



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: Trafalgar Land Company
- APPLICATION NOS.: Initial Study No. 8021 and Classified Conditional Use Permit Application No. 3699
- DESCRIPTION: Allow the processing, storage and sale of agricultural chemicals on a 2.09-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.
- LOCATION: The subject parcel is located on the north side of E. Conejo Avenue approximately 1,290 feet east of its intersection with S. Cedar Avenue and is approximately 7.2 miles west of the City of Selma (2246 E. Conejo Avenue, Fresno, CA) (042-310-03) (SUP.DIST. 4).

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: NO IMPACT:

The project site is located in a mainly agricultural area. E. Conejo Avenue is not a designated scenic roadway. There are no scenic vistas, or any other scenic resources identified as being affected by the project proposal.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: NO IMPACT:

The subject application intends to utilize the existing structures for their operation. There is no proposed additional development associated with this project with minor

improvements proposed for the interior of the existing structures. Therefore, in considering the project proposal, the project is not expected to substantially degrade the existing visual character and would not have an impact on the quality of public views of the site and its surroundings.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Per the Applicant's Operational Statement, outdoor lighting is proposed as part of a security system to deter theft. A mitigation measure will be implemented so that the design and placement of these new sources of light and glare will have minimal impact on the surrounding properties and public right-of-way.

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

FINDING: NO IMPACT:

Per the 2016 Fresno County Important Farmland Map, the project site is located on land designated Prime Farmland. However, recent aerial images of the site indicate that the subject parcel has been improved with the subject buildings and has not been in active agricultural production for more than 20 years. Building permit records further reinforce the improved nature of the subject parcel. Therefore, although designated Prime Farmland, the subject parcel has not been in agricultural production in recent times. The project proposal would utilize the existing built environment for their operation and would not convert additional agricultural land to a non-agricultural use.

- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

FINDING: NO IMPACT:

The project proposal is an allowed use under the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District subject to approval of a Classified Conditional Use Permit and therefore does not conflict with the agricultural zoning. The subject parcel is not under Williamson Act Contract.

- C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or

- D. Result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The subject parcel is located in a mainly agricultural area. The project site is not zoned for forest land, timberland or timberland zoned Timberland Production. The project will not result in the loss of forest land or conversion of forest land to non-forest use.

- E. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

FINDING: LESS THE SIGNIFICANT IMPACT:

The subject application is not likely to result in changes to the existing environment that could result in further conversion of farmland to non-agricultural use or conversion of forest land to non-forest use. The proposed operation intends to produce fertilizer products for use among the surrounding agricultural area. The underlying zone district is still in place to deter non-agricultural uses from encroaching into the area. Therefore, in considering the proposed agriculturally supportive use, and the surrounding zone district for agriculture, a less than significant impact is seen.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The San Joaquin Valley Air Pollution Control District has reviewed the project and indicated in their comments that construction-related emissions resulting from the project are expected have a less than significant impact. Additional considerations from the SJVAPCD in regard to the operation of the proposed use include District Rules 2010 and 2201 for air quality permitting for stationary sources, District Rule 9510 for indirect source review, and District Rule 4002 for national emissions standards for hazardous air pollutants. As these are rules and regulations required by a regulatory agency, these comments are to be included as Project Notes with the Conditional Use Permit being processed in concurrence with this environmental document. With the project's further compliance of rules and regulations required by the San Joaquin Valley Air Pollution Control District, the project will have a less than significant impact in terms of criteria pollutants and would not conflict with or obstruct implementation of an applicable Air Quality Plan.

- C. Expose sensitive receptors to substantial pollutant concentrations; or
- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The nearest sensitive receptor is located approximately 400 feet southeast of the project site. The San Joaquin Valley Air Pollution Control District has reviewed the subject application and did not express concern with the project in terms of pollutant concentrations or adverse odors. The Department of Public Health, Environmental Health Division requires that the project follow state and local standards for reporting and storing hazardous materials. As there were no concerns expressed by the Air District and with implementation of regulatory requirements on storing and handling any hazardous materials, the operation will have a less than significant impact on pollutant concentrations of adverse odors affecting sensitive receptors.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: NO IMPACT:

The project proposes to utilize the existing buildings towards their operation. The subject property is already improved with two buildings that will house the main

production operation and a single-family residence that is proposed to be converted to an office. The surrounding area is utilized for agriculture or residential uses and is not likely to be occupied by a special-status species due to the disturbed nature of the site and surrounding area. There was no riparian habitat or other sensitive natural community identified on or near the subject property. Therefore, the project will not have a substantial adverse effect on special status species and would not adversely affect sensitive habitat.

- C. Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

According to the National Wetlands Inventory, there are no identified wetlands in the vicinity of the project site.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

There were no identified wildlife corridor or wildlife nursery site that would be impacted by the project proposal. As noted, the project site is already improved with the main structures that would interfere with movement of a native resident. In considering that existing environment, the project will not interfere with the movement of a native resident.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

There were no local policies or ordinances protecting biological resources or an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan identified as being in conflict with the project proposal.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or
- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The applicant proposes to utilize the existing structures to house the operation. There is minimal ground disturbance associated with the improvements that will bring the project into operation. Notification of the project with tribal governments under the provisions of Assembly Bill 52 did not result in consultation or expressed concerns from the notified tribal governments to indicate that a cultural or historical resource is on the site. Although unlikely, a mitigation measure will be implemented for this project to ensure that in the event that a cultural resource is unearthed during ground-disturbing activities, actions will be taken to assess and protect the resource.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is expected to be built to current building code standards, which will take into account standard energy efficiency standards for a building. The increased energy draw when considering the existing conditions is not expected to result in potentially significant environmental effects and will not conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

FINDING: NO IMPACT:

Per the Earthquake Hazard Zone Web Application maintained by the California Department of Conservation, the project site is not located on or near an earthquake fault of known rupture of an earthquake fault.

2. Strong seismic ground shaking?
3. Seismic-related ground failure, including liquefaction?

FINDING: NO IMPACT:

Per Figure 9-5 of the Fresno County General Plan Background Report (FCGPBR), in the event of a seismic hazard occurring, the project site is located on land identified as having a 0% to 20% peak horizontal ground acceleration. The FCGPBR indicates that the potential of ground shaking is minimal in Fresno County. Due to the minimal peak horizontal ground acceleration risk and minimal ground shaking risk, the project be subject to adverse risk from ground shaking or seismic-related ground failure.

4. Landslides?

FINDING: NO IMPACT:

As depicted in Figure 9-6 of the FCGPBR, the project site is not located in an identified moderate landslide hazard area.

- B. Result in substantial soil erosion or loss of topsoil?

FINDING: NO IMPACT:

Review of aerial images of the subject site and consistent with the Applicant's Operational Statement and submitted plans, the project site is already developed with a single-family residence and two accessory structures. Per the Operational Statement, the Applicant intends to utilize the existing structures for the proposed operation and does not require the development of additional structures. In considering the already

developed nature of the site, the project will not result in substantial soil erosion or loss of topsoil.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

FINDING: NO IMPACT:

There was no geologic unit or unstable soil identified on the project site. As noted, the site is already improved with the existing structures planned to be utilized for the operation.

- C. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

According to Figure 7-1 of the FCGPBR, the project site is not located on areas identified as having soils exhibiting moderately high to high expansion potential.

- D. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

FINDING: NO IMPACT:

The project site is already improved with a septic tank for the existing single-family residence. No additional septic system is proposed. Development of an additional septic system will be subject to permit and inspection per Fresno County LAMP standards.

- E. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

No unique paleontological or geologic feature was identified on the project site.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject operation will have up to three employees on-site and deliveries on an average of one truck a week during the highest activity period. Per the Applicant's Operational Statement, the estimate may increase due to demand. Equipment associated with the project and estimated trips generated by the proposal is expected to have a marginal increase in greenhouse gas emissions with the largest impacts coming from mobile sources (employee and delivery-based trips). Reviewing agencies and departments did not express concern with the operation in terms of greenhouse gas emission and no applicable plan, policy or regulation were identified to be in conflict with the proposed operation.

VIII. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Department of Public Health, Environmental Health Division (EHD) has reviewed the subject application provided State and local regulatory comments for the reporting, handling, and storage of hazardous materials. These regulatory comments are to be included as project notes for the application. With the project's compliance with state and local regulatory comments, the project will not create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials or through the upset and accident conditions involving the release of hazardous materials into the environment.

- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

FINDING: NO IMPACT:

The project site is not located within one-quarter mile of an existing or proposed school.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

Per the NEPAssist database, the subject parcel is not included on a list of hazardous material sites compiled pursuant to Government Code Section 65962.5 and would not create a significant hazard to the public or the environment.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

The project site is not located within an airport land use plan or within two miles of a public airport or public use airport.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan; or
- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: NO IMPACT:

Reviewing agencies and departments did not express concern with the project to indicate that the proposed operation would impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan or expose people or structures to significant risk of loss, injury, or death involving wildland fires.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality; or
- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: NO IMPACT:

The Water and Natural Resources Control Board and the State Water Resources Control Board reviewed the subject application and did not indicate that the project would result in the violation of any water quality standard or waste discharge requirement or would impede sustainable groundwater management. The Water and Natural Resources Division commented that the water supply for this area is adequate to support the proposal and that the project site is not located within an area of the County defined as being a water short area.

C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?

1. Result in substantial erosion or siltation on- or off-site;

FINDING: NO IMPACT:

Per the Operational Statement, the project proposal intends to utilize the existing structures towards the proposed operation. Minimal changes in the built environment will occur reducing the potential for substantial erosion or siltation of the site. The subject area is on relatively flat land and drainage patterns are not likely to change when the operation of the use occurs.

2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite?

3. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Development Engineering Section of the Fresno County Department of Public Works and Planning will require that an Engineered Grading and Drainage Plan be required to show how additional storm water runoff generated by the project will be handled without adversely impacting adjacent properties. This requirement will determine if facilities are needed to further address surface runoff and per County standards, surface runoff from the project site shall be retained on site and not drain across property lines or into road right-of-way. With compliance of County standards, the project will have a less than significant impact in terms of surface runoff.

4. Impede or redirect flood flows?

FINDING: NO IMPACT:

According to FEMA FIRM Panels 2625H and 2650H, the subject parcel is not subject to flooding from the 100-year storm. Therefore, the project will not impede or redirect flood flows.

D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: NO IMPACT:

As noted, the subject parcel is not subject to flooding from the 100-year storm and is not located near a body of water to indicate increase risk from a tsunami or seiche. Therefore, no impact is seen.

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

Reviewing agencies and departments did not express concern with the application to indicate that the project will conflict with or obstruct implementation of a water quality control plan or sustainable management plan.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community?

FINDING: NO IMPACT:

The project is located on a 2.09-acre parcel and would not physically divide an established community.

- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: NO IMPACT:

Development in Fresno County is required to be consistent with the Fresno County General Plan. Goal LU-A reads "To promote the long-term conservation of productive and potentially productive agricultural lands and to accommodate agricultural-support services and agriculturally-related activities that support the viability of agriculture and further the County's economic development goals." This goal relates to the environmental impacts of the loss of farmland. The following policies support this goal through careful consideration of the proposed use and protection of agricultural operations.

- Policy LU-A.3 provides criteria to be considered when a discretionary permit for special agricultural uses and agriculturally-related activities is being applied for.
- Policy LU-A.12, 13, and 14 are policies that protect agricultural activities from encroachment of incompatible land uses and mitigate any conversion of productive agricultural land.

In considering the relation of the subject proposal with the identified policies, the proposed use is agriculturally supportive by providing ag-supportive products to their

intended customers in a more efficient location. Per the Fresno County Zoning Ordinance, the subject application is an allowed use subject to the Classified Conditional Use Permit. Buffers in the form of setbacks established by the underlying zone district provide a minimum buffer distance from existing agricultural operations based on the property lines. Compliance of the development standards of the underlying zone district will allow the project to be consistent with the identified General Plan policies. Additionally, the subject parcel is approximately 2.09 acres and has already been developed with a single-family residence and accessory structures. The existing use and size of the subject parcel would not be considered feasible for an agricultural operation. In considering these factors, the project will have no impact on the Fresno County General Plan in long-term conservation of productive agriculture.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: NO IMPACT:

According to Figure 7-7 and 7-8 of the Fresno County General Plan Background Report, the project site is not located on an identified mineral resource location or principal mineral producing location.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Review of the subject proposal by the Department of Public Health, Environmental Health Division indicates that the project would be subject to the County of Fresno Noise Ordinance. With the application having the potential of exposing nearby residents to elevated noise levels, the operator will be subject to further review of noise impacts, should the project be reported for noise violations and exceed thresholds established under the Noise Ordinance. The nearest sensitive receptor is located approximately 400 feet southwest of the structures proposed to house the operation. In considering comments provided by the Environmental Health Division, the projects

proximity to sensitive receptors, and the required compliance of the operation with the Fresno County Noise Ordinance, the project will have a less than significant impact in terms of increased noise level generation.

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels; or

FINDING: NO IMPACT:

The project site is not located in the vicinity of a private airstrip or airport land use plan and is not located within two miles of a public airport or public use airport.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?; or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The subject application proposes to utilize the existing structures for their operation. The project will not induce substantial unplanned population growth nor will it displace a substantial number of people or housing.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?

- 1. Fire protection;

FINDING: NO IMPACT:

The Fresno County Fire Protection District has reviewed the subject application. Provided comments included compliance with current Fire and Building Code. There

were no expressed concerns by the FCFPD to indicate that the project would require the provision of new or physically-altered facilities.

2. Police protection;
3. Schools;
4. Parks; or
5. Other public facilities?

FINDING: NO IMPACT:

Reviewing agencies and departments did not comment on the project to indicate the provision of new or physically-altered facilities in order to maintain acceptable service ratios, response times or other performance objectives.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The project will not increase the use or require the construction or expansion of recreational facilities or existing neighborhood and regional parks.

XVI. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities; or
- B. Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Review of the project proposal and estimated trips generated by the project did not require the preparation of a Traffic Impact Study or Vehicle Miles Traveled Analysis. Both the California Department of Transportation and the Road Maintenance and

Operations Division further reviewed the project and did not provide concerns to indicate that the project would be in conflict with a program, plan, ordinance or policy addressing the circulation system, nor indicate that the project would be in conflict with CEQA Guidelines Section 15064.3. Per the Applicant's Operational Statement, the project will have up to three employees and approximately 1 delivery per week. In addressing the trips generated by the project, a less than significant impact is seen.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?; or
- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

Review of the project design depicts access to the site off Kamm Avenue with no additional access points proposed. Review of the site access design by the Road Maintenance and Operations Division indicate that County design standards for entrance gates and drive approaches will be upheld and an encroachment permit will be required for any work performed in County right-of-way. Review of the site access design did not indicate that the project would result in inadequate emergency access.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
 - 1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
 - 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Per the provisions of Assembly Bill 52 (AB 52) participating California Native American Tribes were notified of the subject application and given the opportunity to enter into consultation with the County of Fresno on identifying and address potential tribal cultural resources. No concerns were expressed by reviewing California Native American tribes to indicate the presence of tribal cultural resources. Therefore, in the unlikely event that

a cultural resource is identified during ground-disturbing activities, a mitigation measure will be implemented on correctly assessing and addressing any unearthed resource.

* **Mitigation Measure(s)**

1. See Section V Cultural Resources, A., B., and C. Mitigation Measure #1

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project would not result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities which would cause significant environmental effects. Minor upgrades to existing infrastructure may occur to the site but would not result in significant environmental effects.

The Water and Natural Resources Division and the State Water Resources Control Board have reviewed the subject application and did not express concern with the available water supplies of the area or specific permitting for water facilities.

- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: NO IMPACT:

The subject operation expects to utilize an existing private septic system for wastewater treatment and does not anticipate further expansion. Review of the proposal by the Zoning Section and the Environmental Health Division did not indicate the need for additional wastewater treatment facilities.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or

- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: NO IMPACT:

Reviewing agencies and departments did not express concern with the project to indicate that the project would result in the generation of solid waste in excess of State or local standards nor would it result in conflict with federal, state, or local management and reduction statutes and regulations related to solid waste.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or
- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

Per the 2007 Fresno County Fire Hazard Severity Zones in LRA Map provided by the California Department of Forestry and Fire Protection, the project site is not located within a State Responsibility Area and not located within land designated for a very high fire hazard severity zone.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: NO IMPACT:

The subject site is already improved with a single-family residence and accessory structures. Due to the previous disturbed nature of the site and the scope of the proposed operation, the project would not substantially degrade the quality of the environment and would not result in the reduction of wildlife below self-sustaining levels.

- B. Have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Project impacts related to Aesthetics, Cultural Resources, and Tribal Cultural Resources have been determined to have a less than significant impact with the implementation of recommended mitigation measures. These impacts were determined to be not cumulatively considerable.

- C. Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

The project would not result in substantial adverse effects on human beings.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Classified Conditional Use Permit Application No. 3699, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Geology and Soils, Land Use Planning, Mineral Resources, Population and Housing, Public Services, Recreation and Wildfire.

Potential impacts related to Agricultural and Forestry Resources, Air Quality, Energy, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Noise, Transportation, Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, and Tribal Cultural Resources have determined to be less than significant with compliance of recommended mitigation measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and “M” Street, Fresno, California.

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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY ENVIRONMENTAL CHECKLIST FORM

- 1. Project title:**
Initial Study No. 8021 and Classified Conditional Use Permit Application No. 3699
- 2. Lead agency name and address:**
County of Fresno, Department of Public Works and Planning
2220 Tulare Street, 6th Floor
Fresno, CA 93721
- 3. Contact person and phone number:**
Thomas Kobayashi, Planner
(559) 600-4224
- 4. Project location:**
The subject parcel is located on the north side of E. Conejo Avenue approximately 1,290 feet east of its intersection with S. Cedar Avenue and is approximately 7.2 miles west of the City of Selma (2246 E. Conejo Avenue, Fresno, CA) (042-310-03) (SUP. DIST. 4).
- 5. Project sponsor's name and address:**
Trafalgar Land Company
P.O. Box 38
Orosi, CA 93647
- 6. General Plan designation:**
Agriculture
- 7. Zoning:**
AE-20 (Exclusive Agricultural, 20-acre minimum parcel size)
- 8. Description of project: (Describe the whole action involved, including, but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)**
Allow the processing, storage and sale of agricultural chemicals on a 2.09-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.
- 9. Surrounding land uses and setting: Briefly describe the project's surroundings:**
The subject parcel is located in a mainly agricultural area with single-family residences pocketed throughout the region.
- 10. Other public agencies whose approval is required (g., permits, financing approval, or participation agreement.)**
County of Fresno, Department of Public Works and Planning
County of Fresno, Department of Public Health, Environmental Health Division

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

Participating California Native American Tribes were notified of the project proposal and given the opportunity to enter into consultation with the County of Fresno on identifying and addressing potential cultural resources. Participating California Native American Tribes did not express concern with the project proposal nor were there any identified cultural resources.

NOTE: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21080.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

DEVELOPMENT SERVICES DIVISION

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | |
|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Biological Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Mandatory Findings of Significance | |

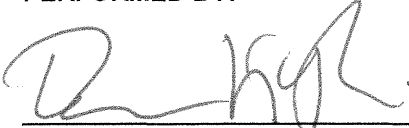
DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT:

On the basis of this initial evaluation:

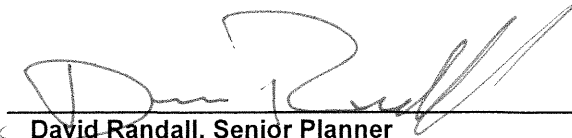
- I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the Mitigation Measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required
- I find that as a result of the proposed project, no new effects could occur, or new Mitigation Measures would be required that have not been addressed within the scope of a previous Environmental Impact Report.

PERFORMED BY:

REVIEWED BY:



 Thomas Kobayashi, Planner
 Date: 7/27/21



 David Randall, Senior Planner
 Date: 7/27/21

**INITIAL STUDY
ENVIRONMENTAL CHECKLIST FORM
(Initial Study No. 8021 and
Classified Conditional Use Permit
Application No. 3699)**

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

1 = No Impact

2 = Less Than Significant Impact

3 = Less Than Significant Impact with Mitigation Incorporated

4 = Potentially Significant Impact

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 1 c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?
- 3 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- 1 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract?
- 1 c) Conflict with existing zoning for forest land or timberland zoned Timberland Production?
- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 2 e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable Air Quality Plan?
- 2 b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?
- 2 c) Expose sensitive receptors to substantial pollutant concentrations?
- 2 d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 1 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 c) Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- 1 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

V. CULTURAL RESOURCES

Would the project:

- 3 a) Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?
- 3 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?
- 3 c) Disturb any human remains, including those interred outside of formal cemeteries?

VI. ENERGY

Would the project:

- 2 a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?
- 2 b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

VII. GEOLOGY AND SOILS

Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 - 1 ii) Strong seismic ground shaking?
 - 1 iii) Seismic-related ground failure, including liquefaction?
 - 1 iv) Landslides?
- 1 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?
- 1 e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?
- 1 f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- 2 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- 2 b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 2 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 2 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?
- 1 f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 1 g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

X. HYDROLOGY AND WATER QUALITY

Would the project:

- 1 a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?
- 1 b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?
- 1 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 1 i) Result in substantial erosion or siltation on- or off-site;
 - 2 ii) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite;
 - 2 iii) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or
 - 1 iv) Impede or redirect flood flows?
- 1 d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?
- 1 e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

XI. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?
- 1 b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

XII. MINERAL RESOURCES

Would the project:

- 1 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 1 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

XIII. NOISE

Would the project result in:

- 2 a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 2 b) Generation of excessive ground-borne vibration or ground-borne noise levels?
- 1 c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

XIV. POPULATION AND HOUSING

Would the project:

- 1 a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and

businesses) or indirectly (for example, through extension of roads or other infrastructure)?

- 1 b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

XV. PUBLIC SERVICES

Would the project:

- 1 a) Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
- 1 i) Fire protection?
1 ii) Police protection?
1 iii) Schools?
1 iv) Parks?
1 v) Other public facilities?

XVI. RECREATION

Would the project:

- 1 a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- 1 b) Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

XVII. TRANSPORTATION

Would the project:

- 2 a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?
- 2 b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?
- 1 c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 d) Result in inadequate emergency access?

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- 3 a) Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
- 3 i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
- 3 ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public

Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 2 a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?
- 2 b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?
- 1 c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 1 d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?
- 1 e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- 1 a) Substantially impair an adopted emergency response plan or emergency evacuation plan?
- 1 b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?
- 1 c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?
- 1 d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 1 a) Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 2 b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)
- 1 c) Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

Documents Referenced:

This Initial Study is referenced by the documents listed below. These documents are available for public review at the County of Fresno, Department of Public Works and Planning, Development Services and Capital Projects Division, 2220 Tulare Street, Suite A, Fresno, California (corner of M & Tulare Streets).

Fresno County General Plan, Policy Document and Final EIR

Fresno County Zoning Ordinance

Important Farmland 2016 Map, State Department of Conservation

Fresno County Fire Hazard Severity Zones in LRA 2007 Map, State Department of Forestry and Fire Protection

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E202110000182

County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

FILED
JUL 27 2021
TIME 2:37pm
FRESNO COUNTY CLERK
By [Signature] DEPUTY

For County Clerk's Stamp

Notice is hereby given that the County of Fresno has prepared Initial Study (IS) No. 8021 pursuant to the requirements of the California Environmental Quality Act for the following proposed project:

INITIAL STUDY NO. 8021 and CLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3699 filed by **TRAFALGAR LAND COMPANY**, proposing to allow the processing, storage, and sale of agricultural chemicals on a 2.09-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the north side of E. Conejo Avenue approximately 1,290 feet east of its intersection with S. Cedar Avenue and is approximately 7.2 miles west of the City of Selma (SUP. DIST. 4) (APN 042-310-03). Adopt the Mitigated Negative Declaration prepared for Initial Study No. 8021, and take action on Classified Conditional Use Permit Application No. 3699 with Findings and Conditions. (hereafter, the "Proposed Project")

The County of Fresno has determined that it is appropriate to adopt a Mitigated Negative Declaration for the Proposed Project. The purpose of this Notice is to (1) provide notice of the availability of IS No. 8021 and the draft Mitigated Negative Declaration, and request written comments thereon; and (2) provide notice of the public hearing regarding the Proposed Project.

Public Comment Period

The County of Fresno will receive written comments on the Proposed Project and Mitigated Negative Declaration from July 30, 2021 through August 30, 2021.

Email written comments to tkobayashi@fresnocountyca.gov, or mail comments to:

Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
Attn: Thomas Kobayashi
2220 Tulare Street, Suite A
Fresno, CA 93721

IS No. 8021 and the draft Mitigated Negative Declaration may be viewed at the above address Monday through Thursday, 9:00 a.m. to 5:00 p.m., and Friday, 8:30 a.m. to 12:30 p.m. (except holidays), or at www.co.fresno.ca.us/initialstudies. An electronic copy of the draft Mitigated Negative Declaration for the Proposed Project may be obtained from Thomas Kobayashi at the addresses above.

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*** SPECIAL NOTICE REGARDING PUBLIC PARTICIPATION DUE TO COVID-19 ***

Due to the current Shelter-in-Place Order covering the State of California and Social Distance Guidelines issued by Federal, State, and Local Authorities, the County is implementing the following changes for attendance and public comment at all Planning Commission meetings until notified otherwise. The Board chambers will be open to the public. Any member of the Planning Commission may participate from a remote location by teleconference pursuant to Governor Gavin Newsom's executive Order N-25-20. Instructions about how to participate in the meeting will be posted to: <https://www.co.fresno.ca.us/planningcommission> 72 hours prior to the meeting date.

