



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## Planning Commission Staff Report Agenda Item No. 3 December 10, 2020

**SUBJECT:** Unclassified Conditional Use Permit Application No. 3689

The Department of Public Works and Planning, Development Services Division is reviewing the subject application proposes to amend UCUP 2861 to allow the addition of an emergency diesel generator and generator shed.

**LOCATION:** The subject parcel is located at the end of Huntington Vista Road, approximately 10 miles north of the unincorporated community of Shaver Lake (Sup. Dist. 5) (APN 110-570-13u).

**OWNER:** Gulf Coast Broadcasting  
**APPLICANT:** John Merrit

**STAFF CONTACT:** Ethan Davis Planner  
(559) 600-9669  
  
David Randall, Senior Planner  
(559) 600-4052

### RECOMMENDATION:

- Approve Unclassified Conditional Use Permit No. 3689 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

### EXHIBITS:

1. Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plans, Elevations, and Detail Drawings

6. Applicant's Operational Statement
7. Previous UCUP Staff Report No. 2861

**SITE DEVELOPMENT AND OPERATIONAL INFORMATION:**

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
General Plan Designation	Public Lands and Open Space	No Change
Zoning	A-1 (Agricultural, 100,000 square feet parcel size) Zone District	No Change
Parcel Size	0.002-acre	No Change
Project Site		No Change
Structural Improvements	Existing improvements include; a circular water tank with a tower mounted on top, a smaller oblong water tank, an equipment building (Pump house), and an equipment closet (Cell Equipment)	Addition of a small equipment closet to house an emergency diesel generator.
Nearest Residence	80 feet	No Change
Surrounding Development	Condominiums	No Change
Operational Features	<u>Telecommunications Tower and Water Pump House</u>	<u>Addition of an emergency diesel generator</u>
Employees	N/A	N/A
Customers	N/A	No Change
Traffic Trips	One trip per month for maintenance	No Change
Lighting	Existing lighting on the pump house	No Change
Hours of Operation	24 hours a day 7 days a week	No Change

**EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N**

**ENVIRONMENTAL ANALYSIS:**

It has been determined pursuant to Section 15303 of the California Environmental Quality Act (CEQA) guidelines (Construct /Conversion of Small Structures) that the proposed project will not have a significant effect on the environment and is not subject to CEQA.

**PUBLIC NOTICE:**

Notices were sent to 51 property owners within 600 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

**PROCEDURAL CONSIDERATIONS:**

An Unclassified Conditional Use Permit may be approved only if five Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on an Unclassified Conditional Use Permit Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

**BACKGROUND INFORMATION:**

The subject 4,547 square foot out lot is developed with two water tanks, a crank-up lattice tower mounted atop one of the tanks, a pump house and equipment closet for the telecommunications antennas. The proposed improvements associated with the project are limited to the addition of an emergency generator and generator enclosure. The purpose of the project is to amend a previous UCUP 2861 which did not allow a diesel generator.

***Finding 1:*** *That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood*

**Reviewing Agency/Department Comments Regarding Site Adequacy:**

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

**Analysis Finding 1:**

Staff finds that the 4,547 square foot parcel is adequate in size and shape to accommodate the proposed use.

**Recommended Conditions of Approval:**

*None.*

**Conclusion Finding 1:**

There are no standard setbacks for the A-1 Zone district therefore, finding 1 can be made.

***Finding 2:*** *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use*

		<b>Existing Conditions</b>	<b>Proposed Operation</b>
Private Road	Yes	Huntington Vista Road is not a county-maintained road	No Change
Public Road Frontage	No	Huntington Vista Road is not a county-maintained road	No Change
Direct Access to Public Road	No	Huntington Vista Road is not a county-maintained road	No Change
Road ADT		500	No Change
Road Classification		Private Road - Collector	No Change
Road Width		24 feet	No Change
Road Surface		Huntington Vista Road is not a county-maintained road	No Change
Traffic Trips		One maintenance trip per month	No Change
Traffic Impact Study (TIS) Prepared	No	Huntington Vista Road is not a county-maintained road	No Change
Road Improvements Required		Huntington Vista Road is not a county-maintained road	No Change

**Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:**

Fresno County Division of Road Maintenance and Operations: The subject parcel does not front or propose any impact on county-maintained roads.

No other comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

**Analysis Finding 2:**

The proposed addition of an emergency diesel generator to the existing telecommunication facility will not have an impact on county-maintained roads. The existing tower has one maintenance trip roughly every 3 weeks, these trips will include the proposed generator and will not cause any increased traffic.

**Recommended Conditions of Approval:**

*None.*

**Conclusion Finding 2:**

The proposed project site is accessed through a private road and will not increase traffic significantly in the area therefore finding 2 can be made.

**Finding 3:** *That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof*

<b>Surrounding Parcels</b>				
	Size:	Use:	Zoning:	Nearest Residence:
North	6.27-acres	Vacant – Public Space	A-1	N/A
South	6.27-acres	Condominiums	A-1	20-feet
East	6.27-acres	Condominiums	A-1	40-feet
West	6.27-acres	Vacant – Public Space	A-1	N/A

The lot and surrounding area are designated Public Lands and Open Space in the Sierra North Regional Plan. The subject lot is located within a developed residential subdivision (Eagles Nest Condominium Subdivision).

**Reviewing Agency/Department Comments:**

Fresno County Division of Development Engineering: A grading permit or voucher may be required for any grading proposed with this application.

San Joaquin Valley Air Pollution Control District: Based on the applicants submitted documents the projects annual emission from construction and operation emissions of criteria pollutants are not expected to exceed any of the District significant thresholds.

- The project will be subject to District Rule 2010 (Permits Required) and Rule 2201 (New and Modified Stationary Source Review) and will require district permits. Prior to construction, an Authority to Construct (ATC) application should be submitted by the Project proponent to the District.
- The project may also be subject to the following District rules: Regulation VIII, Fugitive PM10 Prohibitions), Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations).

Fresno County Environmental Health Department: The Environmental Health Department reviewed the application and found that the possible noise impacts were not significant enough to warrant a noise impact study.

No other comments specific to land use compatibility were expressed by reviewing Agencies or Departments.

**Analysis Finding 3:**

The project site is within an already developed area including an existing telecommunications tower and a water pump house and tank. The addition of the emergency generator would not significantly affect the surrounding properties within the surrounding area. The project will be

required to adhere to the Air Districts standard, following the standards set by the air district, staff believes that finding 3 can be made.

**Recommended Conditions of Approval:**

*None.*

**Conclusion Finding 3:**

The addition of a diesel generator and enclosure to the already developed area will not have a significant impact on the surrounding area therefore finding 3 can be made.

***Finding 4:*** *That the proposed development is consistent with the General Plan*

**Reviewing Agency Comments:**

Fresno County Policy Planning Unit: The subject parcel is designated as Public Lands and Open Space in the Sierra-North Regional Plan.

No other comments specific to General Plan Policy were expressed by reviewing Agencies or Departments.

**Analysis Finding 4:**

Considering the existing nature of the wireless communication facility the addition of an emergency backup generator and related equipment shelter would not conflict with the General Plan.

**Recommended Conditions of Approval:**

*None*

**Conclusion Finding 4:**

Finding 4 can be made.

***Finding 5:*** *That the conditions stated in the resolution are deemed necessary to protect the public health, safety and general welfare.*

**PUBLIC COMMENT:**

None.

**Analysis Finding 5:**

Normally proposed conditions of approval are developed based on studies and consultation with specifically qualified staff, consultants and outside agencies. They are developed to address specific impacts of the proposed project and are designed to address the public health, safety and welfare. Additional comments and project notes can be included to assist in identifying

existing non-discretionary regulations that also apply to the project. In this instance there are no conditions of approval being required other than to develop the project as submitted.

#### **CONCLUSION Finding 5:**

Based on the factors cited in the analysis, staff believes the required Findings for granting the Unclassified Conditional Use Permit can be made.

#### **SUMMARY CONCLUSION:**

The project is appropriately sited and designed. Staff therefore recommends approval of Unclassified Conditional Use Permit No. 3689, subject to the recommended Condition of Approval.

#### **PLANNING COMMISSION MOTIONS:**

##### **Recommended Motion** (Approval Action)

- Move to determine the required Findings can be made and move to approve Unclassified Conditional Use permit, subject to the Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

##### **Alternative Motion** (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Unclassified Conditional Use Permit No. 3689; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

##### **Mitigation Measures, Recommended Conditions of Approval and Project Notes:**

See attached Exhibit 1.

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**Unclassified Conditional Use Permit Application No. 3689  
(Including Conditions of Approval and Project Notes)**

<b>Conditions of Approval</b>	
1.	Development of the property shall be in accordance with the Site Plan, Elevations and Operational Statement approved by the commission.
<b>Notes</b>	
<b>The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.</b>	
2.	Facilities that use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the California Health and Safety Code (HSC), Division 20, Chapter 6.95, Section 25507 ( <a href="http://cers.calepa.ca.gov/">http://cers.calepa.ca.gov/</a> ). Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.
3.	All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.
4.	The proposed construction project has the potential to expose nearby residents to elevated noise levels. The proposed diesel emergency generator may result in significant short-term localized noise impacts due to intermittent use/maintenance. Equipment shall be maintained according to manufacturers' specifications, and noise-generating equipment equipped with mufflers. Consideration should be given to Fresno County Noise Ordinance.
5.	Project/Development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.

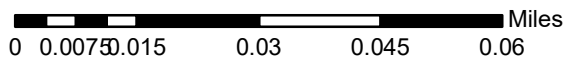
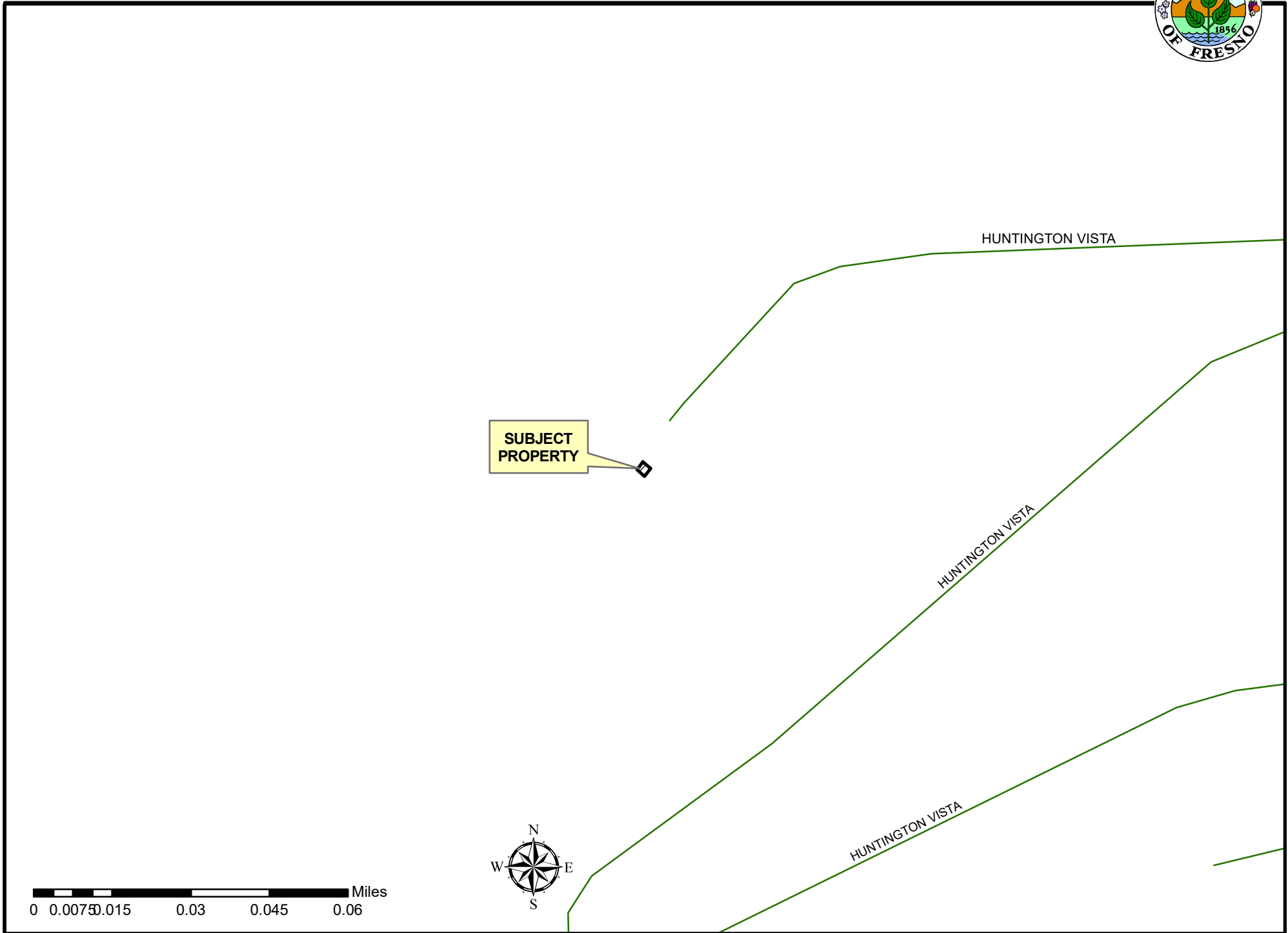
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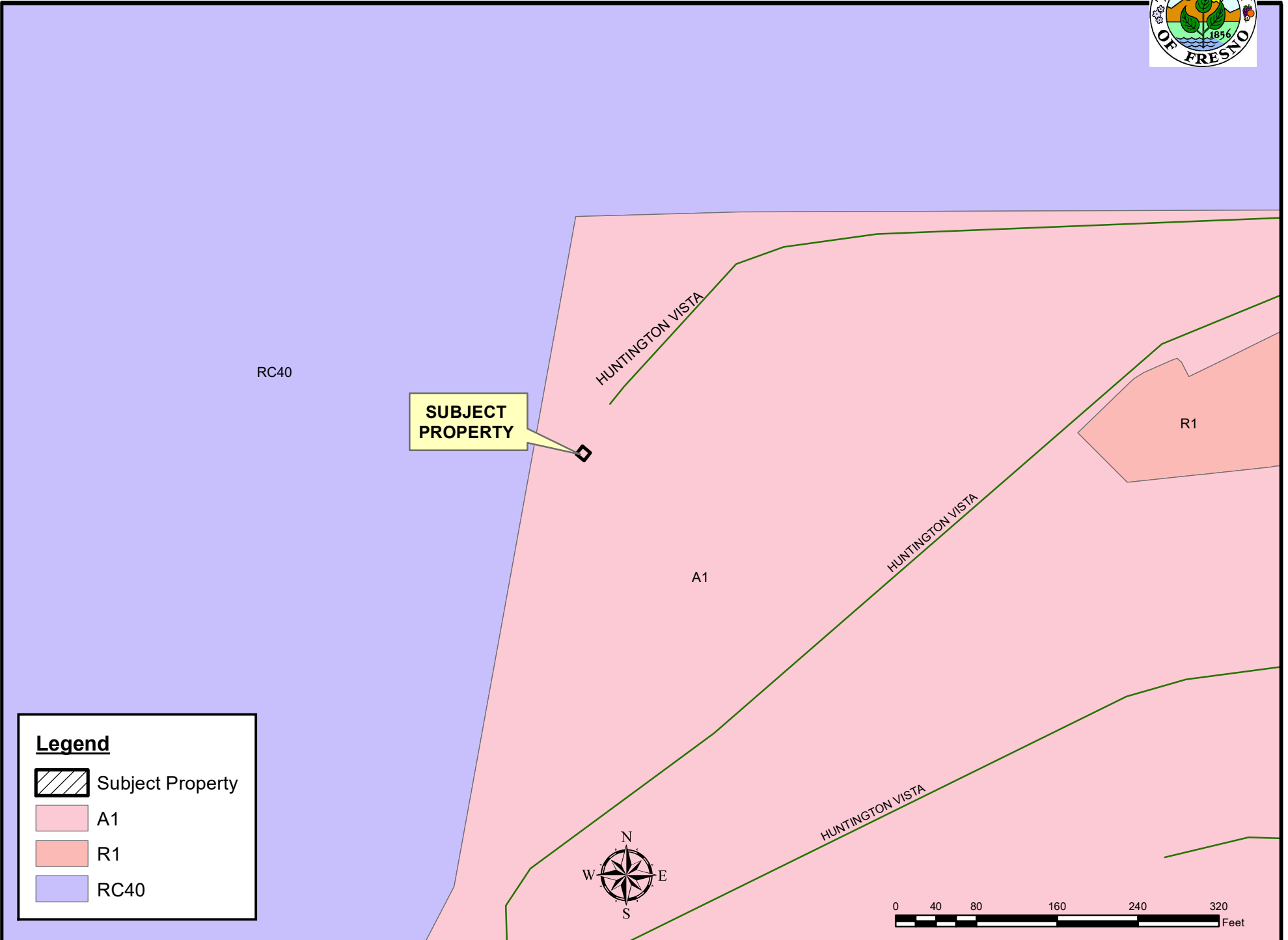
# LOCATION MAP

