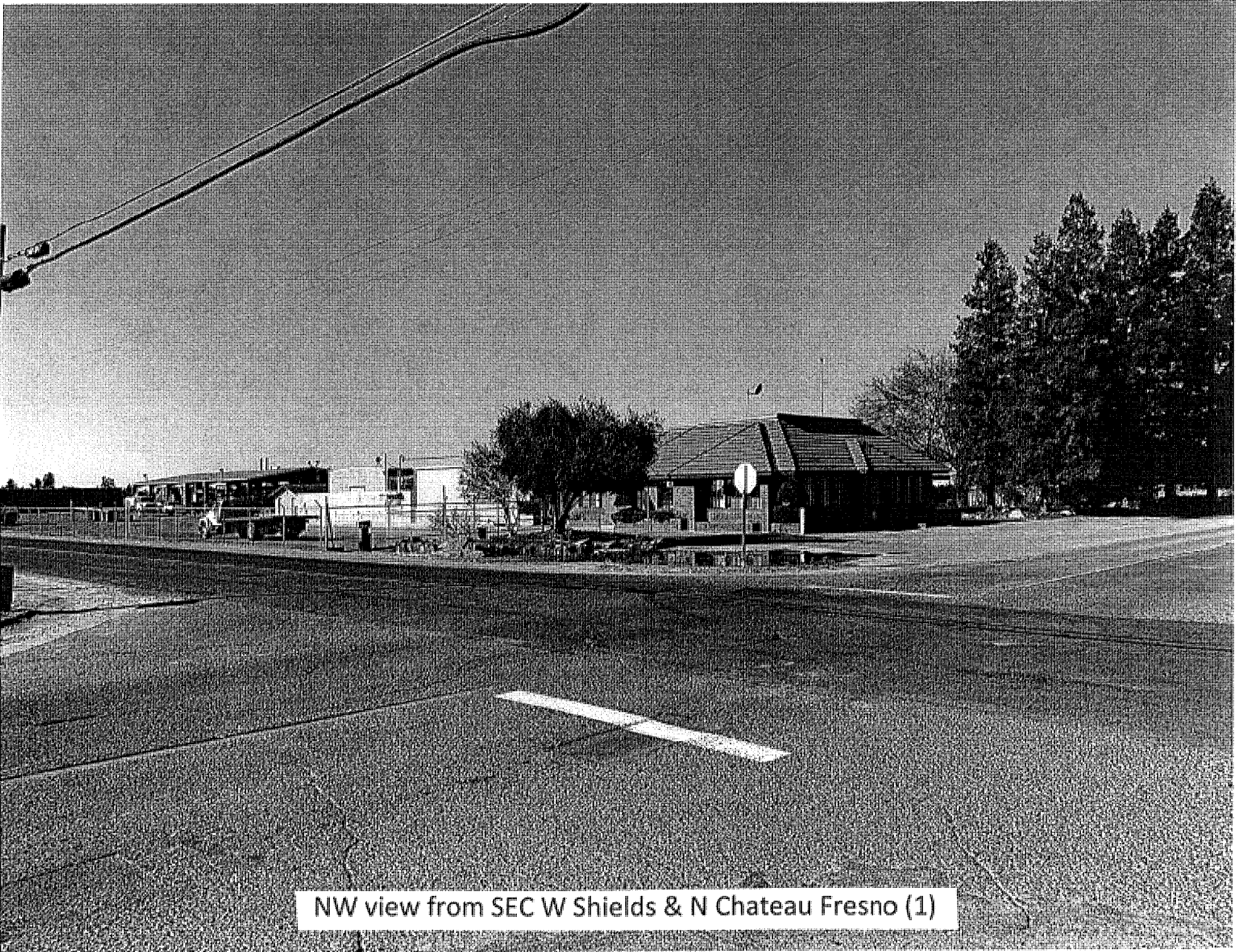
N Chateau Fresno Ave

N Chateau Fresno Ave & W Shields Ave

