

Document Root (Read-Only)

Selected Document
<p>(New SCH Number) - MND - Initial Study No. 7980; General Plan Amendm...</p> <p>Fresno County Created - 4/9/2021 Submitted - 4/9/2021 Ejaz Ahmad</p>

Document Details
<p>Lead Agency Fresno County</p>
<p>Document Type Mitigated Negative Declaration</p>
<p>Document Status Submitted</p>
<p>Title Initial Study No. 7980; General Plan Amendment Application No. 564; Unclassified Conditional Use Permit Application No. 3693</p>
<p>Present Land Use None (Undeveloped parcel)</p>
<p>Document Description Amend the Land Use Element of the County-adopted Millerton Specific Plan to re-designate a proposed 5.17-acre parcel from Open Space and Medium Density Residential to Public Facilities to allow a Fire Station with related improvements in the 'O' (Open Conservation) and R-1(c) (Single-Family Residential; 6,000 square-foot minimum parcel size, Conditional) Zone Districts</p>

Attachments

CUP 3693 Routing Pkg.pdf

CUP 3693 Environmental Checklist.pdf

CUP 3693 Initial Study.pdf

CUP 3693 Mitigation Monitoring.pdf

CUP 3693 MND (Proposed).pdf

CUP 3693 NOC (signed).pdf

CUP 3693 Reviewing Agencies checklist (signed).pdf

CUP 3693 Summary Form.pdf

CUP 3698 NOI (recorded).pdf

Contacts

Planner - Ejaz Ahmad

2220 Tulare Street, Suite - A

Fresno, CA 93721

Phone : (559) 600-4204

eahmad@fresnocountyca.gov

Regions

Counties

Fresno

Cities

Location Details

Cross Streets

Southwest corner of Millerton Road and Morningside Way

Total Acres - 5.17 | **Parcel Number** - 300-021-27S; 300-340-13S | **Township** - 11...

Local Action Types

General Plan Amendment | Use Permit

Development Types

Other (Public Facility; Fire Station))

Project Issues

Aesthetics | Agriculture and Forestry Resources | Air Quality | Biological Resources...

Review Agencies

Air Resources Board | Conservation, Department of | Fish and Wildlife, Region 4 -...

Review Period

Review Started

4/9/2021

Review Ended

5/10/2021

Signature

Title

Date

Summary Form for Electronic Document Submittal

Form F

Lead agencies may include 15 hardcopies of this document when submitting electronic copies of Environmental Impact Reports, Negative Declarations, Mitigated Negative Declarations, or Notices of Preparation to the State Clearinghouse (SCH). The SCH also accepts other summaries, such as EIR Executive Summaries prepared pursuant to CEQA Guidelines Section 15123. Please include one copy of the Notice of Completion Form (NOC) with your submission and attach the summary to each electronic copy of the document.

SCH #: _____

Project Title: Initial Study No. 7980; General Plan Application No. 564; Conditional Use Permit Application No. 3693

Lead Agency: County of Fresno

Contact Name: Ejaz Ahmad

Email: eahmad@fresnocountyca.gov Phone Number: 559-600-4204

Project Location: Fresno Fresno
City *County*

Project Description (Proposed actions, location, and/or consequences).

Amend the Land Use Element of the County-adopted Millerton Specific Plan to re-designate a proposed 5.17-acre parcel from Open Space and Medium Density Residential to Public Facilities to allow a Fire Station with related improvements in the 'O' (Open Conservation) and R-1(c) (Single-Family Residential; 6,000 square-foot minimum parcel size, Conditional) Zone Districts. The project is located within the Millerton Specific Plan boundary on the southwest corner of Millerton Road and Morningside Way approximately 1.9 miles east of the unincorporated community of Friant (SUP. DIST. 5) (APN 300-021-27S; 300-340-13S).

Identify the project's significant or potentially significant effects and briefly describe any proposed mitigation measures that would reduce or avoid that effect.

The project will adhere to the following mitigation measures:

AESTHETICS: All lighting will be hooded and directed away from adjacent properties and public right-of-ways

BIOLOGICAL RESOURCES: The project shall adhere to Incidental Take Permit; require pre-construction survey for California Tiger Salamander, Western Pond Turtle, Western Spadefoot toad, American Badger and Burrowing Owl; prepare Site Education Pamphlet for contractors, hire a biologist to conduct education "Discussions" with contractors and keep a daily log of all workdays; and document signs/sightings of the species noted above.

CULTURAL RESOURCES: In the event that cultural resources are unearthed during ground disturbance, all work shall be halted in the area of the find and an archaeologist shall be called to evaluate the findings and make any necessary mitigation recommendations

ENERGY: The idling of on-site vehicles and equipment shall be avoided to the most extent possible to avoid wasteful or inefficient energy consumption during project construction

If applicable, describe any of the project's areas of controversy known to the Lead Agency, including issues raised by agencies and the public.

No known controversies

Provide a list of the responsible or trustee agencies for the project.

None other than the lead agency (Fresno County)

Notice of Completion & Environmental Document Transmittal

Mail to: State Clearinghouse, P.O. Box 3044, Sacramento, CA 95812-3044 (916) 445-0613
For Hand Delivery/Street Address: 1400 Tenth Street, Sacramento, CA 95814

SCH #

Project Title: Initial Study No. 7980 (Grantor Real Estate Investments, LLC)

Lead Agency: County of Fresno Contact Person: Ejaz Ahmad
Mailing Address: 2220 Tulare Street, Sixth Floor Phone: (559) 600-4204
City: Fresno Zip: 93721 County: Fresno

Project Location: County: Fresno City/Nearest Community: Fresno
Cross Streets: Southwest corner of Morningside Way and Millerton Road in Millerton Specific Plan Zip Code:
Longitude/Latitude (degrees, minutes and seconds): Total Acres: 5.17
Assessor's Parcel No.: 300-021-27S; 300-340-13S Section: 9&10 Twp.: 11S Range: 21E Base: Mt. Diablo
Within 2 Miles: State Hwy #: Waterways:
Airports: Railways: Schools:

Document Type:

CEQA: [] NOP [] Draft EIR NEPA: [] NOI Other: [] Joint Document
[] Early Cons [] Supplement/Subsequent EIR [] EA [] Final Document
[] Neg Dec (Prior SCH No.) [] Draft EIS [] Other:
[X] Mit Neg Dec Other: [] FONSI

Local Action Type:

[X] General Plan Update [] Specific Plan [] Rezone [] Annexation
[] General Plan Amendment [] Master Plan [] Prezone [] Redevelopment
[] General Plan Element [] Planned Unit Development [X] Use Permit [] Coastal Permit
[] Community Plan [] Site Plan [] Land Division (Subdivision, etc.) [] Other:

Development Type:

[] Residential: Units Acres
[] Office: Sq.ft. Acres Employees Transportation: Type
[] Commercial: Sq.ft. Acres Employees Mining: Mineral
[] Industrial: Sq.ft. Acres Employees Power: Type MW
[] Educational: Waste Treatment: Type MGD
[] Recreational: Hazardous Waste: Type
[] Water Facilities: Type MGD [X] Other: Public Facilities; 5.17 acres

Project Issues Discussed in Document:

[X] Aesthetic/Visual [] Fiscal [X] Recreation/Parks [X] Vegetation
[X] Agricultural Land [X] Flood Plain/Flooding [X] Schools/Universities [X] Water Quality
[X] Air Quality [X] Forest Land/Fire Hazard [] Septic Systems [X] Water Supply/Groundwater
[X] Archeological/Historical [X] Geologic/Seismic [X] Sewer Capacity [X] Wetland/Riparian
[X] Biological Resources [X] Minerals [X] Soil Erosion/Compaction/Grading [X] Growth Inducement
[] Coastal Zone [X] Noise [X] Solid Waste [X] Land Use
[X] Drainage/Absorption [X] Population/Housing Balance [X] Toxic/Hazardous [X] Cumulative Effects
[] Economic/Jobs [X] Public Services/Facilities [X] Traffic/Circulation [] Other:

Present Land Use/Zoning/General Plan Designation:

Vacant/O (Open Conservation) and R-1 (c) (Single-Family Residential; Condition'l)/Open Space & Medium Density Residential

Project Description: (please use a separate page if necessary)

Amend the Millerton Specific Plan to re-designate a proposed 5.17-acre parcel from Open Space and Medium Density Residential to Public Facilities to allow a Fire Station in the O (Open Space) and R-1 (Single-Family Residential) Zone Districts. The project is located within the Millerton Specific Plan boundary on the southwest corner of Millerton Road and Morningside Way approximately 1.9 miles east of the unincorporated community of Friant (SUP. DIST. 5) (APN 300-021-27S; 300-340-13S).

Reviewing Agencies Checklist

Lead Agencies may recommend State Clearinghouse distribution by marking agencies below with an "X".
If you have already sent your document to the agency please denote that with an "S".

<input checked="" type="checkbox"/> Air Resources Board	<input type="checkbox"/> Office of Historic Preservation
<input type="checkbox"/> Boating & Waterways, Department of	<input type="checkbox"/> Office of Public School Construction
<input type="checkbox"/> California Emergency Management Agency	<input type="checkbox"/> Parks & Recreation, Department of
<input type="checkbox"/> California Highway Patrol	<input type="checkbox"/> Pesticide Regulation, Department of
<input type="checkbox"/> Caltrans District # <u>6</u>	<input type="checkbox"/> Public Utilities Commission
<input type="checkbox"/> Caltrans Division of Aeronautics	<input checked="" type="checkbox"/> Regional WQCB # <u>5</u>
<input type="checkbox"/> Caltrans Planning	<input type="checkbox"/> Resources Agency
<input type="checkbox"/> Central Valley Flood Protection Board	<input type="checkbox"/> Resources Recycling and Recovery, Department of
<input type="checkbox"/> Coachella Valley Mtns. Conservancy	<input type="checkbox"/> S.F. Bay Conservation & Development Comm.
<input type="checkbox"/> Coastal Commission	<input type="checkbox"/> San Gabriel & Lower L.A. Rivers & Mtns. Conservancy
<input type="checkbox"/> Colorado River Board	<input type="checkbox"/> San Joaquin River Conservancy
<input checked="" type="checkbox"/> Conservation, Department of	<input type="checkbox"/> Santa Monica Mtns. Conservancy
<input type="checkbox"/> Corrections, Department of	<input type="checkbox"/> State Lands Commission
<input type="checkbox"/> Delta Protection Commission	<input type="checkbox"/> SWRCB: Clean Water Grants
<input type="checkbox"/> Education, Department of	<input checked="" type="checkbox"/> SWRCB: Water Quality
<input type="checkbox"/> Energy Commission	<input type="checkbox"/> SWRCB: Water Rights
<input checked="" type="checkbox"/> Fish & Game Region # <u>4</u>	<input type="checkbox"/> Tahoe Regional Planning Agency
<input checked="" type="checkbox"/> Food & Agriculture, Department of	<input type="checkbox"/> Toxic Substances Control, Department of
<input checked="" type="checkbox"/> Forestry and Fire Protection, Department of	<input type="checkbox"/> Water Resources, Department of
<input type="checkbox"/> General Services, Department of	
<input checked="" type="checkbox"/> Health Services, Department of	<input checked="" type="checkbox"/> Other: <u>US Fish & Wildlife</u>
<input type="checkbox"/> Housing & Community Development	<input checked="" type="checkbox"/> Other: <u>San Joaquin Valley Air Pollution Control District</u>
<input type="checkbox"/> Native American Heritage Commission	

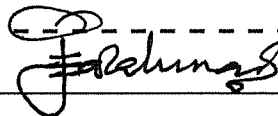
Local Public Review Period (to be filled in by lead agency)

Starting Date April 9, 2021 Ending Date May 10, 2021

Lead Agency (Complete if applicable):

Consulting Firm: <u>County of Fresno</u>	Applicant: <u>Grantor Real Estate Investments LLC</u>
Address: <u>2220 Tulare Street, 6th Floor</u>	Address: <u>1396 W. Herndon Ave. #110 Fresno</u>
City/State/Zip: <u>Fresno, CA 93721</u>	City/State/Zip: <u>Fresno CA 93711</u>
Contact: <u>Ejaz Ahmad, Project Planner</u>	Phone: <u>(559) 440-8300</u>
Phone: <u>(550)600-4204</u>	

Signature of Lead Agency Representative: _____



Date: 04/08/21

Authority cited: Section 21083, Public Resources Code. Reference: Section 21161, Public Resources Code.

REVIEWING AGENCIES CHECKLIST

KEY
 S = Document sent by lead agency
 X = Document sent by SCH
 ✓ = Suggested distribution

Resources Agency

- Boating & Waterways
- Coastal Commission
- Coastal Conservancy
- Colorado River Board
- Conservation
- Fish & Wildlife
- Forestry
- Office of Historic Preservation
- Parks & Recreation
- Reclamation
- S.F. Bay Conservation & Development Commission
- Water Resources (DWR)

Business, Transportation & Housing

- Aeronautics
- California Highway Patrol
- CALTRANS District # 6
- Department of Transportation Planning (headquarters)
- Housing & Community Development
- Food & Agriculture

Health & Welfare

- Health Services, Fresno County

State & Consumer Services

- General Services
- OLA (Schools)

Environmental Protection Agency

- Air Resources Board
- APCD/AQMD
- California Waste Management Board
- SWRCB: Clean Water Grants
- SWRCB: Delta Unit
- SWRCB: Water Quality
- SWRCB: Water Rights
- Regional WQCB # 5 (Fresno County)

Youth & Adult Corrections

- Corrections

Independent Commissions & Offices

- Energy Commission
- Native American Heritage Commission
- Public Utilities Commission
- Santa Monica Mountains Conservancy
- California Highway Patrol
- U.S. Fish & Wildlife Service
- S. J. Valley Air Pollution Control District

Public Review Period (to be filled in by lead agency)

Starting Date: April 9, 2021

Ending Date: May 10, 2021

Signature _____



Date _____

04-08-2021

Lead Agency: Fresno County
 Address: 2220 Tulare Street, 6th Floor
 City/State/Zip: Fresno, CA 93721
 Contact: Ejaz Ahmad, Planner
 Phone: (559) 600-4204

Applicant: Grantor Real Estate Investments LLC.
 Address: 1396 W. Herndon Ave. #110 Fresno
 City/State/Zip Fresno, CA 93711
 Phone: (559) 440-8300

For SCH Use Only:
 Date Received at SCH: _____
 Date Review Starts: _____
 Date to Agencies: _____
 Date to SCH: _____
Clearance Date: _____
 Notes: _____



E202110000069

County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

FILED
APR 08 2021
TIME 4:10 PM
FRESNO COUNTY CLERK
By *[Signature]*
DEPUTY

For County Clerk's Stamp

Notice is hereby given that the County of Fresno has prepared Initial Study Application (IS) No. 7980 pursuant to the requirements of the California Environmental Quality Act for the following proposed project:

General Plan Amendment Application No. 564, Unclassified Conditional Use Permit Application No. 3693 and Initial Study No. 7980 filed by **Jeffrey T. Roberts on behalf of Grantor Real Estate Investments, LLC.**, proposing to amend the Land Use Element of the County-adopted Millerton Specific Plan to re-designate a proposed 5.17-acre parcel from Open Space and Medium Density Residential to Public Facilities, to allow a Fire Station with related improvements in the 'O' (Open Conservation) and R-1(c) (Single-Family Residential; 6,000 square-foot minimum parcel size, Conditional) Zone Districts. The project is located within the Millerton Specific Plan boundary on the southwest corner of Millerton Road and Morningside Way approximately 1.9 miles east of the unincorporated community of Friant (SUP. DIST. 5) (APN 300-021-27S; 300-340-13S). Adopt the Mitigated Negative Declaration prepared for Initial Study No. 7980 and take action on General Plan Amendment Application No. 564 and Unclassified Conditional Use Permit Application No. 3693 with Findings and Conditions.

(hereafter, the "Proposed Project")

The County of Fresno has determined that it is appropriate to adopt a Mitigated Negative Declaration for the Proposed Project. The purpose of this Notice is to (1) provide notice of the availability of IS Application No. 7980 and the draft Mitigated Negative Declaration and request written comments thereon; and (2) provide notice of the public hearing regarding the Proposed Project.

Public Comment Period

The County of Fresno will receive written comments on the Proposed Project and Mitigated Negative Declaration from April 9, 2021 through May 10, 2021.

Email written comments to eahmad@co.fresno.ca.us, or mail comments to:

Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
Attn: Ejaz Ahmad
2220 Tulare Street, Suite A
Fresno, CA 93721

E202110000069

IS Application No. 7980 and the draft Mitigated Negative Declaration may be viewed at the above address Monday through Thursday, 9:00 a.m. to 5:00 p.m., and Friday, 8:30 a.m. to 12:30 p.m. (except holidays). An electronic copy of the draft Mitigated Negative Declaration for the Proposed Project may be obtained from Ejaz Ahmad at the addresses above.

*** SPECIAL NOTICE REGARDING PUBLIC PARTICIPATION DUE TO COVID-19 ***

Due to the current Shelter-in-Place Order covering the State of California and Social Distance Guidelines issued by Federal, State, and Local Authorities, the County is implementing the following changes for attendance and public comment at all Planning Commission meetings until notified otherwise. The Board chambers will be open to the public. Any member of the Planning Commission may participate from a remote location by teleconference pursuant to Governor Gavin Newsom's executive Order N-25-20. Instructions about how to participate in the meeting will be posted to: <https://www.co.fresno.ca.us/planningcommission> 72 hours prior to the meeting date.

- *The meeting will be broadcast. You are strongly encouraged to listen to the Planning Commission meeting at: <http://www.co.fresno.ca.us/PlanningCommission>.*
- *If you attend the Planning Commission meeting in person, you will be required to maintain appropriate social distancing, i.e., maintain a 6-foot distance between yourself and other individuals. Due to Shelter-in-Place requirements, the number of people in the Board chambers will be limited. Members of the public who wish to make public comments will be allowed in on a rotating basis.*
- *If you choose not to attend the Planning Commission meeting but desire to make general public comment on a specific item on the agenda, you may do so as follows:*

Written Comments

- *Members of the public are encouraged to submit written comments to: Planningcommissioncomments@fresnocountyca.gov. Comments should be submitted as soon as possible, but not later than 8:30am (15 minutes before the start of the meeting). You will need to provide the following information:*
 - *Planning Commission Date*
 - *Item Number*
 - *Comments*
- *Please submit a separate email for each item you are commenting on.*
- *Please be aware that public comments received that do not specify a particular agenda item will be made part of the record of proceedings as a general public comment.*
- *If a written comment is received after the start of the meeting, it will be made part of the record of proceedings, provided that such comments are received prior to the end of the Planning Commission meeting.*
- *Written comments will be provided to the Planning Commission. Comments received during the meeting may not be distributed to the Planning Commission until after the meeting has concluded.*

E202110000069

- *If the agenda item involves a quasi-judicial matter or other matter that includes members of the public as parties to a hearing, those parties should make arrangements with the Planning Commission Clerk to provide any written materials or presentation in advance of the meeting date so that the materials may be presented to the Planning Commission for consideration. Arrangements should be made by contacting the Planning Commission Clerk at (559) 600-4230.*

PROGRAM ACCESSIBILITY AND ACCOMMODATIONS: The Americans with Disabilities Act (ADA) Title II covers the programs, services, activities and facilities owned or operated by state and local governments like the County of Fresno ("County"). Further, the County promotes equality of opportunity and full participation by all persons, including persons with disabilities. Towards this end, the County works to ensure that it provides meaningful access to people with disabilities to every program, service, benefit, and activity, when viewed in its entirety. Similarly, the County also works to ensure that its operated or owned facilities that are open to the public provide meaningful access to people with disabilities.

To help ensure this meaningful access, the County will reasonably modify policies/ procedures and provide auxiliary aids/services to persons with disabilities. If, as an attendee or participant at the meeting, you need additional accommodations such as an American Sign Language (ASL) interpreter, an assistive listening device, large print material, electronic materials, Braille materials, or taped materials, please contact the Current Planning staff as soon as possible during office hours at (559) 600-4497 or at imoreno@fresnocountyca.gov. Reasonable requests made at least 48 hours in advance of the meeting will help to ensure accessibility to this meeting. Later requests will be accommodated to the extent reasonably feasible.

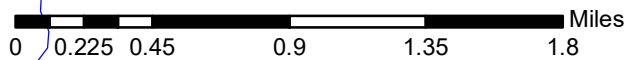
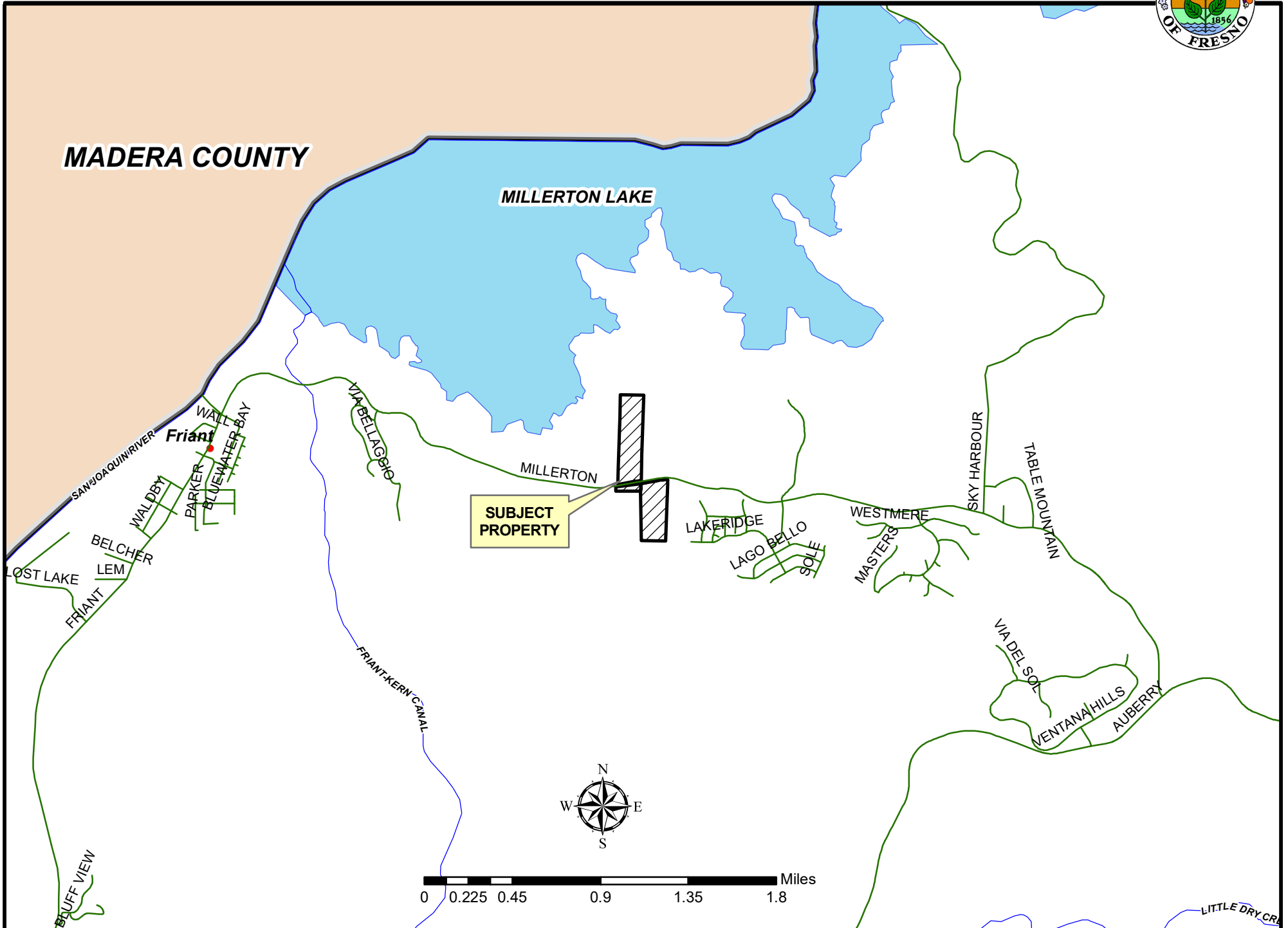
Public Hearing

The Planning Commission will hold a public hearing to consider approving the Proposed Project and the Mitigated Negative Declaration on May 20, 2021, at 8:45 a.m., or as soon thereafter as possible, in Room 301, Hall of Records, 2281 Tulare Street, Fresno, California 93721. Interested persons are invited to appear at the hearing and comment on the Proposed Project and draft Mitigated Negative Declaration.