UCUP 3689





# EXISTING ZONING MAP



RC40

**SUBJECT  
PROPERTY**

HUNTINGTON VISTA





A1

HUNTINGTON VISTA

R1

HUNTINGTON VISTA

### Legend

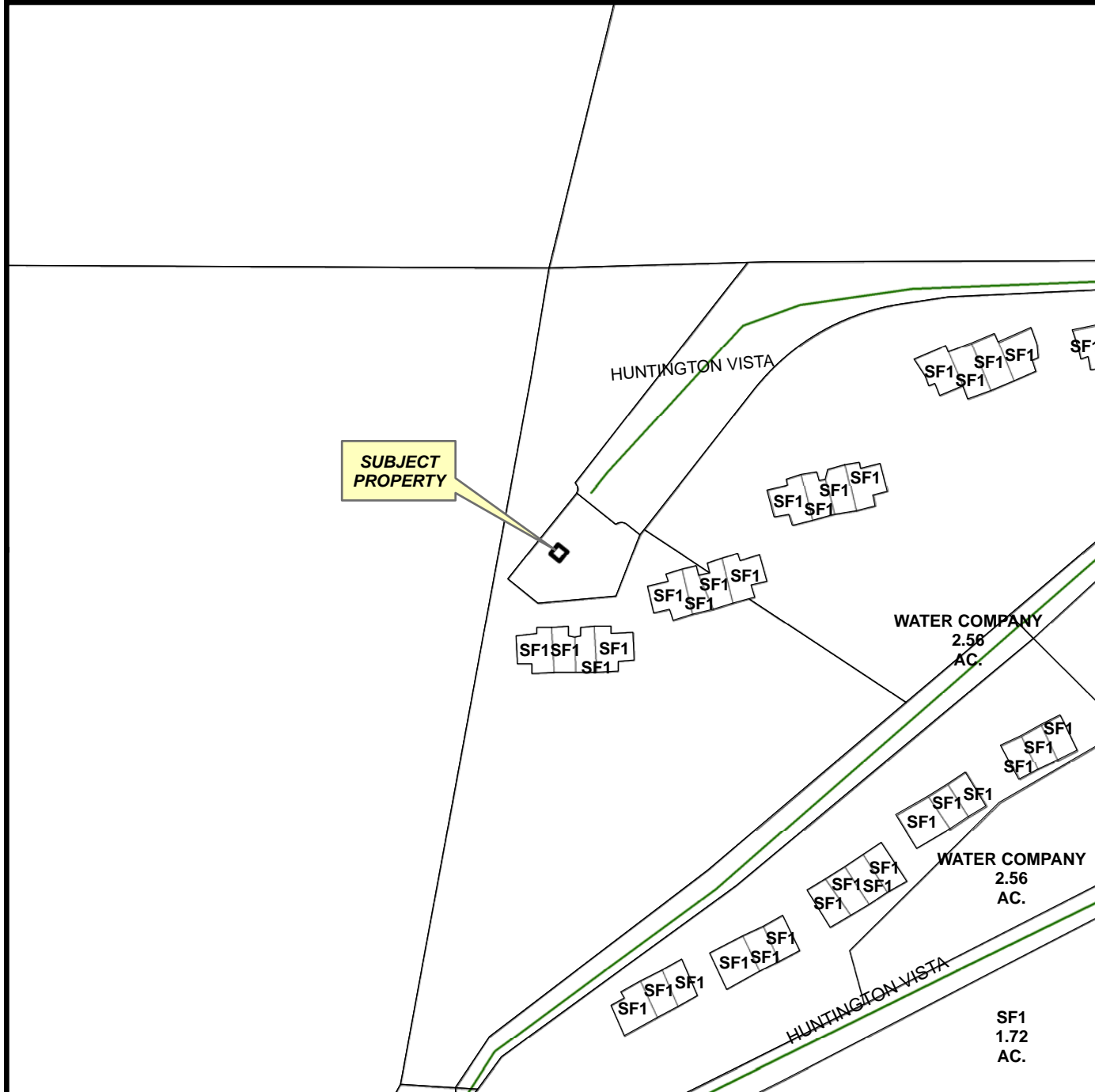
-  Subject Property
-  A1
-  R1
-  RC40





UCUP 3689

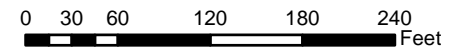
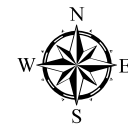
# EXISTING LAND USE MAP



LEGEND	
AP1	- APARTMENT
SF#	- SINGLE FAMILY RESIDENCE
V	- VACANT

LEGEND:

 Subject Property



Department of Public Works and Planning  
Development Services Division







**NEW DIESEL GENERATOR  
PROJECT # 20181833661  
63235 HUNTINGTON VISTA  
HUNTINGTON LAKE, CA 93664  
PS LOCATION #117160**

PLANS PREPARED FOR

2785 MITCHEL  
DRIVE WALNUT  
CREEK, CA 94598

PROPOSED PROJECT

63235 HUNTINGTON  
VISTA ROAD  
LAKESHORE, CA 93634

STATUS

10% CD  
418702

DATE	DESCRIPTION
09/28/19	10% CD
11/08/19	10% CD
09/19/20	10% CD

PROJECT NO.: 2018-1833661  
DRAWN BY: JAC  
CHECKED BY: S. REAGAN  
APPROVED BY: J. BROWN  
SCALE: N/A

ENGINEER OF RECORD

PLATINUM  
Engineering Solutions, Inc.  
Distinguished Technical Residential Design

10000 BERRY HILL  
SUITE 200 BERRYHILL  
38100 SHAW AVE. CLAYTON, CA 94520  
925.424.4221

PLATINUM ENGINEERING SOLUTIONS, INC.  
EXPLICITLY RESERVES THE GENERAL CONTRACTOR LIFT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR COPIES IN ANY FORM OR MANNER. UNLESS OTHERWISE INDICATED, ALL RIGHTS ARE RESERVED BY A THIRD PARTY WITHOUT AFFECTING THE SERVICE RELATIONSHIP AND CONDUCT OF PLATINUM ENGINEERING SOLUTIONS, INC.

IN THE EVENT OF UNAUTHORIZED USE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY, NOT PLATINUM ENGINEERING SOLUTIONS, INC., WILL BE RESPONSIBLE AND SHALL BEAR THE FINANCIAL RESPONSIBILITY OF PLATINUM ENGINEERING SOLUTIONS, INC.

STAMP

TITLE SHEET

SHEET	TOTAL
T-1	1
TOTAL:	18



USA NORTH  
OF CENTRAL/NORTHERN  
CALIFORNIA AND NEVADA  
CALL TWO WORKING DAYS BEFORE  
YOU DIG!  
DIAL TOLL FREE  
1-800-221-2500

**ACCESSIBILITY EXEMPTION**

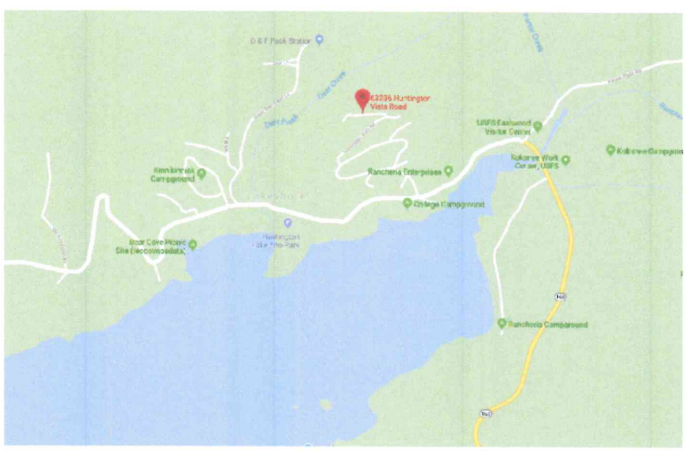
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, HANDICAPPED ACCESS REQUIREMENTS NOT REQUIRED, IN ACCORDANCE WITH CALIFORNIA STATE ADMINISTRATIVE CODE, PART 2, TITLE 24, SECTION 11069.3.42, EXEMPTION 1.

**CODE TABULATION**

ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE GOVERNING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ADMINISTRATIVE CODE
- 2019 CALIFORNIA FIRE CODE & STATE FIRE MARSHAL 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEEC) 2019 SAFETY, ORDERS, STATE DIVISION OF INDUSTRIAL SAFETY
- CITY ORDINANCES
- COUNTY ORDINANCES
- APPLICABLE SEC. OF THE CA. ENERGY CONSERVATION STANDARDS
- ASCE STANDARD 7-10
- A1181 / IBC, IBC-222, STANDARD 222-4H
- ASCE 14TH EDITION
- 2016 INTERNATIONAL BUILDING CODE (IBC)
- 2016 INTERNATIONAL FIRE CODE (IFC)
- 2016 UNIFORM MECHANICAL CODE (UMC)
- 2016 UNIFORM PLUMBING CODE (UPC)
- 2016 UNIFORM ELECTRICAL CODE (UEC)
- 2016 UNIFORM MECHANICAL CODE (UMC)
- 2016 NATIONAL ELECTRICAL CODE (NEC)
- 2019 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

**VICINITY MAP**



**DRIVING DIRECTIONS TO SITE**

- FROM THE SACRAMENTO CORP. OFFICE
- HEAD SW ON MITCHELL DR
  - TURN LEFT ONTO N WIDGET LN
  - TURN RIGHT ONTO YONACIO VALLEY RD
  - YONACIO VALLEY RD TURNS RIGHT AND BECOMES HILLSIDE AVE
  - USE THE LEFT 2 LANES TO TURN LEFT ONTO THE INTERSTATE 480 S RAMP TO SAN JOSE
  - MERGE ONTO 480 S
  - USE RIGHT 2 LANES TO TAKE ENT 26A TO MERGE ONTO 480 E TOWARD STOCKTON
  - KEEP LEFT TO CONTINUE ON 480 E, FOLLOW SIGNS FOR INTERSTATE 205/STOCKTON
  - MERGE ONTO I-205
  - USE THE RIGHT 2 LANES TO TAKE EXT 481 FOR CA-129 TOWARD MAHTECA/SOYORA
  - CONTINUE ONTO CA-129 E
  - TAKE ENT 5 TO MERGE ONTO CA-86 S TOWARD MODESTO/FRESNO
  - TAKE ENT 155 FOR CLEVELAND AVE
  - TURN LEFT ONTO AVE 15-112 W CLEVELAND AVENUE/800 FOR MILLERTON LAKE
  - TURN RIGHT TO STAY ON W CLEVELAND AVE
  - USE ANY LANE TO TURN SLIGHTLY LEFT ONTO AVE 15-112 W CLEVELAND AVE
  - CONTINUE TO TOZER ST.
  - TURN LEFT ONTO CA-145 N/E, YOSEMITE AVE
  - TURN RIGHT ONTO RD 206
  - CONTINUE ONTO NORTH FORK RD
  - TURN LEFT ONTO AUBERRY RD
  - AT THE TRAFFIC CIRCLE, TAKE THE 3RD ENT ONTO CA-160

**PROJECT DESCRIPTION**

- INSTALL NEW VERIZON WIRELESS 10-20KW 300 GAL. STANDBY DIESEL GENERATOR IN A (P) 9'-4" x 12'-4" GENERATOR SHED
- INSTALL NEW INTEGRATED LOAD CENTER (ILC) PANEL
- TRINCHING & INSTALL ASSOCIATED CONDUITS
- TURN LEFT TO STAY ON CA-160
- CONTINUE ONT BIG CREEK ROAD/HUNTINGTON LAKE RD
- TURN RIGHT ONTO HUNTINGTON VISTA RD
- CONTINUE ON HUNTINGTON VISTA RD TO SITE

**SHEET INDEX**

SHEET	DESCRIPTION	REVISION	DATE
T-1	TITLE SHEET	0	9/25/19
T-2	GENERAL NOTES	0	9/25/19
A-1	OVERALL SITE PLAN	2	4/19/20
A-2	DETAIL SITE PLAN	2	4/19/20
S-1	STRUCTURAL NOTES	2	4/19/20
S-2	FOUNDATION & SECTIONS	2	4/19/20
S-3	WALL & RAUNCH DETAIL	2	4/19/20
S-4	ELEVATIONS	2	4/19/20
S-5	ROOF FRAMING & DETAIL	1	11/04/19
S-6	DETAILS	2	4/19/20
S-1	DETAILS	2	4/19/20
M-1	GENERATOR INSTALL SHEET	2	4/19/20
M-2	GENERATOR STUB-UP VIEW	2	4/19/20
M-3	GENERAC DIESEL DEVI. INFO	2	4/19/20
M-4	TANK/DUCT CUT SHEETS	2	4/19/20
E-1	ELECTRICAL FLOOR PLAN	2	4/19/20
E-2	ELECTRICAL DETAILS	0	9/25/19
E-3	CIRCULATING DETAIL	0	9/25/19

**VERIZON APPROVAL**

CONSTRUCTION MANAGER \_\_\_\_\_

RF ENGINEER \_\_\_\_\_

OPERATIONS \_\_\_\_\_

TRANSPORT \_\_\_\_\_

EQUIPMENT ENGINEER \_\_\_\_\_

PROJECT ADMIN. \_\_\_\_\_

REAL ESTATE MANAGER \_\_\_\_\_

**LYLE APPROVAL**

SITE ACQUISITION \_\_\_\_\_

PLANNER \_\_\_\_\_

CONSTRUCTION \_\_\_\_\_

PROJECT MANAGER \_\_\_\_\_

**PROJECT INFORMATION**

ADDRESS: 63235 HUNTINGTON VISTA ROAD  
 CITY: LAKESHORE (UNINCORPORATED)  
 COUNTY: FRESNO  
 STATE: CALIFORNIA  
 A.P.N: 110-07-0130 OUTLOT 0  
 ZONING: A-1 AGRICULTURAL  
 TYPE OF STRUCTURE: EQUIPMENT HOUSE/SHED  
 TYPE OF CONSTRUCTION: TELECOMMUNICATION  
 ELEVATION: 70'-0"  
 SITE NUMBER: SC117160  
 SITE NAME: HUNTINGTON  
 RF ENGINEER: T.B.D.