- The meeting will be broadcast. You are strongly encouraged to listen to the Planning Commission meeting at: <http://www.co.fresno.ca.us/PlanningCommission>.
- If you attend the Planning Commission meeting in person, you will be required to maintain appropriate social distancing, i.e., maintain a 6-foot distance between yourself and other individuals. Due to Shelter-in-Place requirements, the number of people in the Board chambers will be limited. Members of the public who wish to make public comments will be allowed in on a rotating basis.
- If you choose not to attend the Planning Commission meeting but desire to make general public comment on a specific item on the agenda, you may do so as follows:

Written Comments

- Members of the public are encouraged to submit written comments to: Planningcommissioncomments@fresnocountyca.gov. Comments should be submitted as soon as possible, but not later than 8:30am (15 minutes before the start of the meeting). You will need to provide the following information:
 - Planning Commission Date
 - Item Number
 - Comments
- Please submit a separate email for each item you are commenting on.
- Please be aware that public comments received that do not specify a particular agenda item will be made part of the record of proceedings as a general public comment.
- If a written comment is received after the start of the meeting, it will be made part of the record of proceedings, provided that such comments are received prior to the end of the Planning Commission meeting.
- Written comments will be provided to the Planning Commission. Comments received during the meeting may not be distributed to the Planning Commission until after the meeting has concluded.
- If the agenda item involves a quasi-judicial matter or other matter that includes members of the public as parties to a hearing, those parties should make arrangements with the Planning Commission Clerk to provide any written materials or presentation in advance of the meeting date so that the materials

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may be presented to the Planning Commission for consideration. Arrangements should be made by contacting the Planning Commission Clerk at (559) 600-4230.

PROGRAM ACCESSIBILITY AND ACCOMMODATIONS: The Americans with Disabilities Act (ADA) Title II covers the programs, services, activities and facilities owned or operated by state and local governments like the County of Fresno ("County"). Further, the County promotes equality of opportunity and full participation by all persons, including persons with disabilities. Towards this end, the County works to ensure that it provides meaningful access to people with disabilities to every program, service, benefit, and activity, when viewed in its entirety. Similarly, the County also works to ensure that its operated or owned facilities that are open to the public provide meaningful access to people with disabilities.

To help ensure this meaningful access, the County will reasonably modify policies/ procedures and provide auxiliary aids/services to persons with disabilities. If, as an attendee or participant at the meeting, you need additional accommodations such as an American Sign Language (ASL) interpreter, an assistive listening device, large print material, electronic materials, Braille materials, or taped materials, please contact the Current Planning staff as soon as possible during office hours at (559) 600-4497 or at imoreno@fresnocountyca.gov. Reasonable requests made at least 48 hours in advance of the meeting will help to ensure accessibility to this meeting. Later requests will be accommodated to the extent reasonably feasible.

Public Hearing

The Planning Commission will hold a public hearing to consider approving the Proposed Project and the Mitigated Negative Declaration on September 9, 2021, at 8:45 a.m., or as soon thereafter as possible, in Room 301, Hall of Records, 2281 Tulare Street, Fresno, California 93721. Interested persons are invited to appear at the hearing and comment on the Proposed Project and draft Mitigated Negative Declaration.

For questions please call Thomas Kobayashi (559) 600-4224.

Published: July 30, 2021

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 8021	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Thomas Kobayashi Planner	Area Code: 559	Telephone Number: 600-4224	Extension: N/A
Project Applicant/Sponsor (Name): Trafalgar Land Company	Project Title: Classified Conditional Use Permit Application No. 3699		
Project Description: Allow the processing, storage and sale of agricultural chemicals on a 2.09-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.			
Justification for Negative Declaration: Based upon the Initial Study prepared for Classified Conditional Use Permit Application No. 3699, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Geology and Soils, Land Use Planning, Mineral Resources, Population and Housing, Public Services, Recreation and Wildfire. Potential impacts related to Agricultural and Forestry Resources, Air Quality, Energy, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Noise, Transportation, Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, and Tribal Cultural Resources have determined to be less than significant with compliance of recommended mitigation measures.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – July 30, 2021		Review Date Deadline: Planning Commission – September 9, 2021	
Date:	Type or Print Signature: David Randall Senior Planner	Submitted by (Signature): Thomas Kobayashi Planner	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

NOTICE OF DETERMINATION

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

County Clerk, County of Fresno
2221 Kern Street
Fresno, CA 93721

From: Fresno County Department of Public Works and Planning, Development Services and Capital Projects
2220 Tulare Street (corner of Tulare and "M") Suite "A", Fresno, CA 93721

Subject: Filing of Notice of Determination in compliance with Section 21152 of the Public Resource Code

Project: Initial Study No. 8021, Classified Conditional Use Permit Application No. 3699

Location: The subject parcel is located on the north side of E. Conejo Avenue approximately 1,290 feet east of its intersection with S. Cedar Avenue and is approximately 7.2 miles west of the City of Selma (APN 042-310-03) (SUP.DIST. 4).

Sponsor: Trafalgar Land Company

Description: Allow the processing, storage and sale of agricultural chemicals on a 2.09-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

This is to advise that the County of Fresno (Lead Agency Responsible Agency) has approved the above described project on September 9, 2021, and has made the following determination:

1. The project **will** **will not** have a significant effect on the environment.
2. An Environmental Impact Report (EIR) **was not** prepared for this project pursuant to the provisions of CEQA. / A Mitigated Negative Declaration **was** prepared for this project pursuant to the provisions of CEQA.
3. Mitigation Measures **were** **were not** made a condition of approval for the project.
4. A statement of Overriding Consideration **was** **was not** adopted for this project.

This is to certify that the Initial Study with comments and responses and record of project approval is available to the General Public at Fresno County Department of Public Works and Planning, 2220 Tulare Street, Suite A, Corner of Tulare and "M" Streets, Fresno, California.

Thomas Kobayashi, Planner
(559) 600-4224 / TKobayashi@FresnoCountyCA.gov

Date



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: March 25, 2021

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez, Assistant Director
Development Services and Capital Projects, Attn: William M. Kettler, Division Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel Gutierrez/James Anders
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna
Development Services and Capital Projects, Building & Safety/Plan Check, CASp, Attn: Dan Mather
Resources Division, Solid Waste, Attn: Amina Flores-Becker
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: John Thompson/Nadia Lopez/Martin Querin/Wendy Nakagawa
Design Division, Transportation Planning, Attn: Mohammad Alimi/Dale Siemer/Brian Spaunhurst/Gloria Hensley
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager; Roy Jimenez
Department of Public Health, Environmental Health Division, Attn: Deep Sidhu/Steven Rhodes/Kevin Tsuda
Agricultural Commissioner, Attn: Melissa Cregan
County Counsel, Attn: Alison Samarin, Deputy County Counsel
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Matthew Nelson, Biologist
CA Regional Water Quality Control Board, Attn: Dale Harvey
CALTRANS, Attn: Dave Padilla
CA Department of Fish and Wildlife, Attn: Craig Bailey, Environmental Scientist & R4CEQA@wildlife.ca.gov
State Water Resources Control Board, Division of Drinking Water, Fresno District, Attn: Jose Robledo, Caitlin Juarez
CA Department of Toxic Substance Control (CEQA unit), Attn: Dave Kerezis
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey/Cultural Resources Director
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/Hector Franco, Director/Shana Powers, Cultural Specialist II
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division), Attn: PIC Supervisor

Central Kings GSA, Attn: Phil Desatoff, General Manager at pdesatoff@cidwater.com
Consolidated Irrigation District, Attn: Phil Desatoff, General Manager
Kings River Conservation District, Attn: Rick Hoelzel
Fresno County Fire Protection District, Attn: Jim McDougald, Division Chief

FROM: Thomas Kobayashi, Planner
Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 8021 and Classified Conditional Use Permit Application
No. 3699

APPLICANT: Trafalgar Land Company

DUE DATE: April 9, 2021

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow processing, storage, and sale of agricultural chemicals on a 2.09-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District (APN: 042-310-03) (2246 E. Conejo Avenue, Fresno, CA)..

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **April 9, 2021**. Any comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Thomas Kobayashi, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4224, or email TKobayashi@FresnoCountyCA.gov.

TK
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Activity Code (Internal Review): 2432

Enclosures



Fresno County Department of Public Works and Planning

Date Received: 2/23/20

CUP 3699
IS 8021
(Application No.)

MAILING ADDRESS:
Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:
Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type) Agricultural
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class)/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

Processing, Storage and Sale of Agricultural chemicals

CEQA DOCUMENTATION: [X] Initial Study [] PER [] N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: FRESNO COUNTY side of E Conejo Avenue
between S Chestnut Avenue and S Cedar Avenue
Street address: 2246 E Conejo Avenue, Fresno CA, 93725

APN: 042-310-03 Parcel size: 2.09 Ac. Section(s)-Twp/Rg: S 24 - T 16S S/R 20E E

ADDITIONAL APN(s):

I, SUPREME CONSTRUCTION (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Table with 5 columns: Name, Address, City, Zip, Phone. Rows include Trafalgar Land Company, Same as #1 above, Supreme Construction, and Representative information.

CONTACT EMAIL: RENE@SUPREMEGC.COM

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: CUP Fee: \$4,569.00
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
PER/Initial Study No.: IS Fee: \$3,901.00
Ag Department Review: Fee: \$93.00
Health Department Review: Fee: \$992.00
Received By: Thomas H. Invoice No.: 138612 TOTAL: \$9,555.00

UTILITIES AVAILABLE:

WATER: Yes [X]/ No []
Agency:
SEWER: Yes [X]/ No []
Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: - T - S/R - E

Related Application(s):
Zone District: AE-20
Parcel Size: 2.09 acres

APN # - - -
APN # - - -
APN # - - -
APN # - - -



Development Services
and
Capital Projects
Division

Mail To:
Peter E. Alvitre
Crop Bio Sciences, LLC
35803 ^{Sec C} Road 132
Visalia, CA 93292

Pre-Application Review

Department of Public Works and Planning

NUMBER: 19-107215
APPLICANT: Peter E. Alvitre
PHONE: (559) 280-3443

Email: peter@cropbiosciences.com

PROPERTY LOCATION: 2246 E. Conejo
APN: 042 - 310 - 03 ALCC: No Yes # VIOLATION NO. None
CNEL: No Yes (level) LOW WATER: No Yes WITHIN 1/4 MILE OF CITY: No Yes
ZONE DISTRICT: AE-20; SRA: No Yes HOMESITE DECLARATION REQ'D.: No Yes
LOT STATUS:

Zoning: () Conforms; (X) Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)

Merger: May be subject to merger: No Yes ZM# Initiated In process

Map Act: () Lot of Rec. Map; () On '72 rolls; (X) Other; () Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes X DISTRICT: Caruthers PERMIT JACKET: No Yes X

FMFCD FEE AREA: (X) Outside () District No.: FLOOD PRONE: No Yes

PROPOSAL CUP to allow a commercial establishment for processing, storage and sale of agricultural chemicals (fertilizers)

COMMENTS:

ORD. SECTION(S): 816.3-I BY: Daniel Gutierrez DATE: 10/1/2019

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: Agriculture () JGPA: () MINOR VA:
COMMUNITY PLAN: () JAA: (X) HD: \$992.00
REGIONAL PLAN: (X) CUP: \$4,569.00 (X) AG COMM: \$48.00
SPECIFIC PLAN: () DRA: () ALCC:
SPECIAL POLICIES: () JVA: (X) IS PER*: \$3,901.00
SPHERE OF INFLUENCE: () JAT: () Viol. (35%):
ANNEX REFERRAL (LU-G17/MOU): () JT: () Other:

PROCEDURES AND FEES:

COMMENTS:
Filing Fee: \$ 4,569.00
Pre-Application Fee: \$247.00
Total County Filing Fee: \$ 4,816.00

FILING REQUIREMENTS:

- Land Use Applications and Fees
- This Pre-Application Review form
- Copy of Deed / Legal Description
- Photographs
- Letter Verifying Deed Review
- IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Project Description / Operational Statement (Typed)
- Statement of Variance Findings
- Statement of Intended Use (ALCC)
- Dependency Relationship Statement
- Resolution/Letter of Release from City of Referral Letter #

OTHER FILING FEES:

- Archaeological Inventory Fee: \$75 at time of filing (Separate check to Southern San Joaquin Valley Info. Center)
- CA Dept. of Fish & Wildlife (CDFW): (\$50) (\$50+\$2,354.75) (Separate check to Fresno County Clerk for pass-thru to CDFW. Must be paid prior to IS closure and prior to setting hearing date.)

BY: Thomas Kobayashi DATE: 10/3/19
PHONE NUMBER: (559) 600-4224

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

- COVENANT
- MAP CERTIFICATE
- PARCEL MAP
- FINAL MAP
- FMFCD FEES
- ALUC or ALCC
- SITE PLAN REVIEW
- BUILDING PLANS
- BUILDING PERMITS
- WASTE FACILITIES PERMIT
- SCHOOL FEES
- OTHER (see reverse side)

PLU # 113 Fee: \$247.00
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

RECEIVED
COUNTY OF FRESNO
FEB 23 2021

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

OVER.....



RECEIVED
COUNTY OF FRESNO

FEB 23 2021

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. 8021

Project No(s). cup 3699

Application Rec'd.:

GENERAL INFORMATION

1. Property Owner : Trafalgar Land Company Phone/Fax 559-804-6743

Mailing P.O.Box 38 Orasi, CA 93647
Address: _____
Street City State/Zip

2. Applicant : Same as #1 above Phone/Fax: _____

Mailing Address: _____
Street City State/Zip

3. Representative: Supreme Construction Phone/Fax: 559-234-2070

Mailing Address: 1067 South Q Place Tulare, CA 93274
Street City State/Zip

4. Proposed Project: Blend and package agricultural fertilizers for own use as well as selling these blended materials to other farmers.

5. Project Location: Fresno County

DEVELOPMENT SERVICES DIVISION

6. Project Address: 2246 E Conejo Avenue, Fresno, CA 93725
7. Section/Township/Range: 24 / 16S / 20E 8. Parcel Size: 2.09 Ac
9. Assessor's Parcel No. 042-310-03
10. Land Conservation Contract No. (If applicable): No Known Land Conservation Contract number
11. What other agencies will you need to get permits or authorization from:

- | | |
|--|--|
| <input type="checkbox"/> LAFCo (annexation or extension of services) | <input type="checkbox"/> SJVUAPCD (Air Pollution Control District) |
| <input type="checkbox"/> CALTRANS | <input type="checkbox"/> Reclamation Board |
| <input type="checkbox"/> Division of Aeronautics | <input type="checkbox"/> Department of Energy |
| <input type="checkbox"/> Water Quality Control Board | <input type="checkbox"/> Airport Land Use Commission |
| <input type="checkbox"/> Other _____ | |

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: AE-20
14. Existing General Plan Land Use Designation¹: Agricultural

ENVIRONMENTAL INFORMATION

15. Present land use: Agricultural & Residential
 Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:
See attached description of existing physical improvements (page 6) and corresponding site map (page 7).
 Describe the major vegetative cover: Small lawn and landscape bushes/trees at the front of the residence.
 Any perennial or intermittent water courses? If so, show on map: None

Is property in a flood-prone area? Describe:
Zone X: an area determined to be outside the annual 1% and 0.2% annual chance flood plain per FIRM map No. 06019C2625H with an effective date 2/18/2009

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Agricultural

South: Agricultural

East: Agricultural

West: Agricultural

17. What land use(s) in the area may be impacted by your Project?: No recognized land use(s) will be impacted.

18. What land use(s) in the area may impact your project?: There are none recognized

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes X No

B. Daily traffic generation:

I.	Residential - Number of Units	<u> 1 </u>
	Lot Size	<u> 2.09 Ac. </u>
	Single Family	<u> 1 </u>
	Apartments	<u> 0 </u>

II.	Commercial - Number of Employees	<u> 1-3 </u>
	Number of Salesmen	<u> 0 </u>
	Number of Delivery Trucks	<u> 1-2 per week </u>
	Total Square Footage of Building	<u> 4,000 sq ft. </u>

III. Describe and quantify other traffic generation activities: Service and delivery trucks consisting of Postal carrier, overnight courier services (FedEx, UPS, etc.)

20. Describe any source(s) of noise from your project that may affect the surrounding area: The use will not cause any nuisances or noise to the surrounding area.

21. Describe any source(s) of noise in the area that may affect your project: None recognized

22. Describe the probable source(s) of air pollution from your project: Although extremely rare and not anticipated any fumes that could occur during blending will be mitigated by capturing any off-gassing and passing fumes through water bath (scrubber).

23. Proposed source of water:
(X) private well

() community system³--name: _____

24. Anticipated volume of water to be used (gallons per day)²: 100 gallons / day

25. Proposed method of liquid waste disposal:

(X) septic system/individual

() community system³--name Septic system for black/gray water. Rinsate water will be captured, stored and subsequently spread on near-by farmland as low grade fertilizer and/or for dust abatement.

26. Estimated volume of liquid waste (gallons per day)²: 50 gallons/day (total all sources)

27. Anticipated type(s) of liquid waste: Black/gray water from toilets, sinks, showers, etc. Rinsate water from cleaning blending and packaging equipment and storage tanks.

28. Anticipated type(s) of hazardous wastes²: No hazardous waste anticipated

29. Anticipated volume of hazardous wastes²: No volume of hazardous waste anticipated

30. Proposed method of hazardous waste disposal²: N/A

31. Anticipated type(s) of solid waste: General waste- trash/ garbage

32. Anticipated amount of solid waste (tons or cubic yards per day): ¼ yard per week

33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): Estimated 0.10 tons/weeks

34. Proposed method of solid waste disposal: Area Waste Disposal Service

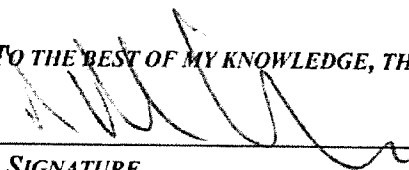
35. Fire protection district(s) serving this area: Fresno County Fire Protection

36. Has a previous application been processed on this site? If so, list title and date: Pre- Application review, dated 10/31/19

37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No X

38. If yes, are they currently in use? Yes _____ No N/A

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.



SIGNATURE

2-1-2021

DATE

¹Refer to Development Services Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

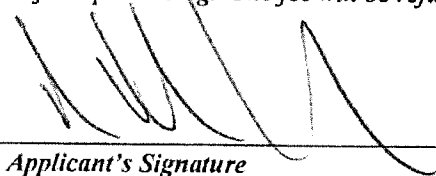
State law requires that specified fees (effective January 1, 2017: \$3,078.25 for an EIR; \$2,216.25 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.


Applicant's Signature

2-1-2021
Date

-NOTE-
This map is for Assessment purposes only.
It is not to be construed as portraying legal
ownership or divisions of land for purposes
of zoning or subdivision law.

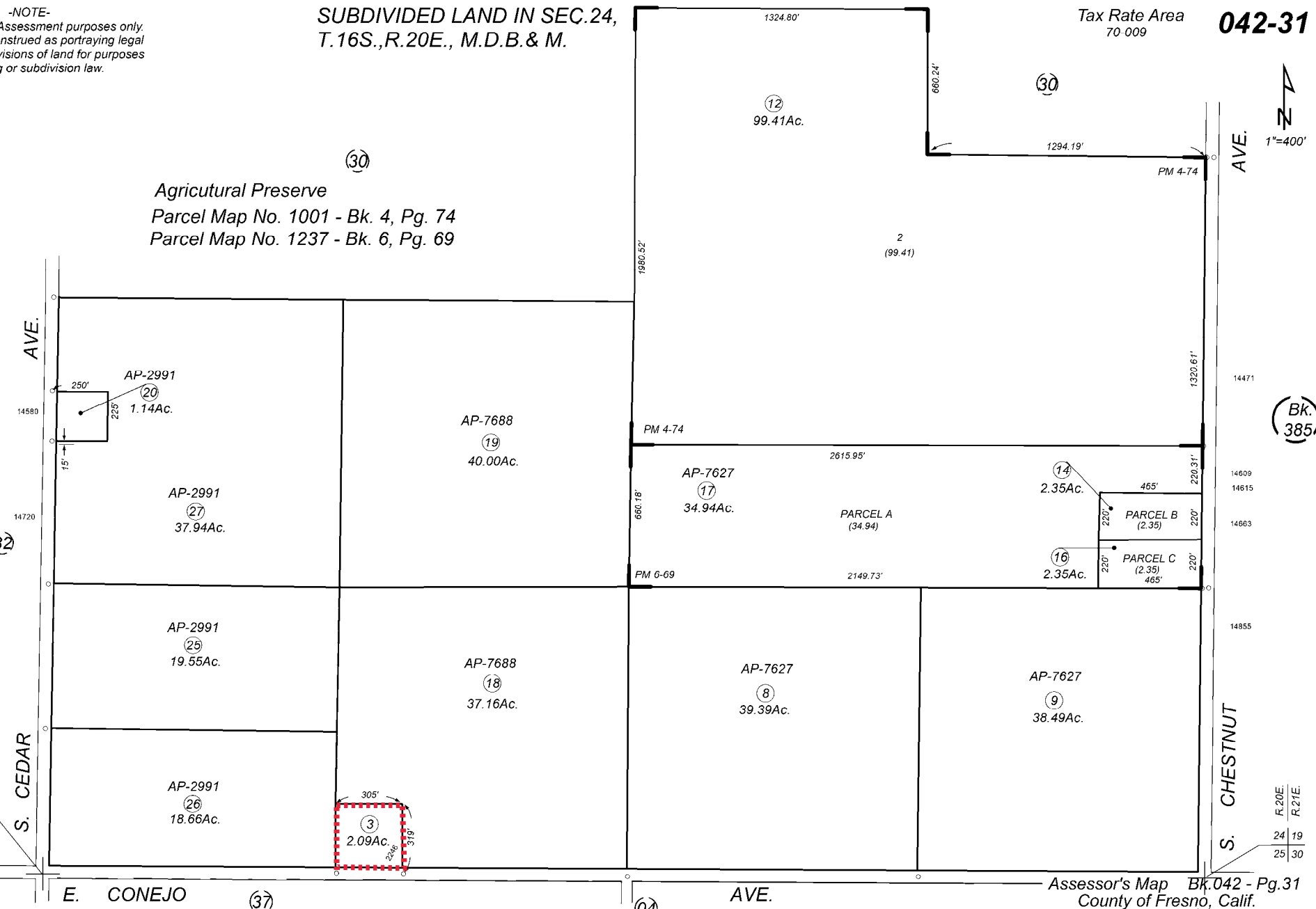
SUBDIVIDED LAND IN SEC. 24,
T. 16S., R. 20E., M.D.B. & M.

Tax Rate Area
70 009

042-31



(30)
Agricultural Preserve
Parcel Map No. 1001 - Bk. 4, Pg. 74
Parcel Map No. 1237 - Bk. 6, Pg. 69



(Bk.)
385

R. 20E.
R. 21E.

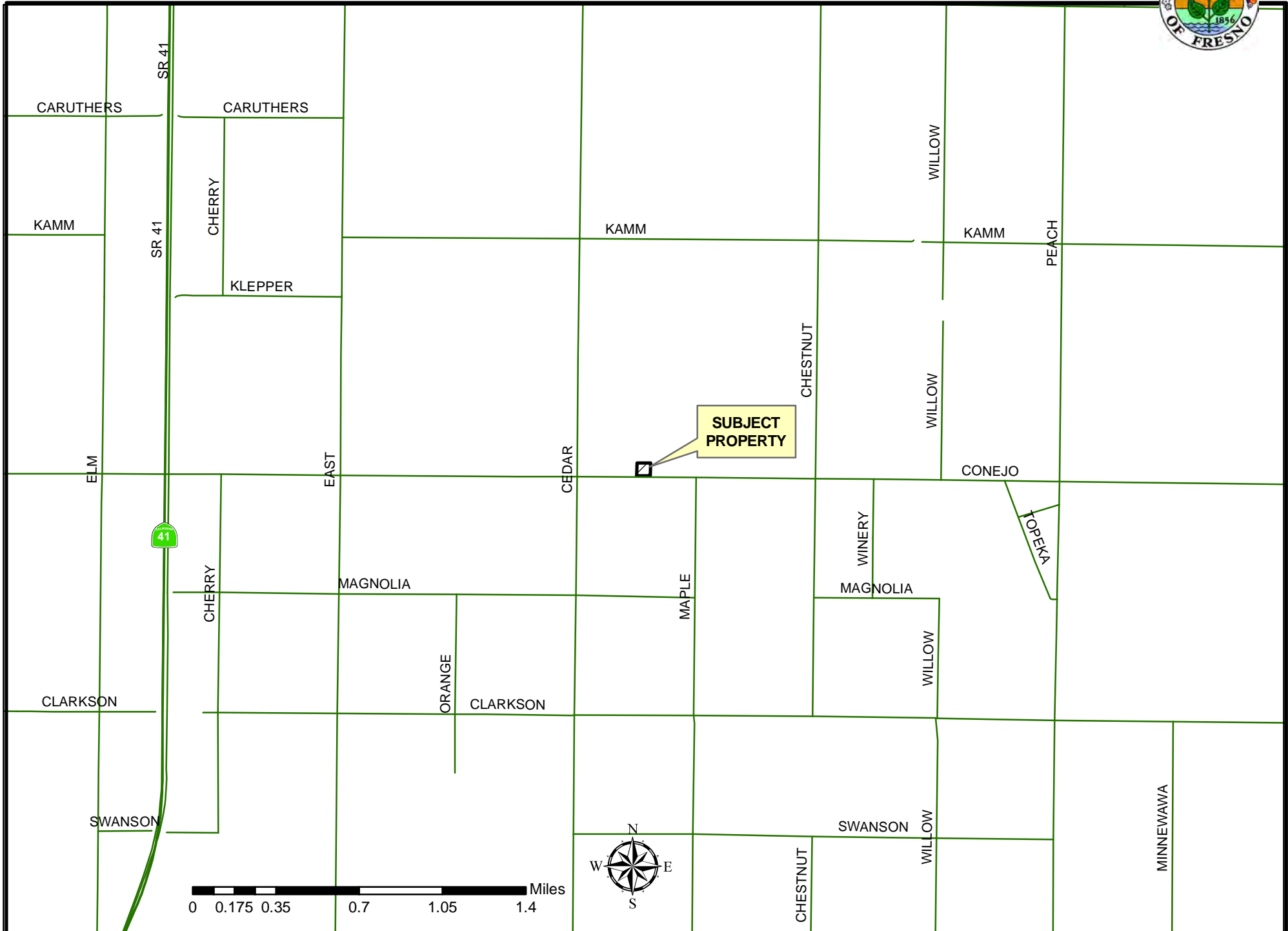
24 | 19
25 | 30

Assessor's Map Bk. 042 - Pg. 31
County of Fresno, Calif.