For questions, please call Ejaz Ahmad at (559) 600-4204

Published: April 9, 2021

LOCATION MAP





County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY ENVIRONMENTAL CHECKLIST FORM

1. **Project title:**
General Plan Amendment Application No. 564, Unclassified Conditional Use Permit Application No. 3693, Initial Study Application No. 7980
2. **Lead agency name and address:**
Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
2220 Tulare Street, 6th Floor
Fresno, CA 93721-2104
3. **Contact person and phone number:**
Ejaz Ahmad, Planner, (559) 600-4204
4. **Project location:**
The project is located within the Millerton Specific Plan boundary on the southwest corner of Millerton Road and Morningside Way approximately 1.9 miles east of the unincorporated community of Friant (SUP. DIST. 5) (APN 300-021-27S; 300-340-13S).
5. **Project sponsor's name and address:**
Grantor Real Estate Investments, LLC
1396 W. Herndon Avenue # 110
Fresno, CA 93711
6. **General Plan designation:**
Medium-Density Residential and Open Space
7. **Zoning:**
R-1 (c) (Single-Family Residential; 6,000 square-foot minimum parcel size, Conditional) and 'O' (Open Conservation)
8. **Description of project: (Describe the whole action involved, including, but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)**
Amend the Land Use Element of the County-adopted Millerton Specific Plan to re-designate a proposed 5.17 - acre parcel from Open Space and Medium-Density Residential to Public Facilities to allow a Fire Station with related improvements in the 'O' (Open Conservation) and R-1(c) (Single-Family Residential; 6,000 square-foot minimum parcel size, Conditional) Zone Districts.
9. **Surrounding land uses and setting: Briefly describe the project's surroundings:**
The project site is located within the Millerton Specific Plan boundary, a planned community that includes residential, commercial, public facility, and open space uses. The site is surrounded by approved residential tracts. Though not built yet, Tract No. 5430 is located to the north and Tract No. 4968 is located to the east of the project site. National Forest is located to the east and the unincorporated community of Friant is located approximately 2.2 miles to the west of the site.
10. **Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement.)**
None

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

NOTE: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21080.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code Section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

The project site is not in an area designated as highly or moderately sensitive for archeological resources. Pursuant to Assembly Bill (AB) 52, the subject proposal was routed to the Santa Rosa Rancheria Tachi Yokut Tribe, Picayune Rancheria of the Chukchansi Indians, Dumna Wo Wah Tribal Government, and Table Mountain Rancheria offering them an opportunity to consult under Public Resources Code (PRC) Section 21080.3(b) with a 30-day window to formally respond to the County letter. No tribe requested consultation, resulting in no further action on the part of the County. The Table Mountain Rancheria (TMR), however, requested that they be informed in the unlikely event that cultural resources are identified on the property. With the Mitigation Measure included in the CULTURAL ANALYSIS section of this report any potential impact to tribal cultural resources will be reduced to less than significant.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | |
|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Biological Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Mandatory Findings of Significance | |

DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT:

On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the Mitigation Measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required
- I find that as a result of the proposed project, no new effects could occur, or new Mitigation Measures would be required that have not been addressed within the scope of a previous Environmental Impact Report.

PERFORMED BY:



Ejaz Ahmad, Planner

REVIEWED BY:



David Randall, Senior Planner

Date: April 8, 2021

Date: 4.8.21

EA:
G:\4360Devs&PIn\PROJSEC\PROJDOCS\CUP\3600-3699\3693 - See GPA 564\CEQA\CUP 3693 IS Checklist.doc

**INITIAL STUDY
ENVIRONMENTAL CHECKLIST FORM
(General Plan Amendment Application No. 564,
Unclassified Conditional Use Permit Application
No. 3693; Initial Study Application No. 7980)**

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

1 = No Impact

2 = Less Than Significant Impact

3 = Less Than Significant Impact with Mitigation Incorporated

4 = Potentially Significant Impact

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 2 c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from a publicly accessible vantage point.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?
- 3 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- 1 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract?
- 1 c) Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production?
- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 1 e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable Air Quality Plan?
- 2 b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?
- 2 c) Expose sensitive receptors to substantial pollutant concentrations?
- 2 d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 3 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 3 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 c) Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- 1 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

V. CULTURAL RESOURCES

Would the project:

- 3 a) Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?
- 3 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?
- 3 c) Disturb any human remains, including those interred outside of formal cemeteries?

VI. ENERGY

Would the project:

- 3 a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources during project construction or operation?
- 1 b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

VII. GEOLOGY AND SOILS

Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 - 1 ii) Strong seismic ground shaking?
 - 1 iii) Seismic-related ground failure, including liquefaction?
 - 1 iv) Landslides?
- 2 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?
- 2 e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?
- 2 f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- 2 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- 2 b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 2 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 2 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 2 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?
- 1 f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 2 g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

X. HYDROLOGY AND WATER QUALITY

Would the project:

- 2 a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?
- 2 b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?
- 2 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 2 i) Result in substantial erosion or siltation on or off site;
 - 2 ii) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site;
 - 2 iii) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or
 - 2 iv) Impede or redirect flood flows?
- 1 d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?
- 1 e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

XI. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?
- 2 b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

XII. MINERAL RESOURCES

Would the project:

- 1 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 1 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

XIII. NOISE

Would the project result in:

- 2 a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 1 b) Generation of excessive ground-borne vibration or ground-borne noise levels?
- 1 c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, exposing people residing or working in the project area to excessive noise levels?

XIV. POPULATION AND HOUSING

Would the project:

- 1 a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and

businesses) or indirectly (for example, through extension of roads or other infrastructure)?

- 1 b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

XV. PUBLIC SERVICES

Would the project:

- 2 a) Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
- 2 i) Fire protection?
- 1 ii) Police protection?
- 1 iii) Schools?
- 1 iv) Parks?
- 1 v) Other public facilities?

XVI. RECREATION

Would the project:

- 1 a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- 1 b) Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

XVII. TRANSPORTATION

Would the project:

- 2 a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?
- 1 b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?
- 2 c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 d) Result in inadequate emergency access?

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- 2 a) Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
- 2 i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k), or
- 2 ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? In applying the criteria set

forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 2 a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?
- 2 b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?
- 2 c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 2 d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?
- 2 e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- 2 a) Substantially impair an adopted emergency response plan or emergency evacuation plan?
- 2 b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?
- 2 c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?
- 2 d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 2 a) Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 2 b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)
- 1 c) Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Documents Referenced:

This Initial Study is referenced by the documents listed below. These documents are available for public review at the County of Fresno, Department of Public Works and Planning, Development Services and Capital Projects Division, 2220 Tulare Street, Suite A, Fresno, California (corner of M & Tulare Streets).

Fresno County General Plan, Policy Document and Final EIR

Fresno County Zoning Ordinance

Important Farmland 2010 Map, State Department of Conservation

A Millerton Fire Station Trip Generation Analysis dated February 9, 2021 prepared by JLB Traffic Engineering, Inc

Air Quality and Greenhouse Gas Analysis Report, dated January 21, 2021 prepared by Mitchell Air Quality Consulting

EA:

G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3600-3699\3693 - See GPA 564\CEQA\CUP 3693 IS Checklist.doc



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT:** Jeffrey T. Roberts on behalf of Grantor Real Estate Investments, LLC
- APPLICATION NOS.:** General Plan Amendment Application No. 564, Unclassified
Conditional Use Permit Application No. 3693; Initial Study
Application No. 7980
- DESCRIPTION:** Amend the Land Use Element of the County-adopted Millerton Specific Plan to re-designate a proposed 5.17-acre parcel from Open Space and Medium Density Residential to Public Facilities to allow a Fire Station with related improvements in the 'O' (Open Conservation) and R-1(c) (Single-Family Residential; 6,000 square-foot minimum parcel size, Conditional) Zone Districts.
- LOCATION:** The project is located within the Millerton Specific Plan boundary on the southwest corner of Millerton Road and Morningside Way approximately 1.9 miles east of the unincorporated community of Friant (SUP. DIST. 5) (APN 300-021-27S; 300-340-13S).

DISCUSSION:

An Environmental Impact Report (EIR) and Mitigation Measures & Monitoring Program Matrix was certified as having been prepared and considered by the decision-making body in accordance with the California Environmental Quality Act (CEQA) when the Millerton Specific Plan was adopted in December 1984. Several additional environmental studies have been prepared since the 1984 certification, the most recent being in December 2004.

This Initial Study has been prepared in part to determine if the existing EIR is adequate for the proposed project pursuant to Section 21166 of the Public Resources Code, which states that no subsequent or supplemental EIR shall be required for a project pursuant to Section 21000 *et seq.* of the Public Resources Code unless one or more of the following events has occurred:

- (a) Substantial changes are proposed in the project, which will require major revisions of the environmental impact report.
- (b) Substantial changes occur with respect to the circumstances under which the project is being undertaken which will require major revisions in the environmental impact report.
- (c) New information which was not known and could not have been known at the time the environmental impact report was certified as complete, becomes available.

The subject project was routed to reviewing agencies initially in July of 2018 with mention of the previously adopted EIR and Specific Plan. Comments received at the completion of the routing cycle did not reveal any significant project-related impacts that could not be mitigated. Based on staff's review of comments received, it has been determined that the provisions of Section 15162 will be utilized in preparing the environmental document.

This Initial Study has been prepared pursuant to Section 15162 of the CEQA Guidelines, to determine if the existing EIR is adequate for the proposed project, or whether any of the three events noted above have taken place necessitating preparation of a new or supplemental EIR.

The Lead Agency may then determine if a subsequent Negative Declaration is appropriate. A determination to prepare a Mitigation Negative Declaration has been made based upon the fact that Mitigation Measures were identified in the Initial Study.

Based upon the comments received, which indicated that no significant impacts would occur, if the project is approved, a Mitigated Negative Declaration has been prepared.

As a project condition, the Applicant would be required to comply with all applicable Mitigation Measures contained in the Millerton Specific Plan - Mitigation Measures and Monitoring Program Matrix Program identified in the previously-certified EIR as well as those identified in Initial Study Application No. 7980 prepared for this project. The Mitigation Measures and Monitoring Program Matrix is attached to this document for reference purposes.

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: NO IMPACT:

The project site fronts on Millerton Road and Morningside Way which are not designated as Scenic Highway or Scenic Drive in the County General Plan. There are no scenic vistas or scenic resources, including rock outcroppings, or historic buildings on or near the site that will be impacted by the proposed project (fire station).

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is designated for Open Space and Medium Density Residential within the Land Use and Circulation Elements of the Millerton Specific Plan. The site is surrounded by approved residential tracts. Though not built yet, Tract No. 5430 is located to the north and Tract No. 4968 is located to the east of the project site. The proposed single-story fire station building, will be compatible in height, design, and construction with future residential tract homes. The project is compatible with the physical characteristics of the area.

The project will adhere to Mitigation Measure No. 11. Visual Quality, listed in the Millerton Specific Plan, Mitigation Measures and Monitoring Program Matrix regarding the location of building sites on the property, submittal of a landscaping plan, and grading and erosion control to maintain visual quality of the site and its surroundings.

Based on the above information, the project is expected to have a less than significant impact on visual character or quality of the area.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project would generate new sources of light and glare in the form of outdoor lighting. To mitigate light and glare impacts on the adjacent properties, the project will adhere to the following Mitigation Measure.

* **Mitigation Measure:**

All outdoor lighting shall be hooded and directed downward so as not to shine toward adjacent properties and public streets or roadways.

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use; or
- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract; or

- C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or
- D. Result in the loss of forest land or conversion of forest land to non-forest use; or
- E. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of farmland to non-agricultural use or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The project will be developed within the Millerton Specific Plan boundary, which does not contain any productive agricultural land nor is subject to a Williamson Act Contract. Per the 2016 Fresno County Important Farmland Map, the entire Millerton New Town Specific Plan is designated as “Grazing Land” consisting of residential dwelling units, and unimproved land for future residential, commercial, and public facilities uses. The project will have no impact on agricultural land.

In compliance with Assembly Bill (AB) 18, the Policy Planning Section of the Fresno County Department of Public Works and Planning conducted a 90-day tribal consultation for the subject General Plan Amendment (GPA) No. 564. The prescribed time will end on May 4, 2021.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

An Air Quality and Greenhouse Gas Analysis Report, dated January 21, 2021, was prepared for the project by Mitchell Air Quality Consulting, and provided to the San Joaquin Valley Air Pollution Control District (SJVAPCD) for comments. Construction and operation of the project (light industrial uses) would contribute the following criteria pollutant emissions: reactive organic gases (ROG), carbon monoxide (CO), nitrogen dioxide (NO_x), sulfur dioxide (SO₂), and particulate matter (PM₁₀ and PM_{2.5}).

As discussed in II. B below, emissions of ROG, NO_x, PM₁₀, and PM_{2.5} associated with the construction and operation of the project would not exceed the District’s significance thresholds. The project complies with all applicable rules and regulations from the applicable Air Quality Plan (AQP). Therefore, the impact would be less than significant. Furthermore, as discussed in III. C below, the project would not result in CO hotspot that would violate CO standards.

Per the San Joaquin Valley Air Pollution Control District, the proposed project would: 1) be subject to District Rule 9510 if equals or exceeds 10,000 square feet of governmental space and require filing of an Air Impact Assessment Application and paying any applicable off-site mitigation fees before issuance of first building permit. The project may also be subject to the Regulation VIII-Fugitive PM10 Prohibitions, Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt Paving and Maintenance Operations) Rule 2010 (Permits Required) and Rule 2201 (New and Modified Stationary Source Review). These requirements will be addressed through recommended Site Plan Review.

The project will also adhere to Mitigation Measures No. 17.a – m. - Climate and Air Quality, listed in the Millerton Specific Plan, Mitigation Measures and Monitoring Program Matrix regarding bicycle circulation systems, installation of emission reduction devices on fireplaces, and reduction in PM-10 from wood burning.

- B. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The primary pollutants of concern during project construction and operation are ROG, NO_x, CO, PM₁₀, and PM_{2.5}. The San Joaquin Valley Air Pollution Control District (SJVAPCD) Guidance for Assessing and Monitoring Air Quality Impacts (GAMAQI) adopted in 2015 contains threshold for CO, NO_x, ROG, SO_x PM₁₀ and PM_{2.5}. The SJVAPCD's annual emission significance thresholds used for the project, define the substantial contribution for both operational and construction emissions are 10 tons per year ROG, 10 tons per year NO_x, 100 tons per year CO, 27 tons per year SO_x, 15 tons per year PM₁₀ and 15 tons per year PM_{2.5}. The project does not contain sources that would produce substantial quantities of SO₂ emissions during construction and operation.

Per the *Air Quality and Greenhouse Gas Analysis Report*, the 2022 construction emissions (ton per year) associated with the project would be 0.35 for ROG, 2.40 for NO_x, 2.34 for CO, 0.31 for PM₁₀ and 0.17 for PM_{2.5} which are less than the threshold of significance. Likewise, the operational emission over the life of the project, primarily from energy use and mobile sources, would be 0.09 for ROG, 0.44 for NO_x, 0.14 for CO, 0.04 for PM₁₀ and 0.00 for PM_{2.5} which are less than the threshold of significance.

As discussed above, the regional analysis of the construction and operational emissions indicates that the project would not exceed the District's significance thresholds and is consistent with the applicable Air Quality Attainment Plan. Therefore, the project would not result in significant cumulative health impacts.

- C. Expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Sensitive receptors are defined as hospitals, residences, convalescent facilities, and schools. There are currently no sensitive receptors near the project; however, residences would likely be constructed in new neighborhoods planned near the project site.

Per the *Air Quality and Greenhouse Gas Analysis Report*, an analysis of maximum daily emissions during construction and operation of the project was conducted to determine if emissions would exceed 100 pounds per day for any pollutant of concern which include NO_x, CO, PM₁₀ or PM_{2.5}.

Per the *Report*, maximum daily construction emissions (pound per day) during 2022 would be 16.26 for ROG, 33.15 for NO_x, 20.49 for CO, 9.97 for PM₁₀ and 6.01 for PM_{2.5} and would not exceed SJVAPCD screening thresholds for any pollutant.

Operational emissions are generated on-site by area sources such as consumer products, landscape maintenance, energy use, and onsite motor vehicle operation at the project site. Most motor vehicle emissions would occur distant from the site and would not contribute to a violation of ambient air quality standards, making the analysis highly conservative. The Maximum daily air pollutant emissions (pound per day) during operations (2022) would be 0.49 for ROG, 2.40 for NO_x, 0.82 for CO, 1 for PM₁₀ and 0.07 for PM_{2.5} and would not exceed SJVAPCD screening thresholds for any pollutant.

Localized high levels of CO are associated with traffic congestion and idling or slow-moving vehicles. The project is in a rural location with no traffic congestion; therefore, no CO modeling is required. In addition, the highest background 8-hour average of carbon monoxide during the latest year CO was monitored is 2.06 ppm, which is 78 percent lower than the state ambient air quality standard of 9.0 ppm. Therefore, the project would not significantly contribute to an exceedance of state or federal CO standards.

The project construction would involve the use of diesel fueled vehicles and equipment that emit DPM (diesel particulate matter) which is considered a Toxic Air Contaminants (TAC). The SJVAPCD's latest threshold of significance for TAC emissions are an increase in cancer risk for the maximally exposed individual of 20 in a million. The SJVAPCD's 2015 GAMAQI currently focuses on projects with operational TAC emissions that would expose sensitive receptors over a typical lifetime of 70 years. Fire stations produce limited amounts of TAC emissions during operation and thus have not been subject to project TAC analysis. Most emissions from construction activities occur during the grading and site preparation phases that occur over the first three months of construction and do not overlap with project operations. Limited amounts of diesel equipment are used during ground-up building construction that occurs during most of the construction schedule. Construction equipment fleet operators are subject to Air Resources Board's (ARB) In Use Off-road Equipment Fleet Regulation, which requires the use of increasing amounts of lower-emitting equipment that will help to ensure that risk would not exceed SJVAPCD thresholds. The project is a potential source of TAC emissions from vehicle fueling, natural gas or

propane emergency generator operation and use of diesel fueled fire trucks. Gasoline dispensing equipment is a source of toxic air contaminant emissions from evaporated gasoline. The ARB identifies sources of TAC emissions that could potentially impact nearby sensitive receptors and provides recommended distance to avoid locating sensitive land uses. The project is relatively close to future residences. Regarding fuel dispensing equipment, ARB recommends avoiding new sensitive land uses within 300 feet of a large fueling station (a facility with a throughput of 3.6 million gallons per year or greater). The project would use approximately 4,500 gallons of diesel per year and 1,000 gallons of gasoline per year, which is a small fraction of the ARB screening level. Therefore, impacts from TAC emissions would be less than significant.

The project will use natural gas or propane fueled 30-kilowatt emergency generator which are not considered significant sources of TAC emissions and are operated for limited hours per year. The relatively small size of the generator would also contribute to very low TAC emissions.

The project includes four diesel-powered fire trucks that are sources of TAC emissions from DPM. The ARB recommends avoiding siting new sensitive land uses within 1,000 feet of a distribution center (that accommodates more than 100 trucks per day). Therefore, the four fire trucks are unlikely to result in insignificant TAC emissions.

In short, the project would not result in significant TAC emissions during project operations; therefore, impact from this source would be less than significant.

Valley fever (coccidioidomycosis), is an infection caused by inhalation of the spores of the fungus, *Coccidioides immitis* (*C. immitis*) which lives in soil. Construction activities, however, could generate fugitive dust that contain *C. immitis* spores. The project will comply with Regulation VIII Fugitive Dust Prohibitions that is expected to reduce fugitive dust produced during earth disturbing activities and thereby reduce exposure to the spores. Therefore, the potential impact would be reduced to less than significant. During operations, dust emissions are anticipated to be relatively small, because the project area would continue to be occupied by buildings, concrete, and asphalt pavement. This condition would lessen the possibility that the project would provide suitable habitat for *C. immitis* spores and generate fugitive dust that may contribute to Valley fever exposure. Impacts would be less than significant.

Per the U.S. Geological Survey 2011, the project area is outside of an area of naturally occurring asbestos in California. Therefore, development of the project is not anticipated to expose receptors to naturally occurring asbestos. Impacts would be less than significant.

In conclusion, localized impacts from criteria pollutant emissions would not exceed SJVAPCD screening thresholds. Project gasoline dispensing equipment, diesel fire trucks, and natural gas or propane generator would not result in a significant increase in cancer risk, chronic risk, and acute risk due to TAC emissions. Impacts from Valley fever exposure and naturally occurring asbestos would be less than significant.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Odor impacts on residential areas and other sensitive receptors, such as hospitals, day-care centers, and schools. The project site is near future residences.

Per the SJVAPCD, the common odor producing land uses are landfills, transfer stations, sewage treatment plants, wastewater pump stations, composting facilities, feed lots, coffee roasters, asphalt batch plants, and rendering plants. The project would not engage in any of these activities. Therefore, the project would not be considered a generator of objectionable odors during operations.

During construction, the various diesel-powered vehicles and equipment used on-site would create localized odors. These odors would be temporary and would not likely be noticeable for extended periods of time beyond the project's site boundaries. The potential for diesel odor impacts would therefore be less than significant.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The subject proposal is part of the Millerton Specific Plan for which the U.S. Fish and Wildlife Service issued a Biological Opinion (BO) on August 25, 2018. All development projects within the Millerton Specific Plan boundary, including the subject proposal, are required to comply with Avoidance and Minimization Measures noted in the BO memo.