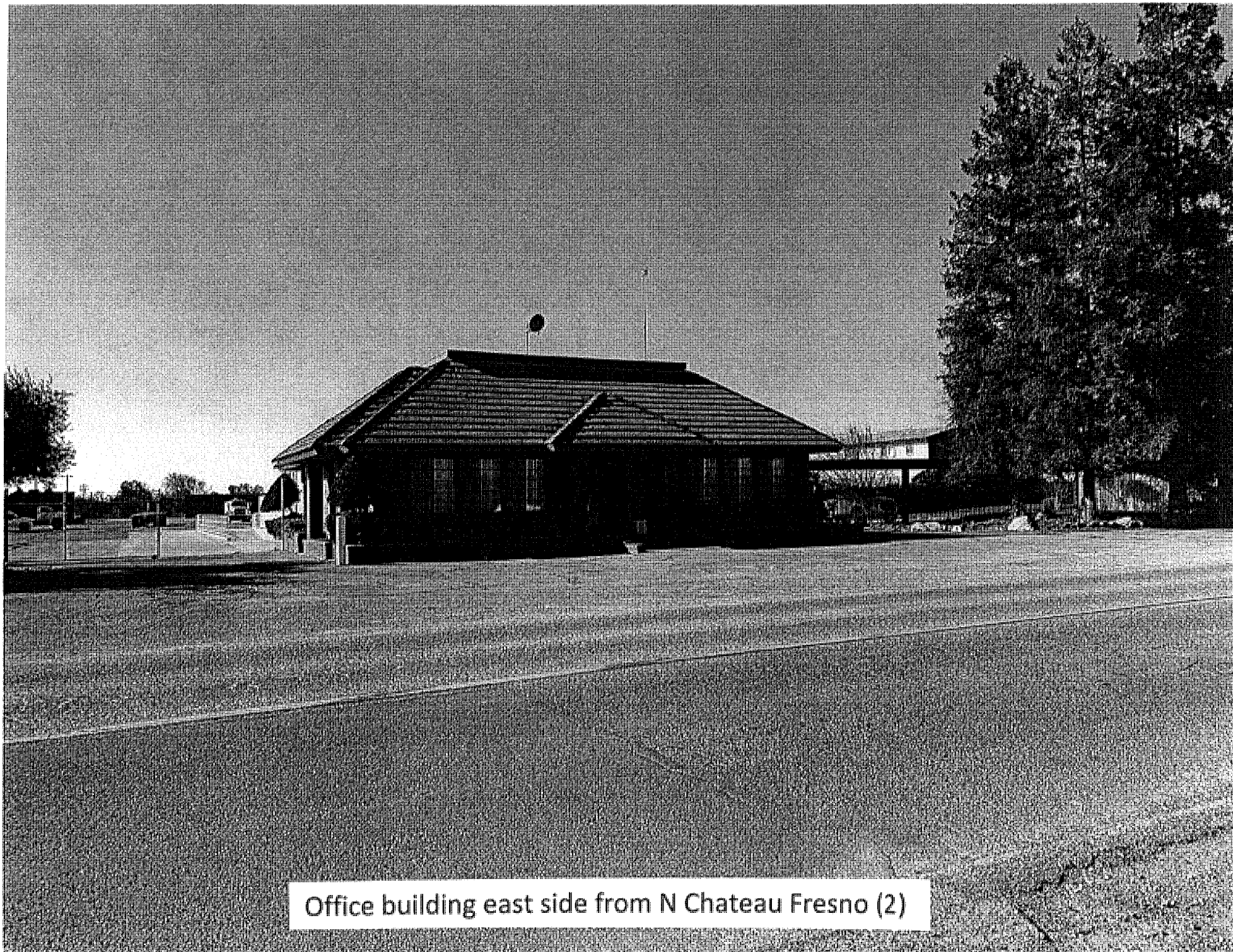
W Shields Ave



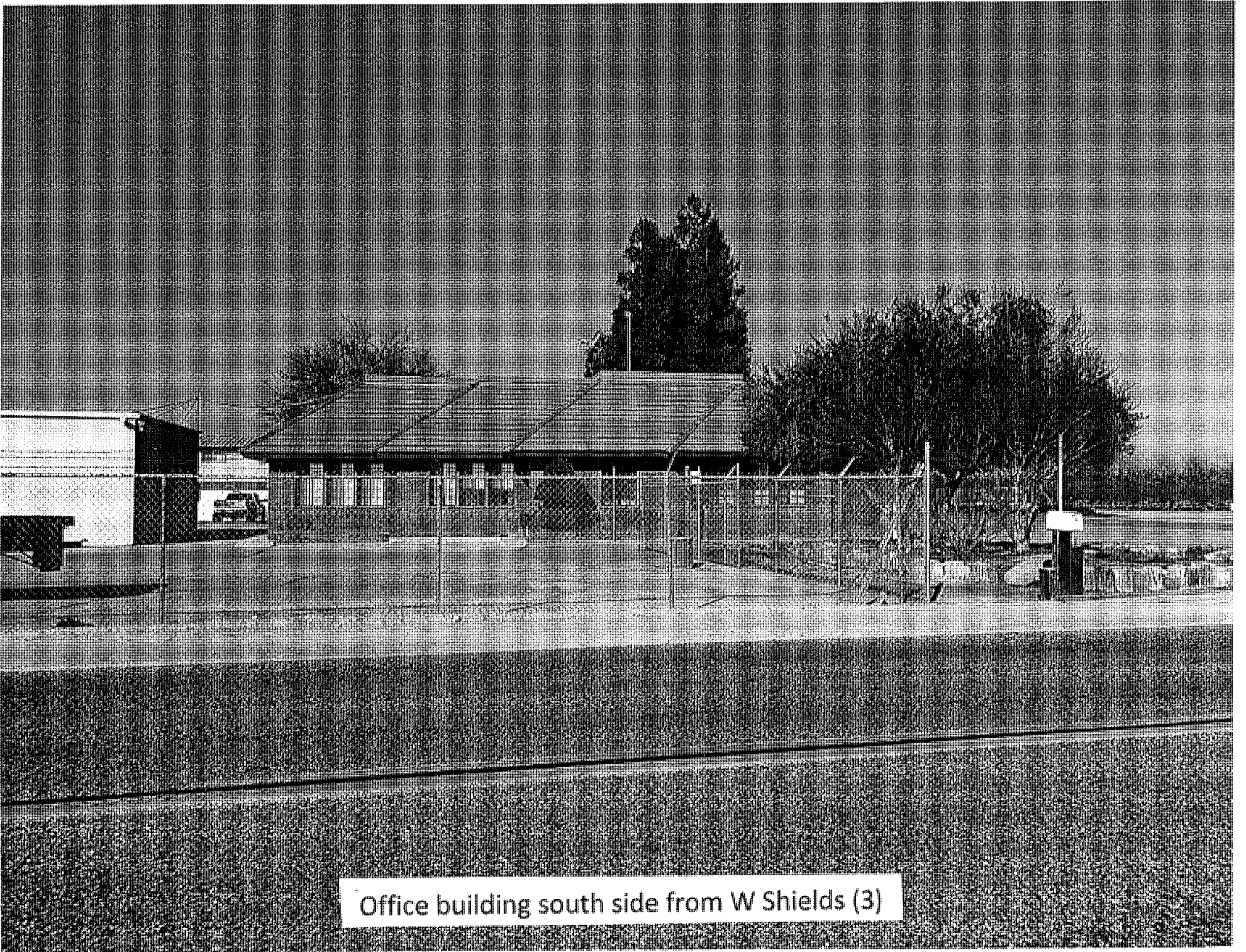
1000 ft