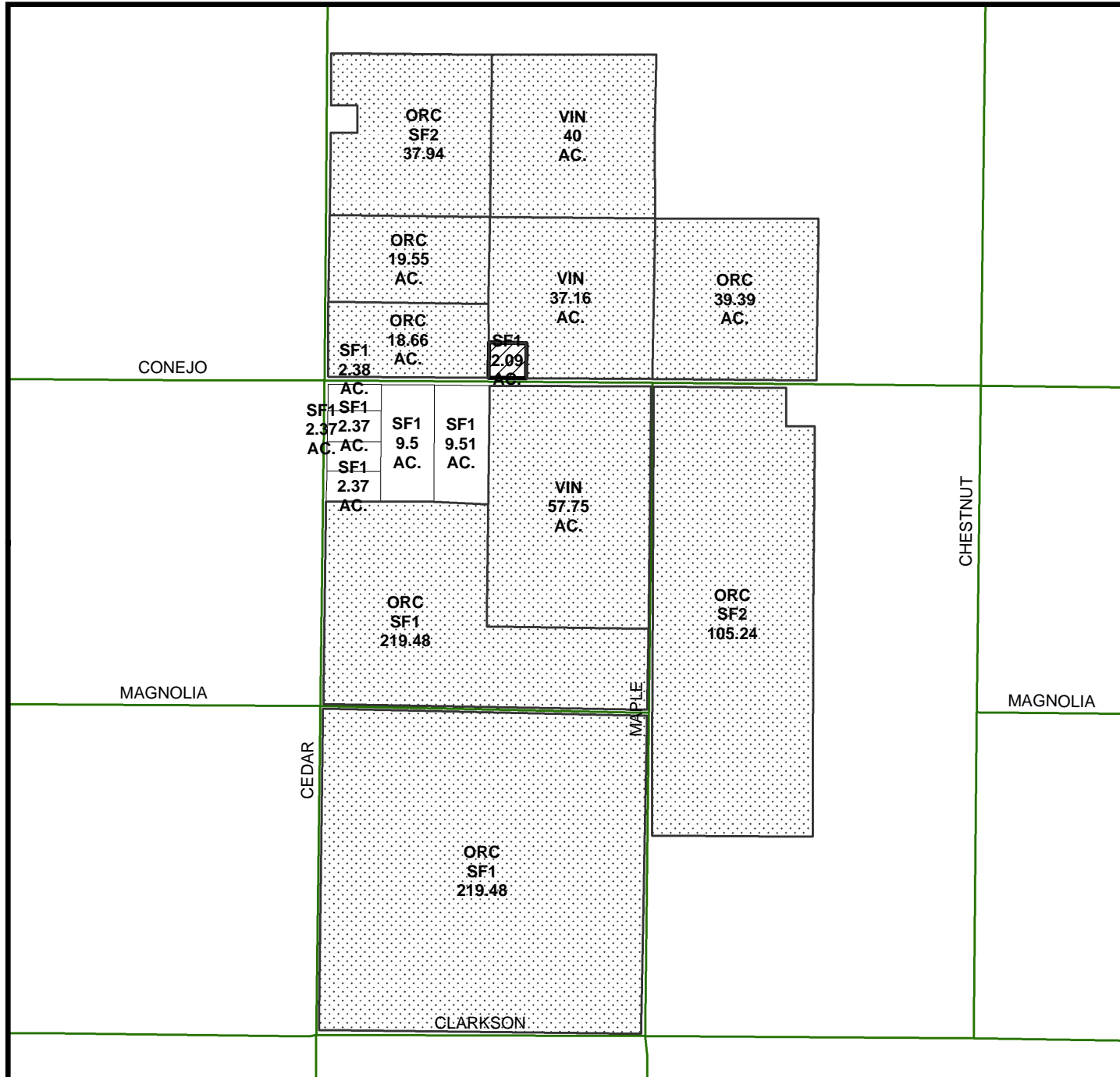
Note - Assessor's Block Numbers Shown in Ellipses
Assessor's Parcel Numbers Shown in Circles

1/8/2019

LOCATION MAP



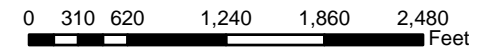
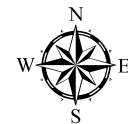
EXISTING LAND USE MAP



LEGEND	
ORC	- ORCHARD
SF#	- SINGLE FAMILY RESIDENCE
VIN	- VINEYARD
V	- VACANT

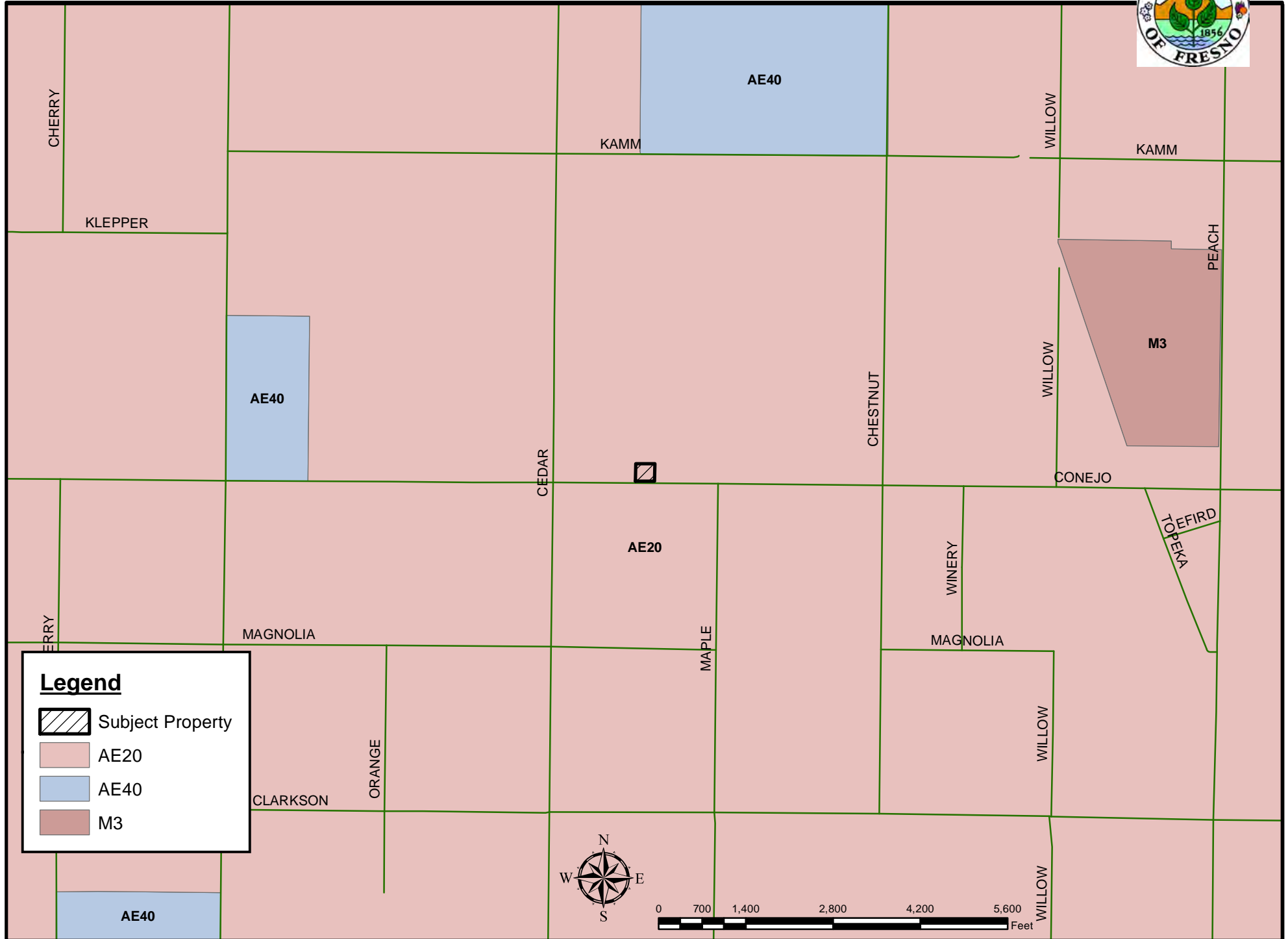
LEGEND:

-  Subject Property
-  Ag Contract Land



Department of Public Works and Planning
Development Services Division

EXISTING ZONING MAP



Legend

- Subject Property
- AE20
- AE40
- M3

RECEIVED
COUNTY OF FRESNO

FEB 23 2021

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

Trafalgar Land Company Operational Statement

Fresno County

1. Nature of the operation—what do you propose to do? Describe in detail.

The owners of Trafalgar Land Company, LLC ("Company") are all farmers that require a facility to blend and package agricultural fertilizers in the correct ratios for their own use as well as selling these blended materials to other farmers. Being able to accurately measure and blend fertilizers into appropriate ratios for specific soils not only improves nutritional efficiency but also reduces environmental pollution from excess fertilizers. Additionally, being able to control the process more thoroughly allows for accurate composition analysis as compared to field, on site blending.

The Company plans to basically have mixing equipment and bulk packaging equipment. The intended location of the manufacturing facility is 2246 E. Conejo Avenue, Fresno County and consists of 3 existing structures; 1. A 4,000 square foot Anderson steel building for packaging and/or blending activities (designated as Building A); 2. A 4,000 square foot quonset style corrugated steel building for warehousing raw materials such as chemicals, packaging goods, containers and finished products. The building also has an attached 1,900 square foot canopy with a concrete pad which will house a bulk storage tank farm consisting of four 3,000 gallon tanks and a 2,000 gallon stainless steel blending tank (designated as Building B) (Building A and Building B together is designated as the Production Unit); and a 1,800 square foot single family residence will serve as an office for administrative activities (designated as Office). The property is

secured by a 6' tall chain link fence topped with barb wire built around the entire perimeter. In addition, security cameras will be used to protect the Office, Operation Unit, gates and yard area. The aforementioned structures will also have monitored alarm systems.

The operation will begin immediately with simple, non-reactive blending of common agricultural fertilizers in both liquid and solid forms (although liquids will be the primary platform in this facility). Operations will consist of two basic components. The first component is the acquisition and storage of fertilizer materials necessary to make and package the Company's product portfolio. Additionally cardboard/paper and HDPE packaging products will be stored on site. Dry chemicals are typically packaged in 50 lbs plastic lined sacks or 500 – 1,000 lbs larger bulk, plastic lined super sacks while liquid chemicals are packaged in steel, stainless steel or HDPE containers. (Note: All materials designated for use are as non-hazardous/non inflammable. There will be a few exceptions where materials are rated as hazardous due to corrosiveness (low pH) and NOT from being toxic.

Chemicals and packaging products will be purchased from reputable distributors in different amounts ranging from less than pallet, full pallet to truck load quantities and delivered on-site by the distributor and/or common carrier. On a few occasions, Trafalgar Land Company staff may pick-up certain materials on a will-call basis. All items or materials will be placed in Building B and stored in accordance with standard safe warehousing practices. Volumes and/or quantities of chemicals and packaging

materials will be dependent upon product demand and will increase (or decrease) as dictated by sales.

The second phase is blending liquid and dry chemical ingredients. The blending function will utilize either a 2,000 gallon enclosed stainless-steel bulk mixing tank equipped with load cells to monitor weight and a water fume scrubber to mitigate any potential odor. The tank also has mechanical agitation to aid in blending the formulation ingredients into a uniform solution. For solid blending, a 3 ton ribbon blender will be utilized.

Using a batch formulating sheet, the blender operator will stage the raw ingredients by weighing each on a certified deck scale. The materials are then placed on the blending tank deck and, with the mechanical agitator and fume collector engaged, manually added by the operator to the blending tank which has been pre-filled with the proper amount of water. Materials are added in a specified order as designated by the formulating instructions.

(Notes: 1. An operator verifies that the blending operator has staged the correct materials and quantities thereof; 2. a bead mill may be incorporated in the process at this juncture; and 3. A shear blender may be used for blending suspension formulations.)

The finished liquid product is then pumped into a 3,000 gallon polyethylene bulk storage cone tanks with air-driven diaphragm style pumps and stored until it is packaged into various size containers.

Finished product is packaged into HDPE, UN certified containers of various sizes including, but not limited to, 1 gallon bottles, 2.5 gallon jugs, 5 gallon pails, 5 gallon tight head jerricans, 30 gallon drums, 55 gallon drums or 275 gallon intermediate bulk containers (IBC or totes).

2. Operational time limits:

Months (if seasonal): Days per week: 5

Hours (from _8am_____ to _5pm_____) Total hours per day: 8-10

Special activities: Frequency: Hours:

Are these indoors or outdoors: Indoors

Trafalgar Land Company expects to operate year round, serving agricultural operations. Typical business hours for the Office and Production Unit will be from 8:00 a.m. to 5:00 p.m. Monday through Friday. However, under certain circumstances, the Production Unit may operate on over-time and/or need to operate on various weekends all of which will be determined by seasonality and increases in sales volumes.

All Blending and mixing operations will be done outside under a canopy cover, located at the northwest corner of Building B. Packaging operations will be inside of Building A.

3. Number of customers or visitors:

Average number per day: 1 Maximum number per day:

Hours (when they will be there): 10am-3 pm

Since Trafalgar Land Company is not a retailer, on-site visitation will be limited to occasional visits from current or prospective vendors, current distributors and direct sales customers. All visitation will be by invitation or scheduled appointments only and occur during regular business hours. The estimated visitor average is 2 people per week.

4. Number of employees:

Current: 0 Future: 1-3 Hours they work: 8-5 pm

Do any live on-site as a caretaker? No.

The initial employment requirement will consist of:

- a. a Foreman
- b. 1-2 laborers

The typical working hours will be a 40-hour week at 8 hours per day, Monday through Friday. No employees or other persons will live on-site.

5. Service and delivery vehicles:

Number: Type: Frequency:

Service and delivery vehicle number and frequency will vary greatly. Routine vehicle traffic will consist of postal carrier, overnight courier services (FedEx, UPS, etc), vendor delivery trucks, customer pick-up trucks and overland freight trucks (local and long haul). On lesser occasions, service vehicles would include plumbing, electrical, welding, carpenter and other repair type contractors. As such, it is estimated that an average of 1 trucks per week during the highest activity period (Feb-May) and then one truck every two weeks there after. However, the estimate may increase in relationship to demand volume.

6. Access to the site:

**Public Road: Private Road: Surface: Unpaved
(dirt/gravel) / Paved:**

The facility property fronts the north side of Conejo Avenue. Property ingress and egress will occur directly off of and on to Conejo Avenue through entry/exit gates located at the southeast corner of the property. Conejo Avenue and the facility have new asphalt pavement surfaces.

7. Number of parking spaces for employees, customers, and service/delivery vehicles. Type of surfacing on parking area:

There is sufficient area to have numerous parking spaces on an asphalt surface for employees and/or visitors at both the front and rear of the Office. There is also adequate area at the southwest corner of Building A for spaces in which to park service vehicles. Large delivery trucks have a paved turn-around and parking area on the east side of the Office. The area also provides freight trucks proper positioning for backing into a loading dock which has a concrete runway. The number of spaces and marking of same will be done in accordance with all Local, County, State and/or Federal regulations governing such.

8. Are any goods to be sold on-site? If so, are these goods grown or produced on-site or at some other location? Explain:

No products will be sold on-site.

9. What equipment is used? If appropriate, provide pictures or brochure.

See Item #1 above

10. What supplies or materials are used and how are they stored?

See detailed explanation in #1 above. Materials consist of various chemicals, HDPE containers of different sizes, cardboard cartons, wood pallets and other paper or plastic products used for packaging. The materials will be stored in a secure warehouse structure. (Note: a list of expected chemicals to be used is available upon request.

However, non-disclosure provisions will need to be in place prior to releasing such list to protect the Company's trade secret or confidential formulations.)

11. Does the use cause an unsightly appearance?

Noise? Glare? Dust? Odor?

If so, explain how this will be reduced or eliminated.

The use will not cause any unsightly appearances, nuisances, noise or dust. Although extremely rare and not anticipated, any odor that could occur during blending will be mitigated by capturing any off-gassing and passing the fumes through a water bath (scrubber).

12. List any solid or liquid wastes to be produced:

Estimated volume of wastes: How and where is it stored?

How is it hauled, and where is it disposed? How often?

Trafalgar Land Company will strive to be a zero to minimal waste generator. All recyclables, including cardboard and plastics, will be accumulated, baled and taken to an authorized recycling depot by Trafalgar Land Company staff via flatbed truck or contracted hauler. Any HDPE containers will be processed (chipped) on-site and recycled by a contracted association handler. All recyclables will be stored either in an on-site compactor unit or in a designated storage unit (trailer) and protected from the elements (sun, wind and rain). The frequency of disposal will be determined by

accumulated volume and availability of recycling contractors that receive and/or process materials on-site.

General waste (trash/garbage) will be disposed of by the area waste disposal service. The amount of general waste is not expected to exceed ¼ yard per week.

Liquid waste will consist of wash or rinsate water resulting from cleaning equipment, washing facility floors, sanitizing certain containers and/or accidental spill or leakage clean-up. Such water is considered to be a very low grade fertilizer. As such, the facility has been designed so that rinsates are collected in a central location and subsequently pumped into and stored in a 2,000 gallon HDPE tank. The amount of liquid waste is expected to be approximately 450 – 550 gallons per month. The liquid will be disposed of by spreading on the owners farms.

13. Estimated Volume of water to be used (gallons per day). Source of water?

The estimated daily water use is 400 gallons per week. The amount is based on averaging the first year of operations annual water use estimate of 104,000 gallons. The actual daily use will vary due to certain conditions including, but not limited to, performance of crop market segments, marketing and promotional campaigns, seasonality influences and sales volumes.

The daily amount includes black water, gray water, potable & landscape water, equipment and facility maintenance rinsates and product manufacturing.

Water is supplied by an on-site well with a submersible pump and pressure system.

14. Describe any proposed advertising including size, appearance, and placement.

It is planned to install a sign with the Company's logo, name and address at the front of the property, perpendicular to the north side of Conejo Avenue. The sign will be made and installed in accordance with County regulations related to size, materials, mounting height, set-back requirement, etc.

15. Will Existing buildings be used or will new buildings be constructed?

Describe type of construction materials, height, color, etc. Provide Floor Plan and elevations, if appropriate.

See Item #1 above and attached site map.

16. Explain which buildings or what portion of buildings will be used in the operation.

See Item #1 above

17. Will any outdoor lighting or an outdoor sound amplification system be used? Describe and indicate when used.

Outdoor lighting will be used to illuminate the loading dock, building and yard perimeters. Illumination of the mentioned areas will occur during evening (night time) hours and are part of a security system for deterring theft. Lights will be mounted at strategic locations on the exterior of Building A and Building B in a manner to maximize coverage of the property but avoid being a nuisance and/or safety hazard to residents in the immediate area or vehicles driving past the facility.

An amplified voice system will not be used.

18. Landscaping or fencing proposed? Describe type and location.

The installation of additional low maintenance, low water use landscape is currently being completed. The existing landscape will be maintained and consists of a lawn with shade trees located at the front of the Office. The surrounding flower beds along the east and south sides of the office contain a few shrubs and vines.

A 6' chain link fence topped with barb wire around the entire property perimeter has been installed. The front portion, parallel to Conejo Avenue will have privacy chain link fabric with 3 strategically placed sliding gates. A fourth gate is located at the northwest property corner for access to the well and/or pump.

19. Any other information that will provide a clear understanding of the project or operation.

See Item #1 above.

20. Identify all Owners, Officers and/or Board Members for each application submitted; this may be accomplished by submitting a cover letter in addition to the information provided on the signed application forms.

Member Managers of Trafalgar Land Company

Nigel M. Grech (owner)

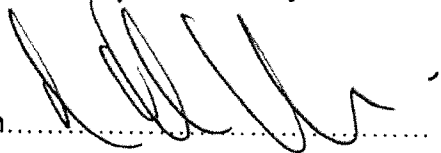
Jeannine M Grech (Owner)

Jeannine M. Grech.....



10/1/2020

Nigel M. Grech.....



10/1/2020

Description of Existing Physical Improvements

-Environmental information Section

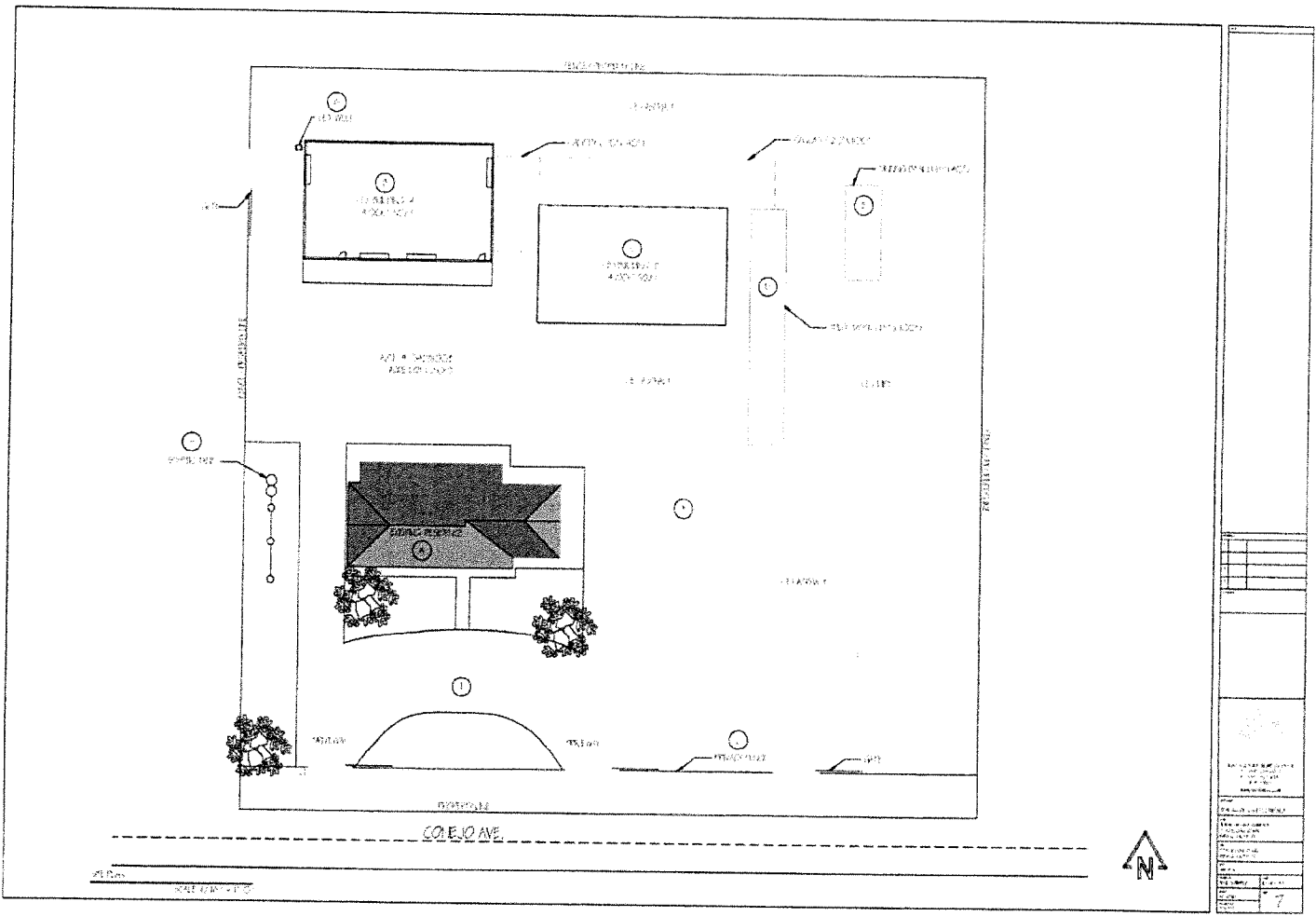
Question 15- Describe existing physical improvements including buildings etc:

- A. 1,800 square feet single family residence with 2 bedroom, 2 bathrooms and 2 car garage – designated as Residence
- B. 4,000 square feet Anderson metal building (warehouse) with 800 square feet connecting canopy (to Bldg B) – designated as Building A
- C. 4,000 square feet quonset style wood frame, corrugated steel skin building (warehouse) with 2,000 square feet canopy - designated as Building B
- D. 1,500 square foot (15' x 100') single bay concrete truck dock
- E. 600 square feet (15'x40') catchment and sinking basin (rain water)
- F. Approximately 43,000 square feet of paved driveways, yard and parking areas
- G. Domestic water well (diameter and depth are unknown)
- H. Septic tank system for sewage disposal (gray & black water, size capacity is unknown).
- I. Property frontage is adjacent to the north side of Conejo Avenue
- J. Property is enclosed by a privacy chain link fabric fence

RECEIVED
COUNTY OF FRESNO

FEB 23 2021

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION



PROJECT TITLE	
CLIENT	
DESIGNER	
DATE	
SCALE	
SHEET NO.	
TOTAL SHEETS	
DATE	7

Fresno County Recorder
Paul Dictos, CPA

2018-0140314

Recorded at the request of:
CHICAGO TITLE REEDLEY - 1140

11/20/2018 03:21 27

Titles: 1 Pages: 3

Fees: \$17.00

CA SB2 Fees: \$0.00

Taxes: \$482.90

Total: \$499.90

RECORDING REQUESTED BY:
Chicago Title Company

When Recorded Mail Document
and Tax Statement To:
Jeannine Grech
Trafalgar Land Company LLC
PO Box 38
Orosi, CA 93647

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Escrow Order No.: FWFM-4461800772

Exempt from fee per GC 27388.1 (a) (2); recorded in connection with a transfer subject to
the imposition of documentary transfer tax.

Property Address: 2246 East Conejo Avenue,
Fresno, CA 93725

APN/Parcel ID(s): 042-310-03

GRANT DEED

RECEIVED
COUNTY OF FRESNO

FEB 23 2021

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

The undersigned grantor(s) declare(s)

- This transfer is exempt from the documentary transfer tax.
 - The documentary transfer tax is \$482.90 and is computed on:
 - the full value of the interest or property conveyed.
 - the full value less the liens or encumbrances remaining thereon at the time of sale.
- The property is located in an Unincorporated area.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Lisa D. Hagopian, Sole Successor Trustee of Trust B, the Deanna Hagopian Family Trust of the Martin and Deanna Hagopian Family Trust Dated August 25, 1999

hereby GRANT(S) to Trafalgar Land Company LLC, a California limited liability company

the following described real property in the Unincorporated Area of the County of Fresno, State of California:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

MAIL TAX STATEMENTS AS DIRECTED ABOVE

RECORDING REQUESTED BY:
Chicago Title Company

This Document Was
Recorded Electronically

When Recorded Mail Document
and Tax Statement To:
Jeannine Grech
Trafalgar Land Company LLC
PO Box 38
Orosi, CA 93647

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Escrow Order No.: FWFM-4461800772

Exempt from fee per GC 27388.1 (a) (2); recorded in connection with a transfer subject to
the imposition of documentary transfer tax.