The project was routed to the U.S. Fish and Wildlife Service (USFWS) and the California Department of Fish and Wildlife (CDFW) for comments. USFWS offered no comments during the comment review period. However, CDFW made several references regarding presence of special status species on or near the project site. A meeting between CDFW staff and the project applicant, resulted in mutual understanding of the following requirements to apply on the project. Implementation of these requirements as Mitigation Measures will reduce the impact to less than significant:

* **Mitigation Measures:**

1. *The project site is currently within the area covered by Incidental Take Permit (ITP) (ITP No. 2081-2014-079-04) that has been the location of recent burrow clearing and biological fencing as a part of the Morningside Way road project. Approximately two-third of the site is already cleared and fenced as per the requirements of the ITP. Prior to construction on the subject 5.17 acres, the balance of the site shall be checked, cleared, and fenced in accordance with the ITP.*
 2. *A qualified biologist shall perform a “Pre- Construction Survey” of the site to check for the California Tiger Salamander (CTS), Western Pond Turtle (WPT), Western Spadefoot toad (WESP), American Badger (AMBA) and Burrowing Owl (BUOW) as listed in the CDFW letter dated February 1, 2021. If no species are found on the site, the next steps of the plan can occur. If species are located, a biologist shall follow State and Federal protocols for their removal from the 5.17-acre project site.*
 3. *The biologist shall prepare a “Site Education Pamphlet” for distribution to all contractors and subcontractors that will be working on the site and shall work with the applicant/owner to have a notification sign placed on the site at the construction entrance. This sign shall be 4 feet by 8 feet in size and shall contain the same information as the Site Education Pamphlet.*
 4. *The owner shall retain the biologist to conduct education “Discussions” with any contractor/subcontractor who will have more than 5 employees working on the site.*
 5. *The owner and/or biologist shall keep a daily log of all workdays and shall document signs/sightings of the 5 species listed above.*
 6. *If a sighting of any of the species occurs during the course of construction, work shall be stopped, and the biologist shall be contacted, and State and federal protocols shall be followed for the removal of the species.*
 7. *The owner shall contact the California Department of Fish and Wildlife at the end of each month, provide daily logs, and a summary of the month’s activities on the site.*
- C. Have a substantial adverse effect on state- or federally protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

The project site contains no state or federally protected wetlands (e.g. marsh, vernal pool, coastal, etc.). According to the National Wetland Inventory (NWI) the nearest Riverine habitat (Riverine System includes all wetlands and deep-water habitats

contained within a channel) is located approximately 475 feet northwest of the project site. The project will have no impact on Riverine habitat.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites; or
- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

Per the Millerton Specific Plan Policy SP1-P68, Habitat Preservation, an Open Space and Natural Resource Plan (OSNRP) has been established for the Millerton, Dry Creek and Sierra Foothill areas. The OSNRP will provide protection to sensitive resources by establishing key habitat areas, open and continuous wildlife corridors, ridge tops and view protection, native plant landscapes, and lighting restrictions on hilltops to mitigate glare.

The project site is unimproved with no vegetation. The project will not conflict with local policies or ordinances regarding a tree preservation policy or ordinance.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or
- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project site is in an area designated as highly sensitive for archeological Resources. A study entitled *Cultural Resources Inventory (CRI) Millerton New Town Specific Plan*, was prepared by Kristina Roper and dated April 21, 2014. While encompassing all properties within the Millerton New Town Specific Plan area, this study was used as the basis for preparing a Cultural Resources Management Plan for Millerton Specific Plan development projects.

Per the *Cultural Resources Inventory* (CRI), six archeological sites exist within the entire Millerton Specific Plan area that appear to meet the eligibility criteria for listing in the National Register of Historic Places and the California Register of Historic Resources. None of those sites are located within the project site. The nearest (MNT-16) located approximately 500 feet southeast of the project site on the western slope of a hill adjacent to a dirt road, is a moderately weathered granite boulder with a single saucer mortar. The edges of the milling surface are exfoliated. Given the project location, no impact on MNT-16 is expected from this proposal.

Although, Table Mountain Rancheria (TMR) declined participation in AB (Assembly Bill) 52 for the proposal but requested to be notified in the unlikely event that cultural resources are unearthed during ground disturbance. The project will adhere to the following mitigation measure to ensure that impacts to cultural resources remain less than significant. Mitigation Measure No. 12. c. - Historic/Cultural Resources listed in the Millerton Specific Plan Mitigation Measures and Monitoring Program Matrix also reflects on this requirement.

* **Mitigation Measure:**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources during project construction or operation; or

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION
INCORPORATED:

The construction and operation of the proposed project (fire station) is unlikely to result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources. To minimize the potential for wasteful or inefficient consumption of energy resources, the project would require adherence to the following Mitigation Measure.

* **Mitigation Measure**

1. *The idling of on-site vehicles and equipment will be avoided to the most extent possible to avoid wasteful or inefficient energy consumption during project construction.*

The project will be subject to meeting California Green Building Standards Code (CCR, Title 24, Part 11-CALGreen) to meet the goals of AB (Assembly Bill) 32 which established a comprehensive program of cost-effective reductions of greenhouse gases to 1990 levels by 2020.

The project will adhere to Mitigation Measure No. 18. a. - Energy Resources, listed in the Millerton Specific Plan Mitigation Measures and Monitoring Program Matrix, which requires reduction of energy consumption through building design requirements, solar access provisions, parking lot shading, requirement for project-level energy efficiency and evaluation, water conservation programs and more.

- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: NO IMPACT:

The project will not conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:

1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
2. Strong seismic ground shaking?
3. Seismic-related ground failure, including liquefaction?
4. Landslides?

FINDING: NO IMPACT:

Per Figure 9-6 of the Fresno County General Plan Background Report, the project site is not in any identified landslide hazard area.

- B. Result in substantial soil erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Any site grading and drainage associated with the construction of fire station will adhere to the Grading and Drainage Sections of the County Ordinance Code.

The project will adhere to Mitigation Measure 13.g, Geology and Soils, listed in the Millerton Specific Plan Mitigation Measures and Monitoring Program Matrix, which requires that the Applicant shall provide a detailed erosion and drainage control program for the project to control erosion, siltation, sedimentation and drainage.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

FINDING: NO IMPACT:

Per Figure 9-6 of Fresno County General Plan Background Report, the subject parcel is not in an area at risk of landslides. Also, the project development involves no underground materials movement and therefore poses no risks related to subsidence.

- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

The Millerton Specific Plan identifies no potential soil problems. According to the Soils Analysis contained in the 1984 Environmental Impact Report (EIR) for Millerton Specific Plan, the predominant soil type in the area is not subject to shrink/swell. There is no geomorphic evidence of past landslides, slumps or mudslides on the site or adjacent property. The core area and surrounding region appears to be very stable.

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed fire station will temporarily use individual septic system. However, as noted by Resources Division of the Fresno County Department of Public Works and Planning, prior to the issuance of a building permit, the applicant will enter into an agreement with the County to connect to the CSA 34 Wastewater Treatment Facility at such time as determined by the Director of the Department of Public Works and Planning. Further, joining the CSA 34 water system would require an Engineer's Report and a determination of how the site would connect to the current system and pay for fees and assessments. This requirement will be included as a Condition of Approval for the project.

Additionally, a Project Note would require that new sewage disposal system shall be installed under permit and inspection by the Department of Public Works and Planning Building and Safety Section.

- E. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section V. CULTURAL RESOURCES above.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

An Air Quality and Greenhouse Gas Analysis Report (GHG Analysis) completed by Mitchell Air Quality Consulting, dated January 21, 2021, estimated project GHG emissions for construction and operation using the California Emissions Estimator Model (CalEEMod) version 2016.3.2 [California Air Pollution Control Officers Association (CAPCOA) 2017], which is the most current version of the model approved for use by SJVAPCD.

The total GHG emission generated during all phases of construction for 2022 is 471.46 metric tons of CO₂ per year. However, to account for the construction emissions, amortization of the total emission generated during construction based on 30-year life of the development amounts to 15.72 metric tons of CO₂ per year which is less than significant.

The total GHG emission generated during operation of the project would be approximately 195.30 metric tons of CO₂e under Business as Usual (BAU) and 147.11 metric tons of CO₂ for year 2022. The project would achieve a reduction of 24.7 percent from BAU which is 3.0 percent beyond the 21.7 percent average reduction required by State from all sources to achieve Assembly Bill (AB) 32 targets (AB 32 requires GHGs emitted in California be reduced to 1990 levels by the year 2020). Likewise, the total GHG emission generated during operation of the project would be approximately 195.30 metric tons of CO₂e under Business as Usual (BAU) and 127.80 metric tons of CO₂ for year 2030. The project would achieve a reduction of 34.6 percent from BAU which is 12.9 percent beyond the 21.7 percent average reduction required by State from all sources to achieve AB 32 targets. The project is consistent with the 2017 Scoping Plan and will contribute a reasonable fair-share contribution (through compliance of Title 24 and CALGreen; regulations on energy production, fuels, and voluntary actions to improve energy efficiency in existing development) to achieving 2030 target.

- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Per the *Air Quality and Greenhouse Gas Analysis Report*, the San Joaquin Valley Air Pollution Control District (SJVAPCD) adopted Climate Action Plan cannot be applied to the project because it does not contain measures that are applicable to the project. Since no other local or regional Climate Action Plan is in place, the project is assessed for its consistency with Air Resources Board's (ARB) adopted Scoping Plan. This would be achieved with an assessment of the project's compliance with Assembly Bill (AB) 32 Scoping Plan measures.

Adopted in 2006, AB 32 focuses on reducing Greenhouse Gases to 1990 levels by the year 2020. Pursuant to the requirements in AB 32, the ARB adopted the Climate Change Scoping Plan in 2008, which outlines actions recommended to obtain that goal. The Scoping Plan calls for reduction in California's GHG emissions, cutting approximately 30 percent (currently 21.7 percent) from BAU emission levels projected for 2020 to achieve AB 32 targets.

The Scoping Plan contains a variety of strategies to reduce the State's emissions. The project is consistent with most of the strategies contained in the Scoping Plan while others are not applicable to the project.

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment; or
- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County Public Health Department, Environmental Health Division (Health Department) reviewed the subject proposal and requires the following as Project Notes: 1) Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5.; 2) Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan electronically pursuant to the HSC, Division 20, Chapter

6.95; and 3) All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5.

The nearest school, Foothill Elementary School, is approximately 8.7 miles northeast of the project site.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

According to the search results of the CalEPA (Cortese List: Section 65962.5(a), the project site is not listed as a hazardous materials site. The project will not create hazards to the public or the environment.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

Per the Fresno County *Airport Land Use Compatibility Plan Update* adopted by the Airport Land Use Commission (ALUC) on December 3, 2018, the nearest public airport, Fresno-Yosemite International Airport, is approximately 14 miles south of the project site. Given the distance, the airport will not result in a safety hazard or excessive noise for people residing or working in the project area.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

FINDING: NO IMPACT:

The project does not include any characteristics (e.g., permanent road closures) that would physically impair or otherwise interfere with emergency response or evacuation in the project vicinity. These conditions preclude the possibility of the proposed project conflicting with an emergency response or evacuation plan. No impacts would occur.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is located within the State Responsibility Area (SRA) and requires Fresno County Fire Protection District approval for fire access roads, fuel breaks, and fuel modification zones. The County-adopted Millerton Specific Plan includes several measures to reduce fire protection impacts. The project will adhere to Fire Protection

Mitigation Measure 6.a-e., Fire Protection, listed in the Millerton Specific Plan Mitigation Measures and Monitoring Program Matrix.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will not violate any water quality standards. The existing surface water treatment facility located within Millerton New Town Specific Plan and operated by County Service Area (CSA) No. 34 will provide water to the project.

Per the Fresno County Department of Public Health, Environmental Health Division (Health Department) review of the proposal, the following shall be included as Project Notes: 1) In an effort to protect groundwater, any water wells or septic systems that exist or that have been abandoned within the project area, not intended for future use and/or use by the project, shall be properly destroyed; 2) the applicant shall apply for and obtain a permit(s) to destroy water well(s) from the Health Department prior to commencement of work; and 3) if any underground storage tank(s) are found during mining activities, the applicant shall apply for and secure an Underground Storage Tank Removal Permit.

- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: LESS THAN SIGNIFICANT IMPACT:

As noted above, the project will receive surface water from Millerton Lake. The water will be delivered to the proposed fire station through County Service Area (CSA) No. 34 facilities under an agreement between the Applicant, Fresno County and the Deer Creek and Tule River Authority. The Fresno County Board of Supervisors approved the agreement in December 1999 for the withdrawal of water from Millerton Lake, the conveyance of the raw water to the treatment plant, and treatment of the water supply for domestic use for all developments in the Millerton New town Specific Plan.

Per the comments provided by the Water and Natural Resources Division of the Fresno County Department of Public Works and Planning, the proposed source of water services provided by CSA 34 is an adequate source of water for the proposed parcels and offered no comments related to the proposal.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:

1. Result in substantial erosion or siltation on or off site; or
2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site; or
3. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or
4. Impede or redirect flood flows?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project development may cause changes in absorption rates, drainage patterns, and an increase in the rate and amount of surface runoff. This potential impact would result from construction and paving activities, which would compact and over cover the soil, thereby reducing the area available for infiltration of storm water.

According to the Development Engineering Section of the Fresno County Department of Public Works and Planning, the project shall require: 1) an engineered grading and drainage plan to show how the additional storm water runoff generated by the proposed development will be handled without adversely impacting adjacent properties; 2) filing of a Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) with State Water Resources Control Board (SWRCB) before the commencement of any construction activities disturbing 1.0 acre or more of area; and 3) providing copies of completed NOI and SWPPP to Development Engineering prior to any grading work. These requirements will be included as Project Notes.

- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: NO IMPACT:

Per Figure 9-7 of the Fresno County General Plan Background Report (FCGPBR), the project site is not located in a 100 Year Flood Inundation Area and not subject to flooding from the 100-year storm per the Federal Emergency Management Agency (FEMA) FIRM Panel 1035H.

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

The subject proposal would not conflict with any Water Quality Control Plan or sustainable groundwater management plan. Water to the project will be provided by County Service Area (CSA) 34.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community?

FINDING: NO IMPACT:

The project will not physically divide an established community. The project site is located within the boundaries of the Millerton New Town Specific Plan.

- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is designated Open Space and Medium-Density Residential in the County-adopted Millerton Specific Plan and zoned for 'O' (Open Conservation) and R-1(c) (Single-Family Residential, 6,000 square-foot minimum parcel size, Conditional) in the County Zoning Ordinance.

An amendment to Land Use Element of the Millerton Specific Plan is required to re-designate the proposed 5.17-acre project site from Open Space and Medium-Density Residential to Public Facilities to allow a fire station in the 'O' and R-1 (c) Zone Districts. The project is not in conflict with any land use plan, policy, or regulation of any agency with jurisdiction over the project and complies with the following General Plan policies:

Regarding Millerton Specific Plan Policy SP1-P75, the project will be provided with a water system that will deliver sufficient water for domestic use and fire suppression.

Regarding Millerton Specific Plan Policy SP1-P77, the project will construct the necessary water infrastructure facilities required to serve the development.

Regarding Millerton Specific Plan Policy SP1-P80 and Policy SP1-P82, the project will temporarily connect to onsite septic system until it is allowed permanently connect to CSA 34 Wastewater Treatment Facility. County Service Area 34 will operate and maintain sewer collection and treatment for the project.

Regarding General Plan Policy PF-C.14, water supply to the project will adhere to public water supply standards for water quality and quantity administered by the State Water Resources Control Board, Division of Drinking Water.

Regarding General Plan Policy PF-H.2, the project will comply with the California Code of Regulations Title 24 – Fire Code and join Community Facilities District No. 2010-01 of the Fresno County Fire Protection District.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: NO IMPACT:

Per Figure 7-8 of the Fresno County General Plan Background Report, the project site is not located within a mineral-producing area of the County.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Noise from increased vehicular traffic on and around the project site due to the construction of fire station would be less than significant. Construction-related noises are expected to be short term and exempt from compliance with the Fresno County Noise Ordinance, provided construction activities occur between the hours of 6:00 a.m. to 9:00 p.m. Monday through Friday and 7:00 a.m. to 5:00 p.m. Saturday and Sunday.

The project will adhere to Mitigation Measure No. 19.a - Noise, listed in the Millerton Specific Plan Mitigation Measures and Monitoring Program Matrix, which requires that projects adjacent to Millerton Road, shall provide shielding incorporated into the specific design of buildings in the form of noise barriers.

- B. Generation of excessive ground-borne vibration or ground-borne noise levels?

FINDING: NO IMPACT:

The construction or operation of the project would not result in ground-borne vibration or generate ground-borne noise levels.

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, exposure of people residing or working in the project area to excessive noise levels?

FINDING: NO IMPACT:

The project site is not near an airport to be subject to airport noise. The nearest airport, Topham Ranch-Auberry Airport, is approximately 11.5 miles northeast of the site.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

A project like the proposed fire station is unrelated to population growth. The project would not induce population growth, displace housing, or displace a substantial number of people, necessitating the construction of replacement housing elsewhere.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:
 - 1. Fire protection?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the Fresno County Fire Protection District, the project shall comply with the California Code of Regulations Title 24 – Fire Code and obtain approval of County-approved site plans by the Fire District prior to the issuance of building permits by the County. The project shall also adhere to Water Flow Requirements, Fire Hydrants, Water Storage Requirements, Fire Sprinklers Systems, Fire Pumps, Fire Alarm Systems, Road Access, Premises Identification, Public Resources Code 4290, Title 15.60 County Ordinance, and California Code of Regulations: Title 14 Natural Resources 1272.00. Maintenance of Defensible Space Measures. Additionally, the project may require joining Community Facilities District No. 2010-01 of the Fresno County Fire Protection District. These requirements will be included as Project Notes.

The project will adhere to Fire Protection Mitigation Measures (No. 6.a - e) listed in the Millerton Specific Plan Mitigation Measures and Monitoring Program Matrix. These measures relate to fee establishment for Fire Protection Benefit Assessment District for new fire station, costs support for fire protection services, road design to accommodate fire-fighting equipment, and site planning as it relates to fire protection measures incorporated into the project design.

- 2. Police protection?
- 3. Schools?
- 4. Parks?
- 5. Other public facilities?

FINDING: NO IMPACT:

The project will have no impact on police protection, parks, schools, or other public facilities.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The project will not increase the use of existing neighborhood and regional parks or require construction or expansion of such facilities.

XVII. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed fire station will employ up to eight (8) staff. Up to four (4) will be administrative staff and the remaining will be safety staff (fire crew).

The Design Division of the Fresno County Department of Public Works and Planning reviewed the subject proposal and required a trip generation and Vehicle Miles Traveled (VMT) screening analysis for the project. A *Millerton Fire Station Trip Generation Analysis* was prepared for the project by JLB Traffic Engineering, Inc and dated February 9, 2021. Per the *Analysis*, the proposed Project is estimated to generate a maximum of 36 daily trips, which is substantially lower than the 500 daily trip threshold for the preparation of a TIS and also lower than the 110 daily trip threshold for the preparation of a VMT analysis. The project is estimated to generate a maximum of 3 AM and 4 PM peak hour trips which is less than the 10 peak hour trip threshold at an intersection for the preparation of a TIS. As such, the proposed Project does not have the potential to affect either a State Highway facility or roadways within another jurisdiction and the preparation of a TIS should not be necessary.

Both the Design Division and Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning reviewed the *Analysis*, concurred with its findings, and expressed no concerns related to traffic. The Road Maintenance and Operations Division, however, indicated that Millerton Road is classified as an Arterial in the county general Plan with an existing 30-foot right-of-way south of section line. The ultimate right-of-way width south of section line is 53 feet. As such, a Condition of Approval would require that a 23-foot in additional right-of-way across the parcel frontage on Millerton Road shall be provided with a 30-foot by 30-foot corner cut-off for visibility at the corner of Millerton Road and Morningside way.

The California Department of Transportation also reviewed the subject proposal and determined that the project will have a less than significant impact to State routes.

B. Conflict or be inconsistent with CEQA Guidelines Section 15064.3, subdivision (b)?

FINDING: NO IMPACT:

Per the *Millerton Fire Station Trip Generation Analysis*, the project is estimated to yield fewer than 110 daily net new trips and will not lead to a significant VMT impact. As such, a VMT analysis is not warranted.

C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Road Maintenance & Operations division reviewed the proposal and requires the following: 1) if the entrance to the project site off Millerton Road is not far enough west to avoid conflict with the future left hand turn pocket onto north Morningside Road, the entrance shall be abandoned when the future road is constructed; 2) a staging pocket for westbound fire trucks to wait to make the left turn into the driveway shall be provided to accommodate two of the largest vehicles (it is not intended as a deceleration lane); and 3) an "ENTRANCE ONLY" sign shall be posted at the entrance and centerline striping for the gores and left turn staging pocket will be double yellow except where a solid white line is appropriate; thus making a right out a moving violation. Adherence to

these requirements as Conditions of Approval will minimize any traffic hazard related to road design and ingress/egress to the property.

D. Result in inadequate emergency access?

FINDING: NO IMPACT:

The project would not result in inadequate emergency access. Design of the proposed fire station include adequate number of ingress and egress to the site from abutting roadways for regular and emergency uses.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k); or
 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject property is in an area designated as highly or moderately sensitive for archeological resources. Pursuant to Assembly Bill (AB) 52, the subject proposal was routed to the Santa Rosa Rancheria Tachi Yokut Tribe, Picayune Rancheria of the Chukchansi Indians, Dumna Wo Wah Tribal Government, and Table Mountain Rancheria offering them an opportunity to consult under Public Resources Code (PRC) Section 21080.3(b) with a 30-day window to formally respond to the County letter. No tribe requested consultation, resulting in no further action on the part of the County. The Table Mountain Rancheria, however, requested to be informed in the unlikely event that cultural resources are identified on the property. With the Mitigation Measure included in Section V. Cultural Resources CULTURAL ANALYSIS of this report any potential impact to tribal cultural resources as defined in Public Resources Code Section 21074 will be reduced to less than significant.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section VII. E. GEOLOGY AND SOILS and Section X. B. HYDROLOGY AND WATER QUALITY above. The construction of any new or expanded electric power, or natural gas to provide for the proposed fire station will be minimal to have any significant environmental effects.

- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section X. B. HYDROLOGY AND WATER QUALITY above.

- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section VII. E. GEOLOGY AND SOILS above.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or

- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

A local waste hauler designated to provide refuse and recyclable material removal as required by County Ordinance will serve the project site. Operation of the proposed fire station would generate less than significant amounts of solid waste to impact local landfill. As such, the impact would be a less than significant impact. The impact would be further reduced with the adherence to Mitigation Measure No. 8.a-c., Solid Waste Management, listed in the approved Millerton Specific Plan Mitigation Measures and Monitoring Program Matrix, which requires community recycling centers and encourages solid waste recycling.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or
- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Although, the project is located within the State Responsibility Area (SRA), it would not impair any emergency response/evacuation plan, exacerbate wildfire risks due to slope, prevailing winds, and other factors to require installation or maintenance of associated infrastructure, or create risks related to downstream flooding due to drainage changes or landslides.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is located within an area of wildlife and wetlands which were previously identified in the Environmental Impact Report certified for the Millerton Specific Plan approved in 1984. As indicated in the above analysis, the project will adhere to Mitigation Measures listed in the Monitoring Program Matrix, Avoidance and Minimization Measures noted in the Biological Opinion (BO) for Millerton Specific Plan, and listed in Section IV of this report.