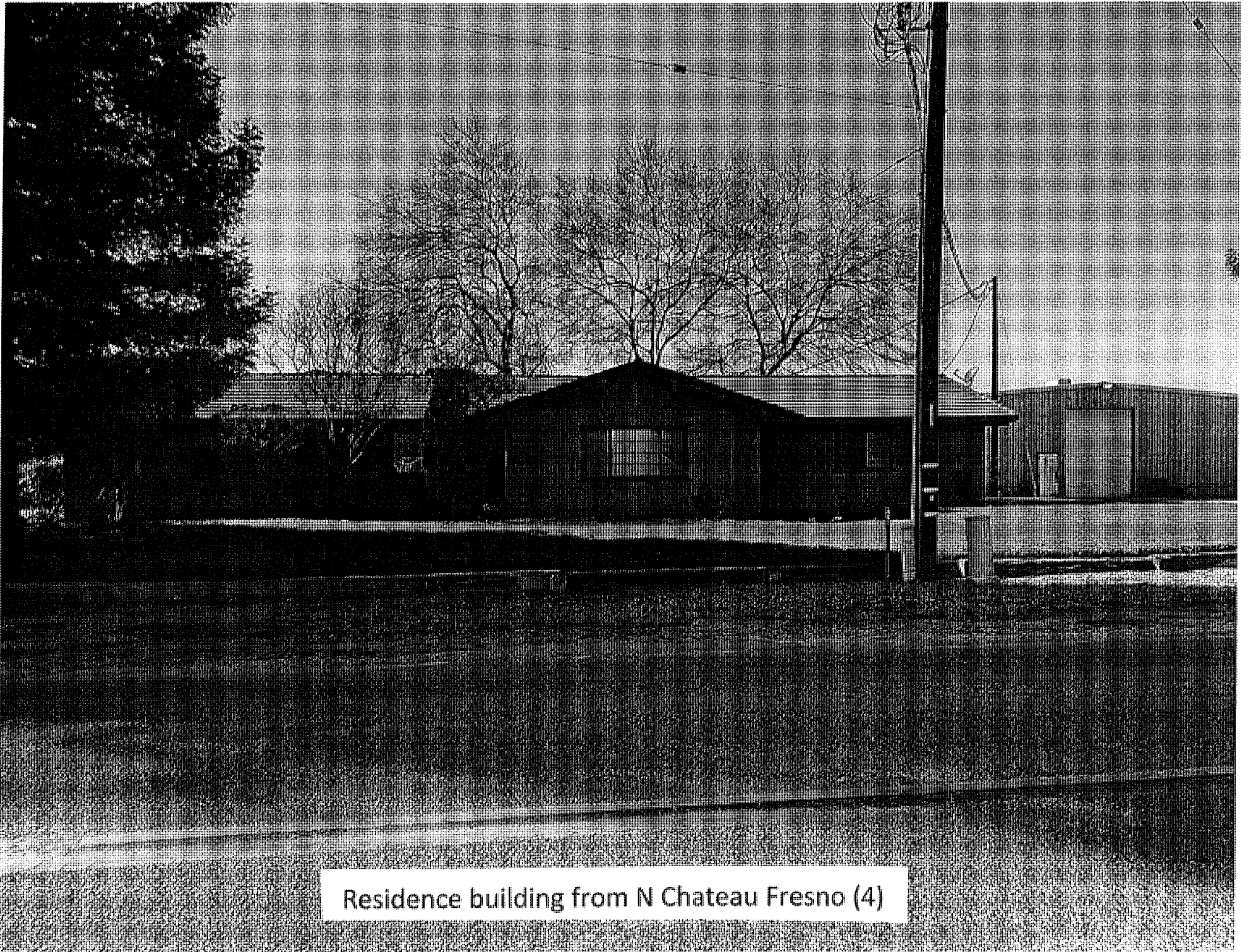
NW view from SEC W Shields & N Chateau Fresno (1)



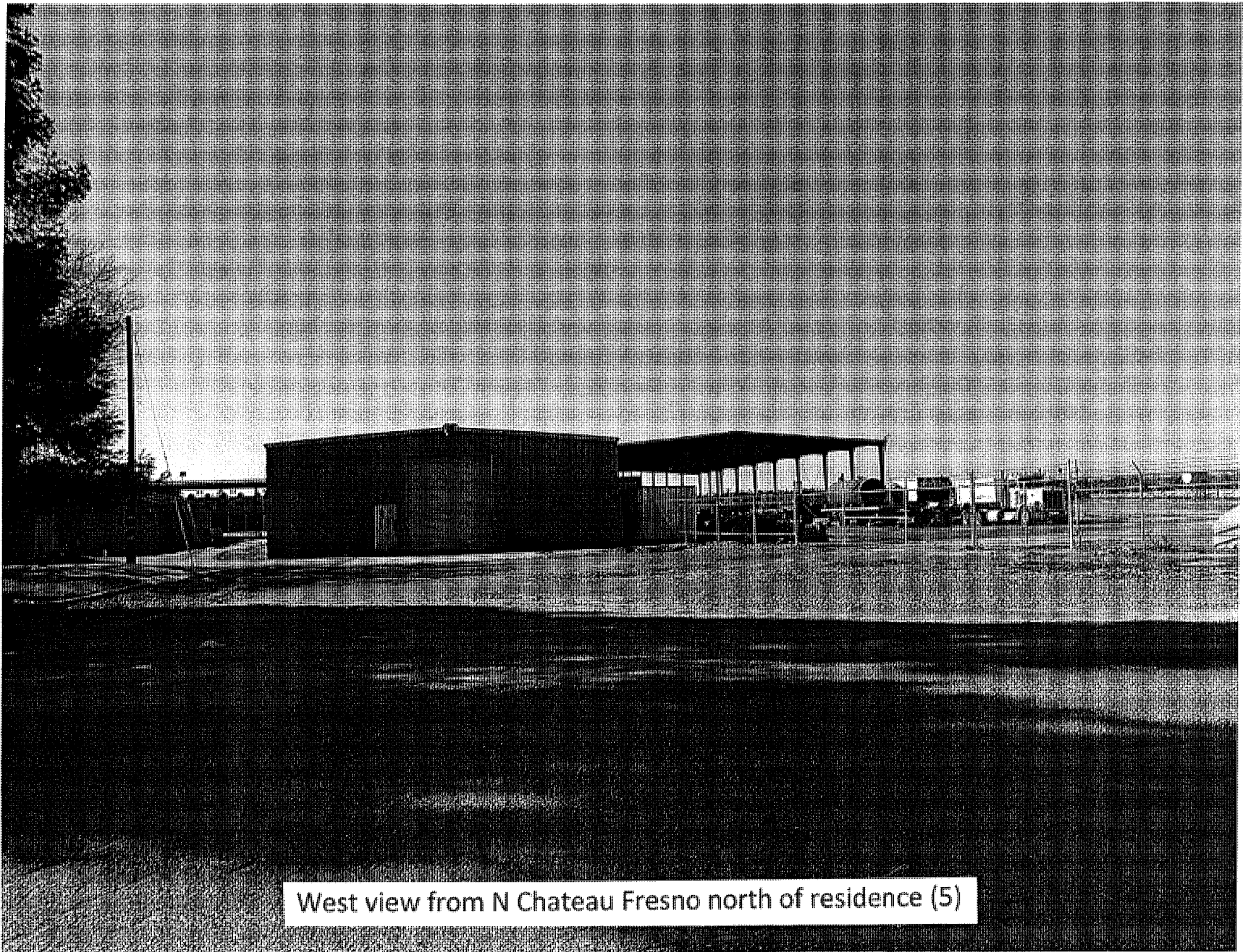