Property Address: 2246 East Conejo Avenue,
Fresno, CA 93725

APN/Parcel ID(s): 042-310-03

GRANT DEED

The undersigned grantor(s) declare(s)

- This transfer is exempt from the documentary transfer tax.
- The documentary transfer tax is \$482.90 and is computed on:
 - the full value of the interest or property conveyed.
 - the full value less the liens or encumbrances remaining thereon at the time of sale.

The property is located in an Unincorporated area.

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, Lisa D. Hagopian, Sole Successor Trustee of Trust B, the Deanna Hagopian Family Trust of the Martin and Deanna Hagopian Family Trust Dated August 25, 1999

hereby GRANT(S) to Trafalgar Land Company LLC, a California limited liability company

the following described real property in the Unincorporated Area of the County of Fresno, State of California:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

MAIL TAX STATEMENTS AS DIRECTED ABOVE

GRANT DEED
(continued)

APN/Parcel ID(s): 042-310-03

Dated: October 31, 2018

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Lisa D. Hagopian, Sole Successor Trustee of Trust B, the Deanna Hagopian Family Trust of the Martin and Deanna Hagopian Family Trust Dated August 25, 1999

BY: Lisa D. Hagopian
Lisa D. Hagopian
Sole Successor Trustee

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Tulare

On 11-1-18 before me, C. Caughen, Notary Public,
(here insert name and title of the officer)

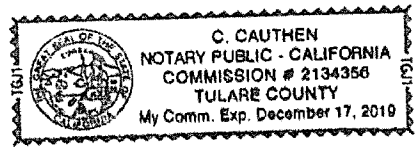
personally appeared Lisa D. Hagopian,
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

C. Caughen
Signature

(Seal)



RECEIVED
COUNTY OF FRESNO
FEB 23 2021



DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

AGENT AUTHORIZATION

AUTHORIZATION OF AGENT TO ACT ON BEHALF OF PROPERTY OWNER

The Agent Authorization form is required whenever a property owner grants authority to an individual to submit and/or pursue a land use entitlement application on their behalf. This form must be completed by the property owner and submitted with the land use entitlement application to confirm that the property owner has granted authority to a representative to sign application forms on their behalf and represent them in matters related to a land use entitlement application.

The below named person is hereby authorized to act on my behalf as agent in matters related to land use entitlement applications associated with the property listed below.

<u>Rene Gutierrez</u>	<u>Supreme Construction</u>
Agent Name (Print or Type)	Company Name (Print or Type)
<u>1067 S Q Place</u>	<u>Tulare, CA 93274</u>
Mailing Address	City / State Zip /Code
<u>559-234-2070</u>	<u>Rene@supremegc.com</u>
Phone Number	Email Address
<u>042-310-03</u>	<u>2246 E Conejo Avenue, Fresno CA 93647</u>
Project APN	Project Street Address

A list consisting of _____ additional properties is attached (include the APN for each property).

Project Description (Print or Type):

Bring the existing structure into compliance with the current building code

The undersigned declares under penalty of perjury that they own, possess, control or manage the property referenced in this authorization and that they have the authority to designate an agent to **act on behalf of all the owners of said property. The undersigned acknowledges delegation of authority to the designated agent and retains full responsibility for any and all actions this agent makes on behalf of the owner.**

	<u>11/1/2020</u>
Owner Signature	Date

<u>NIVAL GARCIA</u>	<u>559-234-2070</u>	<u>N.garcia@calclpm.com</u>
Owner Name (Print or Type)	Phone Number	Email Address

• the legal owner of the property is a corporation, company, partnership or LLC. provide a copy of a legal document with this authorization form showing that the individual signing this authorization form is a duly authorized partner, officer or owner of said corporation, company, partnership or LLC

G:\4360Devs&Print\FORMS\F410 Agent Authorization 8-14-19_doc

DEVELOPMENT SERVICES AND CAPITAL PROJECTS DIVISION
2220 Tulare street. Sixth floor / Fresno. California 93721 / Phone (559) 6004497 1600-4022 / 6004540 FAX 600-4200
The County of Fresno an Equal Employment Opportunity Employer

GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, 2019 EDITION, AND THE LATEST EDITION OF THE ACI STANDARDS.
- CONTRACTOR SHALL SUBMIT CALCULATIONS FROM P.E.M.B. MANUFACTURER FOR FOOTING SIZES. FOOTING DIMENSIONS ARE PRELIMINARY UNTIL VERIFIED.
- BUILDING SHALL BE A MINIMUM OF 10'-0" FROM ALL PROPERTY LINES.
- THE EXISTING UPPER 6" OF SLAB SHALL BE REINFORCED TO HAVE 90% RELATIVE COMPRESSION CONFORMING TO ASTM D-1997 TEST METHOD UNLESS NOTED OTHERWISE.
- ALL CONCRETE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 5000 PSI IN 28 DAYS UNLESS OTHERWISE NOTED ON DRAWINGS. THE QUALITY AND DESIGN OF CONCRETE SHALL BE IN ACCORDANCE WITH CBC EXCEPT ITEMS NOT SPECIFICALLY COVERED THEREIN SHALL ALSO CONFORM WITH ACI 908. THE MAXIMUM SLUMP SHALL BE 9 INCHES. MIX DESIGN SHALL BE A MINIMUM OF 5 SACK MIX.
- ALL CONCRETE TO HAVE A STEEL TROWEL FINISH WITH A CURE SEAL HARDENING COMPOUND APPLIED IMMEDIATELY AFTER THE FINISH OPERATION IS COMPLETE.
- EACH EXIST DOOR SHALL HAVE A 9'-0" EXTERIOR LANDING WITH A THRESHOLD NOT MORE THAN 1/2" BELOW FINISH SLAB. SLOPE LANDING AWAY FROM BUILDING. EXIST DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. LATCHING AND LOCKING DOORS SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HANDWAYS. PANEL HANDS OR OTHER HANDWAYS DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPERATING HANDWAYS.
- REINFORCING STEEL SHALL BE INTERMEDIATE DEFORMED BARS CONFORMING TO ASTM A-615 WITH #4 OR SMALLER BARS GRADE 40 AND #5 OR LARGER GRADE 60. SPACES IN THE REINFORCING STEEL SHALL BE LAPPED 40 BAR DIAMETERS MINIMUM, UNLESS NOTED OTHERWISE. FIELD WELDING OF REINFORCING STEEL WILL NOT BE ALLOWED. SEPARATE BARS 1-1/2 BAR DIAMETERS CLEAR WITH A MINIMUM OF 1-1/2" CLEAR. FABRICATING DETAILS SHALL CONFORM TO THE ACI MANUAL OF STANDARD PRACTICE. ALL REINFORCING SHALL HAVE A MINIMUM CONCRETE COVER AS FOLLOWS, UNLESS NOTED OTHERWISE:
SURFACES POLISHED AGAINST EARTH: 3"
FORMED SURFACES EXPOSED TO
GROUND OR WEATHER: 2"
..... 2"
- ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS AND OTHER INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO POURING CONCRETE.
- ALL ANCHOR BOLTS SHALL CONFORM TO ASTM 1-507 OR A-56 THEADED RODS.
- STEEL FABRICATION AND ERECTION SHALL CONFORM TO CBC CHAPTER AND PROVISIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL, EIGHTH EDITION. STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36 MINIMUM, UNLESS NOTED OTHERWISE. ALL WELDING SHALL BE WITH E70 ELECTRODES BY THE MANUAL SHIELDED ARC METHOD UNLESS NOTED OTHERWISE. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS. WELDING TECHNIQUE AND WORKMANSHIP SHALL CONFORM TO CBC SECTION 209 (AWS D1.1-84). ALL WELDING DESIGN SHALL BE BASED ON HALF STRESSSES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH P.E.M.B. MANUFACTURER PRIOR TO STARTING WORK. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING WORK. NOTIFY THIS OFFICE IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND. IT IS THE INTENT OF THESE DRAWINGS THAT PAD FOOTINGS ARE TO BE CENTERED BELOW THE STEEL BASE PLATES OF ALL COLUMNS IN THE METAL BUILDING, UNLESS SPECIFICALLY CALLED OUT OTHERWISE.
- PROVIDE LIGHTING AND VENTILATION IN ACCORDANCE WITH IBC CHAPTER 12. SEE DRAWINGS BY OTHERS IF APPLICABLE.
- FIRE SPRINKLERS, WHERE REQUIRED, SHALL BE INSTALLED BY OTHERS.
- ADDITIONAL REQUIREMENTS FOR METAL BUILDING MANUFACTURER:
A. METAL BUILDING MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN AND FABRICATION OF ALL COMPONENTS AND MATERIALS RELATED TO THE METAL BUILDING SYSTEM UNLESS OTHERWISE DETAILED OR SPECIFIED ON THE DRAWINGS.
B. MEMBER SIZES, FORCES AND CONNECTION DETAILS COORDINATED WITH AND CONFORMING TO THESE DRAWINGS SHALL BE FURNISHED BY THE MANUFACTURER. THE SHOP DRAWINGS AND CALCULATION SHALL BE SUPERVISED AND SIGNED BY A CALIFORNIA REGISTERED PROFESSIONAL ENGINEER.
C. DESIGN LOADING SHALL BE BASED ON THE CALIFORNIA BUILDING CODE (CBC), 2019 EDITION. DESIGN SHALL TAKE INTO CONSIDERATION ALL CONCENTRATED LOADS (BEAMS, PURLINS, ETC.). ADDITIONAL PURLINS SHALL BE PROVIDED AS REQUIRED TO CARRY WEIGHT OF ANY MECHANICAL UNITS, IF APPLICABLE.
- IT IS THE INTENT OF THESE PLANS TO PROVIDE DETAILS OF CONSTRUCTION NECESSARY TO GUIDE THE GENERAL CONTRACTOR WITH STRUCTURAL ASPECTS OF THE PROJECT ONLY. ARCHITECTURAL FEATURES SHALL BE COORDINATED WITH THE OWNER. NO WARRANTIES ARE EXPRESSED OR IMPLIED.
- THIS PROJECT HAS BEEN REVIEWED AS A NON-PREVALUING WORK BY THE CUSTOMER.
- *A REFERRED SUBMITTAL FOR FIRE PROTECTION DISTRICT APPROVAL MUST BE OBTAINED PRIOR TO FRAME OR SIMILAR INSPECTION. PROVIDE EVIDENCE OF THE FIRE PROTECTION DISTRICT APPROVAL TO DOLG WATER, BUILDING PLANS ENGINEER AT (559) 600-4546 OR E-MAIL DWATER@FRESNOCOUNTY.CA.GOV*

PROJECT INTENT / SCOPE OF WORK:

PROJECT INTENT:
THE INTENT OF THIS PROJECT IS TO BRING THE EXISTING STRUCTURE INTO COMPLIANCE WITH CURRENT BUILDING CODE.

SCOPE OF WORK:
-RENO & HALL CONCRETE
-FOUNDATIONS
-ADA COMPLIANT RESTROOM
-REINFORCE STRUCTURE

PROJECT CONTACTS:

OWNER:
NICEL GIECH
2246 E CONEJO AVE.
FRESNO, CA 93725
CONTACT: (559) 804-6745

ENGINEER OF RECORD:
EAC ENGINEERING, INC.
18856 E. CLARENCE RD.
TULLOCK, CA 99380
CONTACT: MICHAEL C. MITCHELL, P.E.
Ph: (209) 664-1067
Fax: (209) 664-0161

GENERAL CONTRACTOR:
SUPREME CONSTRUCTION, INC.
19717 AVE. 204
LINDSAY, CA 95247
CONTACT: BRC WHITE
Ph: (559) 254-2070
Fax: (559) 562-6287

PROJECT DATA:

SOIL SITE CLASS: STIFF SOIL (D)
SOIL BEARING CAPACITY: 11000
SEISMIC IMPORTANCE: 1.000
GPS COORDINATES: 36.457125 LAT / -119.518096 LONG
MAPPED MCE ACCELERATION: 5% 0.702
MAPPED MCE ACCELERATION: 5% 0.257
DESIGN ACCELERATION PARAMETER: 5% 0.579
DESIGN ACCELERATION PARAMETER: 5% 0.257
SITE COEFFICIENT: Fa 1.259
SITE COEFFICIENT: Fv NULL
SEISMIC DESIGN CATEGORY: D
COLLATERAL LOAD (psf): 5.00 (FUTURE SOLAR)

THE LATEST ADOPTED ADDITIONS OF THE CODES, STANDARDS AND REGULATIONS REQUIRED BY THE LOCAL JURISDICTION SHALL GOVERN ALL WORK IN THESE CONSTRUCTION DOCUMENTS INDICATED BY THE FOLLOWING:
2019 CALIFORNIA ADMINISTRATIVE CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS
2019 CALIFORNIA REFERENCE STANDARDS CODE
COUNTY OF FRESNO ORDINANCE TITLE 15

PROPOSED SHOP:
APN: 042-310-03
OCCUPANCY CLASSIFICATION: "5-1"
CONSTRUCTION TYPE: I-B
GAS: PROPANE
POWER: FUSE
WATER: PRIVATE WELL
SEWER: SEPTIC
FLOOR AREA (SF): 4,000 SF
BUILDING WIDTH: 80'-0"
BUILDING LENGTH: 80'-0"
LOW RAISE HEIGHT: 16'-0"
ROOF PITCH: 1:12
EXPANDABLE END WALLS: NO
FIRE SPRINKLERED: NO

NOT IN THE SCOPE OF WORK

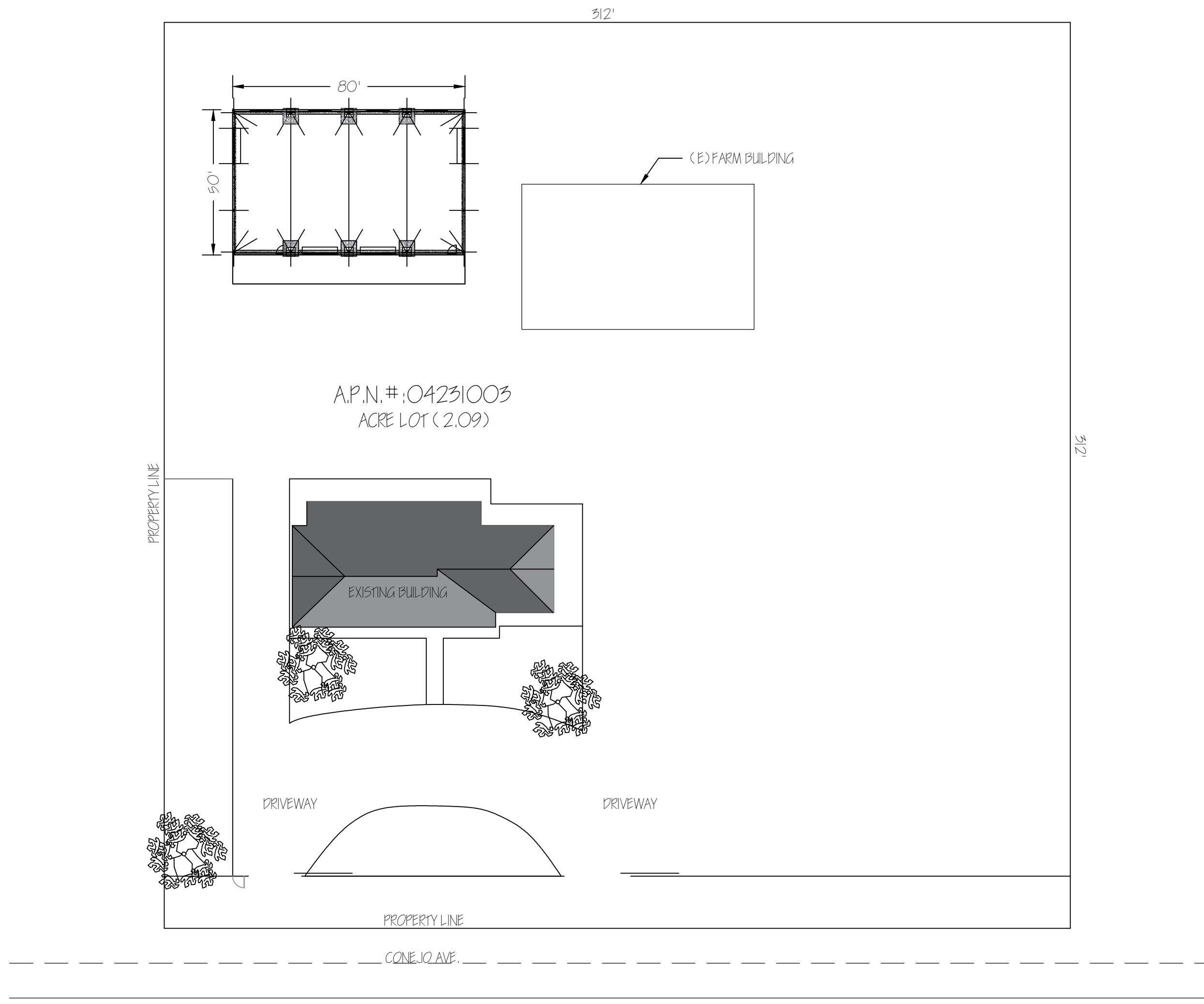
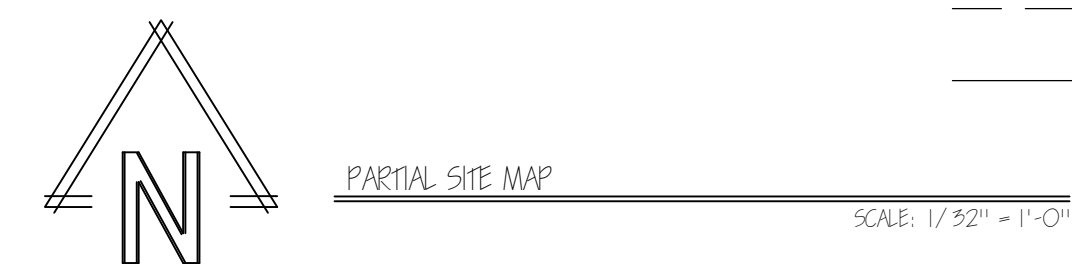
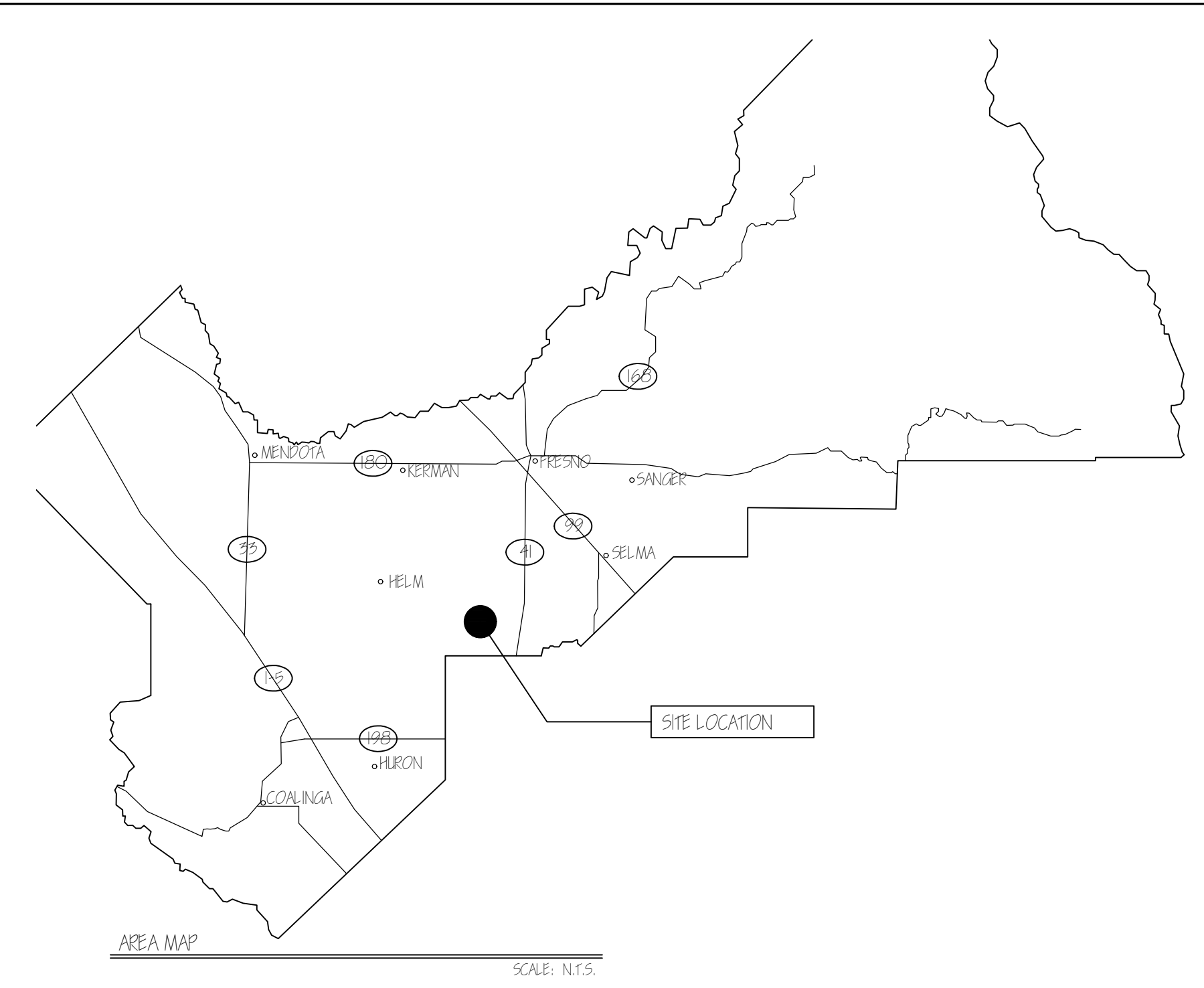
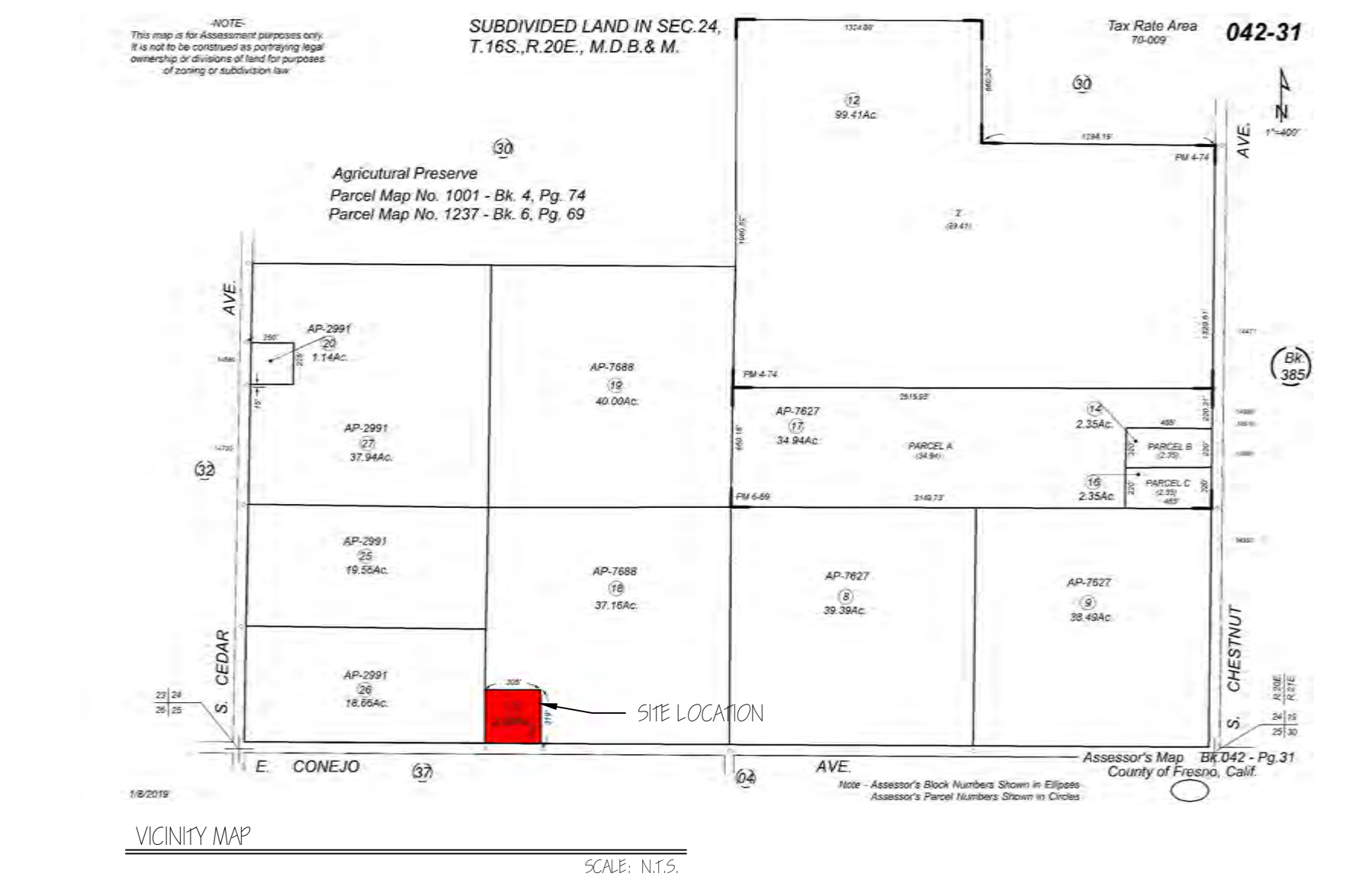
SHEET INDEX:

- AO-1 COVER
- A1-0 SITE PLAN
- A1-1 DRAINAGE PLAN
- A1-2 FLOOR PLAN (EXISTING)
- A1-3 FLOOR PLAN (PROPOSED)
- 51-0 FOUNDATION PLAN (EXISTING)
- 51-1 FOUNDATION PLAN (PROPOSED)
- 52-0 SECTION A (EXISTING)
- 52-1 SECTION A (PROPOSED)
- 52-2 SECTION B (EXISTING)
- 53-0 ROOF PLAN (EXISTING)
- 54-0 DETAILS
- E1-0 ELECTRICAL PLAN (EXISTING)

NOTES:

TRAFALGAR LAND COMPANY

2246 E CONEJO AVE,
FRESNO CA, 93725

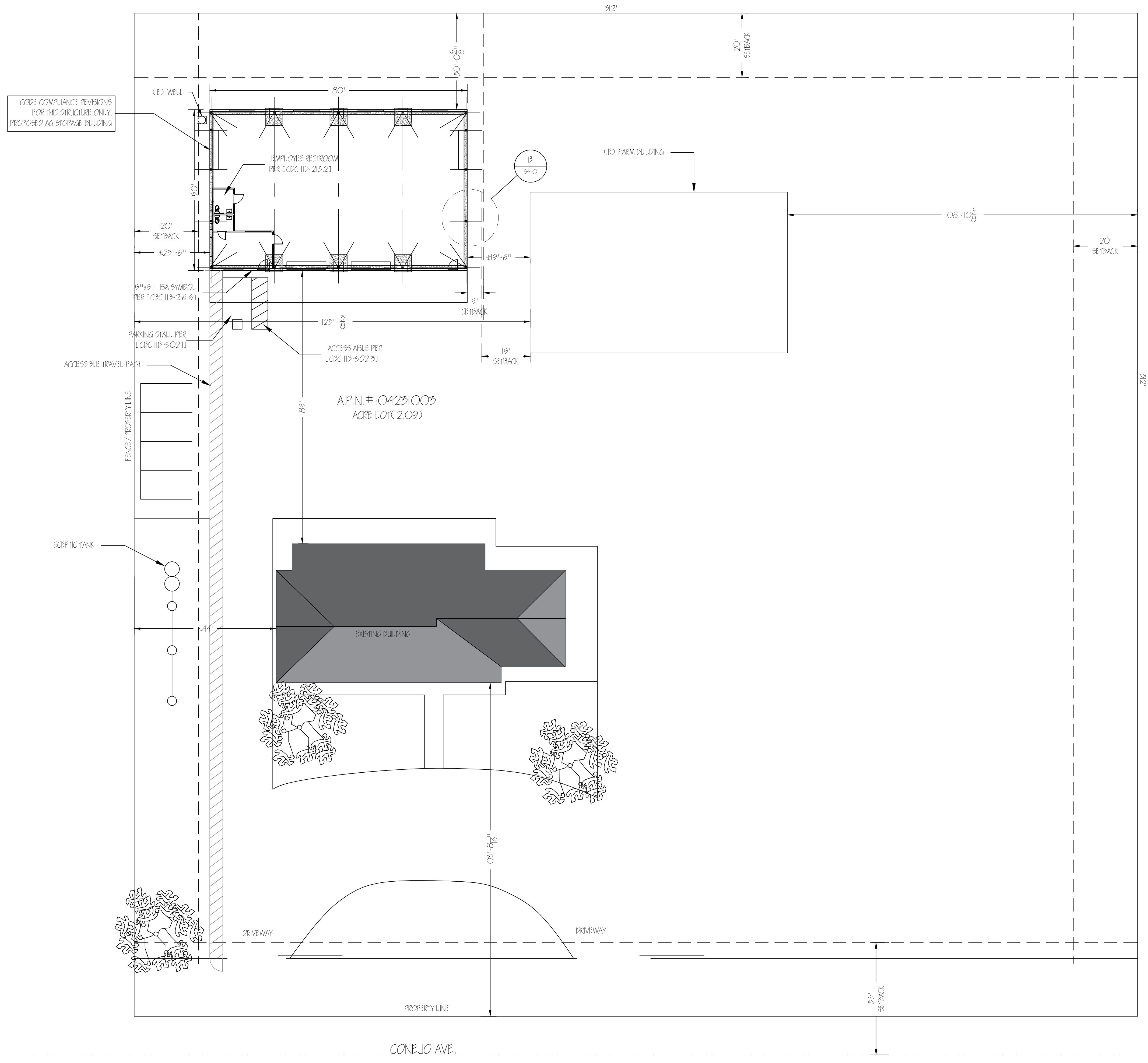


REVISION	DATE	BY	DESCRIPTION
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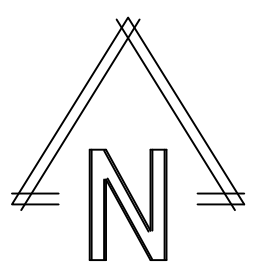
SUPREME CONSTRUCTION
1067 S. O PLAGE TULARE, CA 95274
O: (559) 254-2070
F: (559) 562-6287
LIC. #: 95567
WWW.SUPREMECC.COM

JOB NAME: TRAFALGAR LAND COMPANY	
CLIENT: TRAFALGAR LAND COMPANY 1000 E. SWIFT AVE. FRESNO, CA 93725	
SITE: 2246 E CONEJO AVE. FRESNO, CA 93725	
DATE: COVER NOTES	
DRAWN BY: RENE GUTIERREZ	DATE: 11/09/20
SCALE: AS NOTED	SHEET: AO-1
PROJECT NO: 20022B	



NOTES:

- PROVIDE ACCESSIBLE PARKING WITH APPROPRIATE SIGN AND SYMBOL. ALL NEW SIGNAGE MUST CONFORM AND EXISTING SIGNAGE MUST BE CORRECTED WHEN REPLACED OR AN ADDITIONAL REMODEL OCCURS. IN ADDITION TO THE SIGN WITH A WHITE ISA ON A BLUE BACKGROUND THE TEXT SHOULD READ: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AT THE OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AFTER RELEASE FROM THE SHERIFF RECORDS OFFICE LOCATED AT 2200 HILLBIE ST. FRESNO, CA 95724 OR BY TELEPHONING (559) 600-3111. MINIMUM FINE \$250."
- PROVIDE AN ACCESSIBLE PARKING STALL PER CPC 11B-502.1.
- IF SIGN IS POSTED IN THE PATH OF TRAVEL, THE BOTTOM OF ALL SIGNAGE MUST BE AT LEAST 80 INCHES ABOVE THE WALKWAY SURFACE.
- THE ACCESSIBLE NEXT TO THE STALL MUST BE OUTLINED IN BLUE. (CPC 11B-502.5)
- ALL EXITS FROM BUILDING SHALL BE ON AN ACCESSIBLE PATH OF TRAVEL THAT TERMINATES AT THE PUBLIC WAY (CPC 1007), CPC 11B-509.5)
- THERE SHALL BE NO VERTICAL OFFSET GREATER THAN 1/4" ALONG THE ENTIRE PATH OF TRAVEL FROM THE PUBLIC WAY ACCESSIBLE PARKING STALL INTO THE BUILDING OR RESTROOMS (CPC 11B-509, FIGURES 11B-509.2, 11B-509.5)
- A PERMANENT LANDING IS REQUIRED AT THE EXTERIOR SIDE OF ALL EXIT DOORS (CPC 404.2 AND TABLE 11B-404.2.4.1). LANDINGS SHALL BE CONSTRUCTED OF CAST-IN-PLACE CONCRETE, ASPHALT, MORTARED BRICK OR ANCHORED WOOD DECKING OR ANOTHER APPROVED HARD SURFACE (FIGURE 11B-404.2.4.1) AND CPC 1008.1.5)
- PROVIDE INTERNATIONAL ACCESSIBILITY SYMBOL (S-165.1) AT THE PRIMARY ENTRANCE TO THE BUILDING (CPC 11B-216.6)
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT ANY SPECIAL KNOWLEDGE OR EFFORT (CPC 1008.1.9), CPC 11B-509.4)
- PROVIDE ACCESS TO ACCESSIBLE RESTROOM(S) WITH APPROPRIATE IDENTIFICATION SYMBOL. (CPC 11B-219.2)

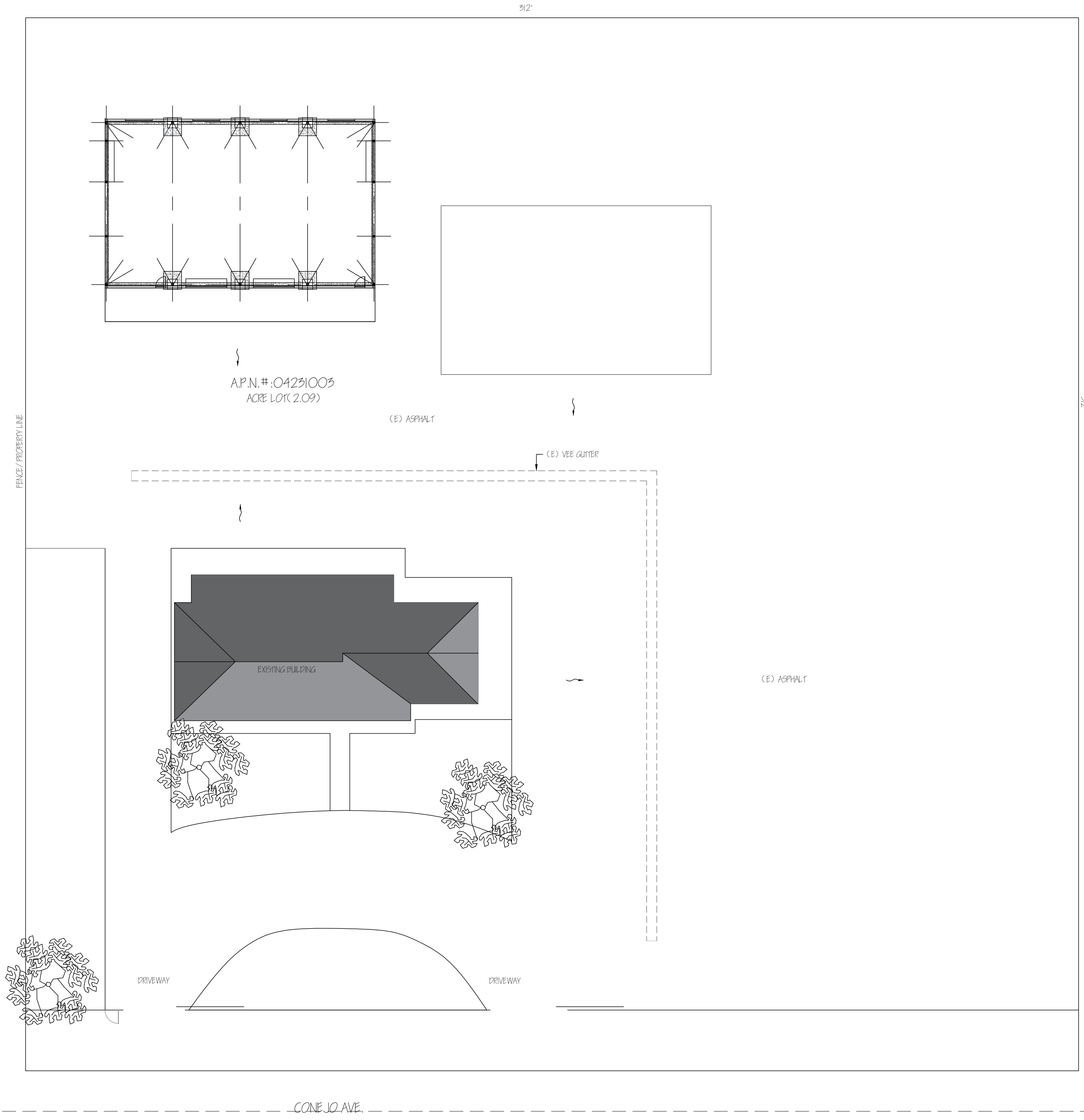


SITE PLAN
SCALE: 1/16" = 1'-0"

REVISIONS	
1	...
2	...
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DESIGNED BY	...
CHECKED BY	...
DATE	...

1067 S. O PLACE HILLBIE, CA 95724 O: (559) 254-2070 F: (559) 562-6287 LIC # 95567 WWW.SUPREMECC.COM	
OWNER	TRAFALGAR LAND COMPANY
CLIENT	TRAFALGAR LAND COMPANY 1030 E. SWIFT AVE. FRESNO, CA 95725
SITE	2246 E CONE JO AVE. FRESNO, CA 95725
TITLE	SITE PLAN
DRAWN BY	RENE GUTIERREZ
DATE	11/09/20
SCALE	AS NOTED
PROJECT NO.	20002B
SHEET	AI-0



A.P.N.#: 04231003
ACRE LOT (2.09)

EXISTING BUILDING

DRIVEWAY

DRIVEWAY

(E) ASPHALT

(E) VEE GUTTER

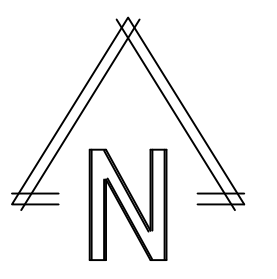
(E) ASPHALT

CONEJO AVE.

FENCE / PROPERTY LINE

912'


912'

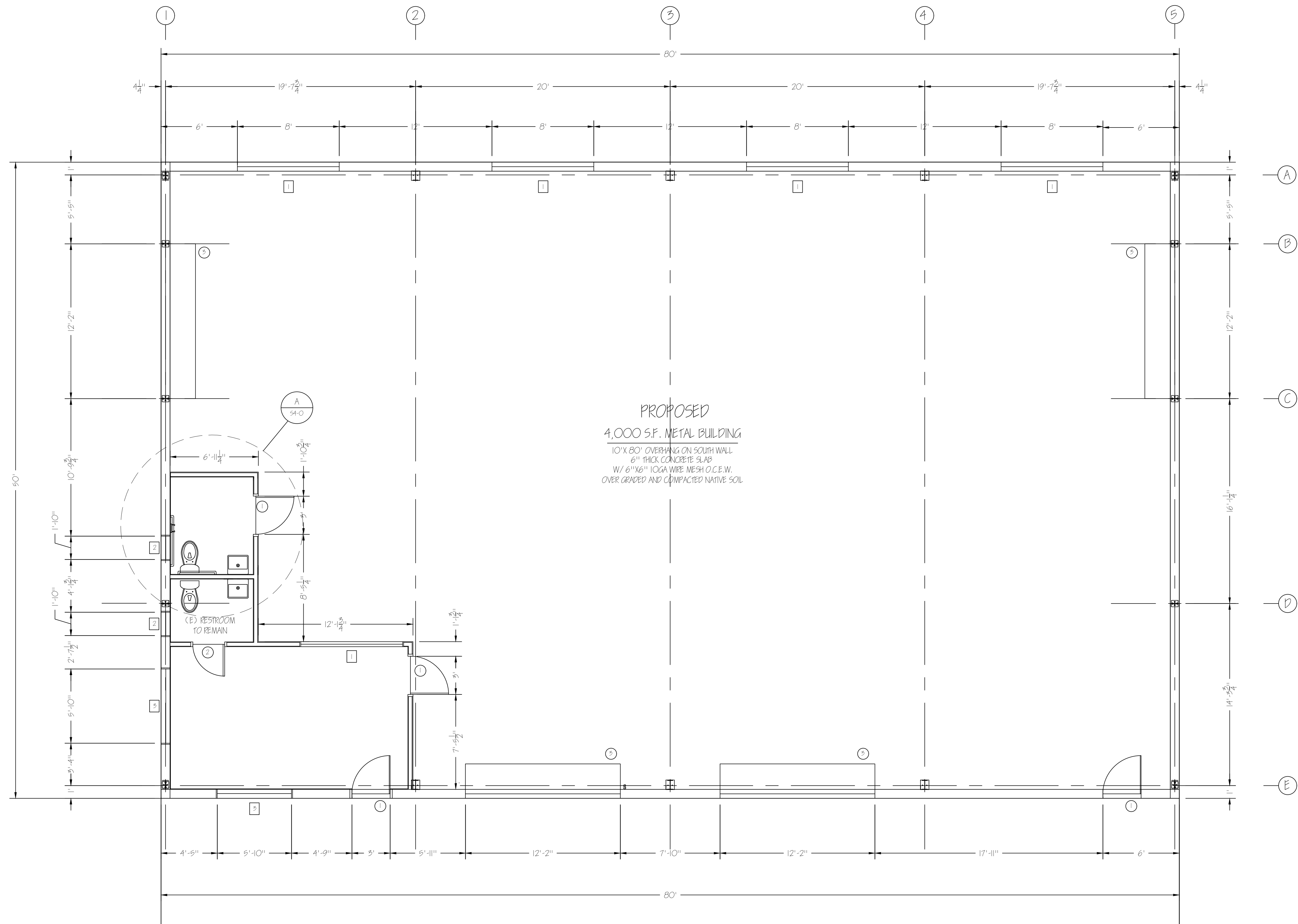


SCALE: 1/16" = 1'-0"

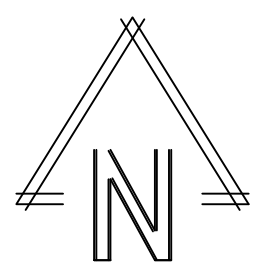
REVISIONS	
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DRAWN BY: RENE GUTIERREZ		DATE: 11/09/20
SCALE: AS NOTED		SHEET: A1-1
PROJECT NO: 2002B		

 SUPREME CONSTRUCTION 1067 S. O PLAGE BLVD. CA 95274 O: (569) 294-2070 F: (569) 562-6287 LIC # 95567 WWW.SUPREMECC.COM	
CONTRACTOR: TRAFALGAR LAND COMPANY CLIENT: TRAFALGAR LAND COMPANY 1030 E. SWIFT AVE. FRESNO, CA 95725 SITE: 2246 E. CONEJO AVE. FRESNO, CA 95725 TITLE: DRAINAGE PLAN	



PROPOSED
 4,000 S.F. METAL BUILDING
 10' X 80' OVERHANG ON SOUTH WALL
 6" THICK CONCRETE SLAB
 W/ 6" X 6" LOGA WIRE MESH O.C.E.W.
 OVER GRADED AND COMPACTED NATIVE SOIL



FLOOR PLAN (PROPOSED)

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

	DOOR SIZE	DOOR MODEL	NOTES
①	3'-0" x 7'-0"	EXPL-DOOR (OR EQUIV.)	REVED LEVER LOCK, THRESHOLD, WEATHER STRIP
②	2'-6" x 7'-0"	EXPL-DOOR (OR EQUIV.)	REVED LEVER LOCK, THRESHOLD, WEATHER STRIP
③	12'-0" x 12'-0"	JANUS 2500 (OR EQUIV.)	CHAIN HOSE, SLIDE LOCK

WINDOW SCHEDULE

	WINDOW SIZE	WINDOW MODEL	NOTES
①	8'-0" x 5'-0"	UNKNOWN MODEL	ALUMINUM FRAME
②	1'-10" x 1'-10"	UNKNOWN MODEL	ALUMINUM FRAME
③	5'-10" x 3'-0"	UNKNOWN MODEL	VINYL FRAME

NOTES

REVISIONS:

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1		
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OWNER:

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*



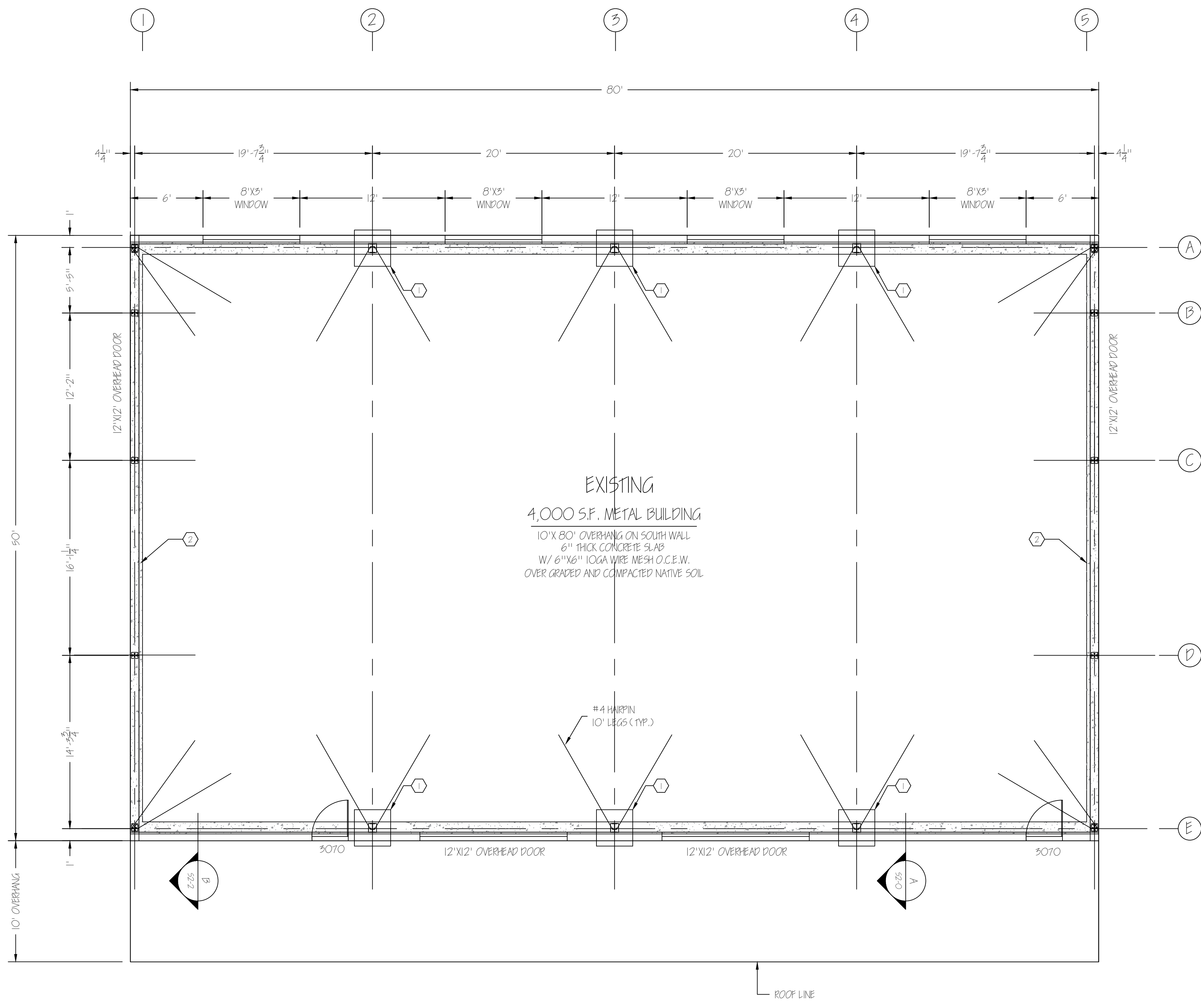
1067 S. O PLAGE BLVD. CA 95274
 O: (562) 254-2070
 F: (562) 562-6287
 LIC. # 95567
 WWW.SUPREMECC.COM

DATE: 11/09/20
 DRAWN BY: RENE GUTIERREZ
 PROJECT NO: 200225

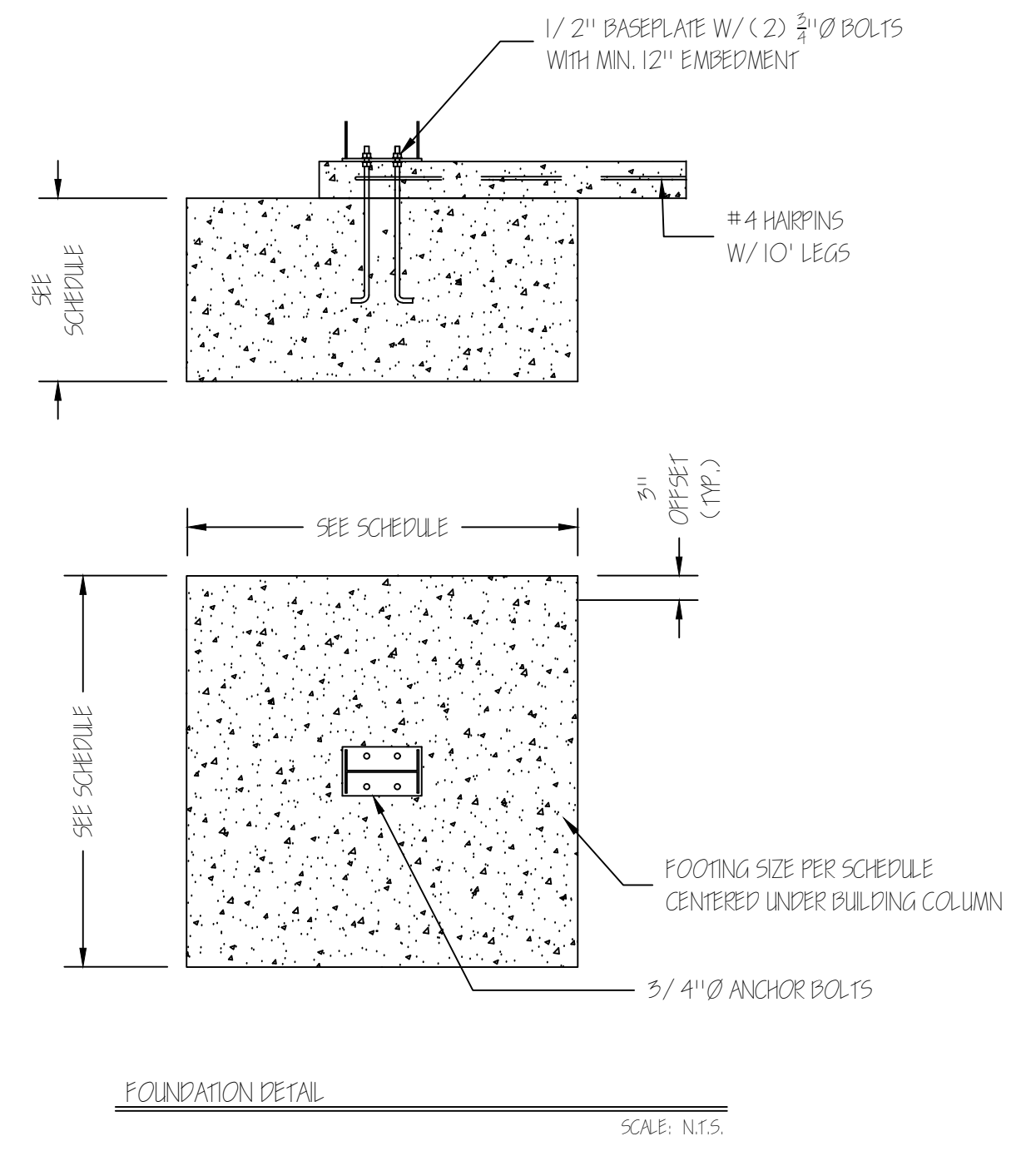
CLIENT: TRAFALGAR LAND COMPANY
 1030 E. SWIFT AVE.
 PEBBLES, CA 95225

DATE: 11/09/20
 DRAWN BY: RENE GUTIERREZ
 PROJECT NO: 200225

SCALE: AS NOTED
 PROJECT NO: 200225



EXISTING
4,000 S.F. METAL BUILDING
10' X 80' OVERHANG ON SOUTH WALL
6" THICK CONCRETE SLAB
W/ 6" X 6" I.O.G.A. WIRE MESH O.C.E.W.
OVER GRADED AND COMPACTED NATIVE SOIL



FOUNDATION DETAIL
SCALE: N.T.S.