Regarding impact to cultural resources, the project will adhere to Mitigation Measures listed in the Millerton Specific Plan Mitigation Measures and Monitoring Program Matrix and in Section V. A.B.C.D. of this report.

- B. Have impacts that are individually limited, but cumulatively considerable (“cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project was analyzed for potential impacts, and appropriate project-specific Mitigation Measures have been developed to reduce project impacts to less than significant levels. The project is required to comply with applicable County policies and ordinances. The incremental contribution by the proposed project to overall development in the area is less than significant.

The project will adhere to the permitting requirements and rules and regulations set forth by the Fresno County Grading and Drainage Ordinance, the San Joaquin Air Pollution Control District, and the California Code of Regulations Fire Code. No cumulatively considerable impacts relating to Agricultural and Forestry Resources, Air Quality, or Transportation were identified in the project analysis. Impacts identified for Aesthetics, Biological Resources, Cultural Resources, and Energy will be addressed with the Mitigation Measures discussed above in Section I, Section IV, Section V and Section VI.

- C. Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No substantial impacts on human beings, either directly or indirectly, were identified in the analysis.

CONCLUSION/SUMMARY

Based upon Initial Study No. 7980 prepared for General Plan Amendment Application No. 564; and Conditional Use Permit Application No. 3693, staff has concluded that the project will not have a significant effect on the environment. No potential impacts were identified related to agricultural and forestry resources, population and housing, recreation, and mineral resources.

Impacts related to air quality, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, noise, public services, transportation, tribal cultural resources, utilities and service systems, and wild fire have been determined to be less than significant.

Impacts related to aesthetics, biological resources, cultural resources, and energy have been determined to be less than significant with adherence to the proposed Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Ste. "A", Fresno, CA.

EA:

G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3600-3699\3693 - See GPA 564\CEQA\CUP 3693 IS wu.doc

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below for County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7980	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Ejaz Ahmad, Planner	Area Code: 559	Telephone Number: 600-4204	Extension: N/A
Applicant (Name): Jeffrey T. Roberts on behalf of Grantor Real Estate Investments, LLC.	Project Title: General Plan Amendment Application No. 564, Unclassified Conditional Use Permit Application No. 3693		
Project Description: Allow amend the Land Use Element of the County-adopted Millerton Specific Plan to re-designate a proposed 5.17-acre parcel from Open Space and Medium Density Residential to Public Facilities, to allow a Fire Station with related improvements in the 'O' (Open Conservation) and R-1(c) (Single-Family Residential; 6,000 square-foot minimum parcel size, Conditional) Zone Districts. The project is located within the Millerton Specific Plan boundary on the southwest corner of Millerton Road and Morningside Way approximately 1.9 miles east of the unincorporated community of Friant (SUP. DIST. 5) (APN 300-021-27S; 300-340-13S).			
Justification for Mitigated Negative Declaration: Based upon the Initial Study (IS 7980) prepared for General Plan Amendment Application No. 564, Unclassified Conditional Use Permit Application No. 3693, staff has concluded that the project will not have a significant effect on the environment. No impacts were identified related to agricultural and forestry resources, population and housing, recreation, and mineral resources. Potential impacts related to air quality, geology and soils, greenhouse gas emissions, hazards and hazardous materials, hydrology and water quality, land use and planning, noise, public services, transportation, tribal cultural resources, utilities and service systems, and wild fire have been determined to be less than significant. Potential impacts related to aesthetics, biological resources, cultural resources, and energy have been determined to be less than significant with the included Mitigation Measure. The Initial Study and Mitigated Negative Declaration (MND) is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southeast corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – April 9, 2021		Review Date Deadline: Planning Commission – May 20, 2021	
Date: April 8, 2021	Type or Print Name: David Randall, Senior Planner	Submitted by (Signature):	

State 15083, 15085

County Clerk File No. _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**

**Mitigation Monitoring and Reporting Program
General Plan Amendment Application No. 564
Unclassified Conditional Use Permit Application No. 3693
Initial Study Application No. 7980**

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
*1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as to not shine toward adjacent properties and public streets.	Applicant	Applicant/Fresno County Department of Public Works and Planning (PWP)	On-going; for duration of the project
*2.	Biological Resources	The project site is currently within the area covered by Incidental Take Permit (ITP) (ITP No. 2081-2014-079-04) that has been the location of recent burrow clearing and biological fencing as a part of the Morningside Way road project. Approximately two-third of the site is already cleared and fenced as per the requirements of the ITP. Prior to construction on the subject 5.17 acres, the balance of the site shall be checked, cleared, and fenced in accordance with the ITP.	Applicant	Applicant/California Department of Fish and Wildlife (CDFW)	Prior to the project construction
*3.	Biological Resources	A qualified biologist shall perform a “Pre-Construction Survey” of the site to check for the California Tiger Salamander (CTS), Western Pond Turtle (WPT), Western Spadefoot toad (WESP), American Badger (AMBA) and Burrowing Owl (BUOW) as listed in the CDFW letter dated February 1, 2021. If no species are found on the site, the next steps of the plan can occur. If species are located, a biologist shall follow State and Federal protocols for their removal from the 5.17-acre project site.	Applicant	Applicant/ CDFW	Prior to the project construction
*4.	Biological Resources	The biologist shall prepare a “Site Education Pamphlet” for distribution to all contractors and subcontractors that will be working on the site and shall work with the applicant/owner to have a	Applicant	Applicant/ CDFW	As noted

		notification sign placed on the site at the construction entrance. This sign shall be 4 feet by 8 feet in size and shall contain the same information as the Site Education Pamphlet.			
*5.	Biological Resources	The owner shall retain the biologist to conduct education "Discussions" with any contractor/subcontractor who will have more than 5 employees working on the site.	Applicant	Applicant/ CDFW	As noted
*6.	Biological Resources	The owner and/or biologist shall keep a daily log of all workdays and shall document and signs/sightings of the 5 species listed above.	Applicant	Applicant/ CDFW	As noted
*7.	Biological Resources	If a sighting of any of the species occurs during the course of construction, work shall be stopped, and the biologist shall be contacted, and State and federal protocols shall be followed for the removal of the species.	Applicant	Applicant/ CDFW	As noted
*8.	Biological Resources	The owner shall contact the California Department of Fish and Wildlife at the end of each month, provide that daily logs, and a summary of the month's activities on the site.	Applicant	Applicant/CDFW	As noted
*9.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PWP	As noted
*10.	Energy	The idling of on-site vehicles and equipment will be avoided to the most extent possible to avoid wasteful or inefficient energy consumption during project construction.	Applicant	Applicant/PWP	As noted

--	--	--	--	--	--

*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document.

EA:
G:\4360Devs&PIn\PROJSEC\PROJDOCS\CUP\3600-3699\3693\IS-CEQA\CUP3693 MMRP docx

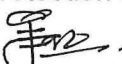


County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: December 21, 2020

TO: Development Services and Capital Projects, Attn: William M. Kettler, Division Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David A. Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel Gutierrez; James Anders
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna
Development Services and Capital Projects, Building & Safety/Plan Check, Attn: Dan Mather
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: Wendy Nakagawa; Nadia Lopez
Design Division, Transportation Planning, Attn: Brian Spaunhurst
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager
Department of Public Health, Environmental Health Division, Attn: Kevin Tsuda/Deep Sidhu/ Steven Rhodes
Resource Division, Special Districts (CSA 34- Millerton New Town), Attn: Amina Flores-Becker
CA Regional Water Quality Control Board, Attn: centralvalleyfresno@waterboards.ca.gov
CA Department of Transportation (CALTRANS), Attn: Dave Padilla
CA Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov
US Fish & Wildlife Service, Attn Mathew Nelson
State Department of Health Services, Office of Drinking Water, Fresno District, Attn: Caitlin Juarez
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chuckchansi Indians, Attn: Heather Hairey, THPO/Cultural Resources Director
Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/Shana Powers, Cultural Specialist II
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division), Attn: PIC Supervisor
Fresno County Fire Protection District, Attn: Jim McDougald, Division Chief

FROM: Ejaz Ahmad, Planner 
Development Services and Capital Projects Division

SUBJECT: General Plan Amendment Application No. 564; Unclassified Conditional Use Permit Application No. 3693; Initial Study Application No. 7980

APPLICANT: Grantor Real Estate Investments LLC

DUE DATE: January 4, 2021

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to amend the Millerton Specific Plan to re-designate a proposed 5.17-acre parcel from Open Space and Medium Density Residential to Public Facilities to allow a Fire Station in the O (Open Space) and R-1 (Single-Family Residential) Zone Districts. The subject parcel is located within the boundaries of Millerton New Town.

The Department is also reviewing for environmental effects as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding Conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **January 4, 2021** and comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a “no comment” response to our office by the above deadline (e-mail is also acceptable. See email address below).

Please address any correspondence or questions related to General Plan Amendment to Derek Chambers, Planner, Policy Planning Unit, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or contact me at (559) 600-4205, or email dchambers@fresnocountyca.gov.

Please address any correspondence or questions related to environmental and/or policy/design issues to Ejaz Ahmad, Planner, Current Planning Unit, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or contact me at (559) 600-4204, or email eahmad@fresnocountyca.gov

EA:

G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3600-3699\3693\ROUTING\CUP 3693 Routing Ltr.doc

Activity Code (Internal Review): 2381

Enclosures



Date Received: 11-02-2020

GPA 564
CUP 3693
(Application No.)

Fresno County Department of Public Works and Planning

MAILING ADDRESS:
Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:
Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type) _____
- Amendment Application Director Review and Approval
- Amendment to Text for 2nd Residence
- Conditional Use Permit Determination of Merger
- Variance (Class)/Minor Variance Agreements
- Site Plan Review/Occupancy Permit ALCC/RLCC
- No Shoot/Dog Leash Law Boundary Other _____
- General Plan Amendment/Specific Plan/SP Amendment)
- Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:

Applications to provide for the development of a fire station within the Millerton Specific Plan area as per Pre-GPA submitted for the facility.

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: _____ side of _____
between _____ and _____
Street address: _____

APN: New APN- not yet assigned Parcel size: 5.0 Acres Section(s)-Twp/Rg: S _____ - T _____ S/R _____ E

ADDITIONAL APN(s): 2 APN: 300-027-275 & 300-340-135 (EXISTING)

I, [Signature] (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Grantor Real Estate Investments LLC	1396 W. Herndon Ave. #110	Fresno	93711	(559) 440-8300
Owner (Print or Type)	Address	City	Zip	Phone
Grantor Real Estate Investments LLC	1396 W. Herndon Ave. #110	Fresno	93711	(559) 440-8300
Applicant (Print or Type)	Address	City	Zip	Phone
Jeffrey T. Roberts	1396 W. Herndon Ave. #110	Fresno	93711	(559) 440-8308
Representative (Print or Type)	Address	City	Zip	Phone
				(559) 288-0688 mobile

CONTACT EMAIL: jroberts@assemigroup.com

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: GPA NO. 564 Fee: \$
 Application Type / No.: _____ Fee: \$
 Application Type / No.: CUP NO. 3693 → Fee: \$ 9,123.⁰⁰
 Application Type / No.: _____ Fee: \$ 5,151.⁰⁰
 PER/Initial Study No.: IS NO. 7980 → Fee: \$
 Ag Department Review: Pre-app credit Fee: \$ -247.⁰⁰
 Health Department Review: _____ Fee: \$ 992.⁰⁰
 Received By: _____ Invoice No.: _____ TOTAL: \$ 15,019.⁰⁰

UTILITIES AVAILABLE:

WATER: Yes / No
 Agency: _____
 SEWER: Yes / No
 Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section: _____ Sect-Twp/Rg: _____ - T _____ S/R _____ E

Related Application(s): NONE
 Zone District: 'O' & R-1(C)
 Parcel Size: _____

APN # _____ - _____ - _____
 APN # _____ - _____ - _____
 APN # _____ - _____ - _____
 APN # _____ - _____ - _____



Development Services
and
Capital Projects
Division

Mail To:
Assemi Group, Inc.
Jefferey T. Roberts
1396 W. Herndon Ave.
Ste. 110
Fresno, CA 93711
Email To:
jroberts@assemigroup.com

Pre-Application Review
Department of Public Works and Planning

NUMBER: 39700
APPLICANT: Jeffrey T. Roberts
PHONE: (559) 436-0900

PROPERTY LOCATION: Parcel ID 300-021-27S & 300-340-13S
APN: See Parcels Notated Above ALCC: No Yes # VIOLATION NO. N/A
CNEL: No Yes (level) LOW WATER: No Yes WITHIN 1/2 MILE OF CITY: No Yes
ZONE DISTRICT: R-1-C & O; SRA: No Yes HOMESITE DECLARATION REQ'D.: No Yes
LOT STATUS:

Zoning: Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No Yes ZM# Initiated In process
Map Act: (P/M No. 3179 & 5988) Lot of Rec. Map; () On '72 rolls; () Other ; () Deeds Req'd (see Form #236)
SCHOOL FEES: No Yes DISTRICT: Clovis Unified Trustee Area 2 State Center CC Trustee Area 1 PERMIT JACKET: No Yes
FMFCD FEE AREA: Outside () District No.: FLOOD PRONE: No Yes
PROPOSAL Unclassified Conditional Use Permit to allow the development and construction of a Fire Station within the Millerton Specific Plan Area.

COMMENTS:
ORD. SECTION(S): 853-B-7 BY: O. Ramirez DATE: 04/19/2019

GENERAL PLAN POLICIES: Low & Medium Density PROCEDURES AND FEES:
LAND USE DESIGNATION: Residential & Open Space JGPA: () MINOR VA:
COMMUNITY PLAN: () JAA: () JHD: \$ 992.00
REGIONAL PLAN: () JACUP: \$ 9,123.00 () JAG COMM:
SPECIFIC PLAN: Millerton () JORA: () JALCC:
SPECIAL POLICIES: () JVA: () JMS/PER*: \$ 5,151.00
SPHERE OF INFLUENCE: () JAT: () JViol. (35%):
ANNEX REFERRAL (LU-G17/MOU): () JTT: () Other:

COMMENTS:
Filing Fee: \$ 15,266.00
Pre-Application Fee: \$247.00
Total County Filing Fee: \$ 15,019.00

FILING REQUIREMENTS:
() Land Use Applications and Fees
() This Pre-Application Review form
() Copy of Deed / Legal Description
() Photographs
() Letter Verifying Deed Review
() IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
() Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
() Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
() Project Description / Operational Statement (Typed)
() Statement of Variance Findings
() Statement of Intended Use (ALCC)
() Dependency Relationship Statement
() Resolution/Letter of Release from City of
Referral Letter #

OTHER FILING FEES:
() Archaeological Inventory Fee: \$75 at time of filing
() (Separate check to Southern San Joaquin Valley Info. Center)
() CA Dept. of Fish & Wildlife (CDFW): (\$50) (\$50+\$2,354.75)
() (Separate check to Fresno County Clerk for pass-thru to CDFW. Must be paid prior to IS closure and prior to setting hearing date.)

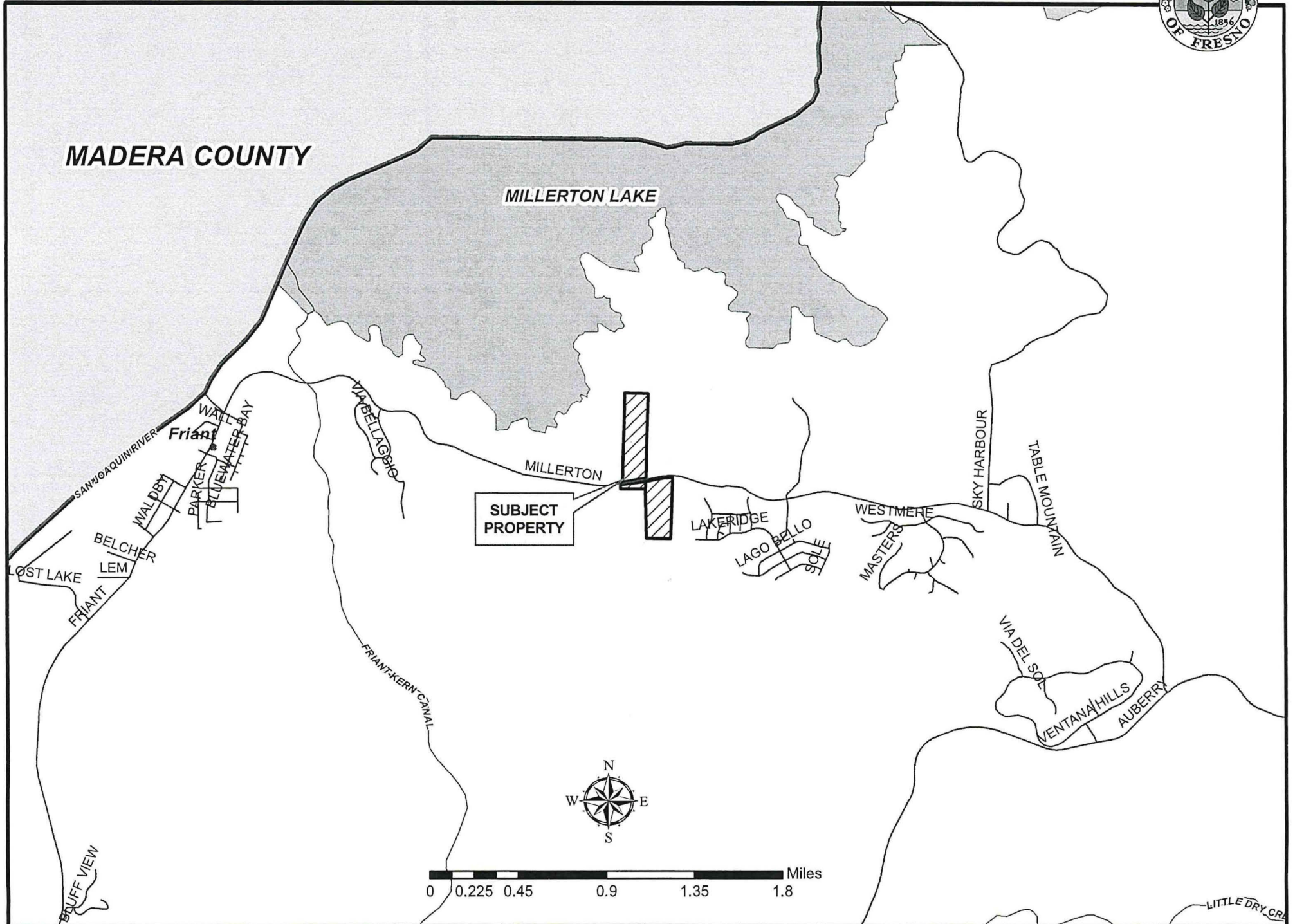
BY: [Signature] EJAZ AHMAD DATE: 4-22-19
PHONE NUMBER: (559)

PLU # 113 Fee: \$247.00
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

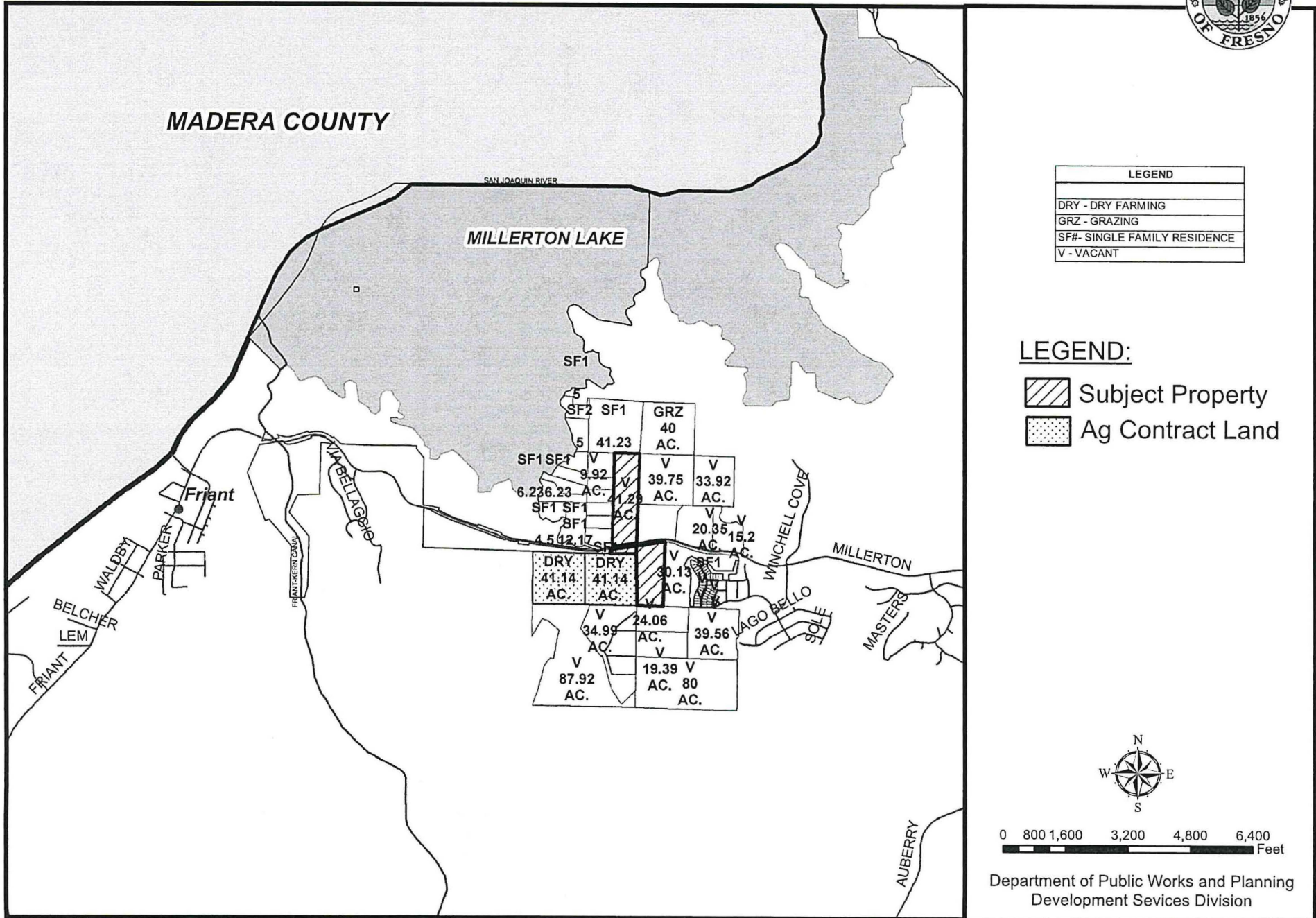
NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:
() COVENANT () SITE PLAN REVIEW
() MAP CERTIFICATE () BUILDING PLANS
() PARCEL MAP () BUILDING PERMITS
() FINAL MAP () WASTE FACILITIES PERMIT
() FMFCD FEES () SCHOOL FEES
() ALUC or ALCC () OTHER (see reverse side)

OVER.....