Office building east side from N Chateau Fresno (2)



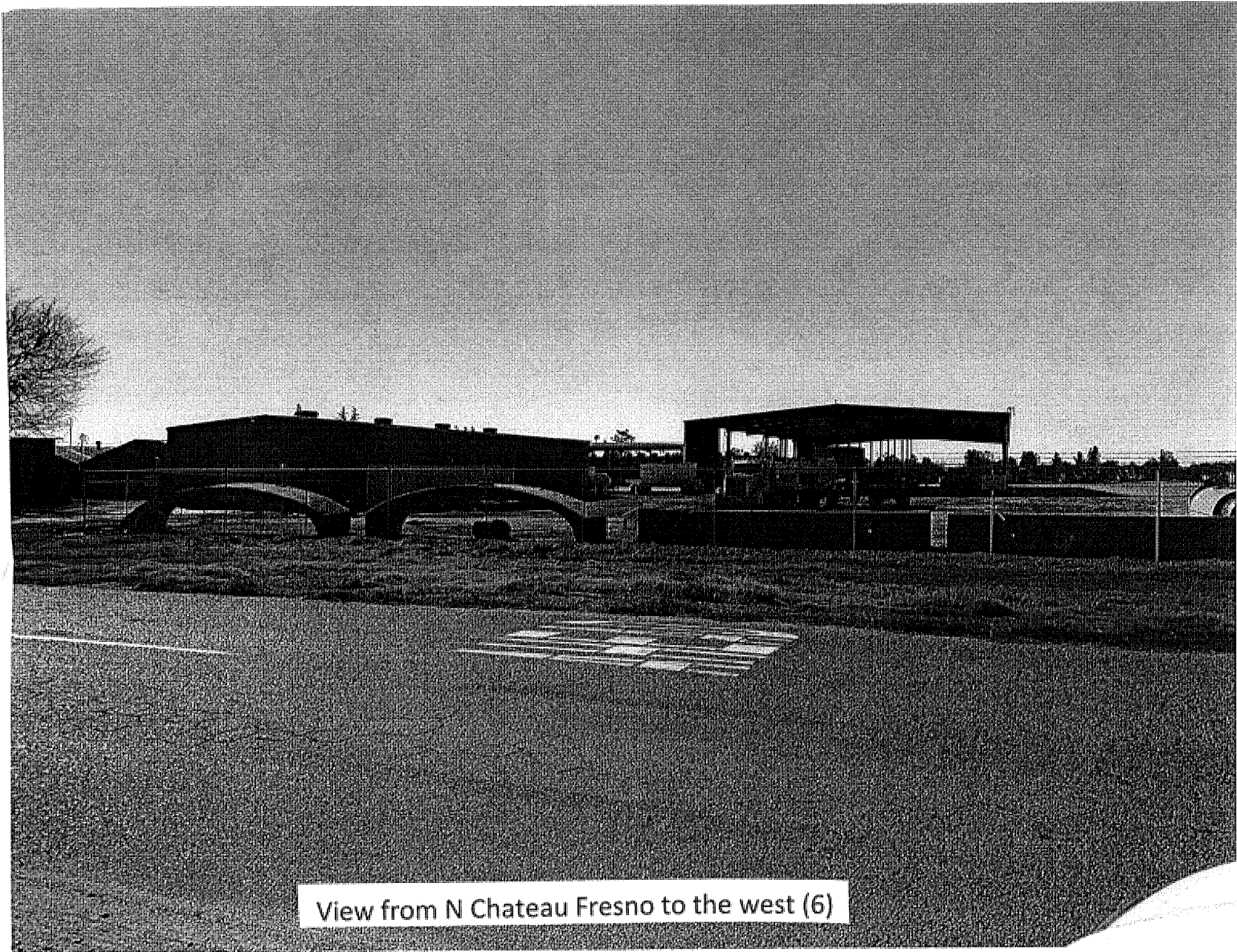