**PROJECT ASSOCIATES**

ENGINEER: PLATINUM ENGINEERING SOLUTIONS, INC.  
 ANDER SALEM, P.E., PRINCIPAL  
 10648 N. HIGHWAY 41, HADERA, CA, 93618  
 529.439.6500

SURVEYOR: MEYER SURVEYING  
 1208 BOM FEA WAY, PENO, NV 89209  
 775.764.1166

LANDLORD: HUNTINGTON PINES MUNICIPAL  
 304 SHAW AVE., CLAYTON, CA 94512  
 DON LULL, ON-SITE MANAGER  
 529.545.1649  
 KAREN KUMAMOTO, ADMINISTRATOR  
 529.583.8511

APPLICANT: VERIZON WIRELESS C/O THE LYLE COMPANY  
 JOHN MERRIT  
 123 BEACUFF DRIVE, PISMO BEACH, CA 93420  
 805.448.4221 OFFICE

CONSTRUCTION: VERIZON WIRELESS C/O THE LYLE COMPANY  
 ROBERT GUNNETT, CM  
 9140 OGDEN CAMP DRIVE, STE 30,  
 RANCHO CORDOVA, CA 95729  
 916.266.1693 OFFICE

JURISDICTION: COUNTY OF FRESNO  
 PLANNING DEPARTMENT  
 2325 TULARE STE. 46, FRESNO, CA 93721  
 579.660.4576

1. THE CONTRACTOR SHALL NOTIFY VERIZON WIRELESS (WHERE REQUIRED) OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AS THEY MAY BE DISCOVERED IN PLANS, DOCUMENTS, NOTES, OR SPECIFICATIONS PRIOR TO STARTING CONSTRUCTION INCLUDING, BUT NOT LIMITED BY, DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF VERIZON WIRELESS (WHERE REQUIRED) AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY VERIZON WIRELESS (WHERE REQUIRED).
2. THE CONTRACTOR SHALL FIELD VERIFY ALL (E)CONDITIONS PRIOR TO THE START OF ANY WORK. DISCREPANCIES WILL BE REPORTED IMMEDIATELY TO VERIZON WIRELESS (WHERE REQUIRED). THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUBCONTRACTOR(S).
3. A COPY OF GOVERNING AGENCY APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW, SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE PLANS ARE NOT TO BE USED BY THE WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION AS GOVERNING AGENCY APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS, IN GOOD CONDITION, COMPLETE WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES UNDER THE DIRECT CARE OF THE SUPERINTENDENT. THE CONTRACTOR SHALL SUPPLY VERIZON WIRELESS (WHERE REQUIRED), WITH A COPY OF ALL REVISIONS, ADDENDA, AND/OR CHANGE ORDERS AT THE CONCLUSION OF THE WORK AS A PART OF THE AS-BUILT DRAWING RECORDS.
4. THE CONTRACTOR SHALL STUDY THE STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING PLANS AND CROSS CHECK THEIR DETAILS, NOTES, DIMENSIONS, AND ALL REQUIREMENTS PRIOR TO THE START OF ANY WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT AND SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
6. THE CONTRACTOR HAS THE RESPONSIBILITY OF LOCATING ALL (E) UTILITIES WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR, OR SUBCONTRACTOR AS SPECIFIED IN THE AGREEMENT BETWEEN SUBCONTRACTOR AND CONTRACTOR, SHALL BEAR THE EXPENSES OF REPAIR AND/OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGE BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
7. THE REFERENCES ON THE DRAWINGS ARE FOR CONVENIENCE ONLY AND SHALL NOT LIMIT THE APPLICATION OF ANY DRAWING OR DETAIL.
8. ALL CONSTRUCTION THROUGHOUT THE PROJECT SHALL CONFORM TO TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS, EXCEPT WHERE EXEMPTED.
9. ALL GLASS AND GLAZING IS TO COMPLY WITH CHAPTER 54 OF THE U.S. CONSUMER SAFETY COMMISSION SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (42 FR 1429, CFR PART 1201) AND LOCAL SECURITY REQUIREMENTS.
10. ALL (E) CONSTRUCTION, EQUIPMENT, AND FINISHES NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND WILL BE REMOVED FROM THE SITE WITH THE FOLLOWING EXCEPTIONS:
  - A. PROPERTY NOTED TO BE RETURNED TO THE OWNER.
  - B. PROPERTY NOTED TO BE REMOVED BY THE OWNER.
11. THE GOVERNING AGENCIES, CODE AUTHORITIES, AND BUILDING INSPECTORS SHALL PROVIDE THE MINIMUM STANDARDS FOR CONSTRUCTION TECHNIQUES, MATERIALS, AND FINISHES USED THROUGHOUT THE PROJECT. TRADE STANDARDS AND/OR PUBLISHED
- MANUFACTURERS SPECIFICATIONS MEETING OR EXCEEDING DESIGN REQUIREMENTS SHALL BE USED FOR INSTALLATION.
12. WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER ROUGH FRAMED FLOORS OR ROOFS SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING AND/OR BRACING IS TO BE PROVIDED WHERE THE STRUCTURE HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
13. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCE. VERIZON WIRELESS (WHERE REQUIRED) IS NOT RESPONSIBLE FOR ANY ERRORS RESULTING FROM THIS PRACTICE. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS.
14. PRIOR TO THE POURING OF ANY NEW SLAB OVER AN (E)SLAB THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS, CHASES, AND EQUIPMENT WHICH ARE TO BE IMPLEMENTED INTO THE NEW WORK. ALL ITEMS DESIGNATED TO BE ABANDONED SHALL BE NOTED AND DISCUSSED WITH THE OWNER AND VERIZON WIRELESS (WHERE REQUIRED) AS PART OF THE AS-BUILT DRAWING PACKAGE.
15. BUILDING INSPECTORS AND/OR OTHER BUILDING OFFICIALS ARE TO BE NOTIFIED PRIOR TO ANY GRADING, CONSTRUCTION, AND ANY OTHER PROJECT EFFORT AS MANDATED BY THE GOVERNING AGENCY.
16. OWNER, CONTRACTOR, AND VERIZON WIRELESS (WHERE REQUIRED) SHALL MEET JOINTLY TO VERIFY ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
17. THE PROJECT, WHEN COMPLETED, SHALL COMPLY WITH LOCAL SECURITY CODES AND TITLE-24 ENERGY CONSERVATION REQUIREMENTS. (TITLE-24 WHEN APPLICABLE)
18. NEW CONSTRUCTION ADDED TO (E)CONSTRUCTION SHALL MATCH IN FORM, TEXTURE, FINISH, AND IN MATERIALS EXCEPT AS NOTED IN THE PLANS AND SPECIFICATIONS.
19. THE CONTRACTOR TO REPLACE AND/OR REROUTE ANY (E)UNDERGROUND UTILITIES ENCOUNTERED DURING TRENCHING AND GENERAL CONSTRUCTION.
20. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKING, BLOCKING, AND/OR SLEEVES REQUIRED FOR THE INSTALLATION OF FIXTURES, MECHANICAL EQUIPMENT, PLUMBING, HARDWARE, AND FINISH ITEMS TO INSURE A PROPER AND COMPLETE JOB.
21. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A PROJECT LEVEL, STRAIGHT, AND TRUE ACCORDING TO THE PLANS. THE CONTRACTOR SHALL COMPARE THE LINES AND LEVELS OF THE (E) CONDITIONS WITH THOSE SHOWN ON THE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. VERIZON WIRELESS (WHERE REQUIRED) SHALL BE NOTIFIED OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES PRIOR TO ANY CONSTRUCTION.
22. THE CONTRACTOR IS TO PROVIDE PROTECTION FOR ADJOINING PROPERTIES FROM PHYSICAL HARM, NOISE, DUST, DIRT, AND FIRE AS REQUIRED BY THE GOVERNING AGENCIES.
23. WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AND/OR REVISIONS AVAILABLE AS REQUIRED BY THE GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
24. THE CONTRACTOR IS RESPONSIBLE FOR THE STORAGE OF ALL MATERIALS AND SHALL NOT DO SO ON PUBLIC PROPERTY WITHOUT A PERMIT TO DO SO FROM THE GOVERNING AGENCIES FOR THIS PURPOSE.
25. GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
26. TRADES INVOLVED IN THE PROJECT SHALL BE RESPONSIBLE FOR THEIR OWN CUTTING, FITTING, PATCHING, ETC., SO AS TO BE RECEIVED PROPERLY BY THE WORK OF OTHER TRADES.
27. ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT PREMISES AND SHALL BE LEFT IN A CLEAN (BROOM FINISH) CONDITION AT ALL TIMES BY EACH TRADE AS THEY PERFORM THEIR OWN PORTION OF THE WORK.
28. VERIZON WIRELESS (WHERE REQUIRED) DOES NOT GUARANTEE ANY PRODUCTS, FIXTURES, AND/OR ANY EQUIPMENT NAMED BY A TRADE OR MANUFACTURER, GUARANTEE OR WARRANTY THAT MAY BE IN EFFECT IS DONE SO THROUGH THE COMPANY OR MANUFACTURER PROVIDING THE PRODUCT, FIXTURE, AND/OR EQUIPMENT ONLY; UNLESS SPECIFIC RESPONSIBILITY IS ALSO PROVIDED BY THE CONTRACTOR/SUBCONTRACTOR IN WRITTEN FORM.
29. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY ALL FAULTY, INFERIOR, AND/OR IMPROPER MATERIALS, DAMAGED GOODS, AND/OR FAULTY WORKMANSHIP FOR ONE (1) YEAR AFTER THE PROJECT IS COMPLETE AND ACCEPTED UNDER THIS CONTRACT; UNLESS NOTED OTHERWISE IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR. (EXCEPTION) THE ROOFING SUBCONTRACTOR SHALL FURNISH A MAINTENANCE AGREEMENT FOR ALL WORK DONE, COSIGNED BY THE GENERAL CONTRACTOR, TO MAINTAIN THE ROOFING IN A WATERTIGHT CONDITION FOR A PERIOD OF TWO (2) YEARS STARTING AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT, UNLESS OTHERWISE WRITTEN IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR.
30. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE SAFETY OF THE OWNER'S EMPLOYEES, WORKMEN, AND ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT.
31. THE CONTRACTOR SHALL BE REQUIRED TO PAY FOR ALL NECESSARY PERMITS AND/OR FEES WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN PERMIT AND MAKE FINAL PAYMENT FOR SAID DOCUMENT.
32. THE ARCHITECT/ENGINEER IN CHARGE SHALL SIGN AND SEAL ALL DRAWINGS AND/OR SPECIFICATIONS.
33. FIRE EXTINGUISHER REQUIREMENTS SHALL BE VERIFIED WITH THE LOCAL FIRE MARSHALL.
34. VERIZON WIRELESS (WHERE REQUIRED) WILL REVIEW AND APPROVE SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT. VERIZON WIRELESS (WHERE REQUIRED) PROJECT APPROVAL OF A SEPARATE ITEM SHALL NOT INCLUDE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.
35. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO PLACEMENT OF MONOPOLE FOOTING AND OTHER STRUCTURES TO BE PLACED IN GROUND. SEE GENERAL NOTE #6 ON THIS SHEET.
36. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION.
37. CALL BEFORE YOU DIG. CONTRACTOR IS REQUIRED TO CALL USA NORTH AT 1-800-227-2809 AT LEAST 72 HOURS BEFORE DIGGING.
38. CONTRACTOR TO PROVIDE HEAVY STEEL PLATES AT OPEN TRENCHES FOR SAFETY AND TO PROTECT (E)GROUND SURFACES FROM HEAVY EQUIPMENT UTILIZED DURING CONSTRUCTION.
39. CONTRACTOR TO PATCH AND REPAIR ALL GROUND SURFACES WITHIN THE CONSTRUCTION AREA AS NECESSARY TO PROVIDE A UNIFORM SURFACE AND MAINTAIN (E)SURFACE DRAINAGE SLOPES.
40. CONTRACTOR TO REPLACE LANDSCAPE VEGETATION THAT WAS DAMAGED DUE TO CONSTRUCTION, AND TO MODIFY REMAINING IRRIGATION LINES TO OPERATING CONDITION, PROVIDING FULL COVERAGE TO IMPACTED AREAS.
41. THIS FACILITY IS AN UNOCCUPIED WIRELESS TELECOMMUNICATION FACILITY.

**811** Call Before You Dig  
 CALL 811  
 WWW.CALL811.COM  
 CONTRACTOR TO CALL  
 NATIONWIDE ONE-CALL  
 SYSTEMS AT LEAST (2)  
 WORKING DAYS PRIOR TO  
 DIGGING.