LOCATION MAP



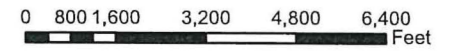
EXISTING LAND USE MAP



LEGEND	
DRY - DRY FARMING	
GRZ - GRAZING	
SF# - SINGLE FAMILY RESIDENCE	
V - VACANT	

LEGEND:

-  Subject Property
-  Ag Contract Land



Department of Public Works and Planning
Development Services Division

EXISTING ZONING MAP

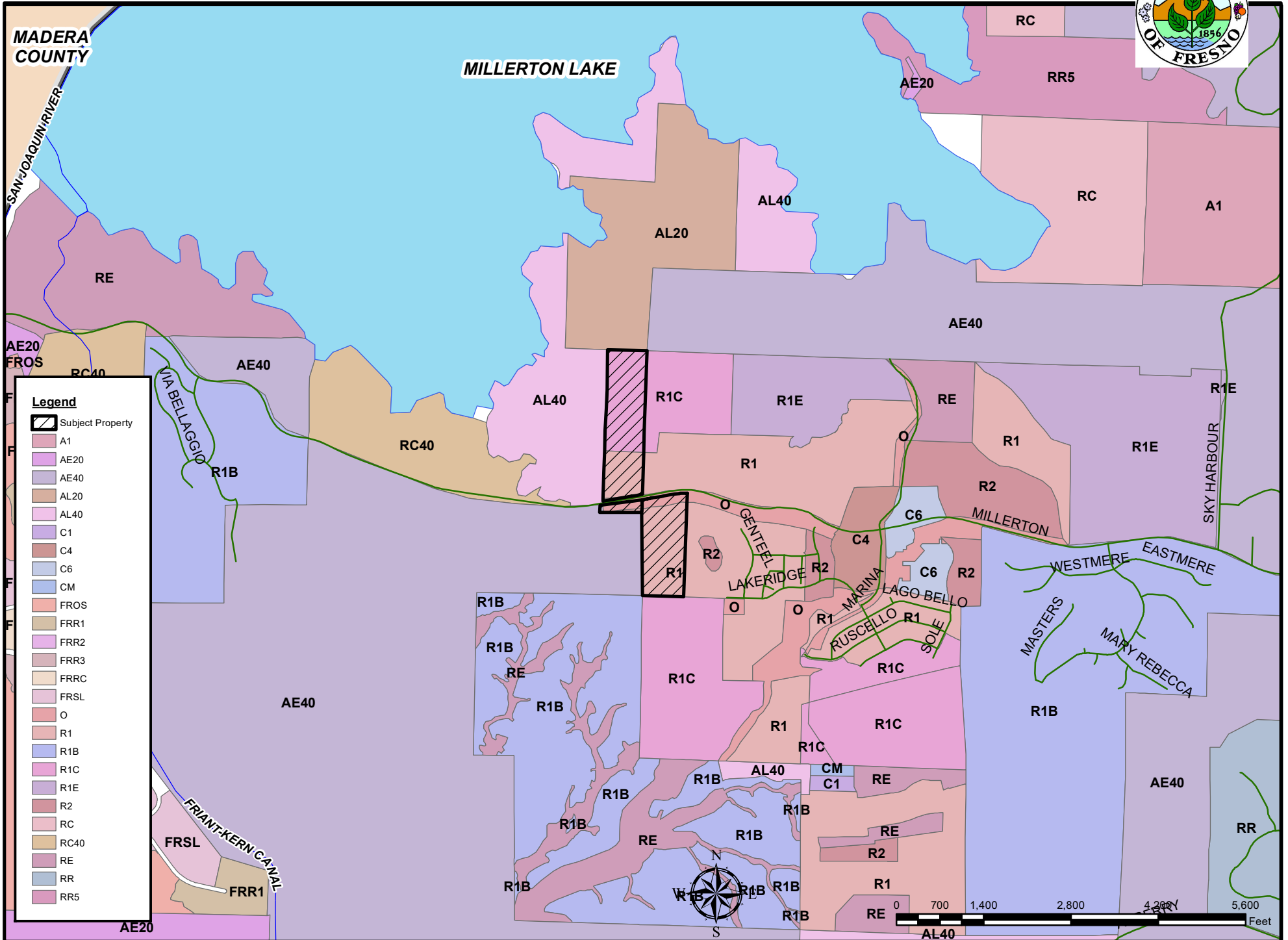
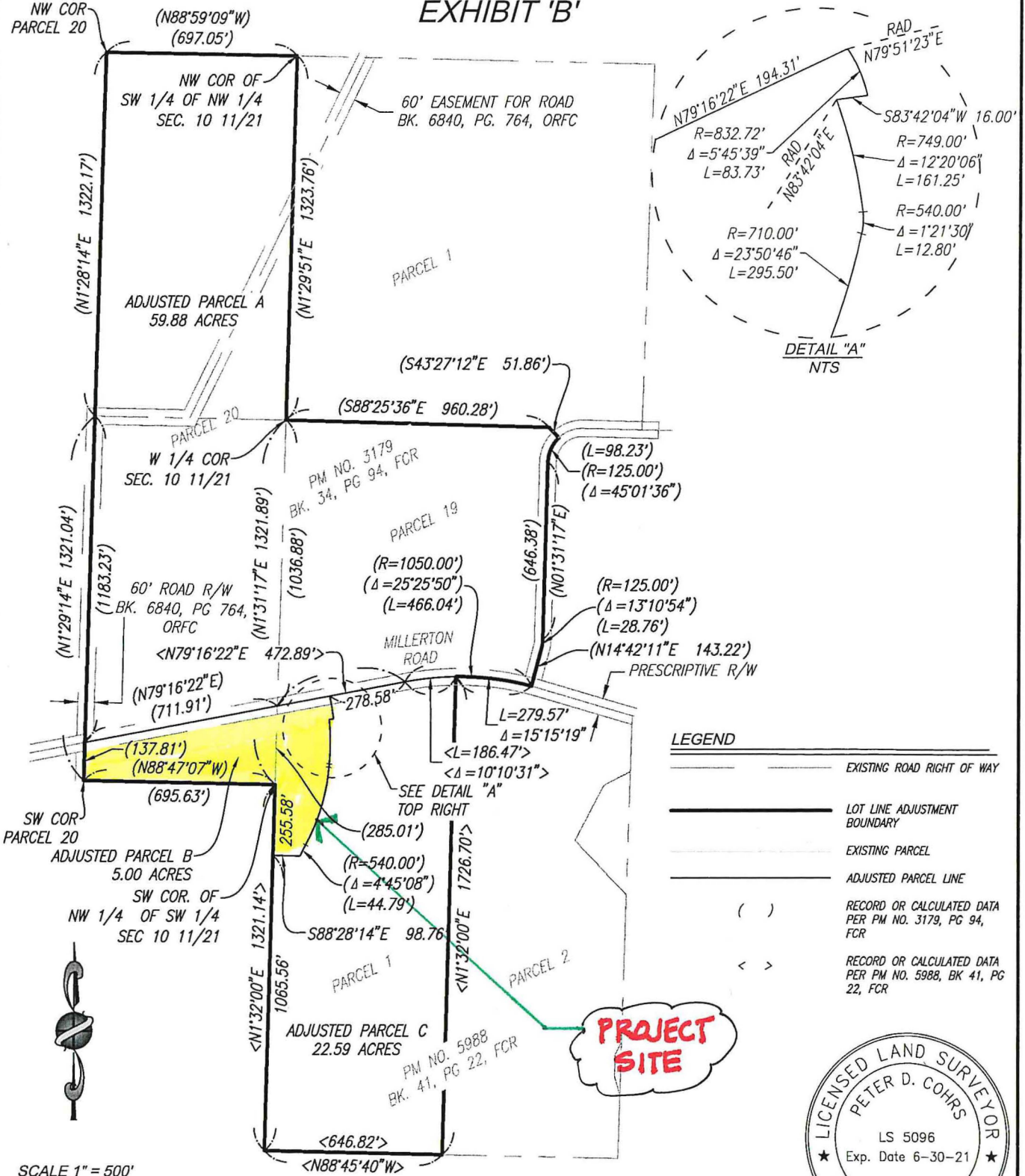


EXHIBIT 'B'

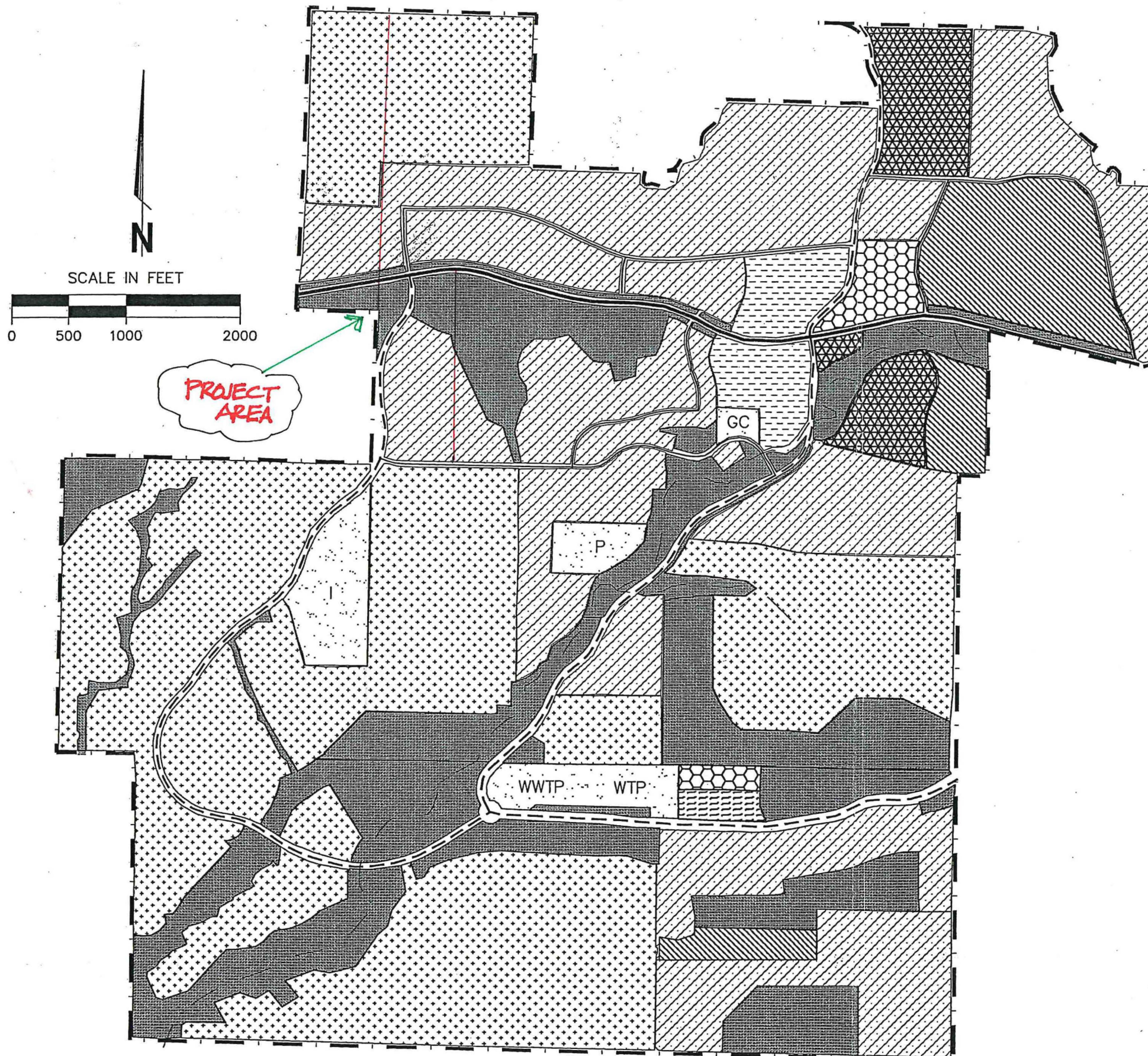


PLANNING • SURVEYING • CIVIL ENGINEERING
653 W. FALLBROOK AVE, #101, FRESNO, CALIFORNIA 93711
PHONE: (559) 449-4500 FAX: (559) 449-4515

PROJECT NAME:
**PROPERTY LINE ADJUSTMENT
EXHIBIT B**

07-20-2020 19-017

FIGURE SP1-4.
LAND USE AND CIRCULATION ELEMENTS
 MILLERTON NEW TOWN
 SPECIFIC PLAN



- OPEN SPACE
- RESIDENTIAL
 - MEDIUM LOW DENSITY
 - MEDIUM DENSITY
 - MEDIUM HIGH DENSITY
- COMMERCIAL
 - CENTRAL BUSINESS
 - SERVICE
 - SPECIAL
 - NEIGHBORHOOD
- PUBLIC FACILITIES
 - SCHOOL
 - GOVERNMENT CENTER
 - PARK
 - WATER TREATMENT PLANT
 - WASTEWATER TREATMENT PLANT
- CIRCULATION
 - ARTERIAL
 - COLLECTOR
 - MINOR COLLECTOR
 - PLAN AREA BOUNDARY

Jeff Roberts

Subject: Operational Statement: Proposed Fire Station Facility @ Millerton

Background:

The applicant is proposing to process a Specific Plan Amendment and Conditional Use Permit to provide for the construction and operation of a public Fire Station. The 5.17 acre project site is located at the southwest corner of Millerton Road and Morningside Way (under construction). The proposed facility will be located within the Millerton Specific Plan but at a different location than the one envisioned when the plan was adopted in 1984. The location has good visibility, good road access, and is situated to provide service to the Millerton Specific Plan area, Table Mountain Rancheria, Friant, Millerton lake, and the unincorporated communities to the north and east. The facility will be operated by the Fresno County Fire Protection District. This "Operational Statement" outlines the project details and is filed as a component of the Conditional Use Permit application:

1. Hours of Operation: 24 hours per day
2. Operational Time Limits: None
3. Number of Visitors: Will vary with season, estimate 10 -15 per day
4. Number of Employees: Will vary with season, estimate 10 – 20
5. Service and Delivery vehicles: estimate 5 – 10 per day
6. Access to the site: Via Millerton Road or Morningside Way
7. Number of parking spaces: 25 spaces on a paved surface
8. Goods sold on site: None
9. What equipment is used: Fire Trucks and associated maintenance tools and equipment
10. Storage of supplies: Food and domestic supplies stored inside the facility and maintenance supplies are stored in the truck bay/garage area
11. Unsightly appearance: No. there is noise associated with a fire station when the equipment is leaving the site
12. Liquid or solid waste: Domestic
13. Volume of water: NA
14. Advertising: None
15. All new construction is proposed for the fire station
16. The entire structure will be used for the fire station facility

GPA564; CUP 3693

RECEIVED
COUNTY OF FRESNO

NOV 02 2020

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

17. Outdoor Lighting / Amplification: Yes, bot lighting and an amplified alarm system will be used
18. Landscaping: Yes on the north and east edges of the project, adjacent to the roadways
19. This is a unique use that will provide safety services to the residents of Fresno County. It is difficult/impossible to quantify how often many times the operators will need to leave the site or how long fire events will last
20. Applications: the property owners are listed as GREI, LLC and are represented by Jeffrey T. Roberts who works for the Assemi Group, Inc.



Jeffrey T. Roberts | Entitlement Director

T: (559) 440-8308 | **M:** (559)288-0688 | **F:** (559) 436-1659 | **X:**308

E: jr Roberts@assemigroup.com

W: www.assemigroup.com

1396 W. Herndon Ave., Ste. 110, Fresno, CA 93711



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY	
IS No.	<u>7980</u>
Project No(s).	<u>GPA 564; CUP 3693</u>
Application Rec'd.	<u>11/02/2020</u>

GENERAL INFORMATION

- Property Owner: GREI, LLC. Phone/Fax: —
Mailing Address: 1396 W. Herndon #110 Fresno, Ca. 93711
Street City State/Zip
- Applicant: GREI, LLC Phone/Fax: —
Mailing Address: same as above
Street City State/Zip 208-0688
- Representative: Jeffrey T. Roberts Phone/Fax: 440-8308
Mailing Address: 1396 W. Herndon #110 Fresno, Ca. 93711
Street City State/Zip
- Proposed Project: Fire Station facility to be operated by Fresno County Fire Protection District
- Project Location: Southwest corner of Millerton Rd. and Morningside Way
- Project Address: N.A.
- Section/Township/Range: 10, 11S, 21E 8. Parcel Size: 5.17 Ac.
- Assessor's Parcel No. New Parcel (APNs 300-021-27 OVER..... 300-340-13)

10. Land Conservation Contract No. (If applicable): N.A.

11. What other agencies will you need to get permits or authorization from:

- | | | |
|--|-------------------------------------|---|
| <input type="checkbox"/> LAFCo (annexation or extension of services) | <input checked="" type="checkbox"/> | SJVUAPCD (Air Pollution Control District) |
| <input type="checkbox"/> CALTRANS | <input type="checkbox"/> | Reclamation Board |
| <input type="checkbox"/> Division of Aeronautics | <input type="checkbox"/> | Department of Energy |
| <input type="checkbox"/> Water Quality Control Board | <input type="checkbox"/> | Airport Land Use Commission |
| <input type="checkbox"/> Other _____ | | |

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: R1(e)

14. Existing General Plan Land Use Designation¹: Open Space / Residential

ENVIRONMENTAL INFORMATION

15. Present land use: Vacant
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:
Proposed Fire Station building, 4 truck bays, driveways, landscaping
Describe the major vegetative cover: non-native grass
Any perennial or intermittent water courses? If so, show on map: NA

Is property in a flood-prone area? Describe:
NA

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):
North: Vacant - Grazing - Millerton Specific Plan
South: Vacant - Millerton specific Plan
East: Vacant - Millerton Specific Plan
West: Vacant - Grazing - Agriculture

17. What land use(s) in the area may be impacted by your Project?: Nearby residential uses - proposed

18. What land use(s) in the area may impact your project?: none

19. **Transportation:**

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes No

B. **Daily traffic generation:**

I. Residential - Number of Units _____
Lot Size _____
Single Family _____
Apartments _____

II. Commercial - Number of Employees _____
Number of Salesmen _____
Number of Delivery Trucks _____
Total Square Footage of Building _____

III. Describe and quantify other traffic generation activities: Fire Station
has very unique characteristics

20. Describe any source(s) of noise from your project that may affect the surrounding area: N.A.

21. Describe any source(s) of noise in the area that may affect your project: N.A.

22. Describe the probable source(s) of air pollution from your project: mobile sources
and periodic on site generator

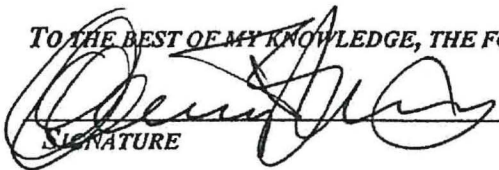
23. Proposed source of water:

() private well

() community system³--name: C9A 3A OVER.....

- 24. Anticipated volume of water to be used (gallons per day)²: NA
- 25. Proposed method of liquid waste disposal:
 septic system/individual
 community system³-name Interim Septic / Future CBAZA sewer
- 26. Estimated volume of liquid waste (gallons per day)²: NA
- 27. Anticipated type(s) of liquid waste: domestic
- 28. Anticipated type(s) of hazardous wastes²: NA
- 29. Anticipated volume of hazardous wastes²: NA
- 30. Proposed method of hazardous waste disposal²: NA
- 31. Anticipated type(s) of solid waste: domestic
- 32. Anticipated amount of solid waste (tons or cubic yards per day): NA
- 33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): NA
- 34. Proposed method of solid waste disposal: truck to landfill
- 35. Fire protection district(s) serving this area: Fresno County Fire
- 36. Has a previous application been processed on this site? If so, list title and date: No
- 37. Do you have any underground storage tanks (except septic tanks)? Yes No
- 38. If yes, are they currently in use? Yes No

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.


 SIGNATURE

11/06/2020
 DATE

¹Refer to Development Services and Capital Projects Conference Checklist
²For assistance, contact Environmental Health System, (559) 600-3357
³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

State law requires that specified fees (effective January 1, 2020: \$3,343.25 for an EIR; \$2,406.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.

Applicant's Signature



Date

11/06/2020

G:\4360Devs&Pln\PROJSEC\PROJDOCS\TEMPLATES\IS-CEQA TEMPLATES\INITIAL STUDY APP.DOTX

SHEET INDEX

SHEET NUMBER	SHEET TITLE (IMPROVEMENTS)
1	COVER SHEET
2	GRADING PLAN
3	UTILITY PLAN

ROAD IMPROVEMENT PLAN NOTES:

- ALL UNDERGROUND UTILITIES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.
- PRIOR TO THE LAYING OF THE SUB BASE OR BASE MATERIAL ON THE ROADWAY, THE ENGINEER SHALL CERTIFY THAT THE SUB GRADE ELEVATIONS ARE IN CONFORMANCE WITH THE APPROVED PLANS.
- ACTUAL ROAD SECTION THICKNESS (STRUCTURAL SECTIONS) SHALL BE DETERMINED FROM FINAL R-VALUES.
- ALL SEWER, STORM DRAIN, WATER MAIN VALVES (CAP AND LID) AND UTILITY MANHOLES AFFECTED BY THIS PROJECT SHALL BE ADJUSTED TO GRADE AS NECESSARY AND INCLUDED IN THIS WORK.
- PRIOR TO FINAL ACCEPTANCE OF THIS SUBMISSION, ALL CENTERLINE MONUMENTS SHALL BE PLACED PER COUNTY OF FRESNO STANDARD E-1.
- FOG SEAL SHALL BE APPLIED TO ALL ASPHALT CONCRETE SURFACING IN COMPLIANCE WITH SECTION 37 OF THE STATE STANDARD SPECIFICATIONS.
- BROWN PATCHES SHALL BE PROVIDED IN ALL AREAS TO PREVENT EROSION WHERE SIGNIFICANT CUTS ARE MADE TO ADJUST PROPOSED ROAD PROFILES.
- ALL CURB AND GUTTER SHALL BE WATER TESTED UNDER THE DIRECTION AND IN THE PRESENCE OF THE COUNTY INSPECTOR PRIOR TO ANY ROAD OPENING.
- SEWERMANHOLE SHALL NOT BE POURED UNTIL ALL WATER METER BOXES AND SERVICES HAVE BEEN INSPECTED BY THE COUNTY AND ANY NECESSARY ROAD SIGNS HAVE BEEN INSTALLED.
- THE CONTRACTOR SHALL PLACE A 4" DIA. PVC SLEEVE OVER POSTS FOR ROAD SIGNS TO AID IN FUTURE REMOVAL AND REPLACEMENT.
- CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE COUNTY OF FRESNO AND OBTAIN AN APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING.