Office building south side from W Shields (3)



Residence building from N Chateau Fresno (4)



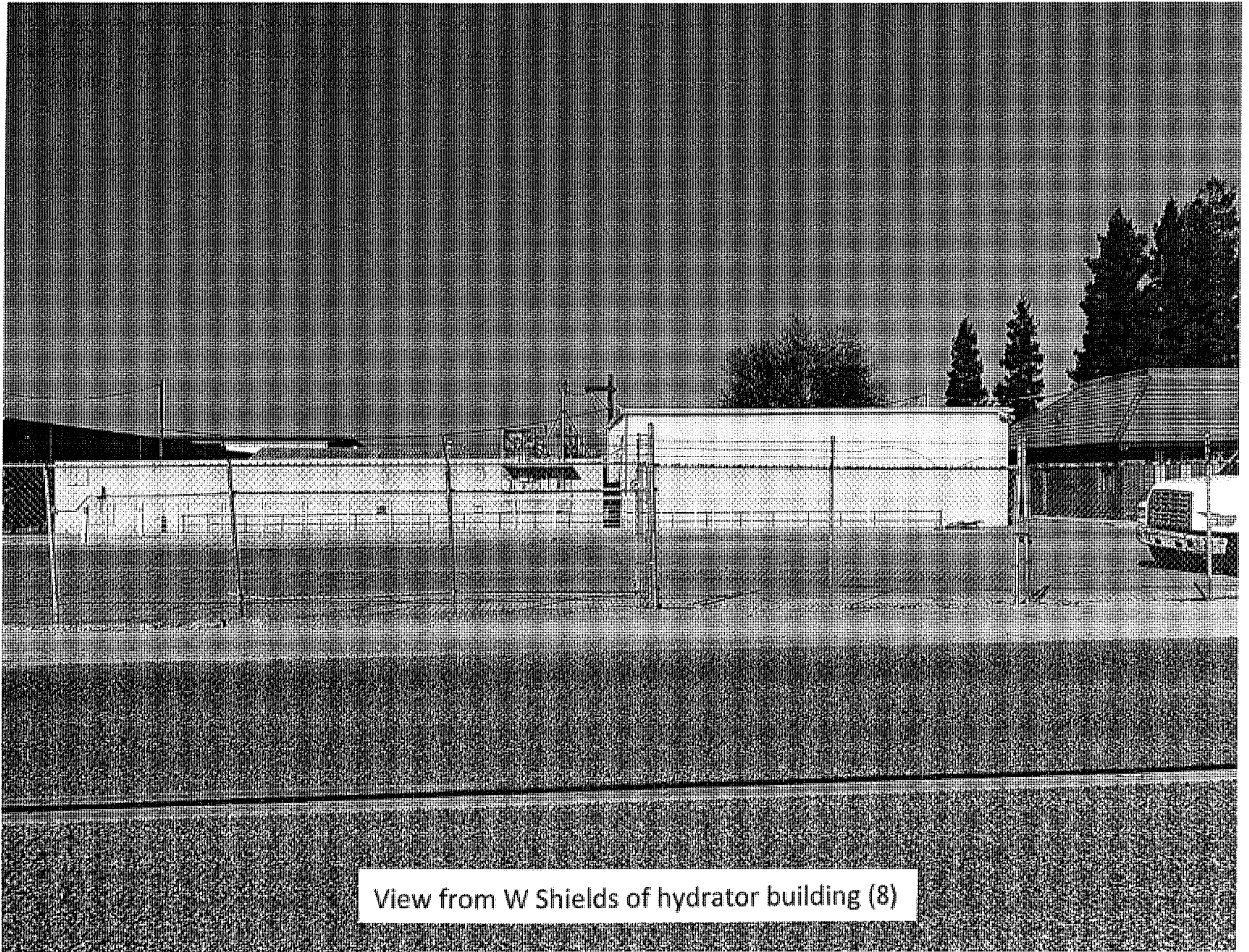