NOTES:

- MAXIMUM ALLOWABLE SOIL BEARING CAPACITY AS 1,500 POUNDS PER SQUARE FOOT ON THE FOUNDATION PLAN
- MINIMUM 2,500 PSI CONCRETE STRENGTH FOR FOOTINGS

FOOTING SCHEDULE			
	SQUARE FOOTING SIZE	REINFORCING STEEL	NOTES
①	3'-0" SQ. X 1'-6" DEEP	NONE IDENTIFIED THROUGH GROUND PENETRATING RADAR	FRAME LINES 2,3,4, GRID LINES A & E
②	12" WIDE X 16" DP. CONT. PERIMETER FTG.	NONE IDENTIFIED THROUGH GROUND PENETRATING RADAR	PERIMETER OF BUILDING

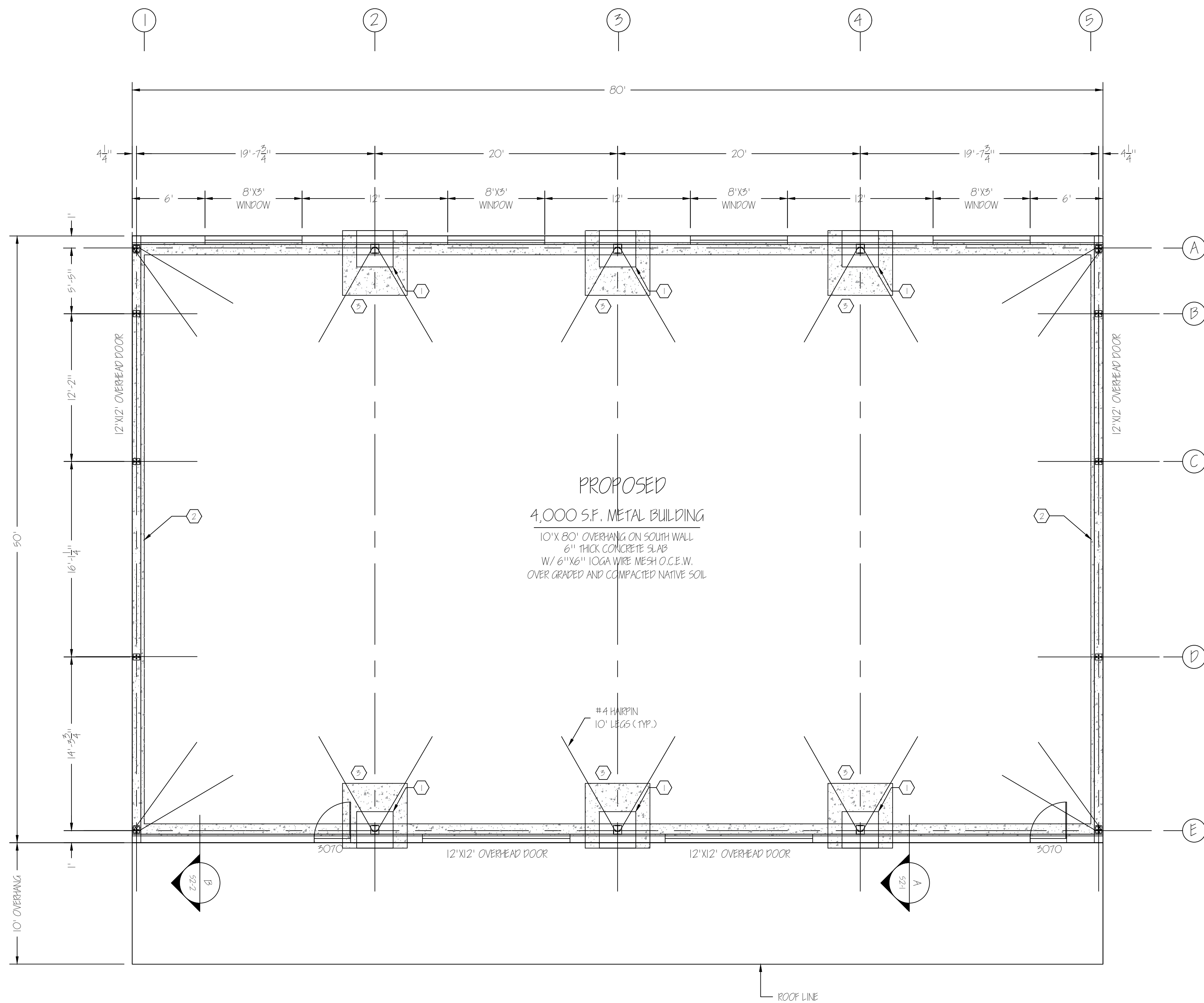
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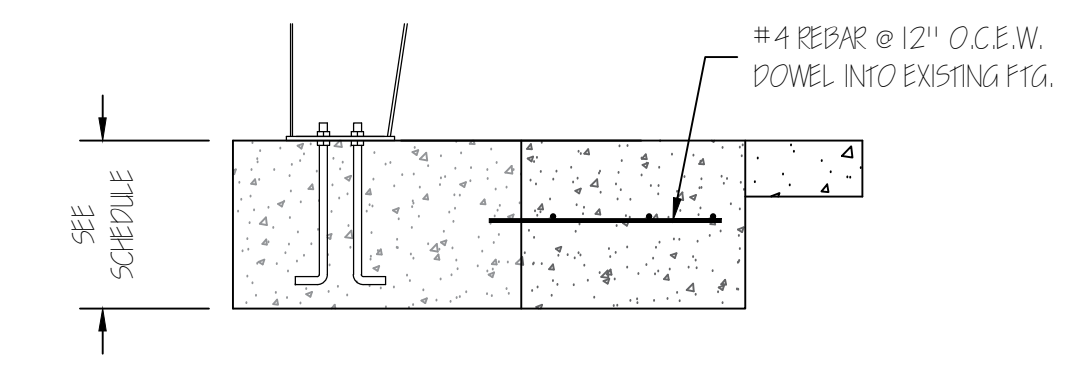
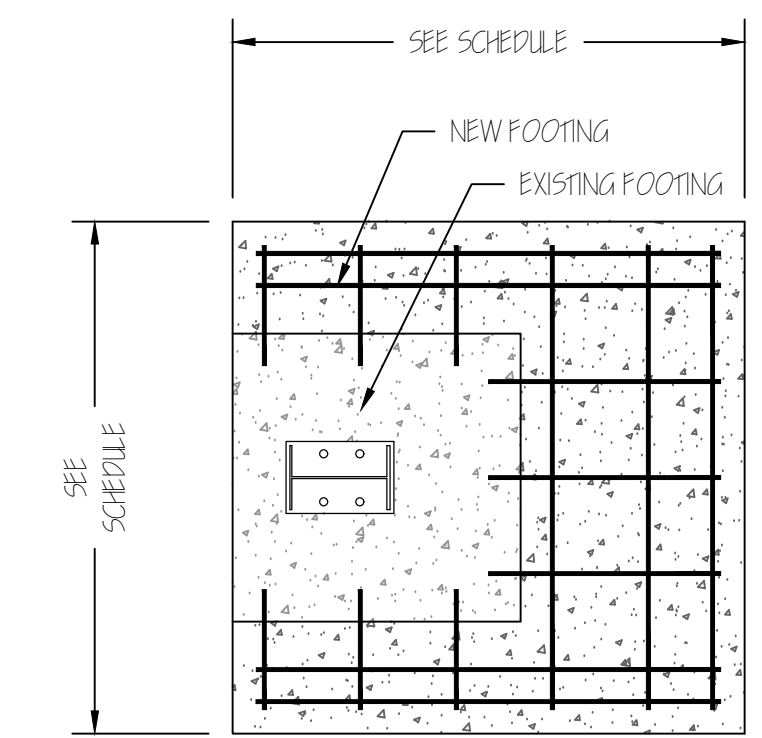


1067 S. O PLAGE TRL. CA 95274
O: (569) 254-2070
F: (569) 562-6287
LIC. #: 95567
WWW.SUPREMECC.COM

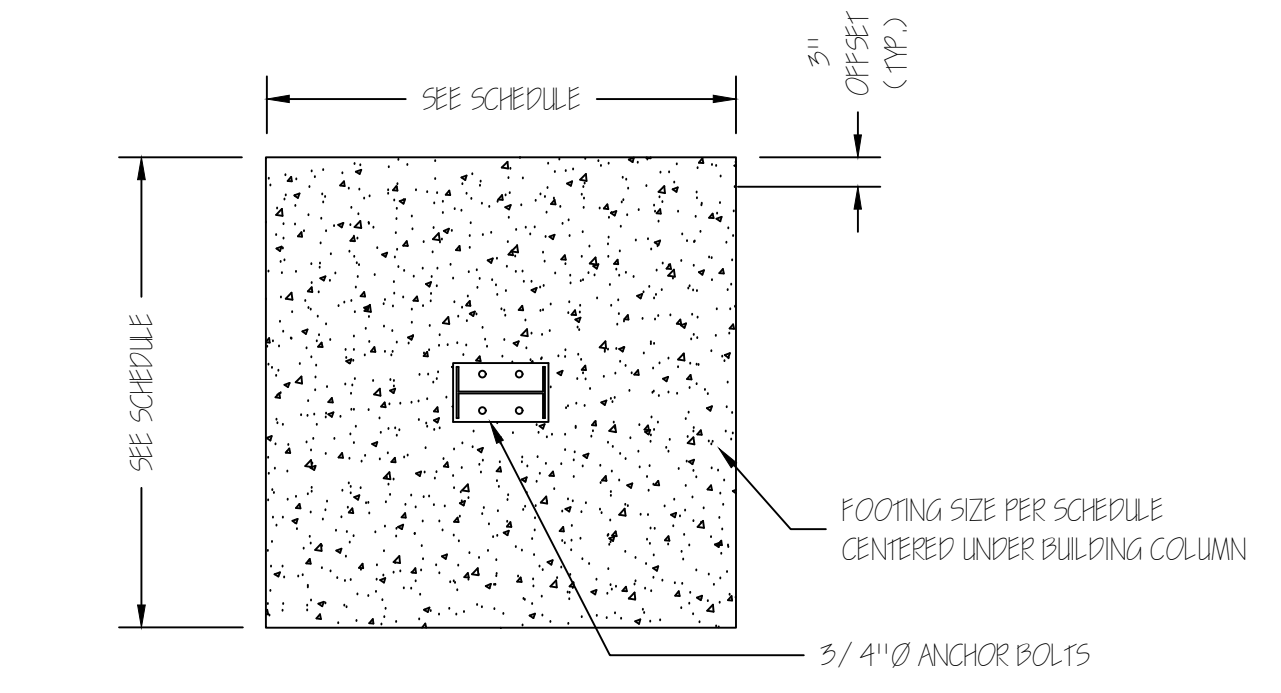
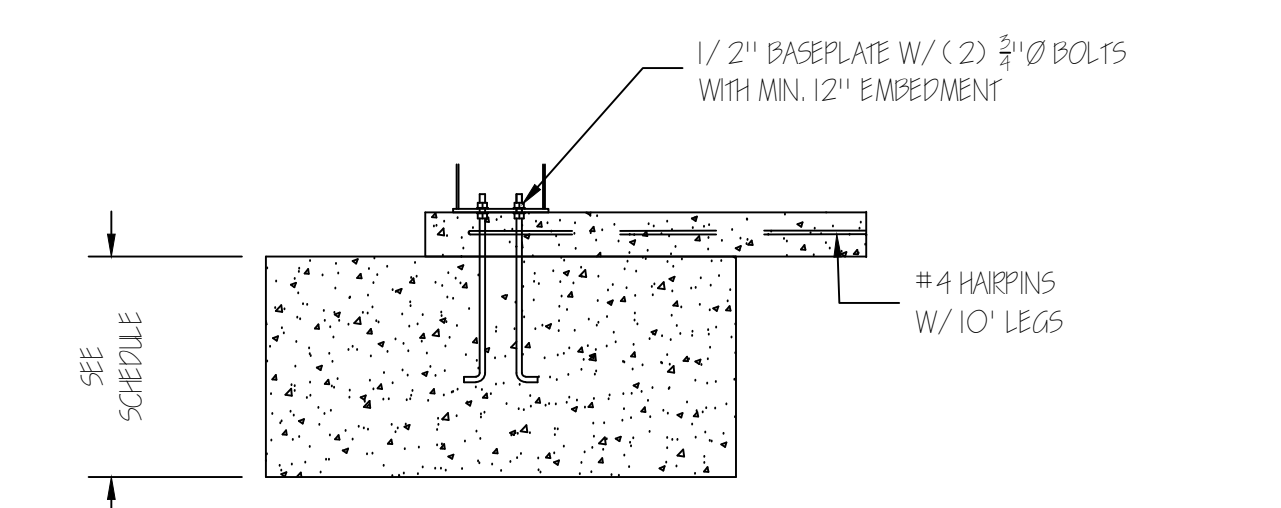
DATE: 4/09/20
PROJECT: 2002B
SCALE: AS NOTED
PROJECT NO: 2002B



PROPOSED
4,000 S.F. METAL BUILDING
10' X 80' OVERHANG ON SOUTH WALL
6\"/>



PROPOSED FOUNDATION DETAIL - GRID LINES A - E
SCALE: N.T.S.



EXISTING FOUNDATION DETAIL
SCALE: N.T.S.

NOTES:
- MAXIMUM ALLOWABLE SOIL BEARING CAPACITY AS 1,500 POUNDS PER SQUARE FOOT ON THE FOUNDATION PLAN
- MINIMUM 2,500 PSI CONCRETE STRENGTH FOR FOOTINGS

FOOTING SCHEDULE			
FOOTING	SQUARE FOOTING SIZE	REINFORCING STEEL	NOTES
1	5'-0\"/>		
2	12\"/>		
3	5'-4\"/>		

NOTES:

REVISIONS:	
1	...
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DRAWN:	...
CHECKED:	...
DATE:	...

1067 S. O PLAGE PLAGE, CA 95274
O: (959) 254-2070
F: (959) 562-6287
LIC #: 95967
WWW.SUPREMECC.COM

OWNER:
TRAFALGAR LAND COMPANY

CLIENT:
TRAFALGAR LAND COMPANY
1020 E. SWIFT AVE.
PESANO, CA 95725

DATE:
2246 E. CONEJO AVE.
PESANO, CA 95725

PROJECT:
PROPOSED FOUNDATION PLAN

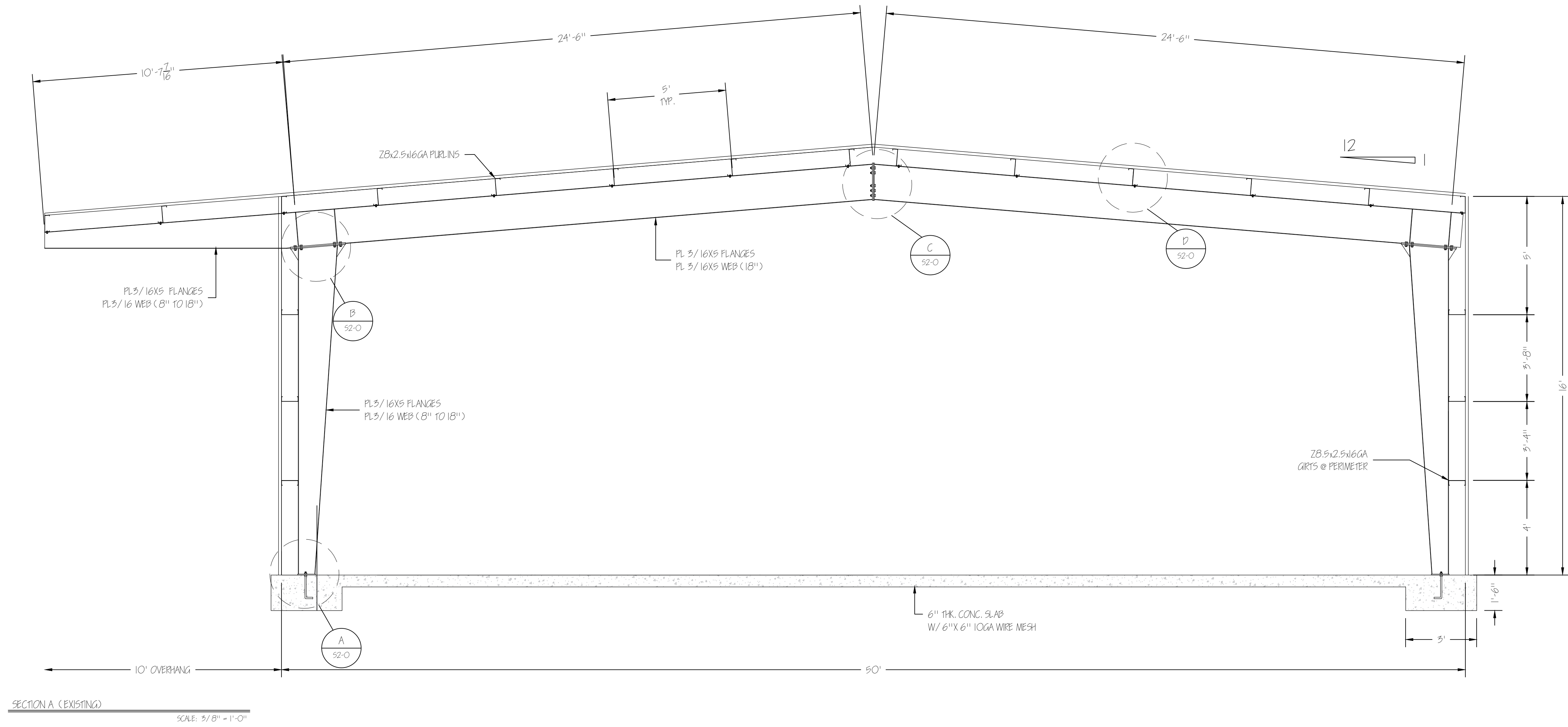
DRAWN BY:
RENE GUTIERREZ

DATE:
4/09/20

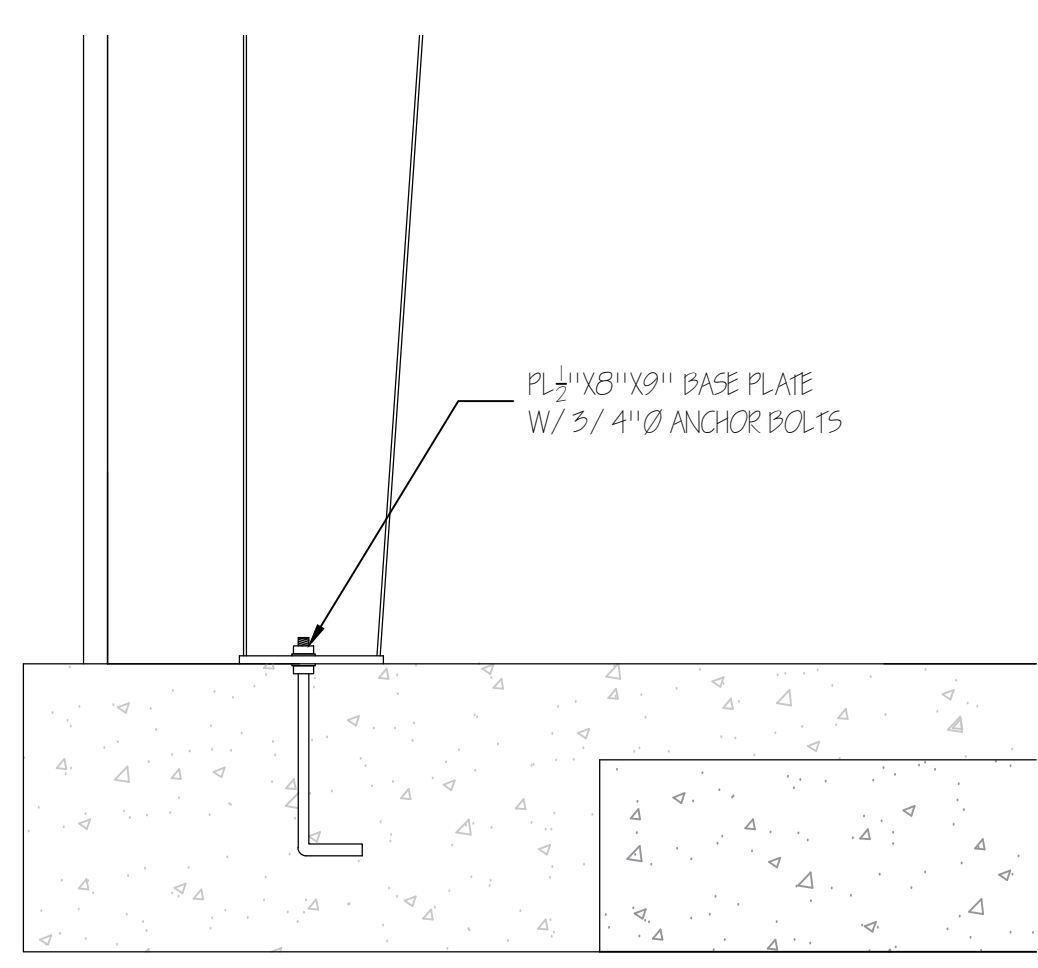
SCALE:
AS NOTED

PROJECT NO:
2002B

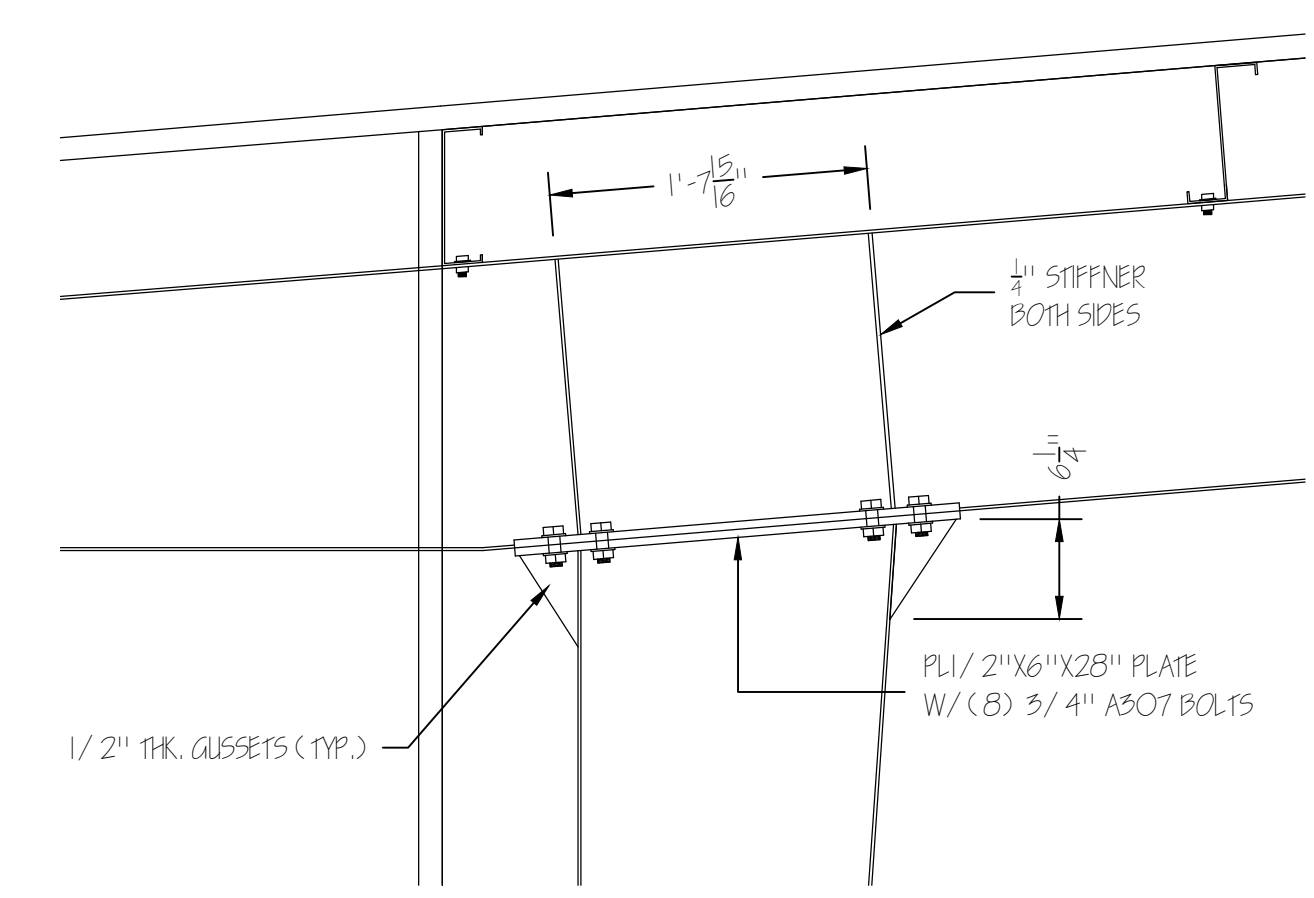
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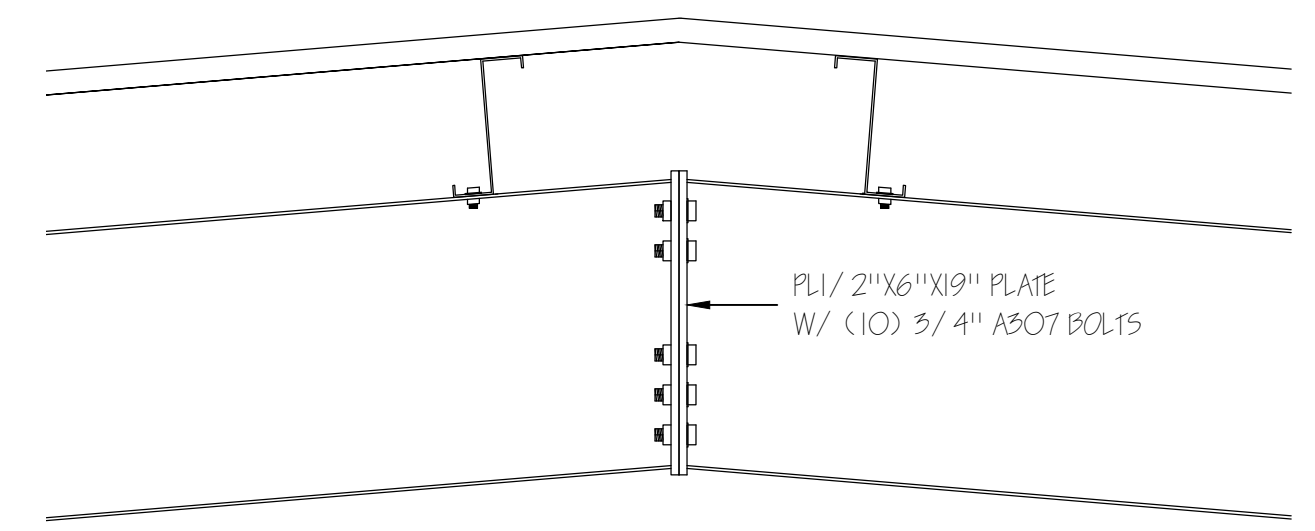
SECTION A (EXISTING)
SCALE: 3/8" = 1'-0"



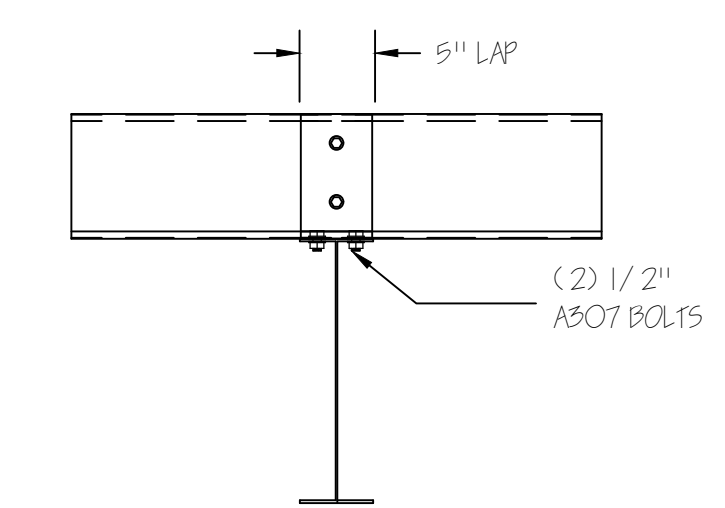
DETAIL A - BASE PLATE CONNECTION
SCALE: N.T.S.