GRADING AND DRAINAGE NOTES:

- THE WORK EMBRACED HEREIN SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF CHAPTER 18, CHAPTER 33, AND APPENDIX J OF 2016 CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE AS ADOPTED AND AMENDED BY CHAPTER 15.28 OF THE FRESNO COUNTY ORDINANCE CODE.
- A GRADING PERMIT OR VOUCHER SHALL BE OBTAINED FROM THE COUNTY OF FRESNO PUBLIC WORKS AND PLANNING DEPARTMENT, DEVELOPMENT ENGINEERING SECTION PRIOR TO ANY GRADING AND PAVING WORK FOR THIS PROJECT.
- THIS PROPERTY HAS BEEN IDENTIFIED AS BEING WITHIN OR ADJACENT TO A KNOWN FLOOD ZONE (SFHA) AS IDENTIFIED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THIS AREA. COMPLIANCE WITH ALL ASPECTS OF THE COUNTY FLOODPLAIN ORDINANCE SECTION 15.48 AND COMPLETION OF AN ELEVATION CERTIFICATE OR A MAP OF SURVEY IS REQUIRED. ELEVATION CERTIFICATE PREPARED BY A LICENSED ENGINEER OR LAND SURVEYOR IS REQUIRED FOR DEVELOPMENT WITHIN A FLOOD ZONE. FOR DEVELOPMENT NEAR A FLOOD ZONE, A MAP OF SURVEY STAMPED AND SIGNED BY A PROFESSIONAL LAND SURVEYOR MUST BE SUBMITTED IF REQUIRED BY THE GRADING OFFICIAL.
- APPROVAL BY COUNTY DEVELOPMENT ENGINEERING OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OFF-SITE WORK IN THE PUBLIC RIGHT OF WAY THAT MAY BE SHOWN ON THIS PLAN. OFF-SITE WORK IS SHOWN ON THIS PLAN FOR INFORMATION AND COORDINATION PURPOSES ONLY AND WILL REQUIRE AN ENCROACHMENT PERMIT FROM THE COUNTY ROADS & MAINTENANCE DIVISION'S PERMIT ENGINEER. CALL (559) 800-4247 FOR THE PERMIT ENGINEER AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK PERFORMED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH ROAD MAINTENANCE & OPERATIONS DIVISION REQUIREMENTS.
- A DUST CONTROL PLAN TO BE SUBMITTED TO SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT AT THE START OF ANY CONSTRUCTION ACTIVITY ON ANY SITE THAT WILL INCLUDE 10 ACRES OR MORE OF DISTURBED SURFACE AREA FOR RESIDENTIAL DEVELOPMENTS, OR 5 ACRES OR MORE OF DISTURBED SURFACE AREA FOR NON-RESIDENTIAL DEVELOPMENT. CONSTRUCTION ACTIVITIES SHALL NOT COMMENCE UNTIL THE AIR POLLUTION CONTROL DISTRICT HAS APPROVED OR CONDITIONALLY APPROVED THE DUST CONTROL PLAN. WRITTEN NOTIFICATION SHALL BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT WITHIN 10 DAYS PRIOR TO THE COMMENCEMENT OF EARTHMOVING ACTIVITIES.
- DUST CONTROL NOTIFICATION: EARTHMOVING ACTIVITIES ON SMALL CONSTRUCTION SITES. WRITTEN NOTIFICATION TO BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT 48 HOURS PRIOR TO INTENT TO COMMENCE ANY EARTHMOVING ACTIVITIES FOR RESIDENTIAL CONSTRUCTION SITES RANGING FROM 1.0 TO LESS THAN 10.0 ACRES IN AREA, OR FOR NON-RESIDENTIAL DEVELOPMENT CONSTRUCTION SITES RANGING FROM 1.0 TO LESS THAN 5.0 ACRES IN AREA.
- A NOTICE OF INTENT (NOI) AND STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ARE REQUIRED TO BE FILED WITH STATE WATER RESOURCES CONTROL BOARD BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES DISTURBING 1.0 ACRE OR MORE OF AREA. COPIES OF NOI AND SWPPP SHALL BE PROVIDED TO DEVELOPMENT ENGINEERING PRIOR TO THE APPROVAL OF THESE PLANS.
- A LETTER FROM THE DESIGN ENGINEER CERTIFYING THAT THE EXISTING OR PROPOSED BASIN IS DESIGNED TO CAPTURE AND RETAIN ALL STORM WATER RUNOFF ASSOCIATED WITH A 100-YEAR WET YEAR AND CAN CONTAIN ALL STORM WATER UNDER ALL CLIMATIC CIRCUMSTANCES SHALL BE REQUIRED PRIOR TO FINAL ACCEPTANCE AND/OR OCCUPANCY ASSURANCE.
- INSPECTION OF THE ROUGH GRADED PAD AND FINISHED GRADING IS REQUIRED PRIOR TO ACCEPTANCE OF THE GRADING PERMIT. COMPLETION REPORTS ARE TO BE SUBMITTED TO DEVELOPMENT ENGINEERING FOR ALL FILLS. AREAS WITHIN FLOOD ZONES REQUIRED PER MINIMUM CONSTRUCTION.
- A "HOLD ON OCCUPANCY" WILL BE IN EFFECT UNTIL SUCH TIME AS THE DEVELOPMENT IS CERTIFIED "AS-BUILT" BY THE ENGINEER OF RECORD.
- MAXIMUM CUT AND FILL SLOPES SHALL BE 3:1V OR AS ALLOWED PER AN APPROVED FILL SOILS REPORT.
- MAXIMUM SIDE SLOPES FOR PONDING BASINS STORAGE FACILITIES SHALL BE 3:1V UNLESS OTHERWISE APPROVED BY THE GRADING OFFICIAL OR AN APPROVED SOILS REPORT.
- THE GROUND AROUND THE STRUCTURE SHALL BE SLOPED TWO PERCENT (2%) FOR A DISTANCE OF FIVE FEET (5') TO PROVIDE DRAINAGE AWAY FROM THE STRUCTURE OR AS APPROVED BY THE BUILDING OFFICIAL.
- ESTIMATED EARTHWORK QUANTITIES:

CUT	2,757	CY
FILL	3,076 <td>CY</td>	CY
TOTAL (FILL)	319 <td>CY</td>	CY

ESTIMATED GRADING QUANTITIES ARE "IN PLACE" NO SHRINKAGE HAS BEEN TAKEN INTO ACCOUNT. ESTIMATED GRADING QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR FINAL BID QUANTITIES.

SERVICES

PROVIDER	TYPE	CONTACT
PG&E	ELECTRIC	650 O STREET FRESNO, CA 93721 1-877-660-6789
PG&E	GAS	650 O STREET FRESNO, CA 93721 1-877-660-6789
PONDEROSA	TELEPHONE	47034 ROAD 200 ONEALS, CA 93645 559-868-6000
PONDEROSA	INTERNET/CABLE	47671 ROAD 200 ONEALS, CA 93645 559-868-6000
COUNTY OF FRESNO	SEWER	2220 TULARE STREET, 6TH FLOOR FRESNO, CA 93721 559-600-4259
COUNTY OF FRESNO	WATER	2220 TULARE STREET, 6TH FLOOR FRESNO, CA 93721 559-600-4259
COUNTY OF FRESNO	STREET/ROAD MAINTENANCE	2220 TULARE STREET, 6TH FLOOR FRESNO, CA 93721 559-600-4259
COUNTY OF FRESNO	STREET LIGHTING	2220 TULARE STREET, 6TH FLOOR FRESNO, CA 93721 559-600-4259

OWNER INFORMATION

ASSEMI GROUP INC.
1306 W. HERNDON AVE SUITE 108
FRESNO, CA 93711

SITE INFORMATION

- ASSESSOR'S PARCEL NO.: 300-340-135(PORITION) AND 300-021-275(PORITION)
- SECTION 10, T11S, R21E
- LOT AREA: 5.17 ± ACRES
- LAND USE: SINGLE FAMILY RESIDENTIAL/OPEN CONSERVATION
- SUBJECT PROPERTY HAS NO EXISTING BUILDINGS ON SITE.

GENERAL NOTES

- THE WORK EMBRACED HEREIN SHALL BE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF THE SPECIFICATIONS ENTITLED "IMPROVEMENT STANDARDS, COUNTY OF CALIFORNIA, OCTOBER, 1966 AND AS AMENDED, INsofar AS THE SAME MAY APPLY.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS AND PLANNING OF THE COUNTY OF FRESNO AT (559) 600-4022 AND 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL WORK INSTALLED SHALL MEET OR EXCEED FRESNO COUNTY IMPROVEMENT STANDARDS. WHERE WORK PROPOSED IS NOT ADDRESSED WITH THESE STANDARDS, THE CONTRACTOR SHALL DEFER THE LATEST ADOPTED VERSION OF THE STATE STANDARD DRAWINGS AND SPECIFICATIONS FOR COMPLIANCE.
- AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED IN THE COUNTY OF FRESNO ROAD RIGHT-OF-WAY. CONTACT THE COUNTY PERMIT ENGINEER AT (559) 600-4247 TO OBTAIN THE PERMIT. IF AN ENCROACHMENT PERMIT HAS NOT BEEN OBTAINED WITHIN 12 MONTHS OF THE APPROVAL DATE OF THESE PLANS, ADDITIONAL REVIEW AND REVISIONS TO THE PLANS MAY BE REQUIRED BEFORE THE PERMIT IS ISSUED.
- ALL CONTRACTORS ARE REQUIRED TO HAVE A \$100,000 PERFORMANCE BOND ON FILE WITH THE COUNTY OF FRESNO MAINTENANCE & OPERATIONS DIVISION PRIOR TO OBTAINING AN ENCROACHMENT PERMIT.
- THE WORK EMBRACED HEREIN SHALL NOT BE COMMENCED UNTIL THE OWNER OF THE PROPERTY OR THE CONTRACTOR HAS FIRST BEEN PROVIDED AN INQUIRY IDENTIFICATION NUMBER FOR SUBSURFACE INSTALLATIONS AS SPECIFIED IN SECTION 4219 OF THE GOVERNMENT CODE.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY AUTHORITIES OR UTILITY COMPANIES HAVING POSSIBLE INTEREST IN THE WORK OF THE CONTRACTOR'S INTENTION TO EXCAVATE PROXIMATE TO EXISTING FACILITIES AND THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES IN THE WORK AREA. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) TWO (2) DAYS PRIOR TO BEGINNING ANY EXCAVATION.
- THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM ANY PROPERTY OWNER GIVING HIM PERMISSION TO ENTER HIS PROPERTY FOR THE PURPOSES OF CONSTRUCTING THE IMPROVEMENTS DELINEATED ON THE PLANS AND TRANSITIONS THEREOF. THE CONTRACTOR SHALL PROVIDE THE COUNTY WITH A COPY PRIOR TO START OF ANY WORK.
- THE WORK EMBRACED HEREIN SHALL NOT BE APPROVED UNTIL SUCH TIME AS THE OWNER OF THE PROPERTY OR THE CONTRACTOR HAS COMPLIED WITH ALL APPLICABLE REQUIREMENTS AS SPECIFIED IN SECTION 4209 OF THE PUBLIC RESOURCES CODE, AS APPLICABLE.
- WHERE IMPROVEMENTS ARE PROPOSED THAT DO NOT MEET COUNTY STANDARDS, A SUBMITTAL SHALL BE PROVIDED TO DEVELOPMENT ENGINEERING AND/OR RESOURCES AND APPROVAL GRANTED PRIOR TO INSTALLATION. FIELD REVISIONS, FOR WORK PROPOSED SHALL INHERIT REVIEW & APPROVAL BY THE COUNTY SENIOR ENGINEERING TECHNICIAN OR HIS AUTHORIZED COUNTY INSPECTOR/REPRESENTATIVE PRIOR TO ACCEPTANCE.
- DRY OR DEBRIS TRACKED ONTO EXISTING COUNTY ROADS FROM THIS PROJECT SHALL BE CLEANED OFF AT THE END OF EACH WORKING DAY TO THE SATISFACTION OF THE COUNTY INSPECTOR.
- THE COSTS OF ALL TESTING REQUIRED FOR ACCEPTANCE OF WORK SHALL BE FULLY BORNE BY THE APPLICANT.
- ALL WORK PERFORMED "AT-RISK" WITHOUT APPROVAL OF THESE PLANS, OR ANY REVISIONS THEREAFTER, INSPECTION OR PROPER PERMITS FROM THE COUNTY IS SUBJECT TO REVISION, EXPOSURE, REMOVAL AND REPLACEMENT AT THE APPLICANT'S COST.
- TEMPORARY EROSION CONTROL SHALL BE PROVIDED WITH THE INSTALLATION OF STRAW BUNDLES, SILT FENCES OR OTHER MEANS AGREEABLE TO THE COUNTY OF FRESNO.
- PERMANENT EROSION CONTROL SHALL BE STRAW-AND-SEED, JUTE MESH NETTING, HYDRO-MULCH, OR SOME TYPE OF LANDSCAPING TO PREVENT LOSS OF MATERIAL. ALL WORK PROPOSED SHALL COMPLY WITH SECTIONS 20 AND 21 OF THE CALTRANS STANDARD SPECIFICATIONS.
- TRENCH CUTS IN EXISTING STREETS THAT ARE NOT TO BE RECONSTRUCTED OR OVERLAD SHALL HAVE PERMANENT TRENCH RESURFACING INSTALLED WITHIN SEVEN (7) DAYS AFTER ANY INITIAL STREET CUT.
- PERMANENT TRENCH RESURFACING TO BE PER COUNTY STANDARD, OR AS DETAILED.
- TEMPORARY TRENCH RESURFACING TO BE A MINIMUM 4" COLD MIX.
- ALL WORK PROPOSED NOT SPECIFICALLY IDENTIFIED OR DISCUSSED IN THE COUNTY IMPROVEMENT STANDARDS SHALL BE IN COMPLIANCE WITH THE LATEST VERSION OF THE CALTRANS STANDARD PLANS AND SPECIFICATIONS.
- THE WORK EMBRACED HEREIN SHALL BE DONE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF CHAPTER 18, CHAPTER 33, AND APPENDIX J OF 2016 CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE AS ADOPTED AND AMENDED BY CHAPTER 15.28 OF THE FRESNO COUNTY ORDINANCE CODE.
- A DUST CONTROL PLAN TO BE SUBMITTED TO SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT AT THE START OF ANY CONSTRUCTION ACTIVITY ON ANY SITE THAT WILL INCLUDE 10 ACRES OR MORE OF DISTURBED SURFACE AREA FOR RESIDENTIAL DEVELOPMENTS, OR 5 ACRES OR MORE OF DISTURBED SURFACE AREA FOR NON-RESIDENTIAL DEVELOPMENT. CONSTRUCTION ACTIVITIES SHALL NOT COMMENCE UNTIL THE AIR POLLUTION CONTROL DISTRICT HAS APPROVED OR CONDITIONALLY APPROVED THE DUST CONTROL PLAN. WRITTEN NOTIFICATION SHALL BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT WITHIN 10 DAYS PRIOR TO THE COMMENCEMENT OF EARTHMOVING ACTIVITIES.
- DUST CONTROL NOTIFICATION: EARTHMOVING ACTIVITIES ON SMALLER CONSTRUCTION SITES. WRITTEN NOTIFICATION TO BE PROVIDED TO THE AIR POLLUTION CONTROL DISTRICT 48 HOURS PRIOR TO INTENT TO COMMENCE ANY EARTHMOVING ACTIVITIES FOR RESIDENTIAL CONSTRUCTION SITES RANGING FROM 1.0 TO LESS THAN 10.0 ACRES IN AREA, OR FOR NON-RESIDENTIAL DEVELOPMENT CONSTRUCTION SITES RANGING FROM 1.0 TO LESS THAN 5.0 ACRES IN AREA.
- A NOI & SWPPP IS REQUIRED FOR THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES DISTURBING 1.0 ACRES OR MORE OF AREA. PROVIDE FILING OF NOTICE OF INTENT, NOI INCLUDING PAYMENT OF FILING FEE, WITH STATE WATER RESOURCES CONTROL BOARD, AND DEVELOPMENT & IMPLEMENTATION OF STORM WATER POLLUTION PREVENTION PLAN, SWPPP, WHICH SHALL BE COMPLETED PRIOR TO STARTING WORK.
- PROJECT REVIEW BY REPRESENTATIVES OF TEN COUNTY OF FRESNO IS INTENDED TO COMPLEMENT AND ASSIST THE PROFESSIONAL(S) IN ADVANCING A PROJECT THAT IS IN COMPLIANCE WITH COUNTY OF FRESNO REQUIREMENTS, AND IS CONSISTENT WITH THE PUBLIC BENEFIT, HEALTH, SAFETY, AND WELFARE. REVIEW IS NOT AN ASSURANCE OF PROJECT FEASIBILITY, PROFESSIONAL AND TECHNICAL ACCURACY, OR CONFORMANCE WITH SPECIAL CONDITIONS, IMPOSED BY PUBLIC AGENCIES, INCLUDING COUNTY OF FRESNO PLANNING COMMISSION.
- APPROVAL OF THESE IMPROVEMENT PLANS AND SPECIFICATIONS IS MADE BASED ON THE REPRESENTATIONS MADE BY THE PROFESSIONAL(S) IN RESPONSIBLE CHARGE PURSUANT TO SECTION 6703 AND 6703 OF THE BUSINESS AND PROFESSIONS CODE THAT THEY HAVE DISCHARGED THEIR RESPONSIBILITIES AND PREPARED COMPLETE DOCUMENTS WHICH COMPLY WITH COUNTY OF FRESNO REQUIREMENTS FOR CONSTRUCTION OF THE IMPROVEMENTS DEPICTED HEREIN.
- DURING CONSTRUCTION OF THE IMPROVEMENTS THE ENGINEER OF RECORD SHALL BE MADE AVAILABLE FOR CONSULTATION ON THE GENERAL SUPERVISION OF THE VARIOUS PHASES OF THE CONSTRUCTION OPERATION. HE SHALL ALSO BE RESPONSIBLE FOR PROVIDING CONSTRUCTION ENGINEERING AND SURVEYING TO ENABLE THE WORK COVERED BY THE IMPROVEMENT PLANS TO BE COMPLETED PURSUANT TO FRESNO COUNTY ORDINANCE CODE TITLE 17, CHAPTER 17.48, SECTION 17.48.4.30.

EXISTING FACILITIES ARE SHOWN IN DASHED LINES, PROPOSED FACILITIES ARE SHOWN IN SOLID LINES.

ENGINEERS STATEMENT

- THIS PLAN WILL NOT IMPOSE A DRAINAGE, GRADING OR FLOODING HAZARD TO SURROUNDING PROPERTIES.
- I HEREBY CERTIFY THESE PLANS AND SPECIFICATIONS COMPLY WITH COUNTY OF FRESNO ORDINANCES, STANDARDS, AND DESIGN CRITERIA, AND THAT THEY INCLUDE ALL IMPROVEMENTS REQUIREMENTS OF THE ADVISORY AGENCY/DISTRICT.
- I AM RESPONSIBLE FOR ALL CALCULATIONS AND DRAWINGS ON THESE PLANS AND ANY ERRORS, OMISSIONS, OR VIOLATIONS OF THOSE ORDINANCES, STANDARDS, AND DESIGN CRITERIA SHALL BE CORRECTED DURING CONSTRUCTION.