PLANS PREPARED BY:



2785 MITCHEL  
 DRIVE WALNUT  
 CREEK, CA 94598

PLANNED PROJECT:

63236 HUNTINGTON  
 VISTA ROAD  
 LAKESHORE, CA 93634

STATUS:

87% CD  
 4/27/21

ISSUE

NO.	DATE	DESCRIPTION
1	09/28/19	ISSUE CD
2	11/08/19	ISSUE CD
3	09/16/20	ISSUE 11/13/20

PROJECT NO.: 2009-1004  
 DRAWN BY: PJC  
 CHECKED BY: S. HOSER  
 APPROVED BY: M. HOSER  
 SCALE:

ENGINEER OF RECORD



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SHEET



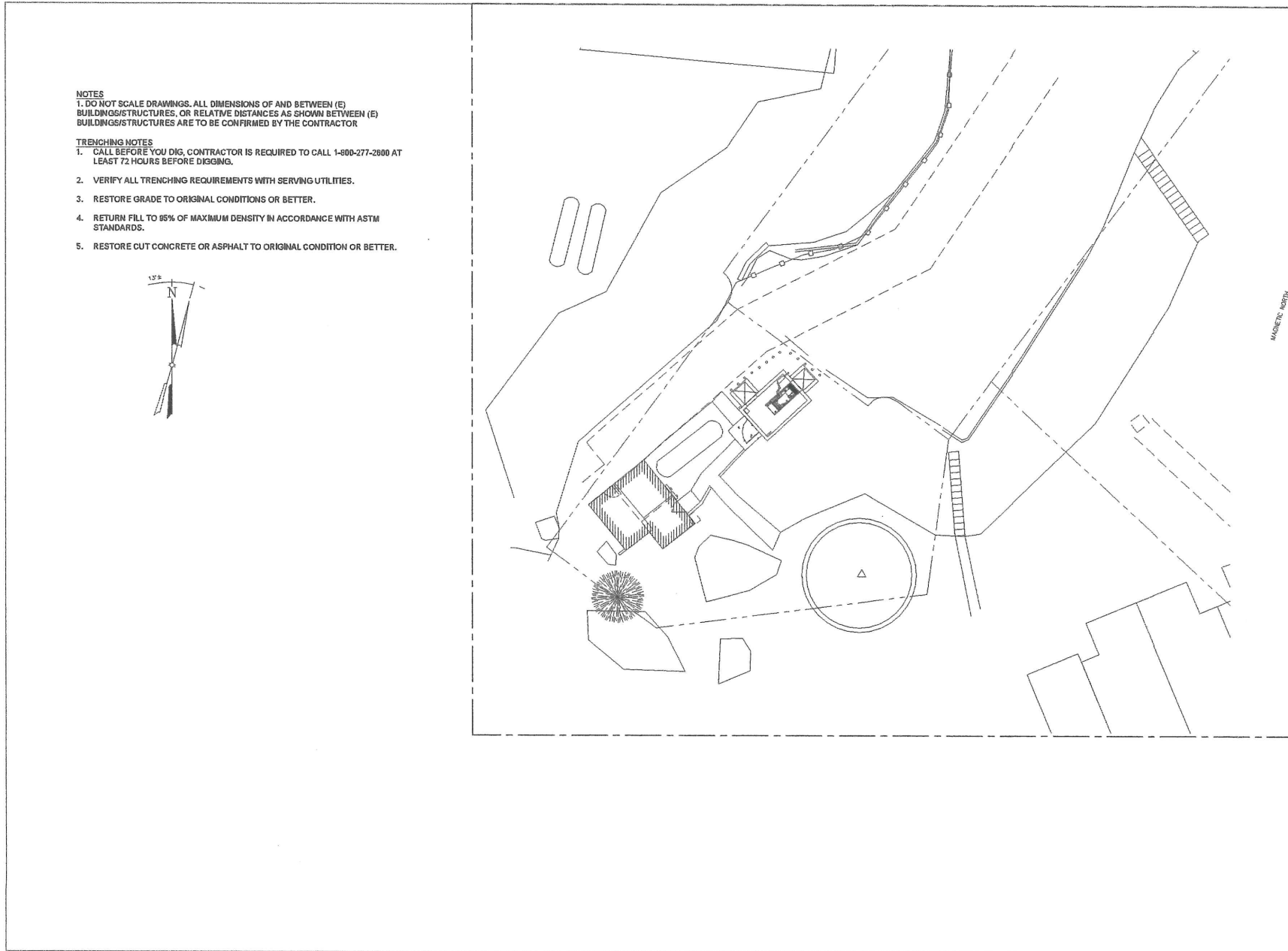
SHEET TITLE

GENERAL NOTES

SHEET

2
TOTAL: 18

T-2



**NOTES**

1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS OF AND BETWEEN (E) BUILDINGS/STRUCTURES, OR RELATIVE DISTANCES AS SHOWN BETWEEN (E) BUILDINGS/STRUCTURES ARE TO BE CONFIRMED BY THE CONTRACTOR

**TRENCHING NOTES**

1. CALL BEFORE YOU DIG, CONTRACTOR IS REQUIRED TO CALL 1-800-277-2600 AT LEAST 72 HOURS BEFORE DIGGING.
2. VERIFY ALL TRENCHING REQUIREMENTS WITH SERVING UTILITIES.
3. RESTORE GRADE TO ORIGINAL CONDITIONS OR BETTER.
4. RETURN FILL TO 95% OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM STANDARDS.
5. RESTORE CUT CONCRETE OR ASPHALT TO ORIGINAL CONDITION OR BETTER.

MAGNETIC NORTH

PLANS PREPARED FOR



PROPOSED PROJECT

63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93634

STATUS

10/9 CD  
4/2/02 X

ISSUE

NO.	DATE	DESCRIPTION
1	08/26/19	ISS CD
2	11/08/19	ISS CD
3	04/16/20	ISS CD

PROJECT NO.: 2000-1004

DRAWN BY: JPC

CHECKED BY: G. REED

APPROVED BY: J. REED

SCALE:

ENGINEER OF RECORD



10000 N. HWY 41  
SUITE 200  
MILPITAS, CA 95035  
TEL: 408-352-1000  
WWW.PLATINUMENGINEERING.COM

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STAMP

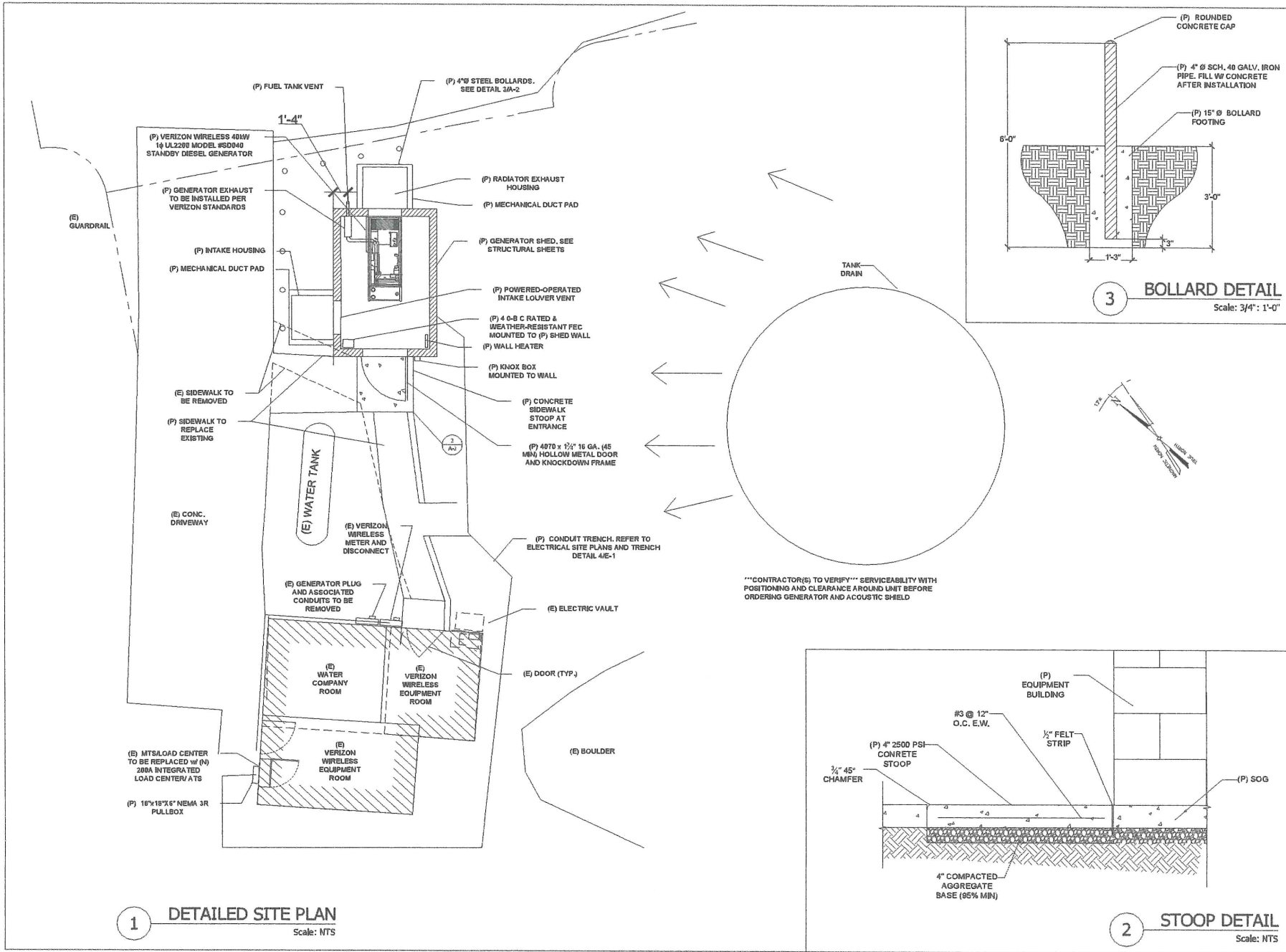


SHEET TITLE

OVERALL SITE PLAN

SHEET

A-1	3
TOTAL	18



PLANS PREPARED FOR

**verizon**

2785 MITCHELL DRIVE WALNUT CREEK, CA 94598

PROPOSED PROJECT

63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93634

STATUS

85% CD  
4/21/23

REVISION	DATE	DESCRIPTION
1	08/08/19	ISSUE CD
2	11/08/19	ISSUE CD
3	04/16/20	ISSUE CD.1.1.3.2

PROJECT NO.: 2004-7034  
DRAWN BY: RIG  
CHECKED BY: S. REMP  
APPROVED BY: H. RYAN  
SCALE:

ENGINEER OF RECORD

**PLATINUM**  
Engineering Solutions, Inc.  
Commercial Industrial Residential Street

WHILE SERVING AS AN ENGINEER OF RECORD FOR THIS PROJECT, I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA.

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STAMP

**PLATINUM ENGINEERING SOLUTIONS, INC.**  
SIGNED AND SEALED FOR THE ENGINEER  
DATE: 04/21/23

SHEET TITLE

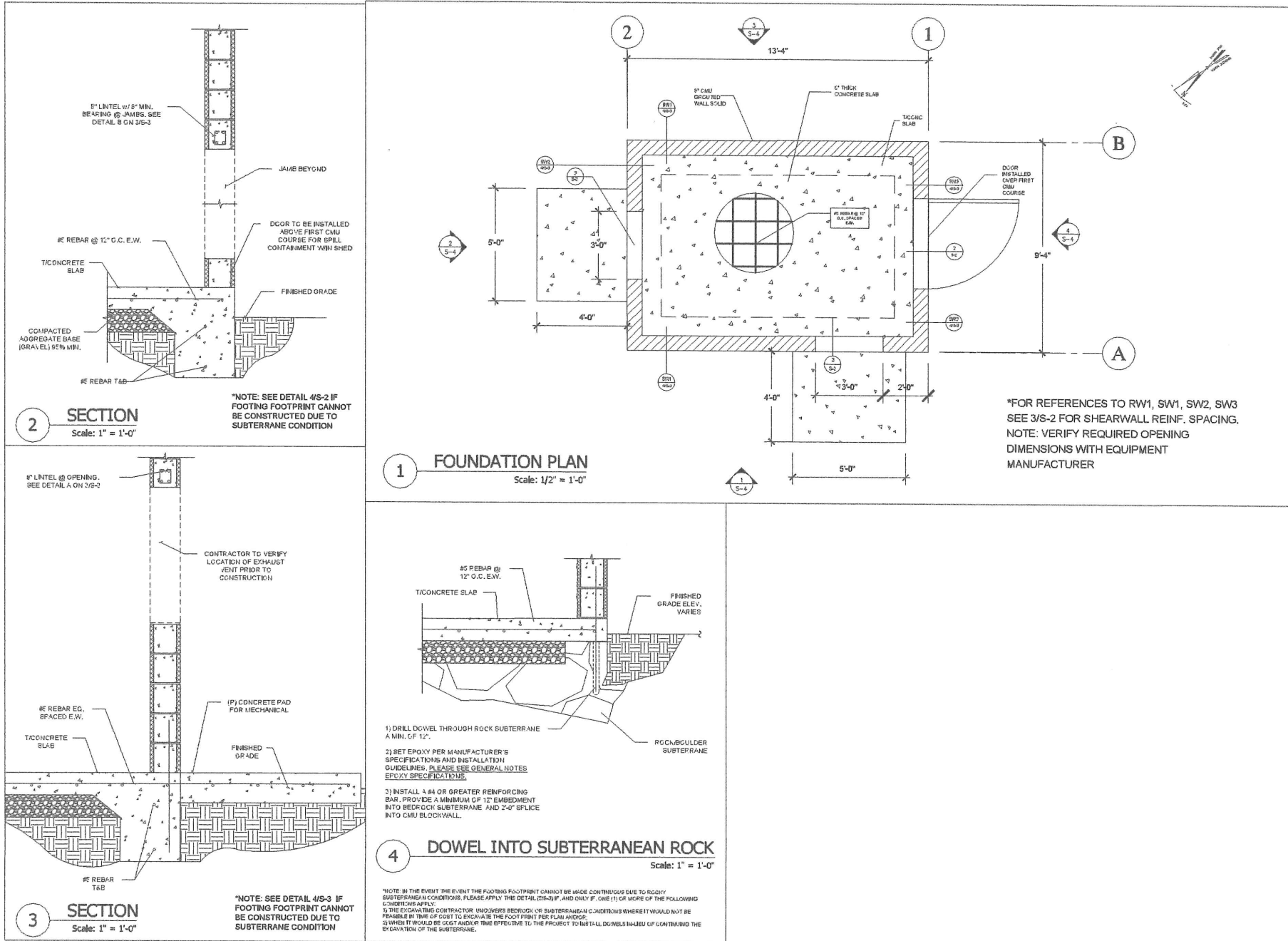
DETAILED SITE PLAN

SHEET

A-2

4  
TOTAL: 18





**2 SECTION**  
Scale: 1" = 1'-0"

\*NOTE: SEE DETAIL 4/S-2 IF FOOTING FOOTPRINT CANNOT BE CONSTRUCTED DUE TO SUBTERRANEAN CONDITION

**1 FOUNDATION PLAN**  
Scale: 1/2" = 1'-0"

\*FOR REFERENCES TO RW1, SW1, SW2, SW3 SEE 3/S-2 FOR SHEARWALL REINF. SPACING. NOTE: VERIFY REQUIRED OPENING DIMENSIONS WITH EQUIPMENT MANUFACTURER

**3 SECTION**  
Scale: 1" = 1'-0"

\*NOTE: SEE DETAIL 4/S-3 IF FOOTING FOOTPRINT CANNOT BE CONSTRUCTED DUE TO SUBTERRANEAN CONDITION

**4 DOWEL INTO SUBTERRANEAN ROCK**  
Scale: 1" = 1'-0"

1) DRILL DOWEL THROUGH ROCK SUBTERRANEAN A MIN. OF 12".  
2) SET EPOXY PER MANUFACTURER'S SPECIFICATIONS AND INSTALLATION GUIDELINES. PLEASE SEE GENERAL NOTES EPOXY SPECIFICATIONS.  
3) INSTALL #4 OR GREATER REINFORCING BARS. PROVIDE A MINIMUM OF 12" EMBEDMENT INTO BEDROCK SUBTERRANEAN AND 2'-0" SPLICE INTO CMU BLOCKWALL.

\*NOTE: IN THE EVENT THE FOOTING FOOTPRINT CANNOT BE MADE CONTINUOUS DUE TO ROCKY SUBTERRANEAN CONDITIONS, PLEASE APPLY THIS DETAIL (2/S-3) IF, AND ONLY IF, ONE (1) OR MORE OF THE FOLLOWING CONDITIONS APPLY:  
1) THE EXCAVATING CONTRACTOR UNCOVERS BEDROCK OR SUBTERRANEAN CONDITIONS WHERE IT WOULD NOT BE FEASIBLE IN TIME OR COST TO EXCAVATE THE FOOTPRINT PER PLAN AND/OR;  
2) SUBMITTALS WOULD BE COST AND/OR TIME SPECIFIC TO THE PROJECT TO INSTALL DOWELS INSTEAD OF CONTINUING THE EXCAVATION OF THE SUBTERRANEAN.