DETAIL B - HALTCH CONNECTION
SCALE: N.T.S.



DETAIL C - RIDGE CONNECTION
SCALE: N.T.S.



DETAIL D - PURLIN CONNECTION
SCALE: N.T.S.

NOTES

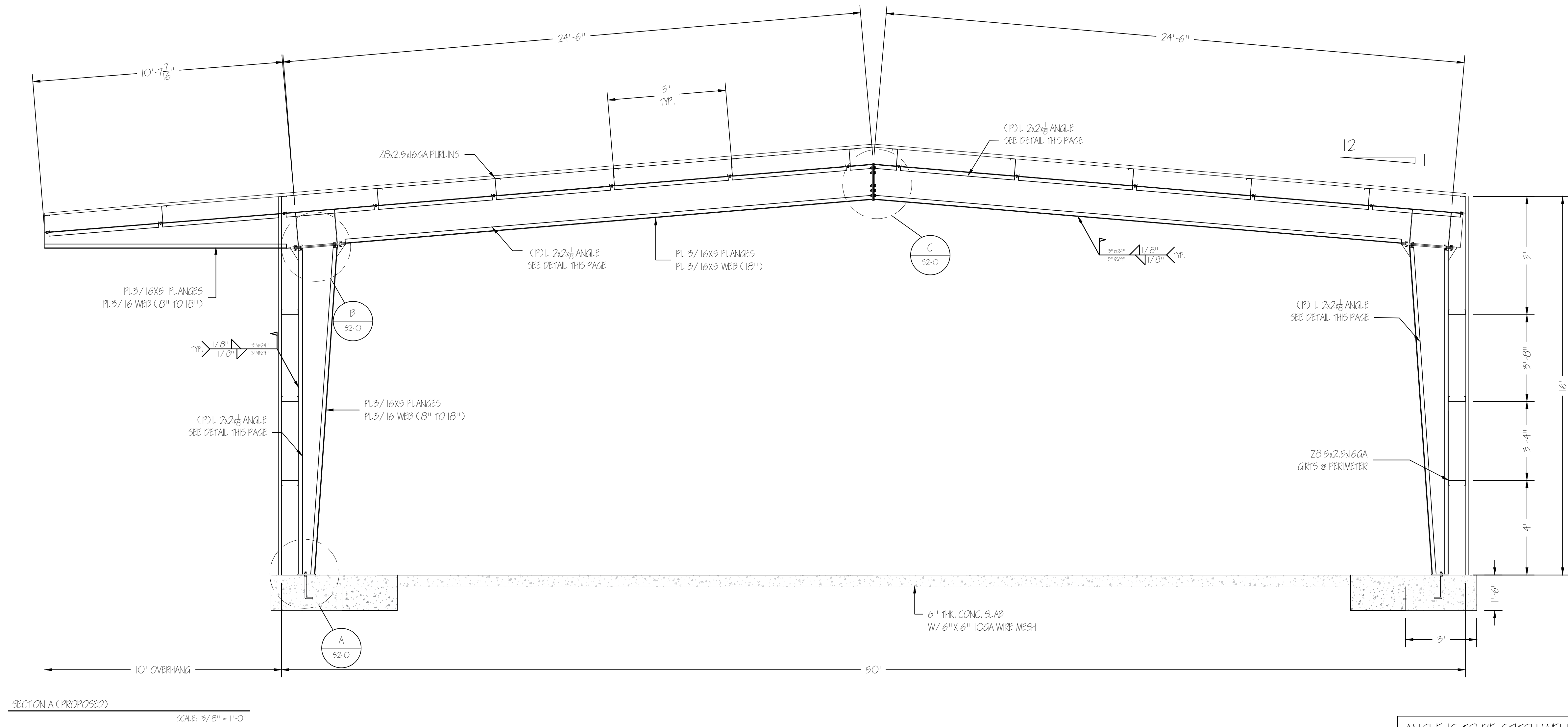
REVISION	DATE	BY	CHK
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OWNER: ..

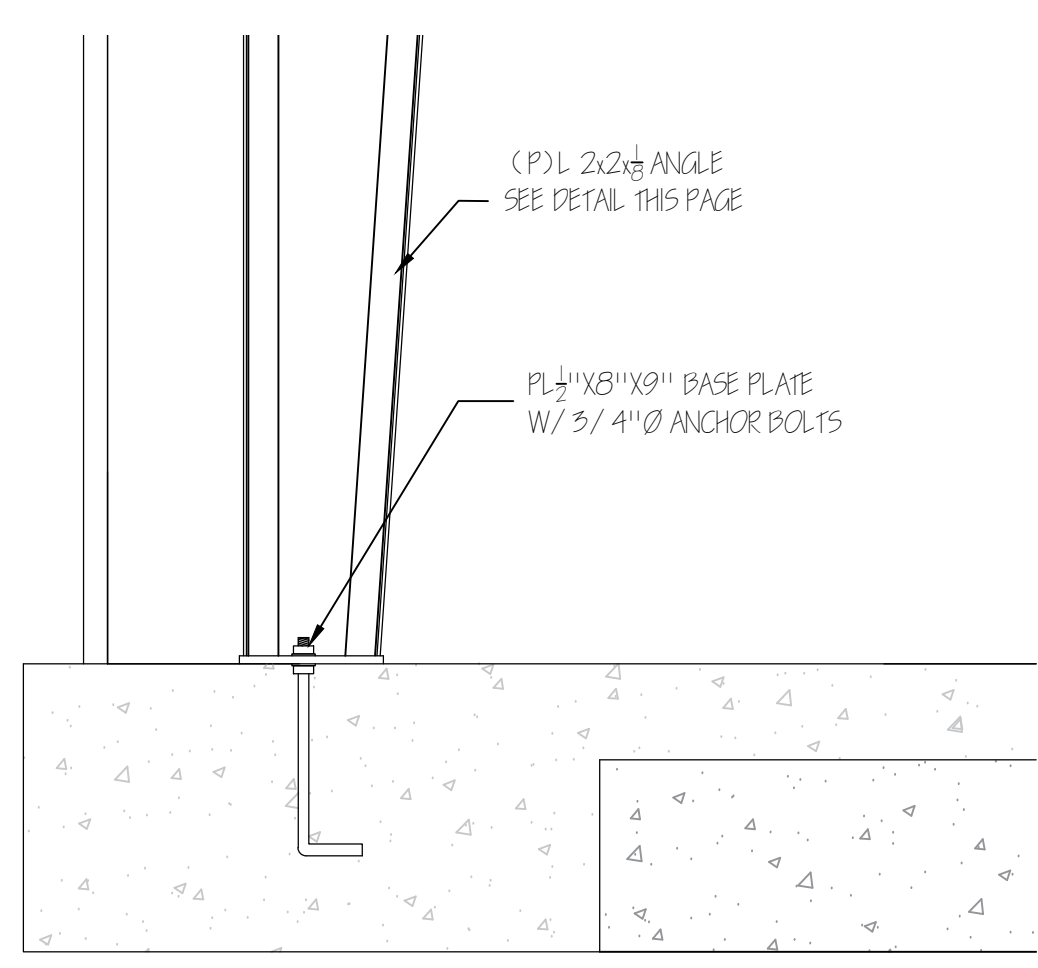


1067 S. O PLAGE BLVD. CA 95274
 O: (559) 254-2070
 F: (559) 562-6287
 LIC # 93567
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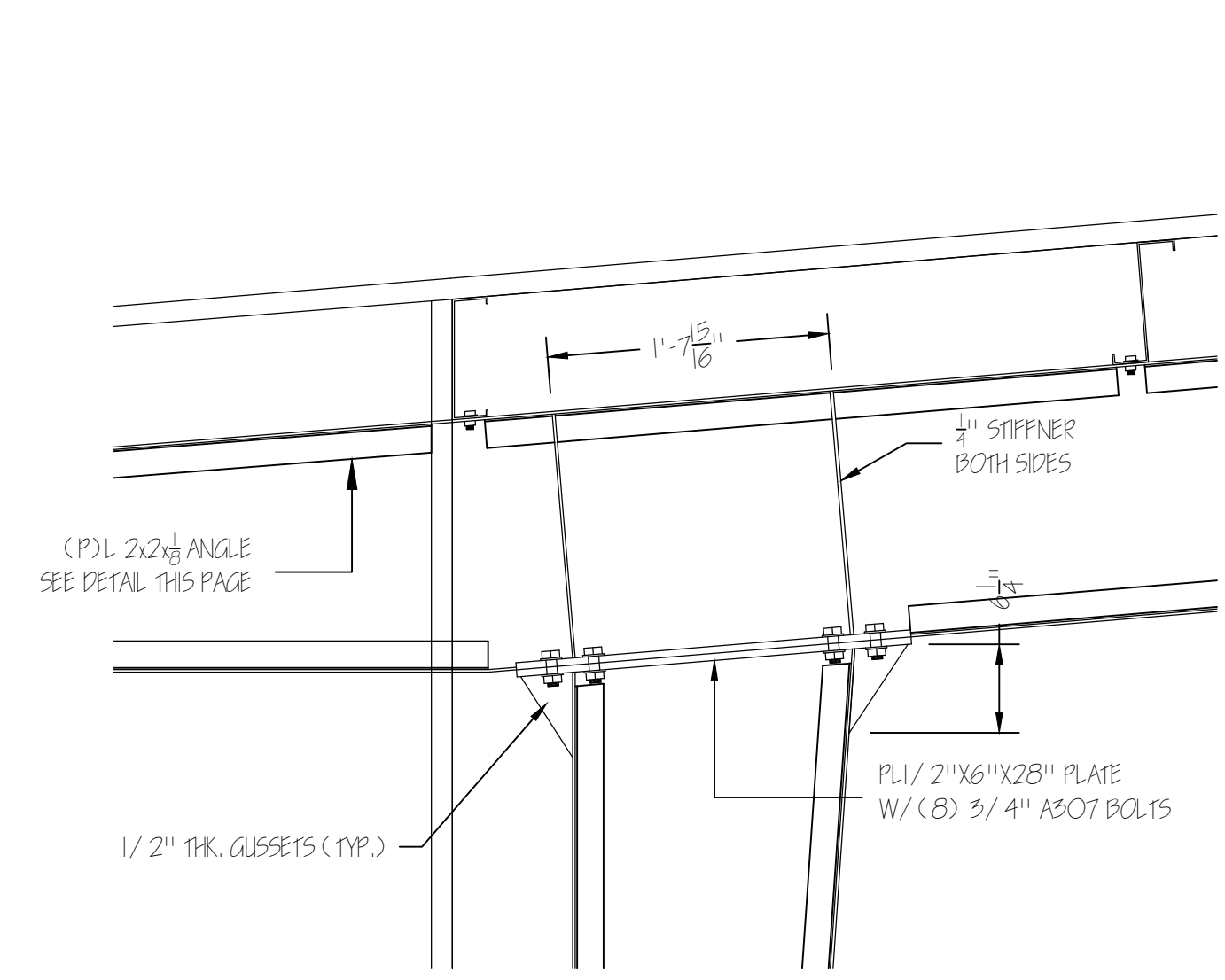
OWNER: TRAFALGAR LAND COMPANY
 CLIENT: TRAFALGAR LAND COMPANY
 1030 E. SWIFT AVE.
 FRESNO, CA 95725
 SITE: 2246 E. CONEJO AVE.
 FRESNO, CA 95725
 TITLE: SECTION A
 DRAWN BY: RENE GUTIERREZ
 DATE: 11/09/20
 SCALE: AS NOTED
 PROJECT NO: 2002B
 SHEET: 52-0



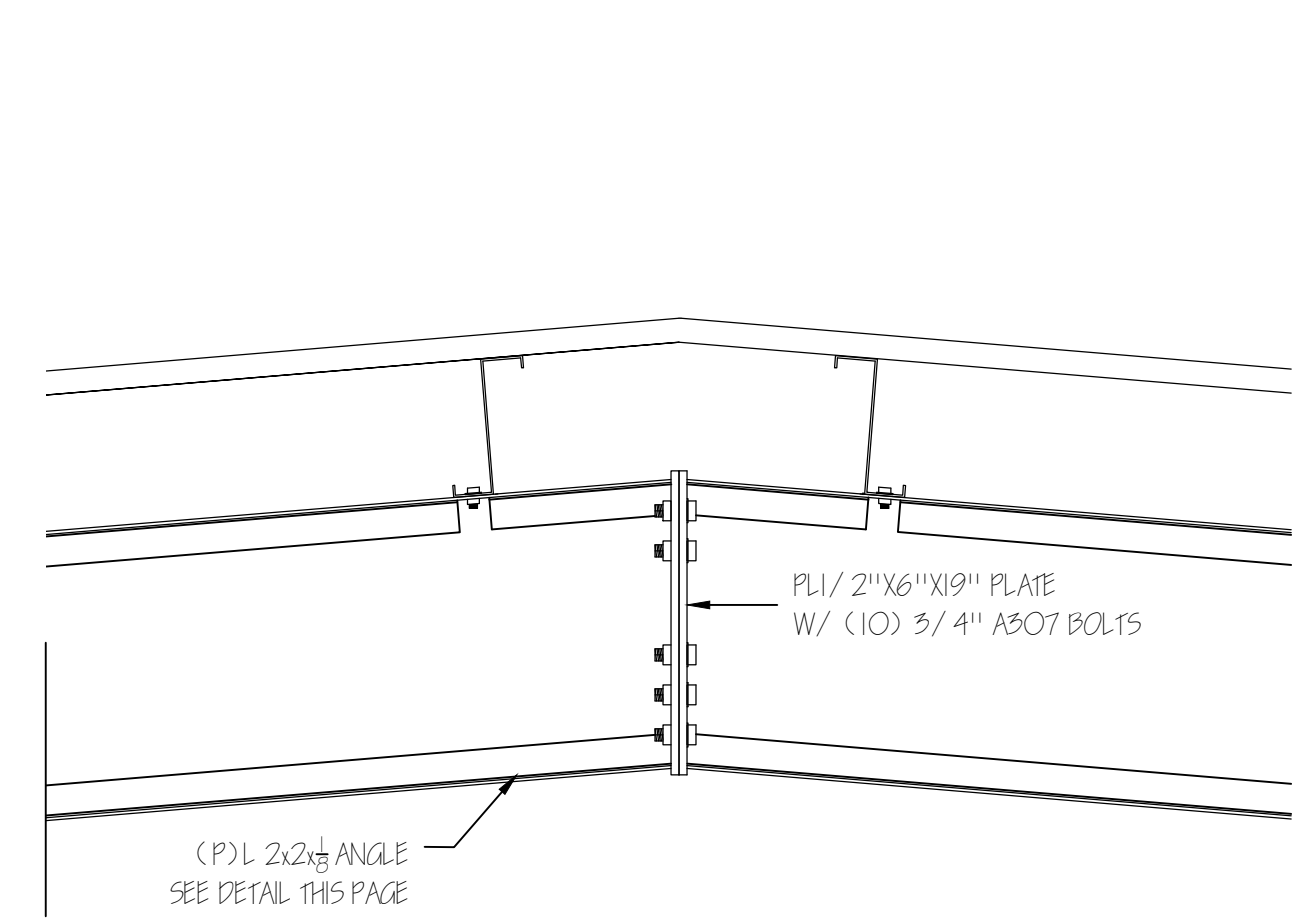
ANGLE IS TO BE STITCH WELDED IN A STAGGERED PATTERN WHERE THE FLANGE AND WEB CONNECT. ANGLE MUST BE ADDED ON THE INSIDE AND OUTSIDE FLANGES ON BOTH SIDES OF THE WEB (ALL FOUR INSIDE CORNERS OF THE COLUMN AND TRUSS).



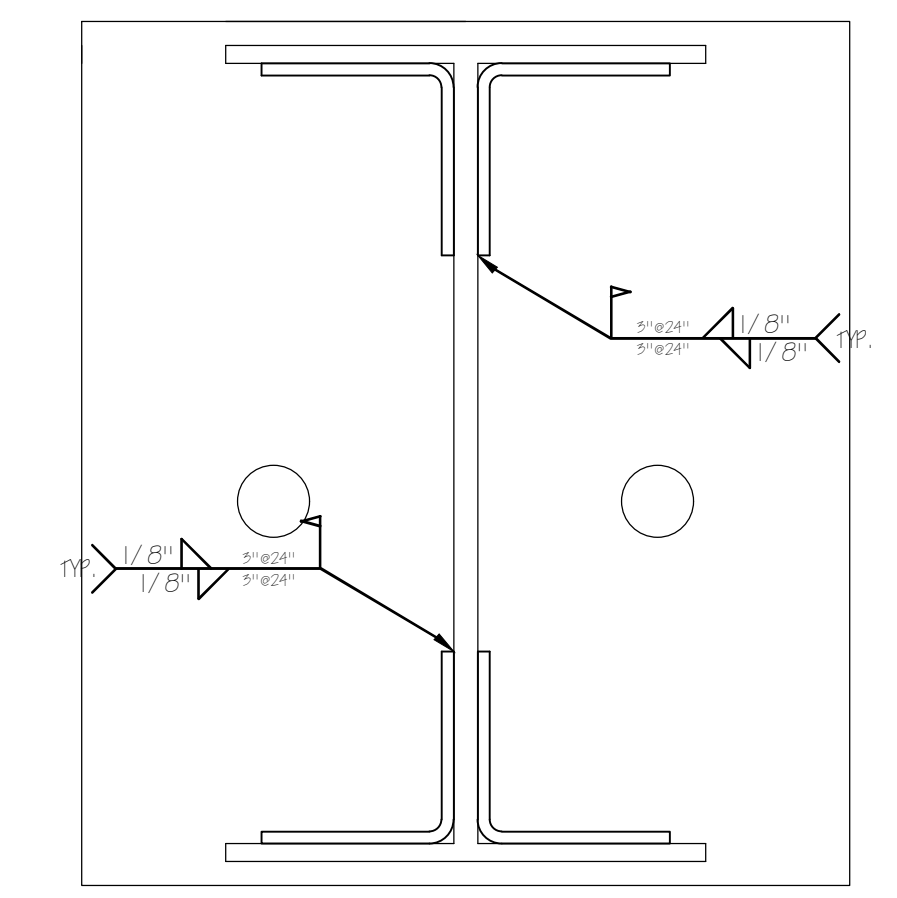
DETAIL A - BASE PLATE CONNECTION
SCALE: N.T.S.



DETAIL B - HAUNCH CONNECTION
SCALE: N.T.S.



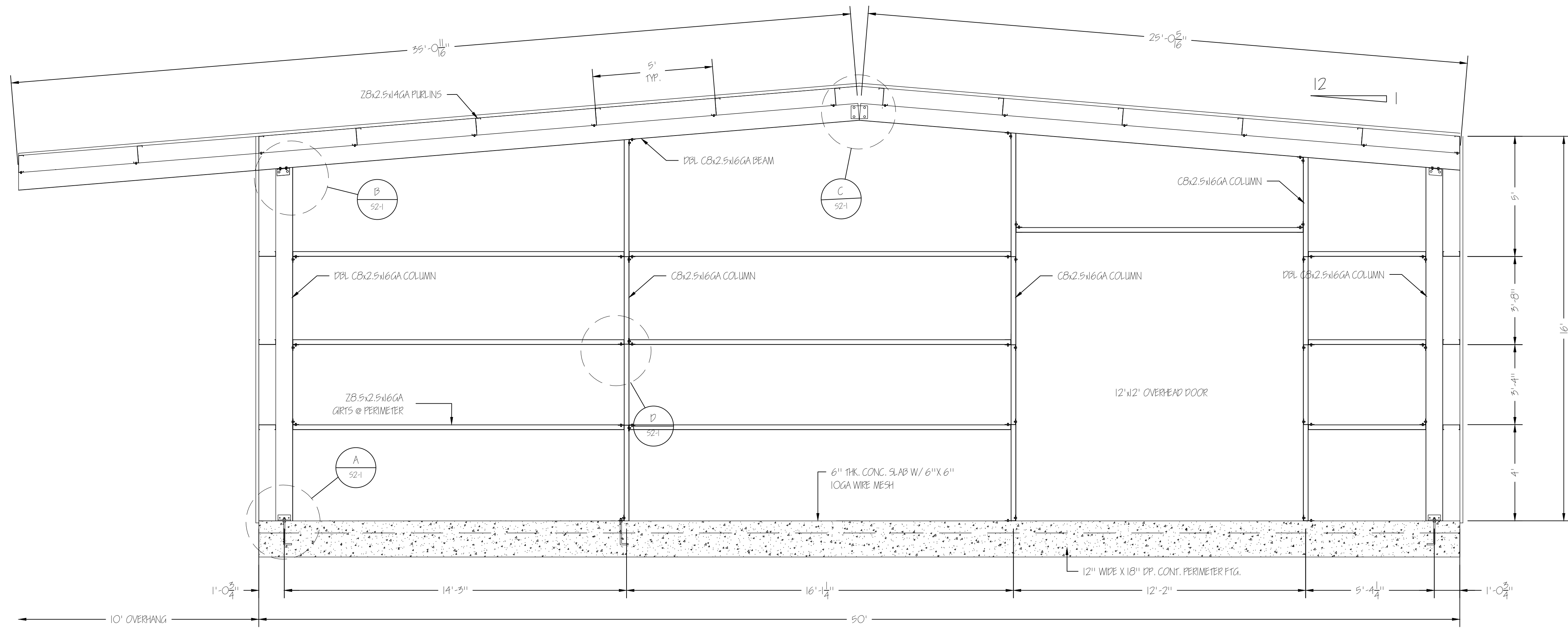
DETAIL C - RIDGE CONNECTION
SCALE: N.T.S.