ENGINEERS CERTIFICATE

NATHAN M. CLEAVES
R.C.E. 67552



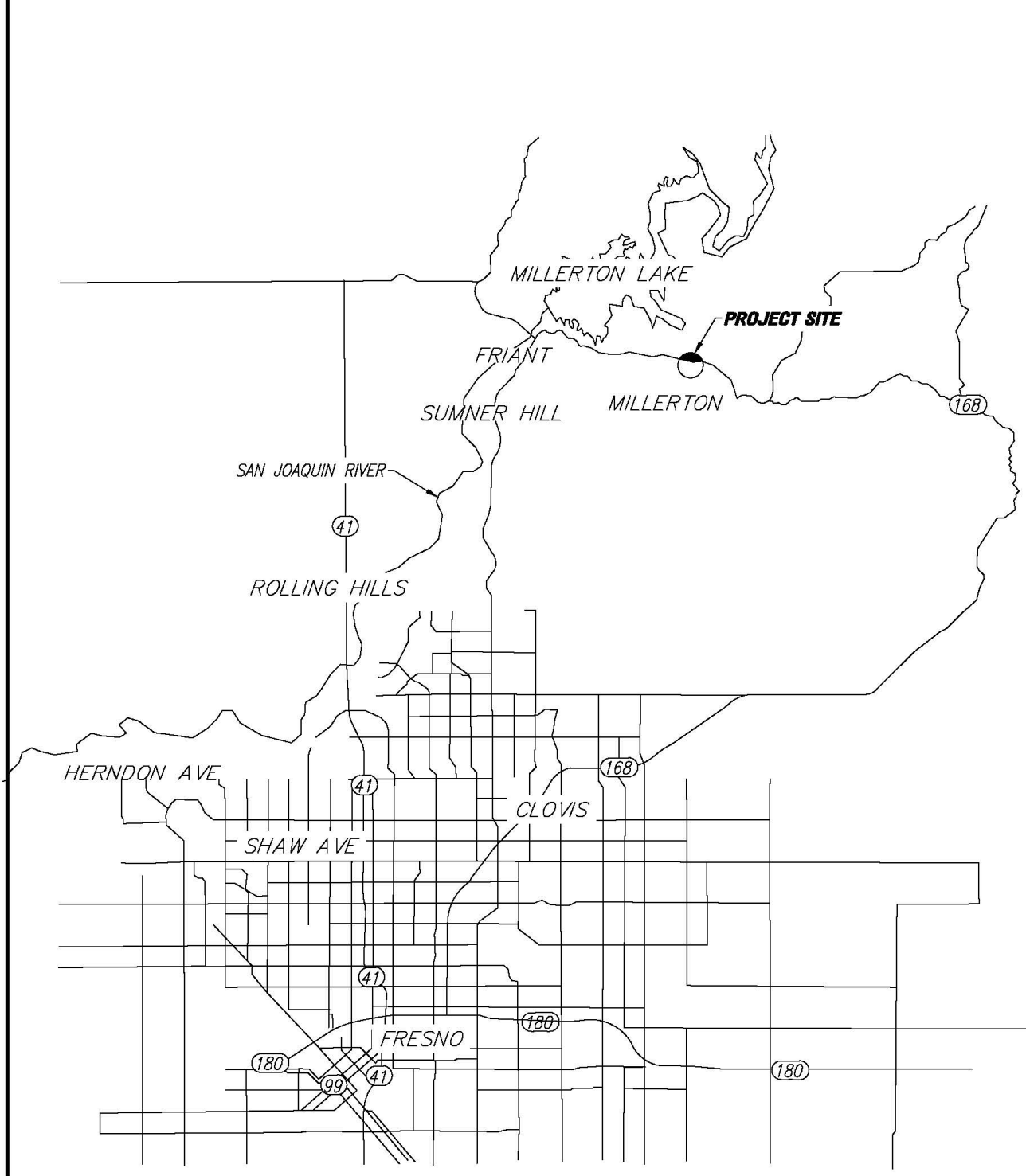
COUNTY OF FRESNO

IMPROVEMENT PLANS for MILLERTON - FIRE STATION

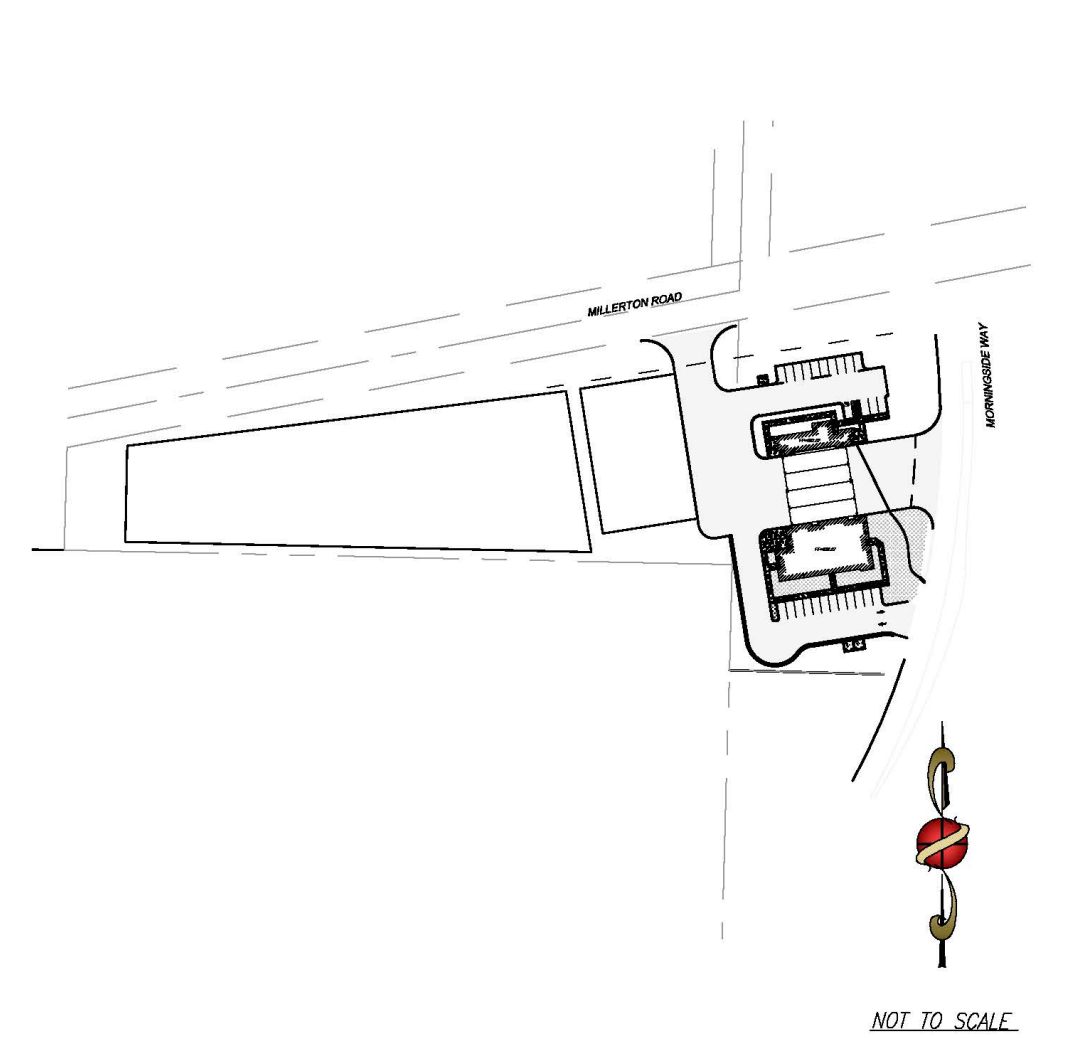
LEGEND

AC	ASPHALT CONCRETE
CL	CENTERLINE
CO	SANITARY SEWER CLEAN OUT
D	DIRT
EC	END OF CURVE
EVC	END OF VERTICAL CURVE
FL	FLOWLINE
GB	GRADE BREAK
NTS	NOT TO SCALE
P	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
PVI	POINT OF VERTICAL INTERSECTION
SD	STORM DRAIN
SODMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
VC	VERTICAL CURVE
W	WATER
-101.50 TO 690.00 P	EXISTING ELEVATION
690.00 P	PROPOSED ELEVATION
⦿	PROPOSED FIRE HYDRANT
⊕	PROPOSED WATER VALVE
⊕	PROPOSED WATER METER
⊕	PROPOSED WATER METER MANHOLE
⊕	EXISTING PROPERTY LINE
—	EXISTING WATER MAIN
—	PROPOSED WATER MAIN
—	PROPOSED SDR-35 PVC SEWER MAIN
---	PROPOSED CENTER LINE
---	DAYLIGHT LINE
---	PROPERTY / RIGHT OF WAY LINE
⦿	PROPOSED STREET LIGHT
---	EXISTING EASEMENT

VICINITY MAP



OVERALL SITE MAP



BASIS OF ELEVATION

DESIGNATION: N 937
DESCRIBED BY COAST AND GEODETIC SURVEY 1958
1.9 MILES EAST FROM FRAMIT, 1.9 MILES EAST ALONG MILLERTON ROAD FROM THE SOUTHERN PACIFIC COMPANY RAILROAD STATION AT FRAMIT, IN SECTION 9, TOWNSHIP 11 SOUTH, RANGE 21 EAST, AT THE Y-JUNCTION OF AN ABANDONED BLADED ROAD LEADING NORTHEAST, 47 FEET NORTH OF THE CENTER LINE OF MILLERTON ROAD (MEASURED FROM THE APPROXIMATE CENTER OF THE JUNCTION), 32 FEET NORTHWEST OF THE CENTER LINE OF THE ABANDONED ROAD, 2 1/2 FEET EAST OF AND IN LINE WITH A ROW OF TELEPHONE POLES, 1.8 FEET WEST OF A WITNESS POST, ABOUT 2 1/2 FEET HIGHER THAN THE ROAD, AND SET IN THE TOP OF A CONCRETE POST PROJECTING 0.8 FOOT ABOVE GROUND.
*NOTE: THE ROAD HAS BEEN REBUILT.
ELEVATION = 593.4 (NAD88)
(-2.5 = 590.9 NGVD 29)

APPROVALS

SOILS
COMPLIANCE WITH SOILS REPORT PREPARED BY _____

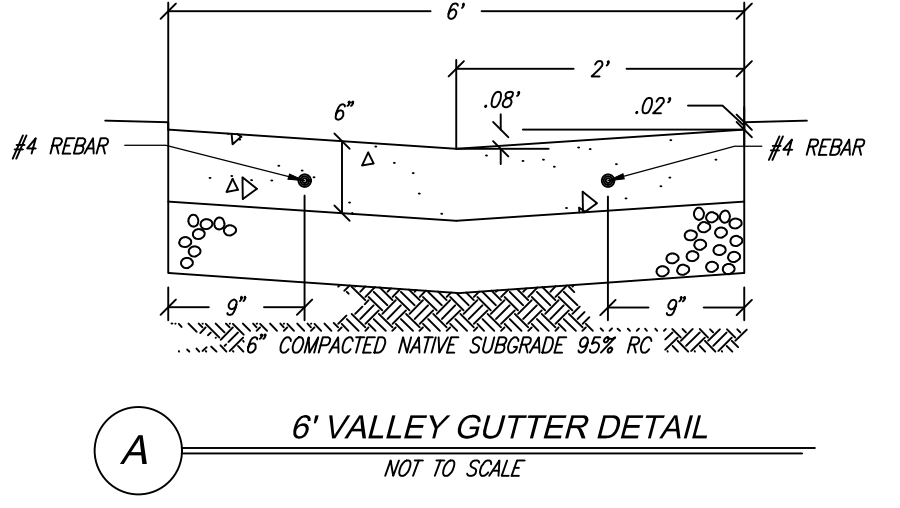
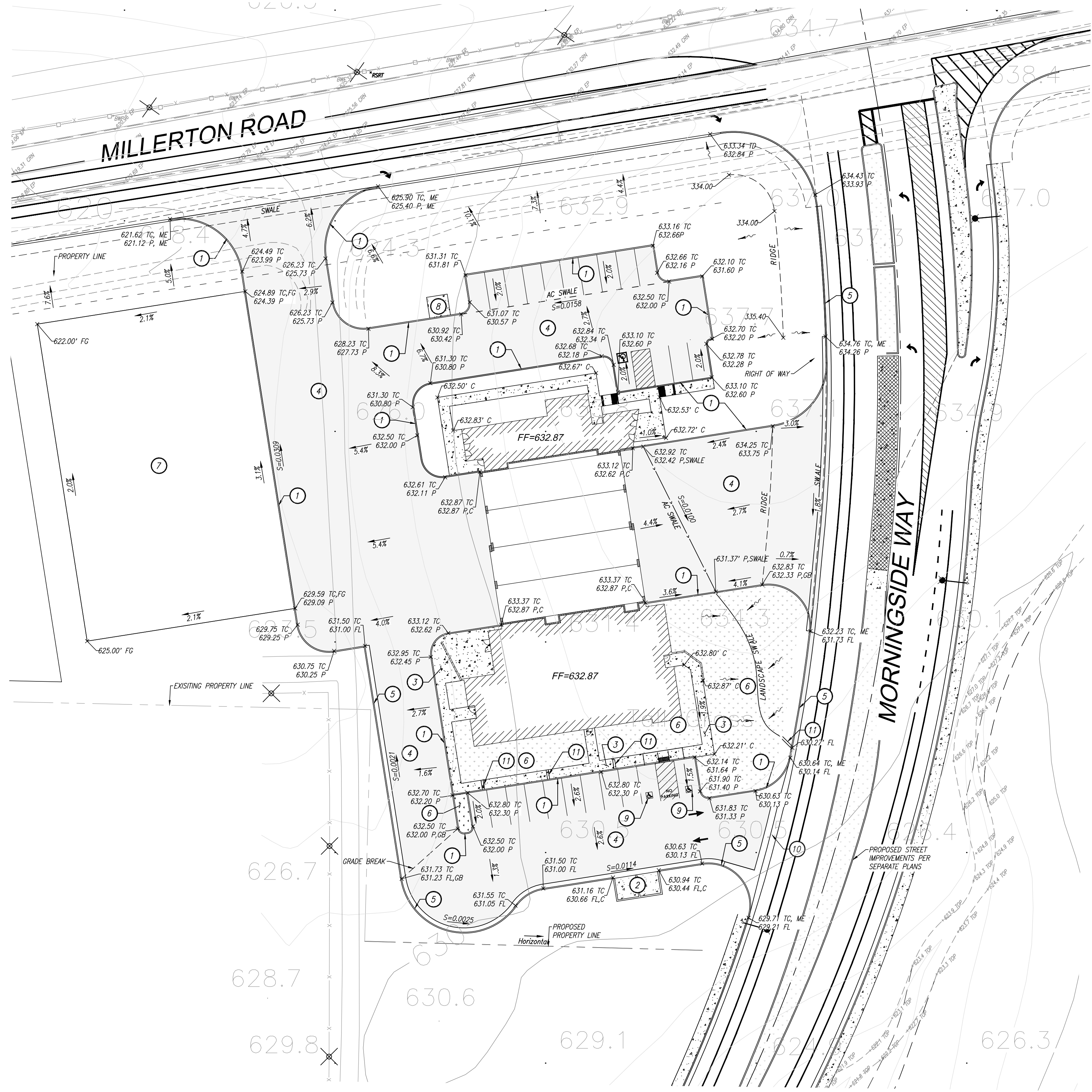
DATE _____

COUNTY OF FRESNO
CSA-34
NAME, TITLE _____
DATE _____

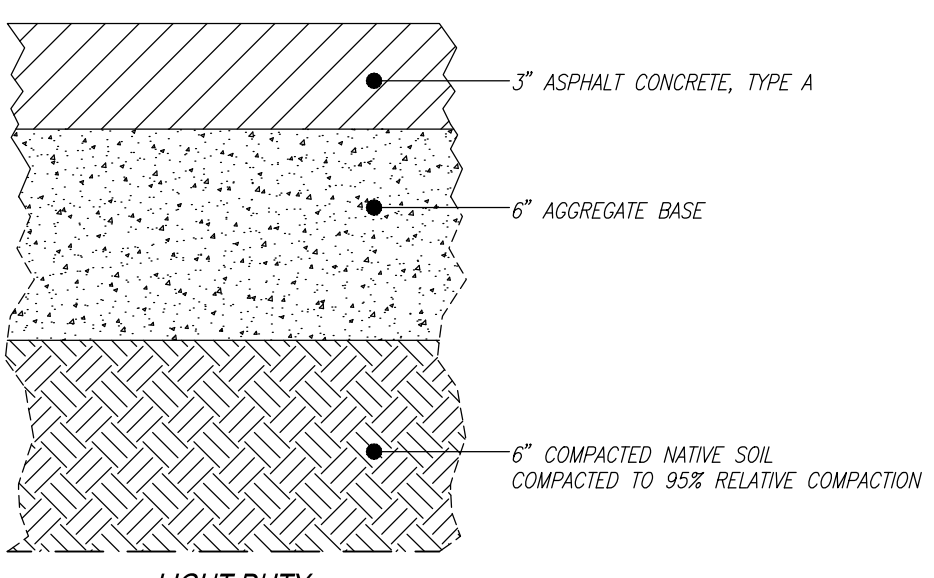
COUNTY OF FRESNO
TRAFFIC ENGINEERING
NAME, TITLE _____
DATE _____

COUNTY OF FRESNO
FIRE PROTECTION DISTRICT
NAME, TITLE _____
DATE _____

FIRE STATION IMPROVEMENT PLANS COUNTY OF FRESNO		SCALE: HORIZ. 1" = 40' VERT. 1" = 4'
PREPARED BY:		DRAWN BY:
		REVISED
PROJECT MILLERTON - FIRE STATION		
DESIGN ENGINEER: NATHAN M. CLEAVES DATE 10/30/2019	R.C.E. LICENSE NO. 67552	
DATE REVISED		SHEET
APPROVAL		1 of
APPROVED _____ DIRECTOR OF PUBLIC WORKS	C.E. NO. _____ DATE _____	3 SHEETS
APPROVED REV. _____ DATE _____		



A 6" VALLEY GUTTER DETAIL
NOT TO SCALE



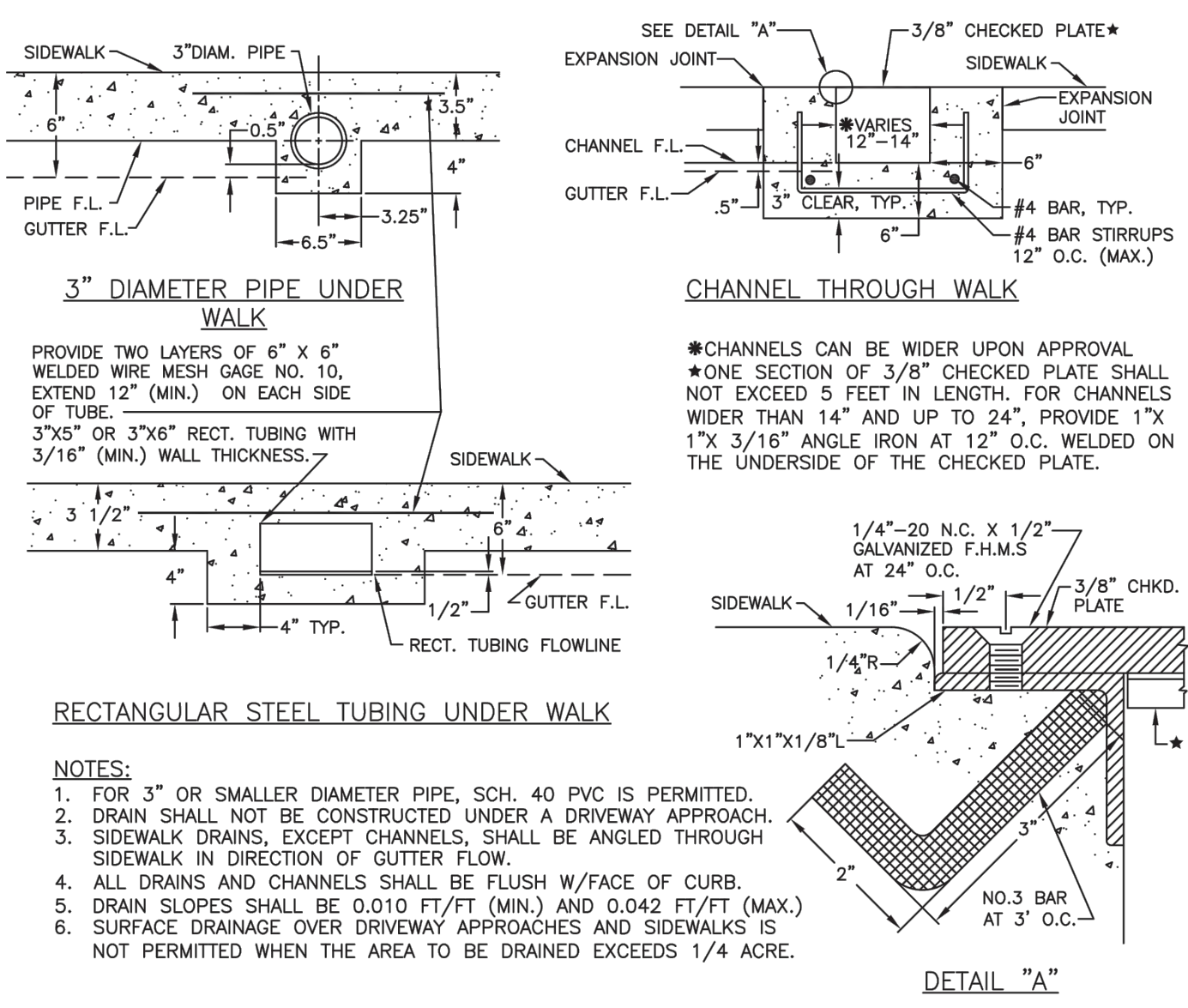
B PAVEMENT STRUCTURAL SECTION
NOT TO SCALE
T.I. = 5.0 R=XX
SECTION TO BE CONFIRMED WITH SOIL REPORT

LEGEND:

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT OF WAY
- EXISTING RIGHT OF WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CONCRETE IMPROVEMENT
- PROPOSED AC PAVEMENT
- PROPOSED LANDSCAPE AREA

CONSTRUCTION NOTES

- 1 CONSTRUCT 6" CONCRETE CURB PER COUNTY OF FRESNO STANDARDS
- 2 CONSTRUCT TRASH ENCLOSURE PER COUNTY OF FRESNO STANDARDS
- 3 CONSTRUCT CONCRETE SIDEWALK PER COUNTY OF FRESNO STANDARDS
- 4 CONSTRUCT ASPHALT CONCRETE PER DETAIL 'B'
- 5 CONSTRUCT 6" CURB AND GUTTER PER COUNTY OF FRESNO STANDARDS
- 6 PROPOSED LANDSCAPED AREA
- 7 PROPOSED GRADED STAGING AREA
- 8 CONSTRUCT CONCRETE PAD EQUIPMENT AREA
- 9 PROPOSED ADA PARKING STALLS DETAILS A1, A2, A3 ON SITE PLAN SHEET 1
- 10 PROPOSED 6" WIDE VALLEY GUTTER SEE DETAIL 'A'
- 11 CONSTRUCT SIDEWALK DRAIN PER DETAIL 'C'



AREAS TO BE DRAINED FROM PRIVATE PROPERTY TO PUBLIC STREETS

SURFACE AREA	TYPE OF SURFACE	DRAIN AREA REQUIRED	SIZE & NO. OF PIPES OR RECTANGULAR STEEL TUBES	SIZE & NO. OF CHANNELS
2 ACRES	PAVED	100 SQ. IN.	2-3"Ø RECT. TUBES	2-4"X14"
200'X200'	GRASS	25 SQ. IN.	1-3"Ø RECT. TUBE	1-3"X12"
1.5 ACRES	PAVED	75 SQ. IN.	1-3"Ø PIPE & 1-3"Ø R.T.	2-3"X12"
200'X300'	GRASS	20 SQ. IN.	1-3"Ø RECT. TUBE OR 1-3"Ø PIPE	1-4"X14"
1 ACRE	PAVED	50 SQ. IN.	1-3"Ø RECT. TUBE OR 1-3"Ø PIPE	1-4"X14"
200'X200'	GRASS	12 SQ. IN.	1-3"Ø RECT. TUBE OR 1-3"Ø PIPE	1-3"X12"
0.75 ACRE	PAVED	40 SQ. IN.	1-3"Ø RECT. TUBE OR 1-3"Ø PIPE	1-3"X12"
150'X200'	GRASS	10 SQ. IN.	1-3"Ø RECT. TUBE OR 1-3"Ø PIPE	1-3"X12"
0.5 ACRE	PAVED	30 SQ. IN.	1-3"Ø RECT. TUBE OR 1-3"Ø PIPE	1-3"X12"
100'X200'	GRASS	8 SQ. IN.	1-3"Ø PIPE	1-3"X12"
0.25 ACRE	PAVED	16 SQ. IN.	1-3"Ø PIPE & 1-3"Ø R.T.	1-3"Ø PIPE
100'X100'	GRASS	3 SQ. IN.	1-3"Ø PIPE	1-3"Ø PIPE
USE 1 ACRE = 200'X200' OR 100'X400'				
AREA 3" DIA. PIPE = 7.1 SQ. IN.			AREA 4"X14" CHANNEL = 56 SQ. IN.	
AREA 3"X5" RECT. TUBE = 12.3 SQ. IN.			AREA 3"X12" CHANNEL = 36 SQ. IN.	
AREA 3"X6" RECT. TUBE = 14.8 SQ. IN.				