West view from N Chateau Fresno north of residence (5)



View from N Chateau Fresno to the west (6)



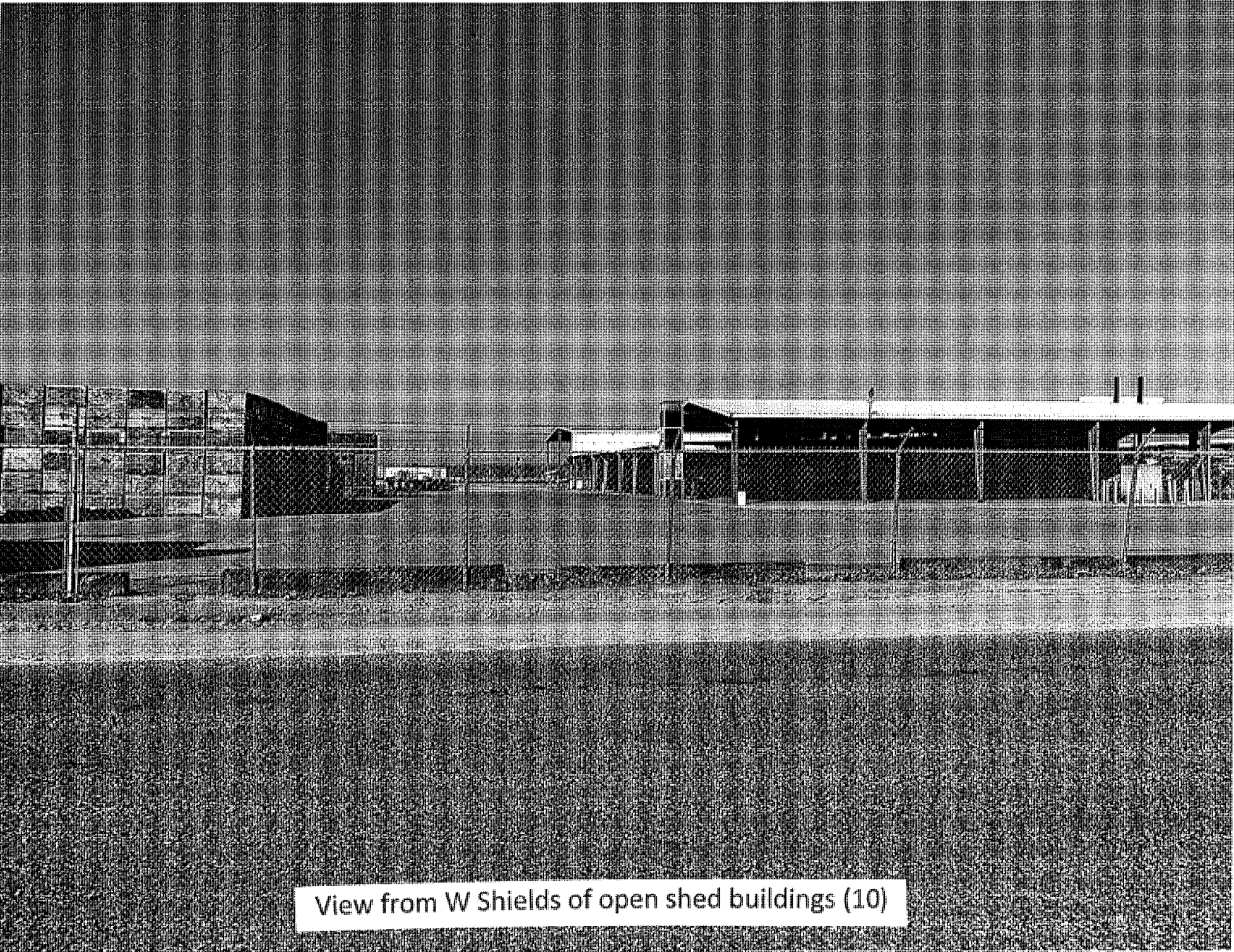
West view southerly from N Chateau Fresno (7)



View from W Shields of hydrator building (8)



View from W Shields of several buildings (9)



View from W Shields of open shed buildings (10)