PLANS PREPARED FOR

**verizon**

2785 MITCHELL DRIVE WALNUT CREEK, CA 94598

PROPOSED PROJECT

63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93644

STATUS

8/16/20  
4/27/20

NO.	DATE	DESCRIPTION
1	01/26/19	ISSUE 03
2	11/02/19	ISSUE 02
3	04/16/20	MOD. 4.1, 4.2

PROJECT NO.: 2020-1034  
DRAWN BY: JHS  
CHECKED BY: S. REARD  
APPROVED BY: RSL/SLP  
SCALE:

ENGINEER OF RECORD

**PLATINUM**  
Engineering Solutions, Inc.  
Civil/Structural/Industrial/Environmental/Transportation

10000 BERRY AVENUE  
SUITE 200  
DUBLIN, CA 94568  
PH: 925-835-4300  
WWW.PLATINUMENGINEERING.COM

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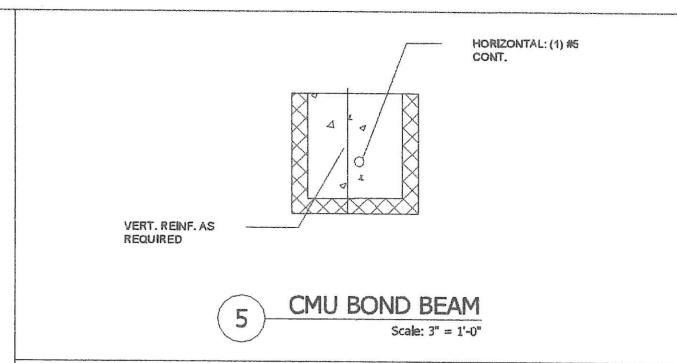
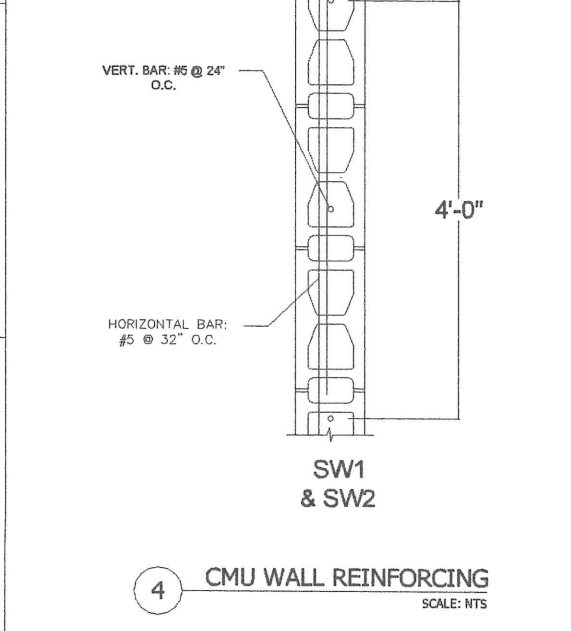
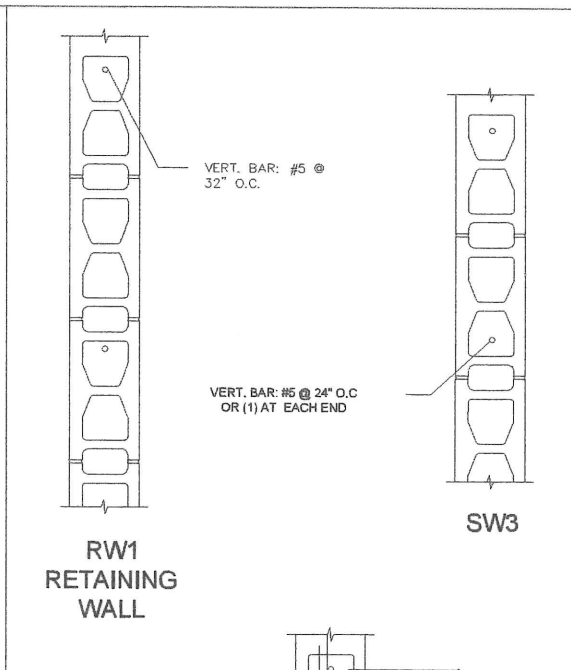
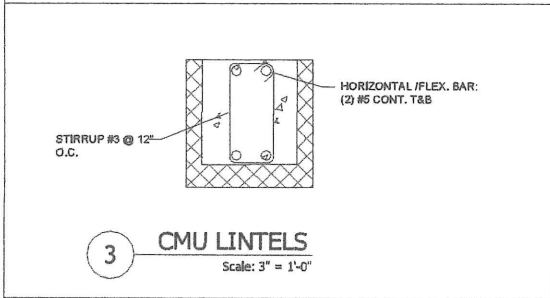
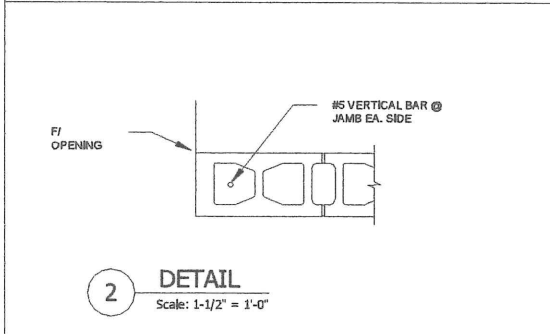
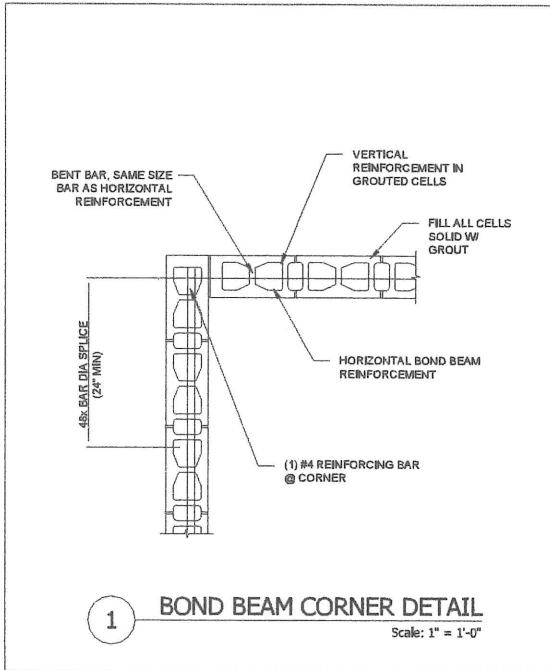
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STAMP

FOUNDATION PLANS & SECTIONS

SHEET

S-2 6  
TOTAL: 18



PLANS PREPARED FOR:

**verizon**

2785 MITCHEL  
DRIVE WALNUT  
CREEK, CA 94598

PROJECT NO.:

63236 HUNTINGTON  
VISTA ROAD  
LAKESHORE, CA 93634

STATUS:

REV. CD  
4/15/2024

DATE	DESCRIPTION
08/28/19	REV CD
11/08/19	REV CD
02/16/20	REV. 4.15.20

PROJECT NO.: 200-7024  
DRAWN BY: PLS  
CHECKED BY: S. RENO  
APPROVED BY: M. GARDY  
SCALE:

ENGINEER OF RECORD

**PLATINUM**  
Engineering Solutions, Inc.  
Civil/Structural/Industrial/Residential/Transportation

1888 K BERRY  
SANTA ANA, CA 92705  
TEL: (949) 440-8887  
FAX: (949) 440-8887  
www.PlatinumEngineering.com

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STAMP

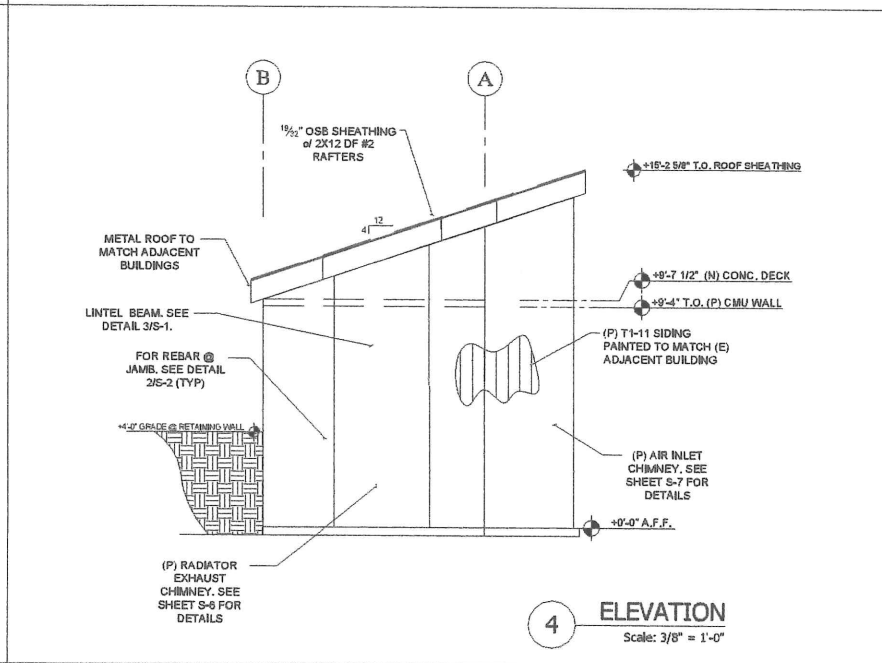
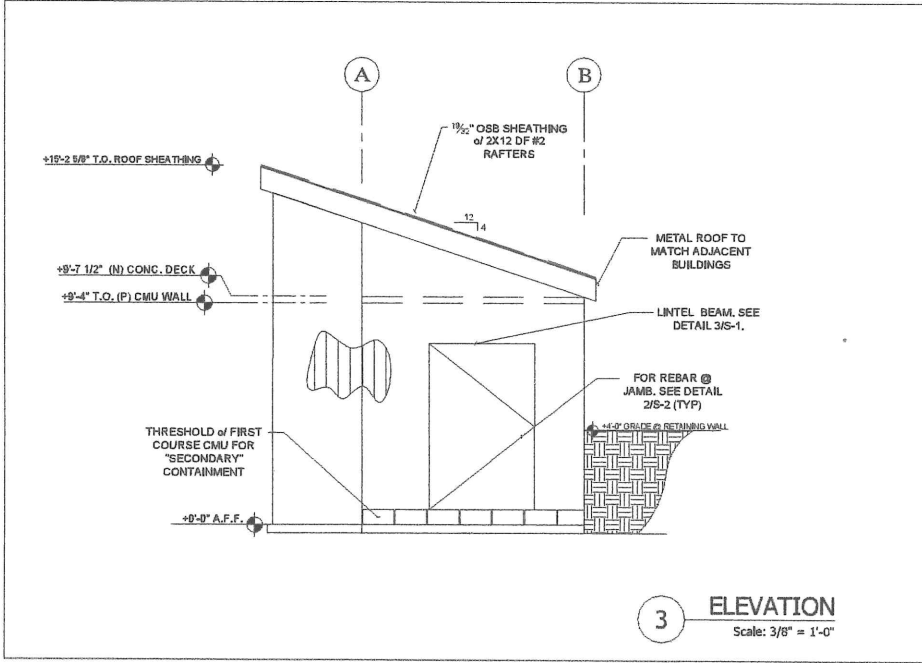
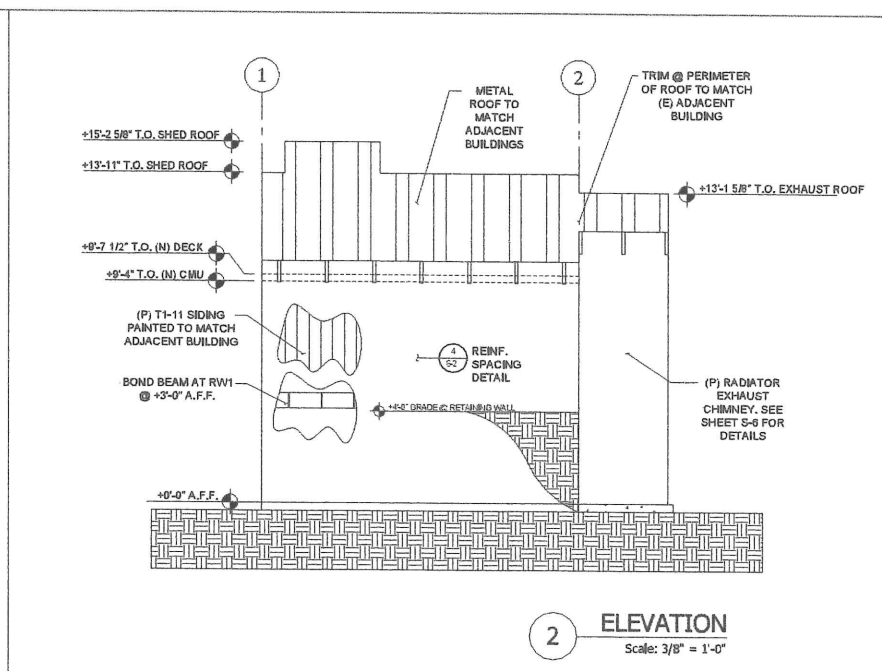
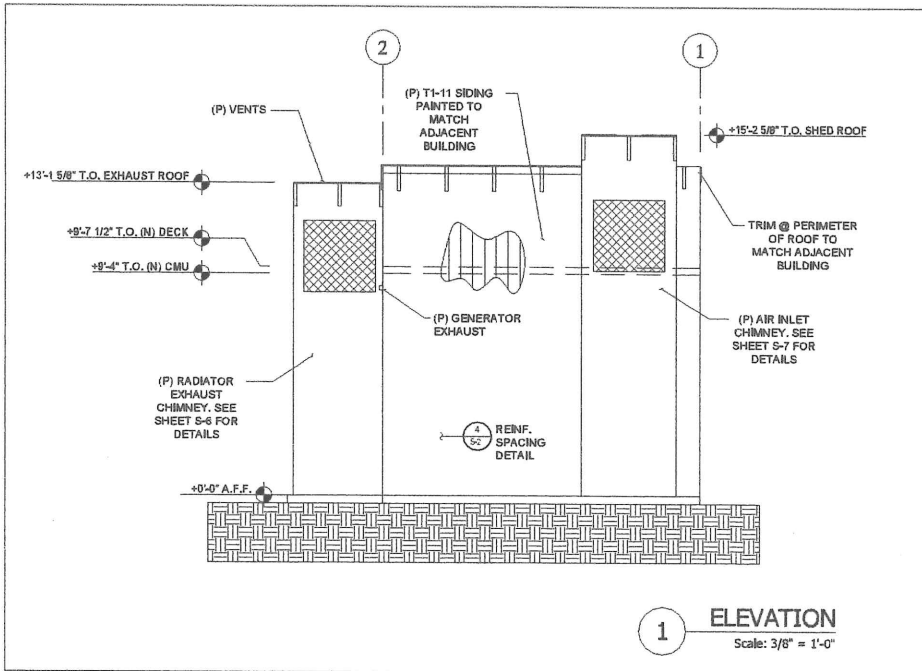
**PLATINUM ENGINEERING SOLUTIONS, INC.**  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL/STRUCTURAL/INDUSTRIAL/RESIDENTIAL/TRANSPORTATION  
NO. 10000  
EXPIRES 12/31/2024

SHEET TITLE:

WALL & LINTEL  
DETAIL

SHEET:

S-3 7  
TOTAL: 18



PLANS PREPARED FOR:

**verizon**  
2785 MITCHEL DRIVE WALNUT CREEK, CA 94598

PROPOSED PROJECT:  
63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93834

STATUS:  
8/9/20  
4/2/2021

DATE	BY	DESCRIPTION
8/9/20	MSL	MSL CD
4/2/2021	MSL	MSL CD

PROJECT NO.: 2020-7024  
DRAWN BY: PFG  
CHECKED BY: S. ROBERT  
APPROVED BY: SLOAN  
SCALE:

ENGINEER OF RECORD:  
**PLATINUM Engineering Solutions, Inc.**  
Commercial Industrial Residential Traffic

1000 N. HWY 14  
SANTA ANA, CALIFORNIA  
92705  
TEL: 949.269.9100  
WWW.PLATINUMENGINEERING.COM

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SOLUTIONS, INC.