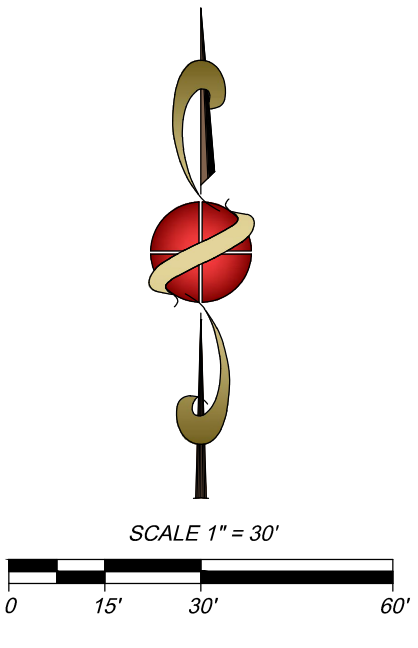
SIDEWALK DRAINS

REF. & REV. AUG., 2010

C

ABBREVIATIONS NOTES

- C CONCRETE
- FG FINISHED GRADE
- FL FLOWLINE
- GB GRADE BREAK
- ME MATCH EXISTING
- P PAVEMENT
- TC TOP OF CURB



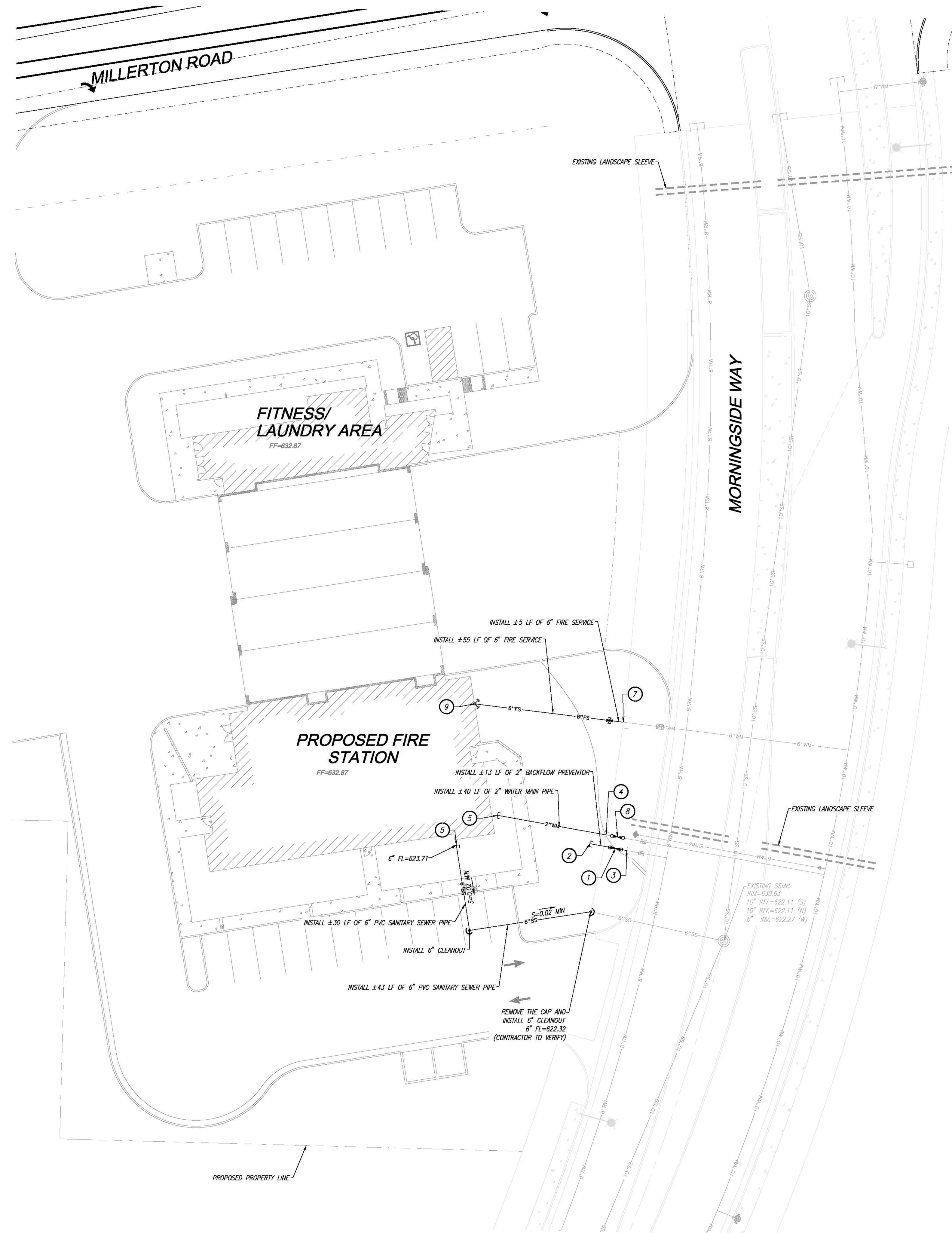
FIRE STATION IMPROVEMENT PLANS
COUNTY OF FRESNO

PREPARED BY: **PRECISION CIVIL ENGINEERING, INC.**
1234 O STREET FRESNO, CA 93721 PH(559)449-4500 FAX(559)449-4515

MILLERTON - FIRE STATION
GRADING PLAN

DESIGN ENGINEER: NATHAN M. GLEAVES
DATE: 10/30/2019 R.C.E. LICENSE NO. 67552

DATE REVISED					
APPROVAL					SHEET
APPROVED	DIRECTOR OF PUBLIC WORKS	C.E. NO.			2 of
APPROVED REV.		DATE			3 SHEETS
DATE					



WATER NOTES

1. ALL WATER MAIN VALVES SHALL BE A/VK OR APPROVED EQUAL. ALL WATER MAIN VALVES (CAP AND LID) AFFECTED BY THIS PROJECT SHALL BE ADJUSTED TO GRADE AS NECESSARY AND INCLUDED IN THIS WORK.
2. NO WATER MAIN SHALL BE CLOSED BY THE CONTRACTOR EXCEPT IN THE CASE OF A BROKEN MAIN. THE CONTRACTOR SHALL NOTIFY THE COUNTY AND ANY AFFECTED PUBLIC UTILITY DISTRICT IMMEDIATELY AFTER A LINE IS BROKEN.
3. WATER PIPE SHALL BE PVC, AWWA C900 CLASS 150 (DR-18) WITH RUBBER GASKETS PER ASTM D-1869 AND F-477 OR APPROVED EQUAL. A HYDROSTATIC TEST SHALL BE CONDUCTED ON THE ENTIRE PIPELINE FOR A PERIOD 2 HOURS AT A HYDROSTATIC PRESSURE OF 150 PSI FOR CLASS 150 PIPE AND 200 PSI FOR CLASS 200 PIPE AND CHLORINATED PER COUNTY OF FRESNO REQUIREMENTS. IN LOCATIONS WHERE THERE IS A COMBINATION OF CLASS 200 AND CLASS 150 PIPE, THE SYSTEM TESTING PRESSURE SHALL BE 150 PSI. ALL VALVES IN THE PIPELINE SHALL BE IN THE OPEN POSITION DURING SYSTEM TESTING.
4. GATE VALVES SHALL BE AWWA C-509-80. TYPE OF GATE VALVE SHALL BE APPROVED BY THE COUNTY OF FRESNO. A/VK OR APPROVED EQUAL. AWWA C500-86, C509-87 LATEST ADDITION EPOXY COATED WITH RESILIENT WEDGE NON-RISING STEM WITH 2" NUT.
5. THE CONTRACTOR SHALL MARK THE LOCATION OF ALL WASTEWATER LATERALS AND WATER SERVICES WITH THE LETTERS "S" & "W" AT LEAST 2" HIGH ENGRAVED INTO THE CURB.
6. TRACER WIRE # 10 GAUGE BLUE COPPER WIRE TO BE LAID ALONG TOP OF NON-METALLIC PIPE AND HELD IN PLACE OF 5 FT INTERVALS BY DUCT OR PLUMBERS TAPE AND CONNECTED TO ALL VALVES AND FITTINGS. WIRE CONNECTIONS SHALL BE WATER TIGHT WITH SOLDERED CONNECTIONS.
7. WATER PIPE LINES SHALL HAVE A MINIMUM 10 FT CLEAR HORIZONTAL SEPARATION FROM SANITARY SEWER PIPE LINES.
8. THE BOTTOM OF PRESSURE WATER MAINS SHALL BE ONE (1) FT VERTICALLY ABOVE ANY PARALLEL PIPELINES CONVEYING UNTREATED SEWAGE, PRIMARY OR SECONDARY TREATED SEWAGE, RECYCLED WATER, STORM DRAINAGE, AND HAZARDOUS FLUIDS SUCH AS FUELS, INDUSTRIAL WASTES, AND WASTEWATER SLUDGE WHEN THE CLEAR HORIZONTAL DISTANCE BETWEEN A WATER MAIN AND THE SAID PARALLEL PIPELINE IS TEN (10) FT OR LESS PER STATE OF CALIFORNIA DEPARTMENT OF HEALTH SERVICES.
9. THE BOTTOM OF PRESSURE WATER MAINS SHALL BE AT LEAST ONE (1) FOOT ABOVE THE TOP OF SANITARY SEWER AND STORM DRAIN LINES WHERE THESE LINES MUST CROSS.
10. THE WATER SYSTEM SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF COUNTY OF FRESNO IMPROVEMENT STANDARDS SECTION I.I.C. WATER SYSTEMS.

SEWER NOTES

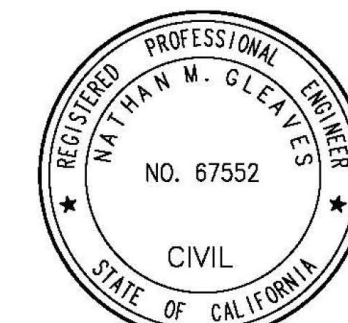
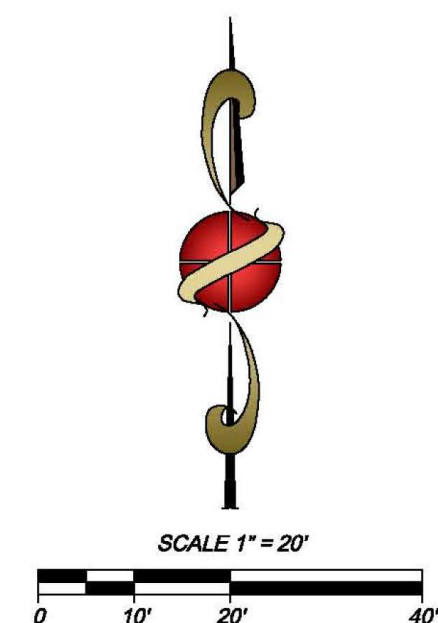
1. SEWER MAINS MUST BE INSTALLED AND TESTED PER COUNTY OF FRESNO STANDARD REQUIREMENTS FOR PVC GRAVITY SANITARY SEWER PIPE INCLUDING BALL-FLUSH, MANDRILL, AIR TEST, AND VIDEO INSPECTION OF PIPES.
2. THE SEWER SYSTEM SHALL BE COMPLETED AND ACCEPTED BY THE COUNTY AND ANY AFFECTED PUBLIC UTILITY DISTRICT PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
3. STAINLESS STEEL MATERIAL FOR SADDLES, BOLTS, NUTS, ETC. CONNECTIONS FOR SADDLES ON CONNECTION OF SANITARY SEWER LATERALS TO THE SEWER MAIN.
4. THE SEWERAGE SYSTEM SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF COUNTY OF FRESNO IMPROVEMENT STANDARDS SECTION I.I.D. SEWERAGE SYSTEMS.

LEGEND:

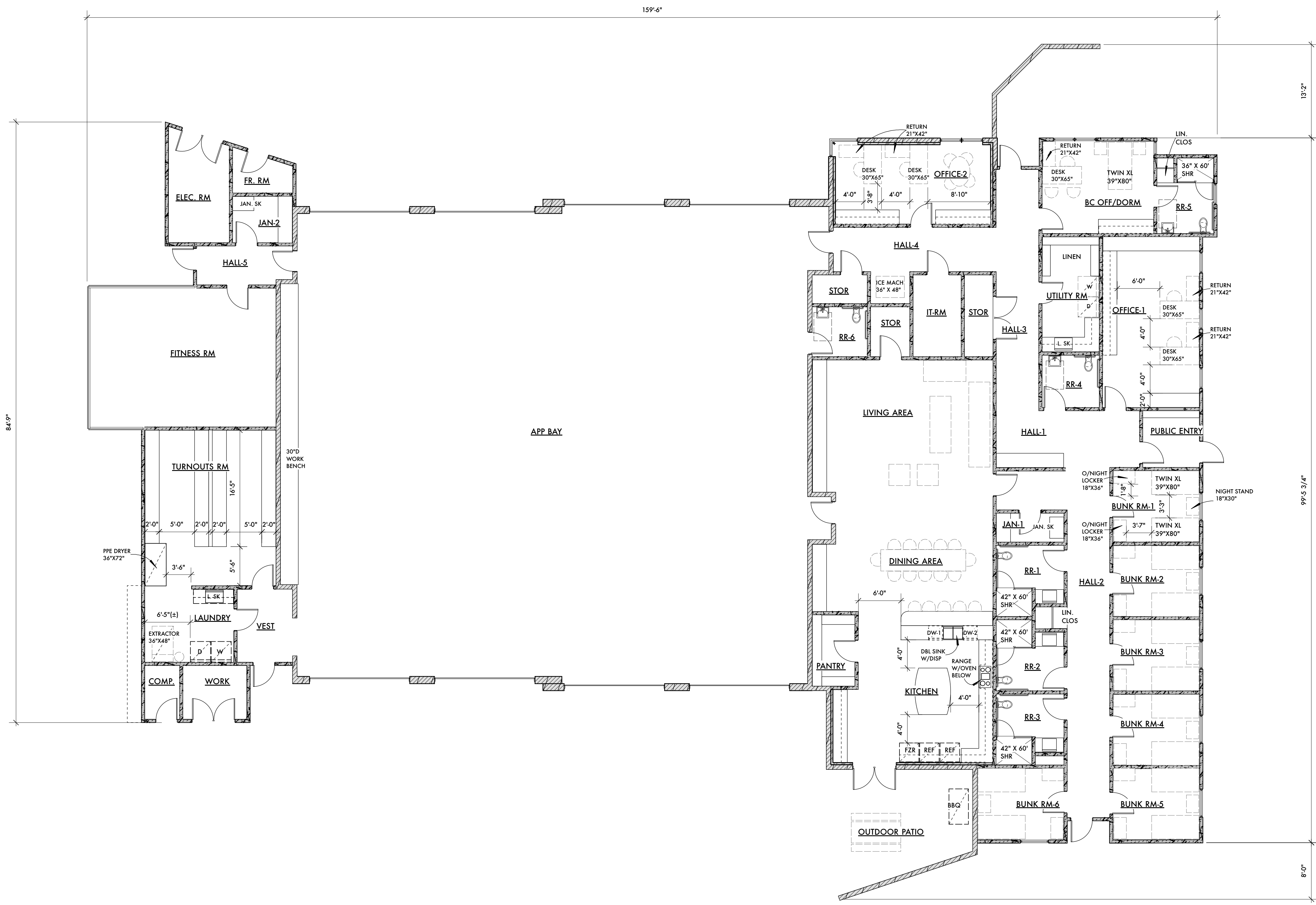
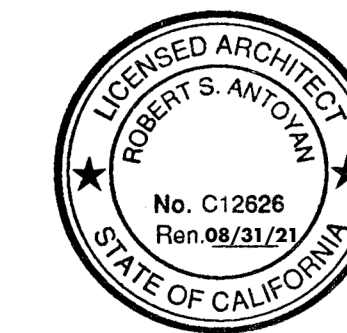
- 10"SS — EXISTING SANITARY SEWER PIPE; SIZE AS NOTED
- 10"W/M — EXISTING WATER MAIN; SIZE AS NOTED
- 6"W/M — EXISTING WATER MAIN; SIZE AS NOTED
- 8"W/M — EXISTING RECLAIMED WATER MAIN; SIZE AS NOTED
- 4"W/M — PROPOSED WATER MAIN; SIZE AS NOTED
- 6"FS — PROPOSED FIRE SERVICE; SIZE AS NOTED
- 4"SS — PROPOSED SANITARY SEWER; SIZE AS NOTED
- PROPOSED BACKFLOW PREVENTER
- PROPOSED CLEANOUT
- PROPOSED GATE VALVE
- PROPOSED FIRE DEPARTMENT CONNECTION
- PROPOSED POST INDICATOR VALVE (PIV)
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATER METER
- EXISTING FIRE SERVICE DETECTOR CHECK
- EXISTING FIRE HYDRANT
- EXISTING GATE VALVE

KEYNOTES:

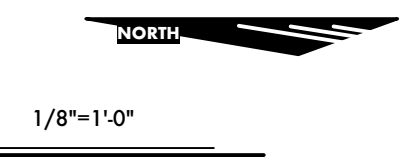
- ① INSTALL 2" BACKFLOW PREVENTER
- ② PROVIDE 2" LANDSCAPE SERVICE
- ③ REMOVE CAP AND CONNECT TO EXISTING 2" RECLAIMED WATER MAIN LATERAL
- ④ REMOVE CAP AND CONNECT 4" WATER LATERAL
- ⑤ CAP AND STUB POINT OF CONNECTION TO PROPOSED BUILDING
- ⑥ REMOVE CAP AND CONNECT TO EXISTING 6" FIRE WATER LATERAL
- ⑦ INSTALL FIRE SERVICE DETECTOR CHECK AND POST INDICATOR VALVE (PIV)
- ⑧ INSTALL 4" RP BACKFLOW PREVENTER
- ⑨ PROPOSED FIRE RISER LOCATION



FIRE STATION IMPROVEMENT PLANS COUNTY OF FRESNO		SCALE: HORIZ. 1" = 20' VERT. 1" = 10'
PREPARED BY:	PRECISION CIVIL ENGINEERING, INC.	
DESIGNED BY:	1234 O STREET FRESNO, CA 93721 PH(559)449-4500 FAX(559)449-4515	
MILLERTON - FIRE STATION UTILITY PLAN		
DESIGN ENGINEER:	NATHAN M. CLEAVES	R.C.E. LICENSE NO. 67552
DATE:	10/30/2019	
DATE REVISED		
APPROVAL		SHEET
APPROVED: _____	DIRECTOR OF PUBLIC WORKS	C.E. NO. _____
APPROVED REV. _____		DATE _____
DATE		
		3 of 3 SHEETS



1
A2.2 PRELIMINARY FLOOR PLAN



Plot: 11.10.19
Time: 6:02:52 PM
File name: 0_191407_20_wwk

PERMIT No.
PRJCT No.
SPR/CLIP No.

A_2.2

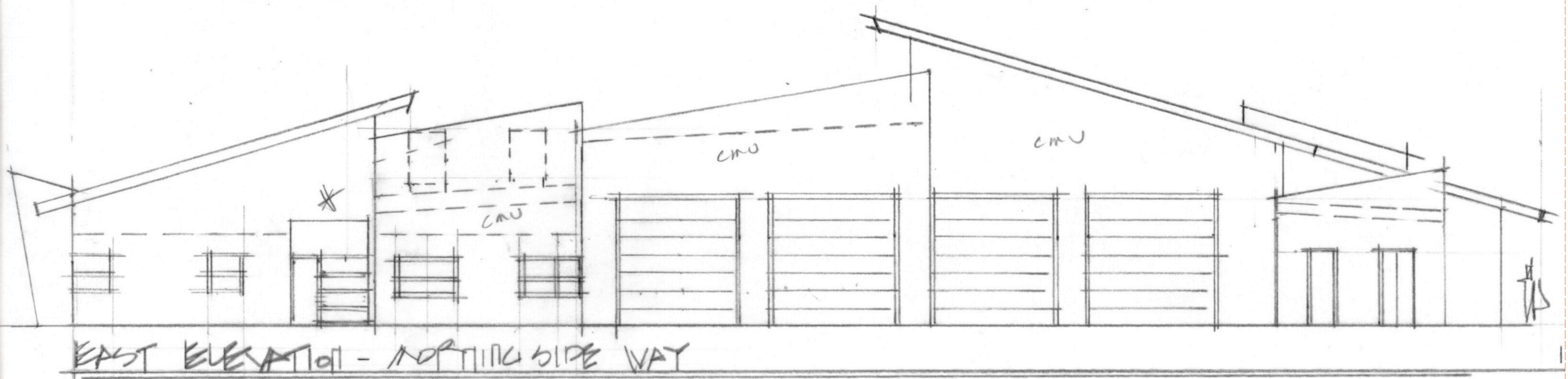
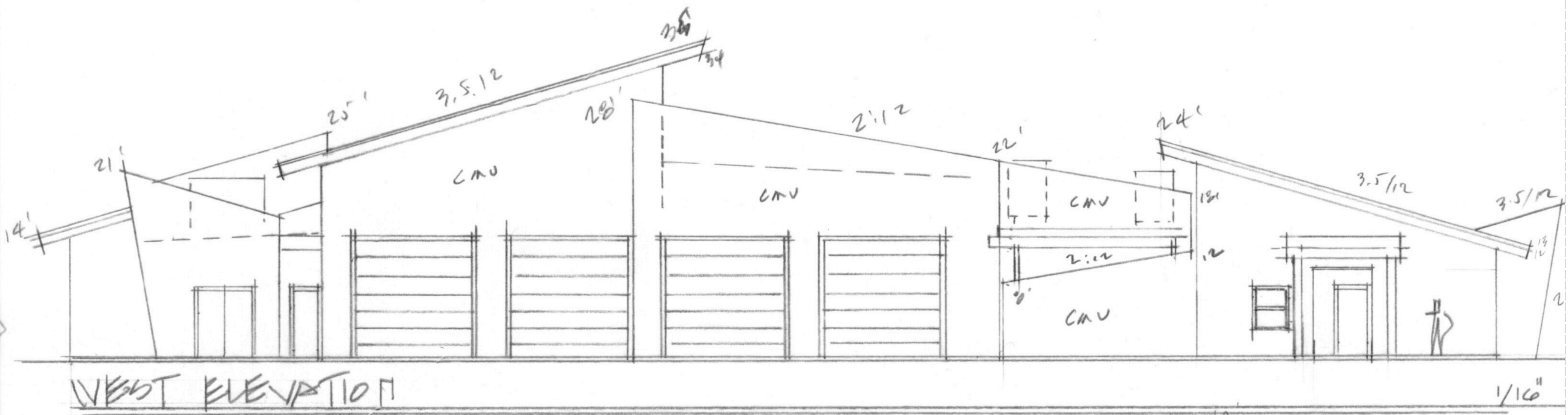
SHEET OF

JOB NUMBER
1914

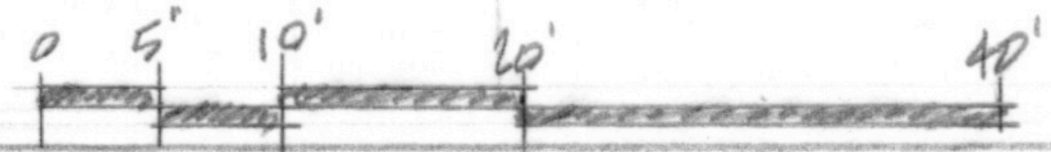
MILLERTON FIRE STATION
MILLERTON ROAD AT MORNINGSIDE WAY
FRESNO, CALIFORNIA 93726

ANTOYAN
ARCHITECTURE
2133 AMADOR ST. • FRESNO, CA • 93721-1102
559.497.6942

© 2020 ANTOYAN ARCHITECTURE



MILLERTON FIRE STATION - PROPOSED
ANTOYAN ARCHITECTURE - JOB 1914 12/02/19 SCh. 1.1



SHEET

A_4.1

JOB NUMBER
1914

PERMIT No.
Plan No.
SPR/CUP No.

ANTOYAN
ARCHITECTURE
2133 AMADOR ST. • FRESNO, CA • 93721-1102
5 5 9 • 4 9 7 • 6 9 4 2

MILLERTON FIRE STATION
MILLERTON ROAD AT MORNINGSIDE WAY
FRESNO, CALIFORNIA 93726