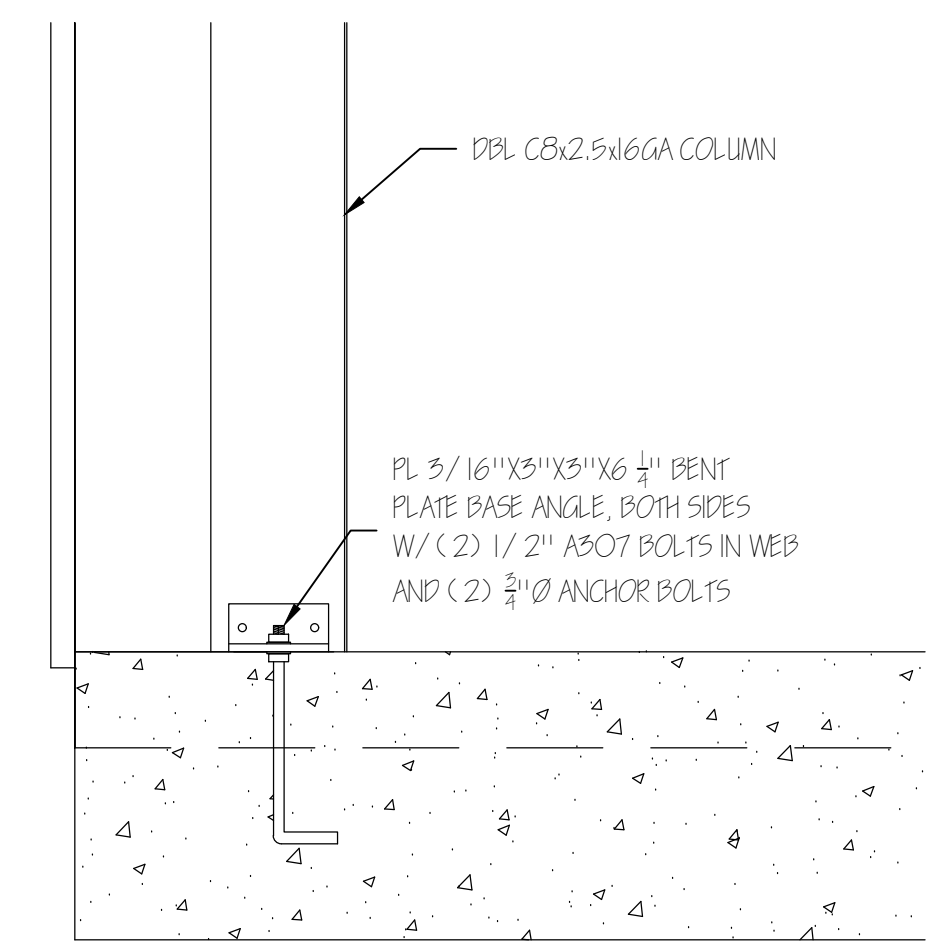
TOP VIEW - ANGLE WELDED @ FLANGES OF COLUMNS AND TRUSSES
SCALE: N.T.S.

NOTES									
<p>REVISIONS</p> <table border="1"> <tr> <td>1</td> <td>...</td> </tr> <tr> <td>2</td> <td>...</td> </tr> <tr> <td>3</td> <td>...</td> </tr> <tr> <td>4</td> <td>...</td> </tr> </table>		1	...	2	...	3	...	4	...
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<p>DESIGNED: ...</p> <p>CHECKED: ...</p> <p>DATE: ...</p>									
<p>CLIENT: TRAFALGAR LAND COMPANY 1030 E. SWIFT AVE. FRESNO, CA 95725</p> <p>PROJECT: 2246 E. CONEJO AVE. FRESNO, CA 95725</p>									
<p>DATE: 11/09/20</p> <p>SCALE: AS NOTED</p> <p>PROJECT NO: 2002B</p>	<p>52-1</p>								

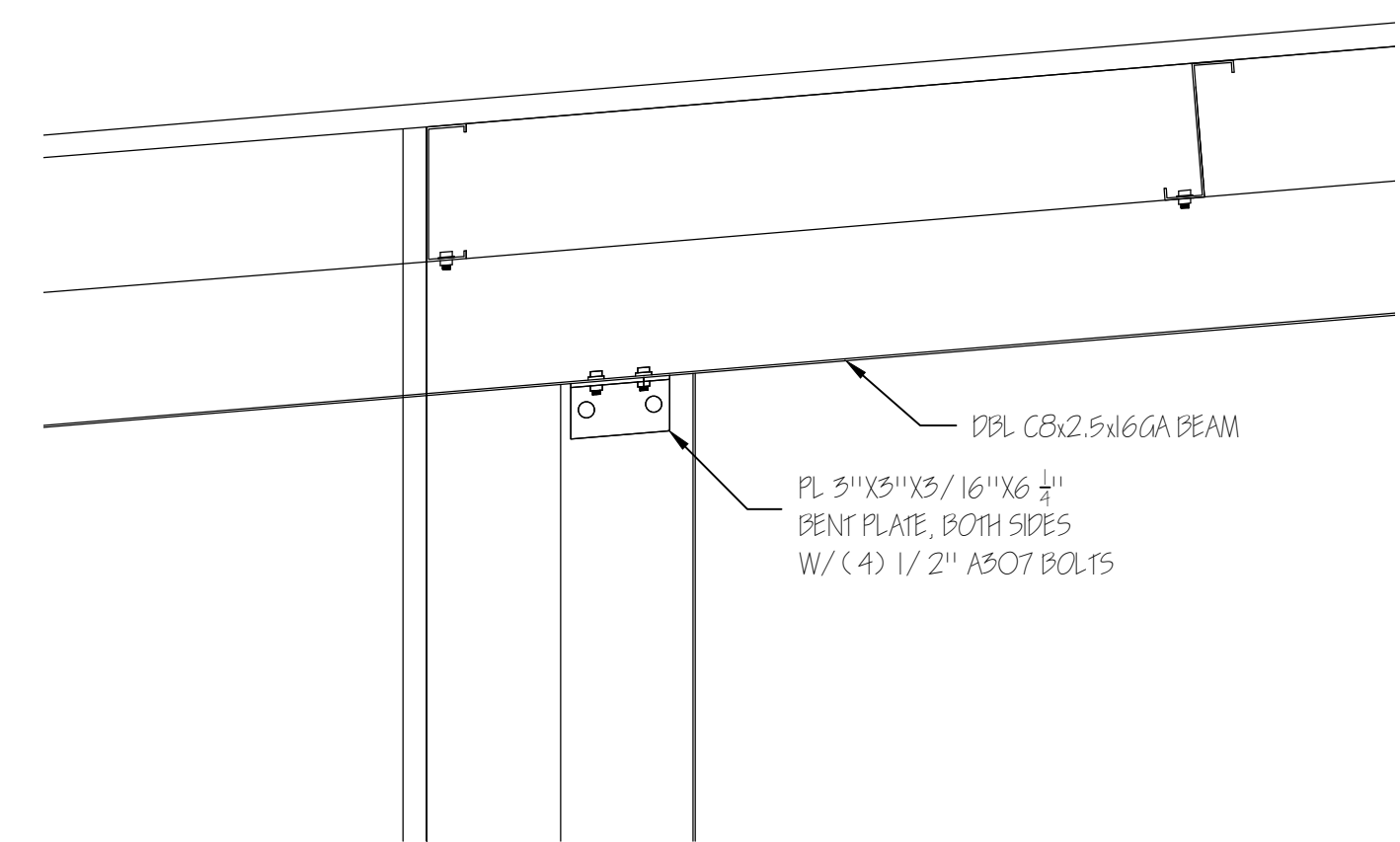




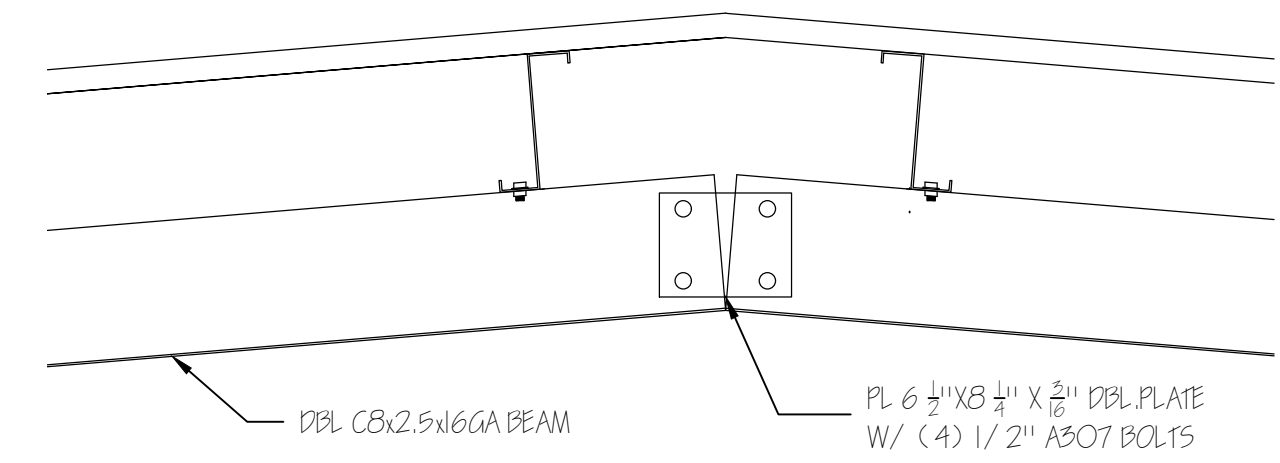
SECTION B (EXISTING) SCALE: 3/8" = 1'-0"



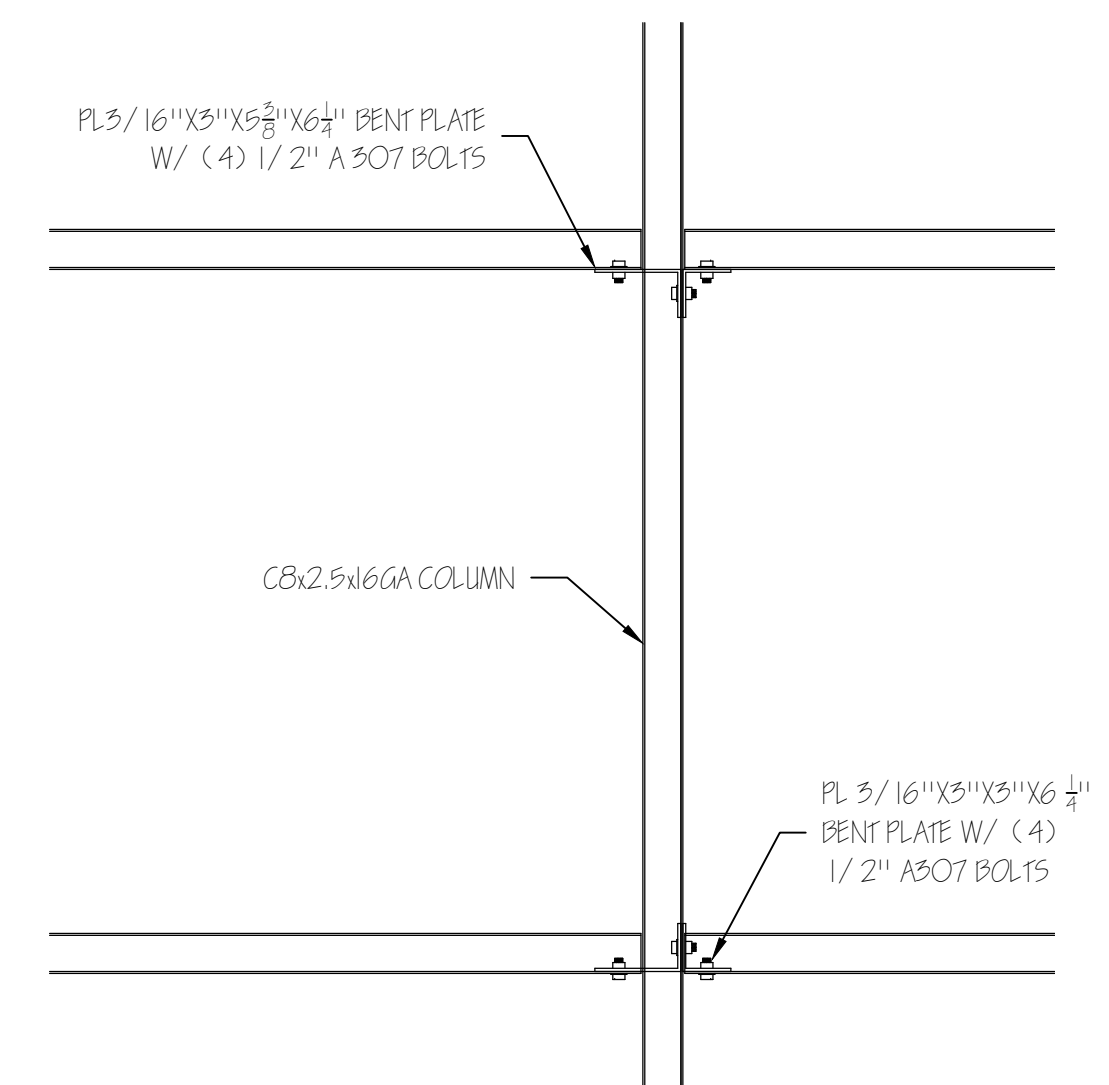
SECTION A - BASE PLATE CONNECTION SCALE: N.T.S.



SECTION B - RAUNCH CONNECTION SCALE: N.T.S.



SECTION C - RIDGE CONNECTION SCALE: N.T.S.



SECTION D - GIRT CONNECTION SCALE: N.T.S.

NOTES

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REVISIONS

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1067 S. O PLAGE PLAZA, CA 95274
 O: (559) 254-2070
 F: (559) 562-6287
 LIC #: 95567
 WWW.SUPREMECC.COM

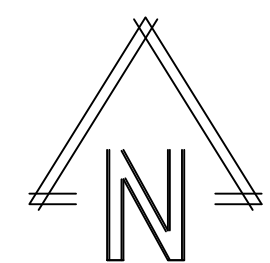
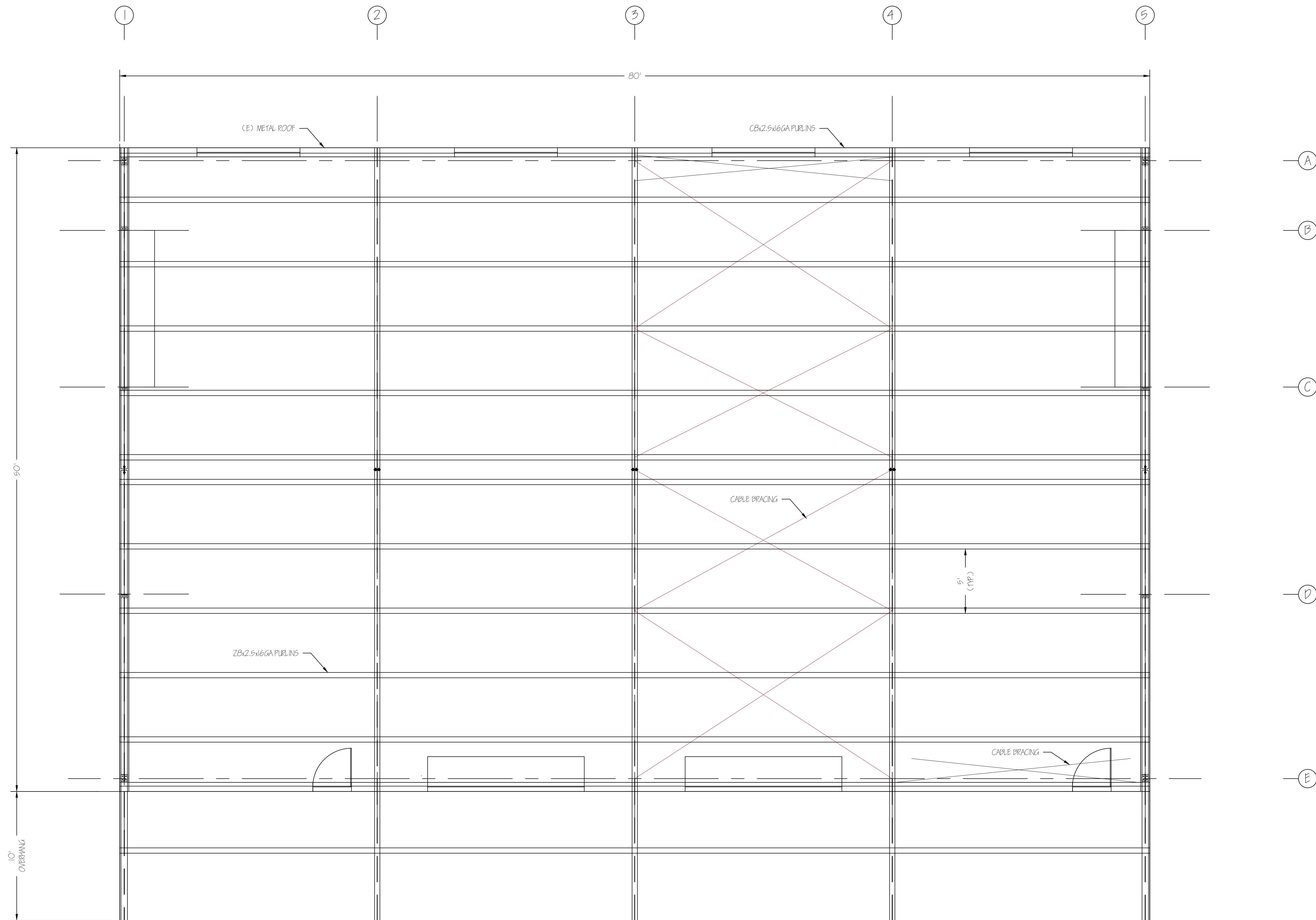
CLIENT: TRAFALGAR LAND COMPANY
 1030 E. SWIFT AVE.
 FRESNO, CA 95725

DATE: 11/09/20

SCALE: AS NOTED

PROJECT: 2002B

52-2



ROOF LAYOUT PLAN (EXISTING)

SCALE: 1/4" = 1'-0"

NOTES

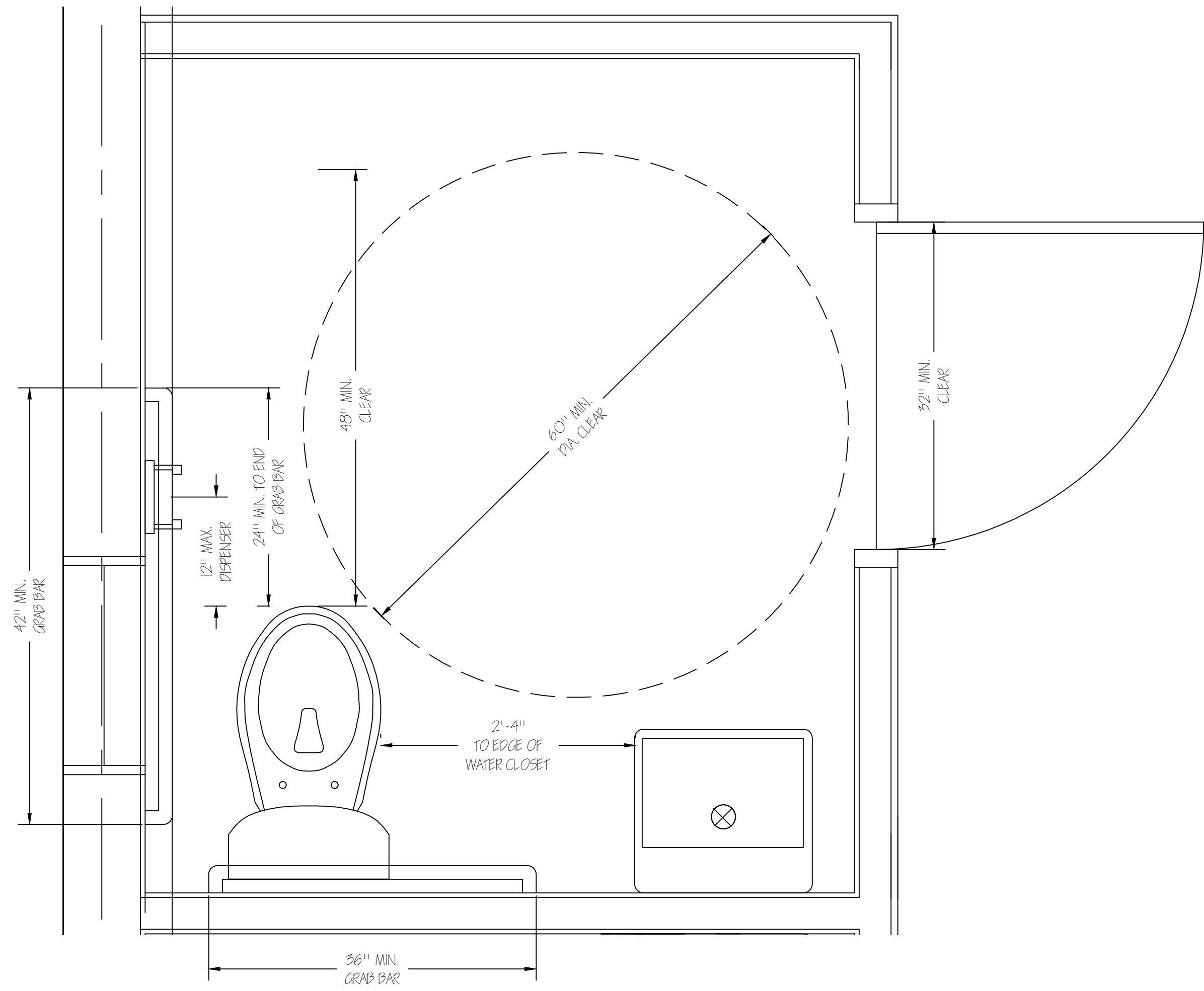
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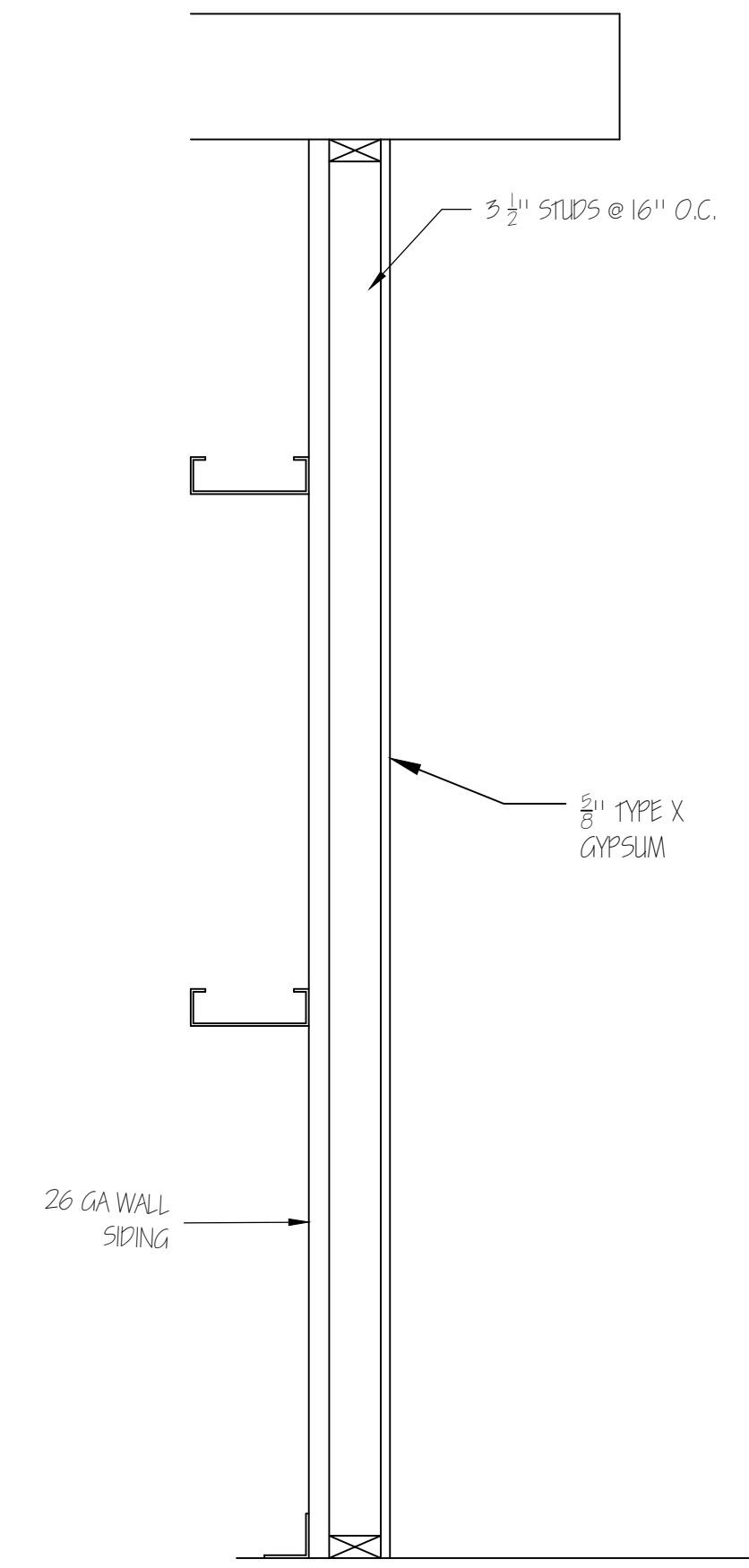
**SUPREME
CONSTRUCTION**
 1067 S. O PLAGE BLVD. CA 95274
 O: (569) 294-2070
 F: (569) 562-6287
 LIC. # 95567
 WWW.SUPREMECC.COM

JOB NAME:
 TRAFALGAR LAND COMPANY
 CLIENT:
 TRAFALGAR LAND COMPANY
 1030 E. SWIFT AVE.
 FRESNO, CA 93725
 SITE:
 2246 E. CONEJO AVE.
 FRESNO, CA 93725
 TITLE:
 ROOF PLAN
 DRAWN BY:
 BENE GUTIERREZ
 DATE:
 11/09/20
 SCALE:
 AS NOTED
 PROJECT NO:
 200225
 SHEET:
 53-0



A
54-0

ADA COMPLIANT RESTROOM



B
54-0

1 HR. FIREWALL

NOTES

NO.	DATE	DESCRIPTION
1	11/09/20	ISSUED FOR PERMITS
2	11/09/20	ISSUED FOR CONSTRUCTION
3	11/09/20	ISSUED FOR RECORD
4	11/09/20	ISSUED FOR ARCHIVE

REVISIONS:
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**SUPREME
CONSTRUCTION**
1067 S. O PLAGE BLVD., CA 95274
O: (562) 294-2070
F: (562) 562-6287
LIC. #: 95567
WWW.SUPREMECC.COM

OWNER: TRAFALGAR LAND COMPANY	
CLIENT: TRAFALGAR LAND COMPANY 1020 E. SWIFT AVE. FRESNO, CA 93725	
SITE: 2246 E. CONEJO AVE. FRESNO, CA 93725	
DATE: DETAILS	
DRAWN BY: RENE GUTIERREZ	DATE: 11/09/20
SCALE: AS NOTED	SHEET: 54-0
PROJECT NO: 20025	



East & North side



East side



North



South / East side



South side



west