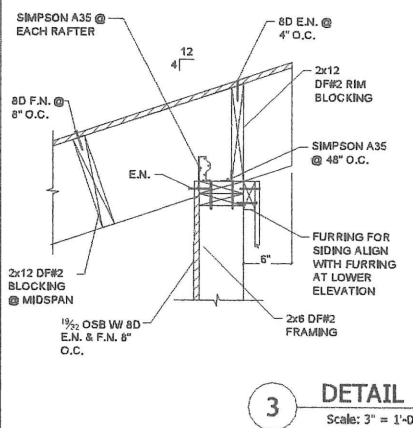
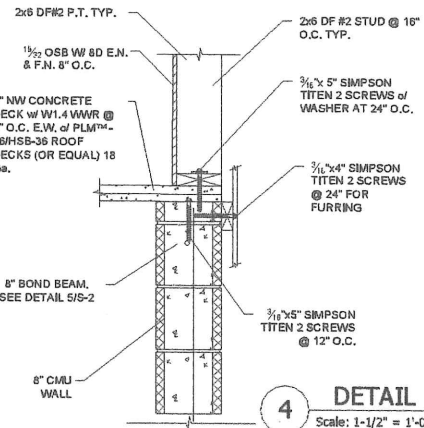
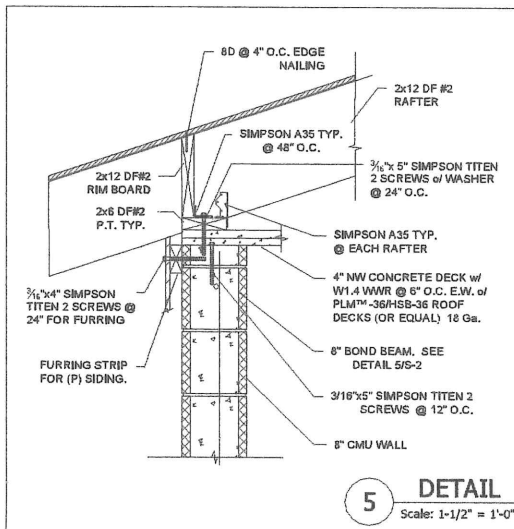
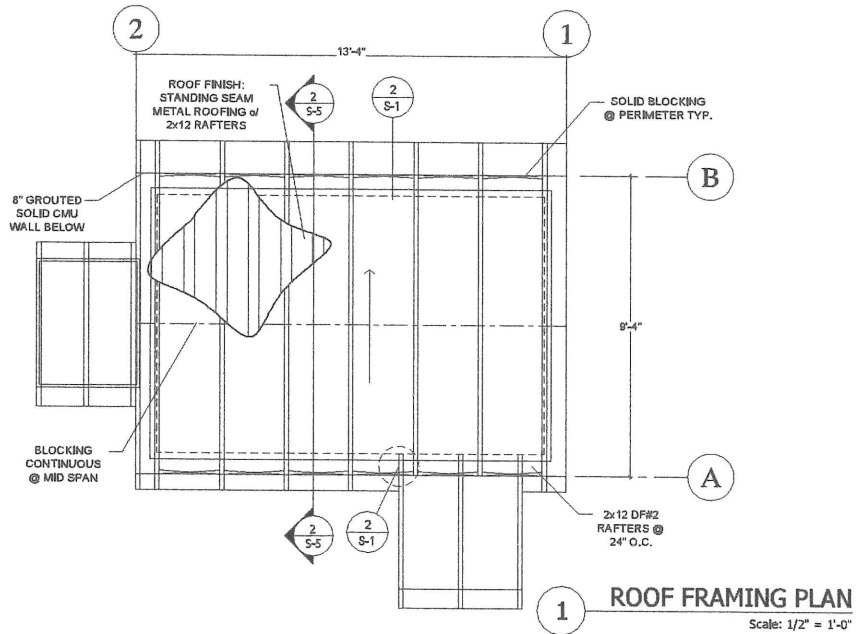
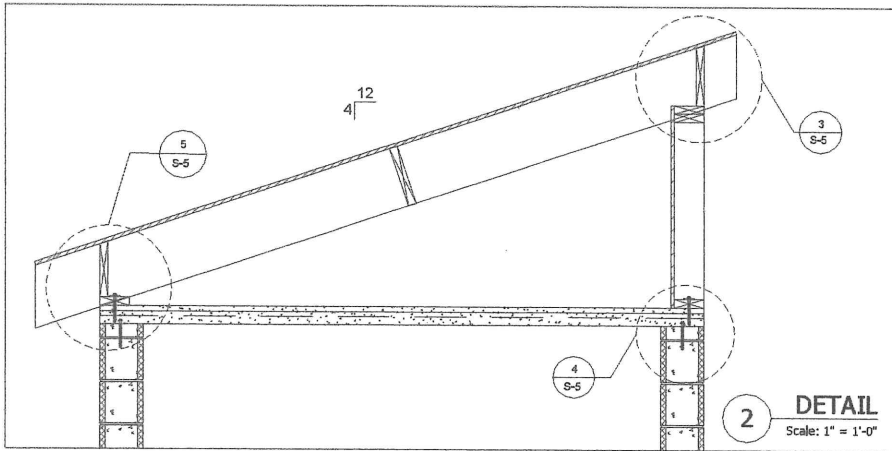
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PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL  
PLATINUM ENGINEERING SOLUTIONS, INC. RETAIN ALL  
RIGHTS AND SHALL HOLD THE THIRD PARTY RESPONSIBLE OF  
PLATINUM ENGINEERING SOLUTIONS, INC. COSTS.



SHEET TITLE:  
**ELEVATIONS**

SHEET:  
S-4 | 8  
TOTAL: 18





PLANS PREPARED FOR:

**verizon**  
2785 MITCHELL DRIVE WALNUT CREEK, CA 94598

PROPOSED PROJECT  
63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93634

STATUS  
11% CD  
4/21/2020

DATE	DESCRIPTION
09/25/19	ISS CD
11/09/19	100% CD
04/15/20	REV. 4 19 20

PROJECT NO.: 2019-704  
DRAWN BY: P3  
CHECKED BY: S. BISHOP  
APPROVED BY: S. BISHOP  
SCALE:

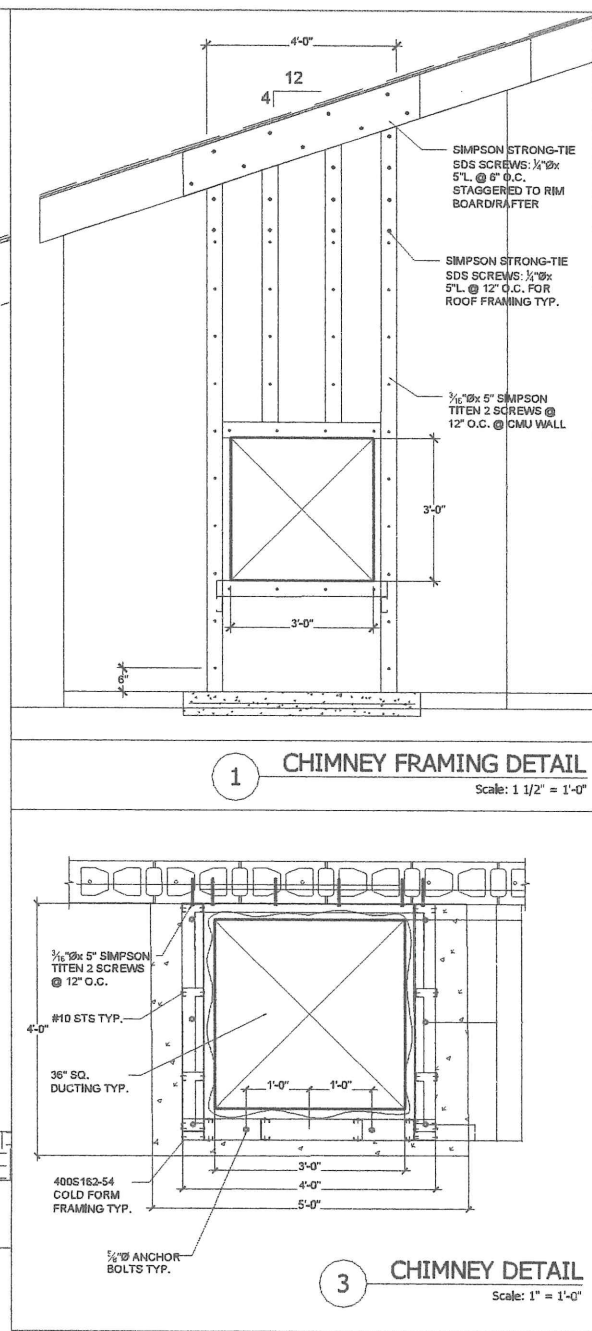
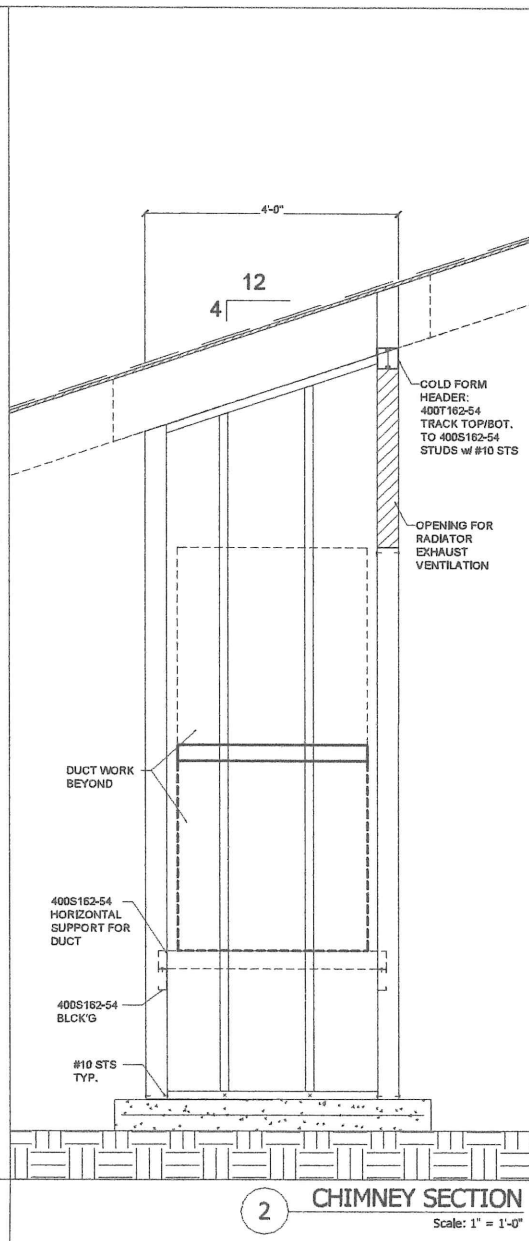
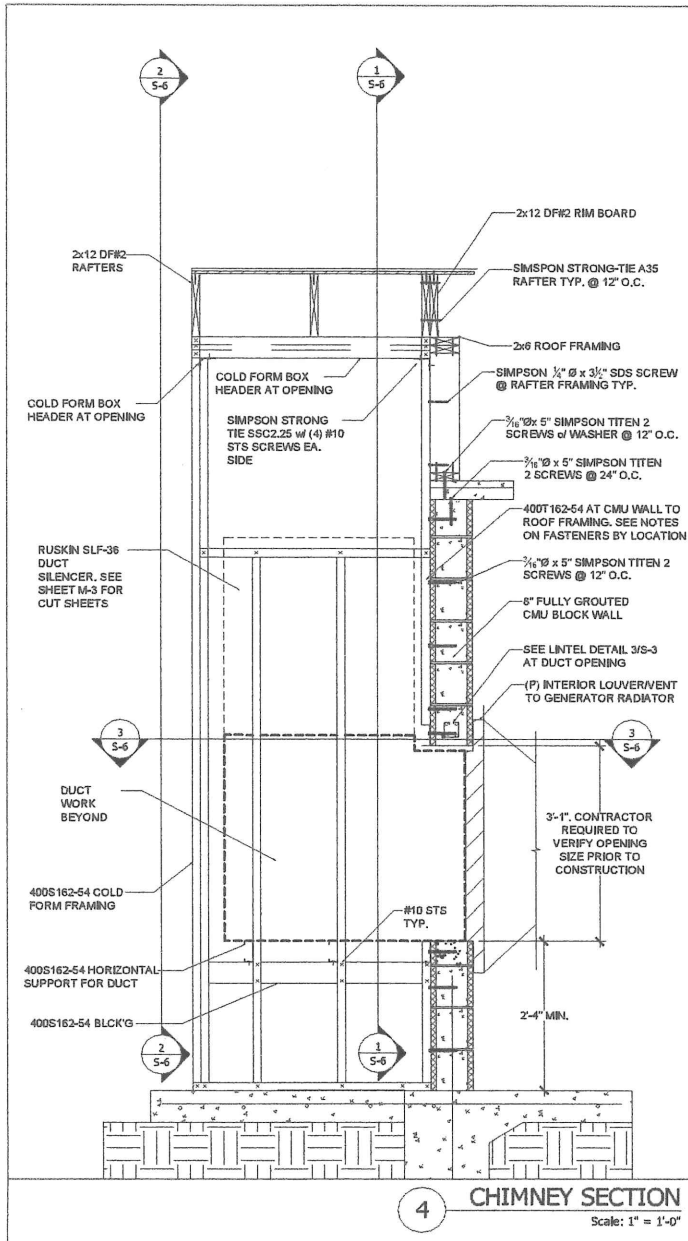
ENGINEER OF RECORD  
**PLATINUM**  
Engineering Solutions, Inc.  
Overseas Industrial Mechanical Tower

1001 E. MAIN ST. SUITE 100  
SANTA ANA, CA 92701  
TEL: 714.952.1000  
WWW.PLATINUMENGINEERING.COM  
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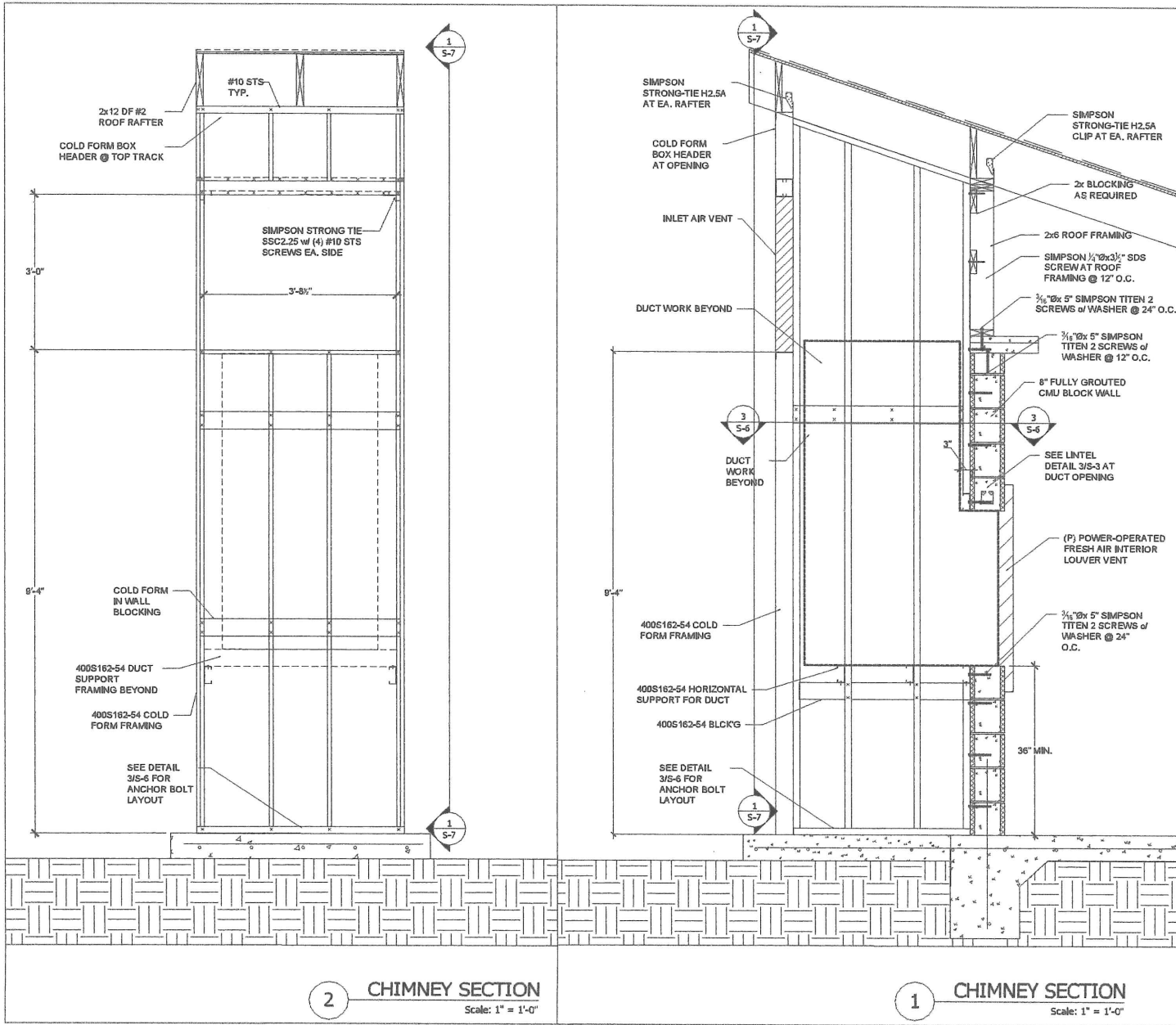


SHEET TITLE  
**ROOF FRAMING & DETAILS**

S-5	9
TOTAL:	18



PLANS PREPARED FOR		
<b>verizon</b>		
2785 MITCHEL DRIVE WALNUT CREEK, CA 94598		
PROJECT PROJECT		
63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93634		
STATUS		
11/9/20		
4/12/2021		
ISSUE		
NO.	DATE	DESCRIPTION
1	02/25/19	ISS. CD
2	11/08/19	ISS. CD
3	04/09/20	MOD. 4.15.20
PROJECT NO.: 2001-7031		
DRAWN BY: JPC		
CHECKED BY: S. RENEY		
APPROVED BY: K. RENEY		
SCALE:		
ENGINEER OF RECORD		
<b>PLATINUM</b> Engineering Solutions, Inc. <small>Commercial • Industrial • Residential • Process</small>		
<small>1000 N. HWY 111 SANTA ANA, CALIFORNIA 92701 TEL: (714) 834-8900 FAX: (714) 834-8909 WWW.PLATINUMENGINEERING.COM</small>		
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STAMP		
SHEET TITLE		
DETAILS		
SHEET		
S-6	10	TOTAL: 18



2 CHIMNEY SECTION  
Scale: 1" = 1'-0"

1 CHIMNEY SECTION  
Scale: 1" = 1'-0"

PLANS PREPARED FOR:



2785 MITCHELL  
DRIVE WALNUT  
CREEK, CA 94598

PROPOSED PROJECT:

63236 HUNTINGTON  
VISTA ROAD  
LAKESHORE, CA 93634

STATUS:

10/19/10  
4/16/11

ISSUE:

NO.	DATE	DESCRIPTION
1	01/25/11	ISSUE FOR PERMIT
2	11/05/11	ISSUE FOR PERMIT
3	04/16/12	ISSUE FOR PERMIT

PROJECT NO.: 2102-7034

DRAWN BY: PLS

CHECKED BY: A. HENRY

APPROVED BY: HANSEN

SCALE:

ENGINEER OF RECORD:



1000 N BERRY AVE  
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STAMP:



SHEET TITLE:

DETAILS

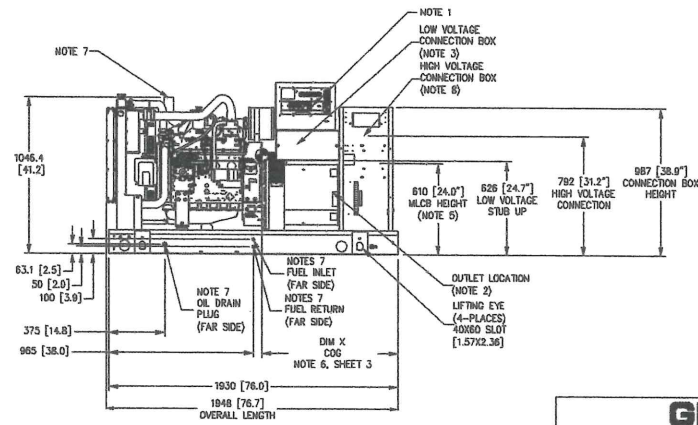
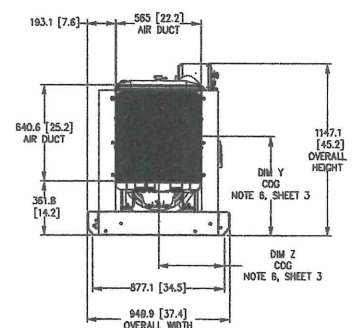
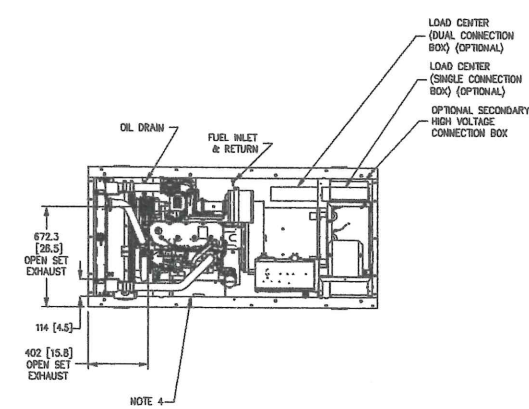
SHEET:

S-7 11  
TOTAL: 18

SH 1/3 REV E

- Notes:**
- CONTROL PANEL (OPTIONAL BATTERY CHARGER INSIDE).
  - 120V, 20A GFCI & 250V, 15A OUTLET (OPTIONAL).
  - CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN THE LOW VOLTAGE CONNECTION BOX (USE LOW VOLTAGE STUB-UP AREA).
  - BATTERY (12 VOLT NEGATIVE GROUND SYSTEM).
  - MAIN LINE CIRCUIT BREAKER (MLCB), AC LOAD LEADS. (DIMENSIONS MAY VARY DUE TO UNIT CONFIGURATION)
  - CENTER OF GRAVITY AND WEIGHT MAY CHANGE DUE TO UNIT OPTIONS.
  - ENGINE SERVICE CONNECTIONS:  
 INLET NATURAL GAS = N/A  
 INLET DIESEL = 1/2" NPT COUPLING  
 RETURN DIESEL = 1/2" NPT COUPLING  
 OIL DRAIN = 1/2" NPT COUPLING  
 RADIATOR DRAIN = N/A  
 FLEX PIPE OUTLET = 2.5" I.D.  
 EXHAUST OUTLET = N/A  
 \*\*\*\*\* SEE GENERATOR SIZING GUIDE FOR FUEL PIPE SIZING TO SUIT APPLICATION \*\*\*\*\*
  - AUXILIARY AC CONNECTION FOR UNIT OPTIONS ARE LOCATED IN HIGH VOLTAGE CONNECTION BOX, UNLESS AN OPTIONAL LOAD CENTER IS INSTALLED.
  - EXHAUST PIPES MAY BE ROTATED TO ALLOW MUFFLER TO POINT OUT TO THE RIGHT OR LEFT SIDE OF GENERATOR. (MAY NOT APPLY TO ALL UNITS)
  - GENERATOR SET MUST BE INSTALLED SUCH THAT FRESH COOLING AIR IS AVAILABLE AND DISCHARGE AIR FROM THE RADIATOR IS NOT RECIRCULATED.
  - BOTTOM OF GENERATOR SET MUST BE ENCLOSED TO PREVENT PEST INTRUSION AND RECIRCULATION OF DISCHARGE AIR AND/OR IMPROPER COOLING AIR FLOW.
  - INSTALL EXHAUST BLANKETS ALONG THIS LINE.
  - CONNECT THE OPEN SET EXHAUST PER NFPA 37
  - BOLTS OR STUDS USED TO MOUNT UNIT TO PAD, OR BASE TANK, SHALL BE 3/8"-11 GRADE 5. USE STANDARD SAE TORQUE SPECS. (FOR INSTALLATION OF FUEL TANK TO PAD REFER TO INSTALL DRAWING OF THE BASE TANK)
- ADDITIONAL NOTES:**

FOR WEIGHT AND CENTER OF GRAVITY DATA SEE NOTE 6, AND SHEET 3.



DRAWING CREATED FROM PRO/ENGINEER 3D FILE. ECO MODIFICATION TO BE APPLIED TO SOLID MODEL ONLY.

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ELECTRICALLY APPROVED INSIDE WINDOW

TITLE  
 OPEN SET  
 D3.4L 60HZ: SD035, PD032  
 SD040, PD036, SD045, PD041  
 SD050, PD045

ISSUE DATE: 04/05/2016

SIZE	CAGE NO	DWG NO	REV
B	N/A	0J7717	F

SCALE: 0.035 WT-KG SHEET 1 of 3

PLANS PREPARED FOR:

**verizon**

2785 MITCHEL DRIVE WALNUT CREEK, CA 94598

PROPOSED PROJECT:

63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93634

STATUS:

91% CD  
 4/27/2016

DATE	DESCRIPTION
09/28/14	ISSUE 01
11/28/14	ISSUE 02
04/15/16	ISSUE 03

PROJECT NO.: 2000-7004  
 DRAWN BY: JED  
 CHECKED BY: J. HUNTER  
 APPROVED BY: K. SMITH  
 SCALE:

ENGINEER OF RECORD:

**PLATINUM**  
 Engineering Solutions, Inc.  
 10000 Industrial Boulevard, Suite 100, Walnut Creek, CA 94598  
 916.938.1000  
 www.platinumeng.com

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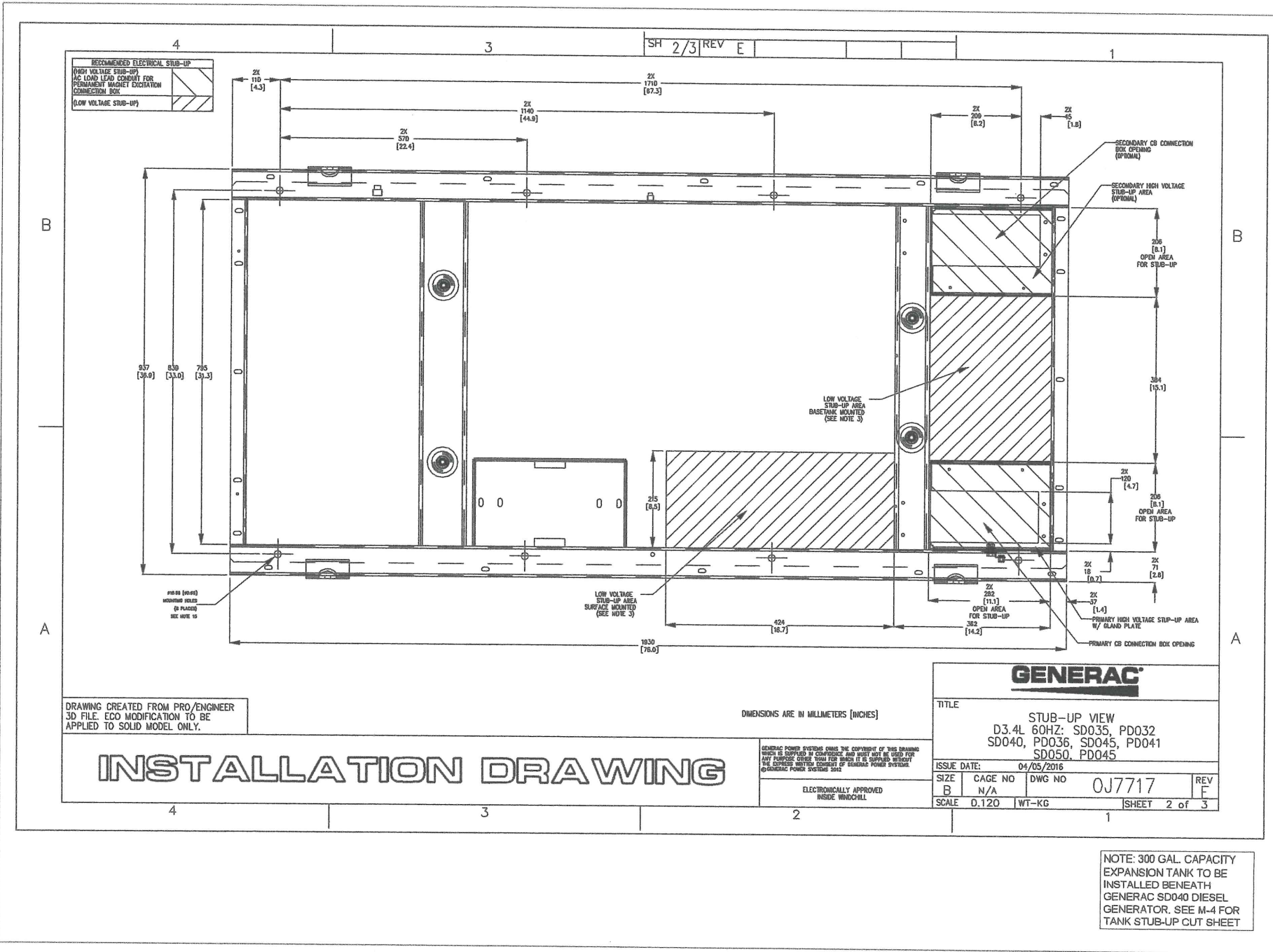
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STAMP:

SHEET TITLE:  
 GENERATOR INSTALLATION SHEET

SHEET:

M-1	12
TOTAL:	18



PLANS PREPARED FOR

**verizon**

2785 MITCHELL DRIVE WALNUT CREEK, CA 94598

PROPOSED PROJECT

63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93634

STATUS

92 00 CD  
 4/12/2019

ISSUE

DATE	DESCRIPTION
04/20/19	ISSUE 02
11/06/19	ISSUE 03
04/15/20	ISSUE 04/20

PROJECT NO: 200-758  
 DRAWING: 410  
 CHECKED BY: R. WELSH  
 APPROVED BY: S. SALDI  
 SCALE:

ENGINEER OF RECORD  
**PLATINUM**  
 Engineering Solutions, Inc.  
 Generalist Industrial Residential Tower

10100 100th Ave, Suite 200, Richmond, VA 23134  
 Tel: 804-781-1010  
 www.platinumeng.com

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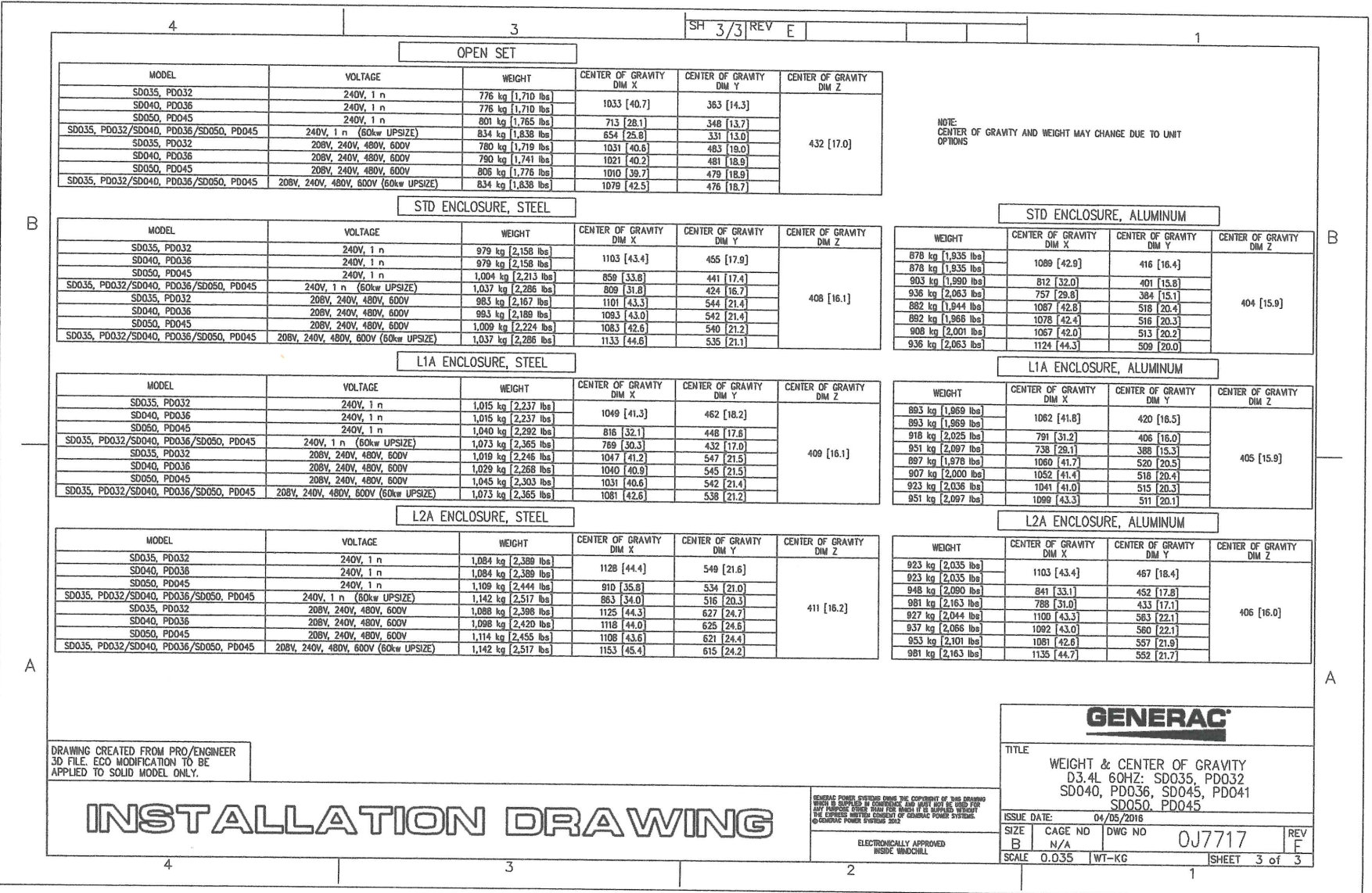
STAMP

SHEET TITLE

GENERATOR STUB-VIEW

M-2

13  
 TOTAL: 18



PLANNED PROJECT

**verizon**

2785 MITCHELL DRIVE WALNUT CREEK, CA 94598

63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93634

STATUS

12/03/12

ISSUE

MARK	DATE	DESCRIPTION
Δ	05/01/12	ISSUE 01
Δ	11/08/12	ISSUE 02
Δ	04/16/13	ISSUE 03

PROJECT NO: 2010-1024

DRAWN BY: JHO

CHECKED BY: S. HOGAN

APPROVED BY: S. HOGAN

SCALE:

REVISION OF RECORD


**PLATINUM**  
Engineering Solutions, Inc.  
Commercial Industrial Residential Tower

WWW.PLATINUM-ES.COM  
11000 N. CENTRAL  
PHOENIX, AZ 85028  
602.998.0000

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STAMP

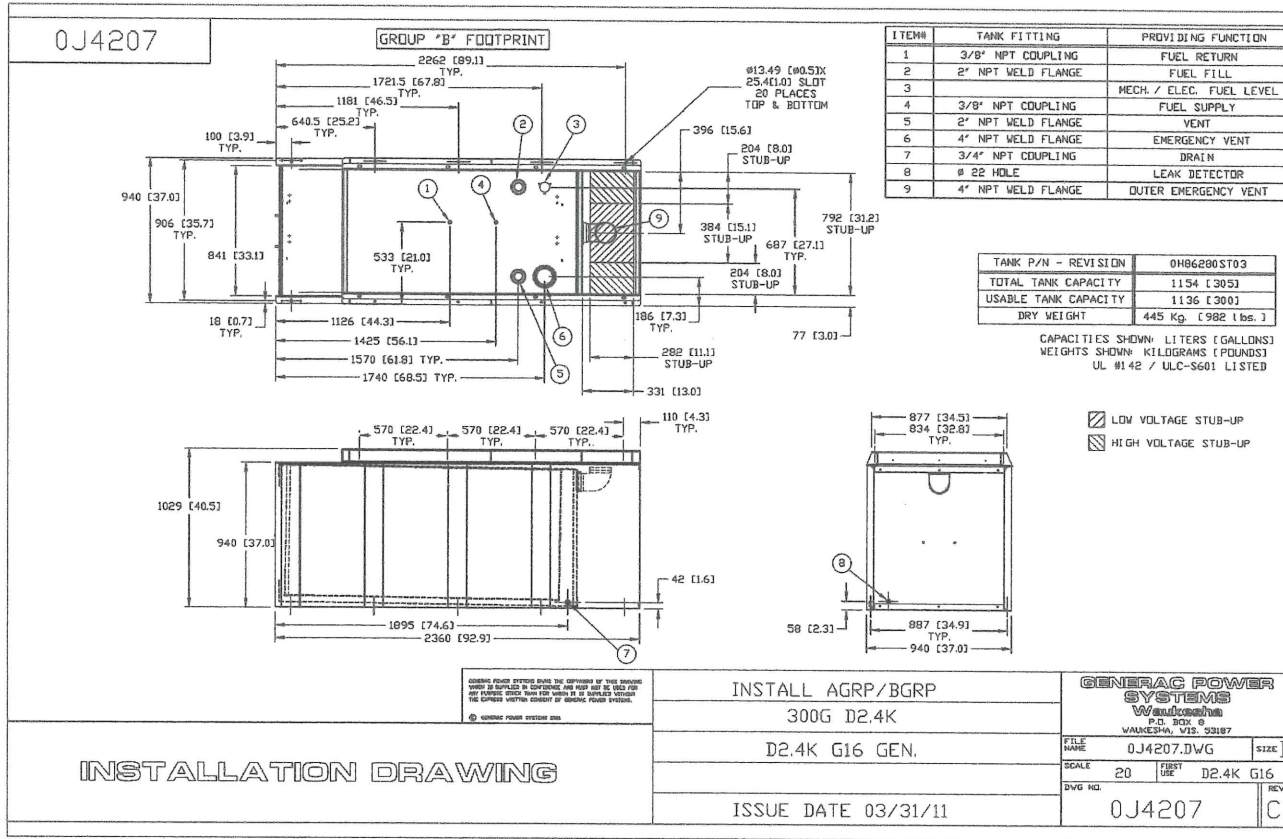


SHEET TITLE

GENERATOR MFR. DATA SHEETS

SHEET

M-3	14
TOTAL:	16



**NOTE: ANCHOR BOLT SPEC:  
HILTI KWIK-BOLTZ TZ-CS 1/2", 2.375"**

**RUSKIN Sound Control**

RECTANGULAR DISSIPATIVE SILENCER  
MODEL AAMDM

3000 D. Graves Rd., Kansas City, MO 64129 • Phone (816) 781-4747 • FAX (816) 783-0887 • Email: info@ruskin.com • Website: ruskin.com

MODEL DESIGNATION: Length x Width x Height  
AAMDM 36"R/24"R/30"R (Inches) x (Inches) x (Inches)

CONSTRUCTION STANDARDS  
22 gauge galvanized metal casing, internal baffles constructed of 22 gauge galvanized perforated metal and filled with longspan glass fiber acoustic material. Glass fiber packed under 95% compression to increase voids due to settling. Silencers capable of withstanding a differential air pressure of 2" w.g. Static pressure drop values have been determined in accordance with ASTM E-5477 testing standards.

Perforated metal material exhibits the following fire hazard classification values when tested in accordance with standard ASTM E84, NFPA 285, or UL-793 test methods:

FLAME SPREAD	20
SMOKE DEVELOPED	20

STANDARD MODEL LENGTHS: 3' - 8' - 10'

DYNAMIC INSERTION LOSS dB

Model	Rated Velocity FPM	Forward/Reverse	OCTAVE BAND CENTER FREQUENCY (Hz)							
			1	2	3	4	5	6	7	8
			63	125	250	500	1000	2000	4000	8000

SCHEDULE

Model	Qty	Model Length	Width	Height	CFM	SP	FPM	Schedule					
								City	W	H	I		

VARIA TIONS: ① 1" R-Range only ② 1 1/2" Range both ways ③ Range both ways ④ Straight duct only ⑤ Straight duct with ⑥ 90 degree elbow ⑦ 90 degree elbow with ⑧ 45 degree elbow ⑨ 45 degree elbow with ⑩ 90 degree elbow ⑪ 90 degree elbow with ⑫ 45 degree elbow ⑬ 45 degree elbow with ⑭ 90 degree elbow ⑮ 90 degree elbow with ⑯ 45 degree elbow ⑰ 45 degree elbow with ⑱ 90 degree elbow ⑲ 90 degree elbow with ⑳ 45 degree elbow ㉑ 45 degree elbow with ㉒ 90 degree elbow ㉓ 90 degree elbow with ㉔ 45 degree elbow ㉕ 45 degree elbow with ㉖ 90 degree elbow ㉗ 90 degree elbow with ㉘ 45 degree elbow ㉙ 45 degree elbow with ㉚ 90 degree elbow ㉛ 90 degree elbow with ㉜ 45 degree elbow ㉝ 45 degree elbow with ㉞ 90 degree elbow ㉟ 90 degree elbow with ㊱ 45 degree elbow ㊲ 45 degree elbow with ㊳ 90 degree elbow ㊴ 90 degree elbow with ㊵ 45 degree elbow ㊶ 45 degree elbow with ㊷ 90 degree elbow ㊸ 90 degree elbow with ㊹ 45 degree elbow ㊺ 45 degree elbow with ㊻ 90 degree elbow ㊼ 90 degree elbow with ㊽ 45 degree elbow ㊾ 45 degree elbow with ㊿ 90 degree elbow

**RUSKIN Sound Control**

SoundChek  
RECTANGULAR DISSIPATIVE SILENCER  
MODEL A

3000 D. Graves Rd., Kansas City, MO 64129 • Phone (816) 781-4747 • FAX (816) 783-0887 • Email: info@ruskin.com • Website: ruskin.com

NET INSERTION LOSS RATINGS (SEE NOTES 1, 2 AND 3)

MODEL A	FACE VELOCITY (FPM)	STATIC PRESSURE LOSS (INCHES W.G.)	OCTAVE BAND NUMBER & CENTER FREQ. (Hz)							
			63	125	250	500	1000	2000	4000	8000
A-36	-2000	0.86	5	11	21	37	57	79	14	10
A-40	-2000	1.13	6	17	28	43	61	81	27	18
A-48	-2000	1.52	8	24	40	61	81	101	37	24
A-72	-2000	2.37	12	37	61	96	136	181	61	40

**RUSKIN Sound Control**

SoundChek  
RECTANGULAR DISSIPATIVE SILENCER  
MODEL A

3000 D. Graves Rd., Kansas City, MO 64129 • Phone (816) 781-4747 • FAX (816) 783-0887 • Email: info@ruskin.com • Website: ruskin.com

AMP-LINE-CORRECTED SOUND POWER LEVELS (See Note 3)

MODEL A	FACE VELOCITY (FPM)	OCTAVE BAND NUMBER & CENTER FREQ. (Hz)								
		1	2	3	4	5	6	7	8	
A-36	-2000	101	107	114	121	128	135	142	149	156
A-40	-2000	107	114	121	128	135	142	149	156	163
A-48	-2000	114	121	128	135	142	149	156	163	170
A-72	-2000	128	135	142	149	156	163	170	177	184

FACE AREA ADJUSTMENT FACTORS

Face Area (sq. Ft.)	0.5	1	2	4	8	16	32	64	128	256	512
Adjustment Factor (dB)	-0	-1	-2	-3	-4	-5	-6	-7	-8	-9	-10

TRAIN PREPARED FOR

**verizon**

2785 MITCHELL DRIVE WALNUT CREEK, CA 94598

PROJECT

63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93643

STATUS

67% CD  
4/27/11

ISSUE

MARK	DATE	DESCRIPTION
Δ	03/28/11	ISSUE
Δ	11/05/10	ISSUE
Δ	04/15/10	ISSUE

PROJECT NO.: 2009-7094  
DRAWN BY: RJD  
CHECKED BY: D. HENNER  
APPROVED BY: HENNER  
SCALE:

ENGINEER OF RECORD

**PLATINUM**  
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www.platinumeng.com

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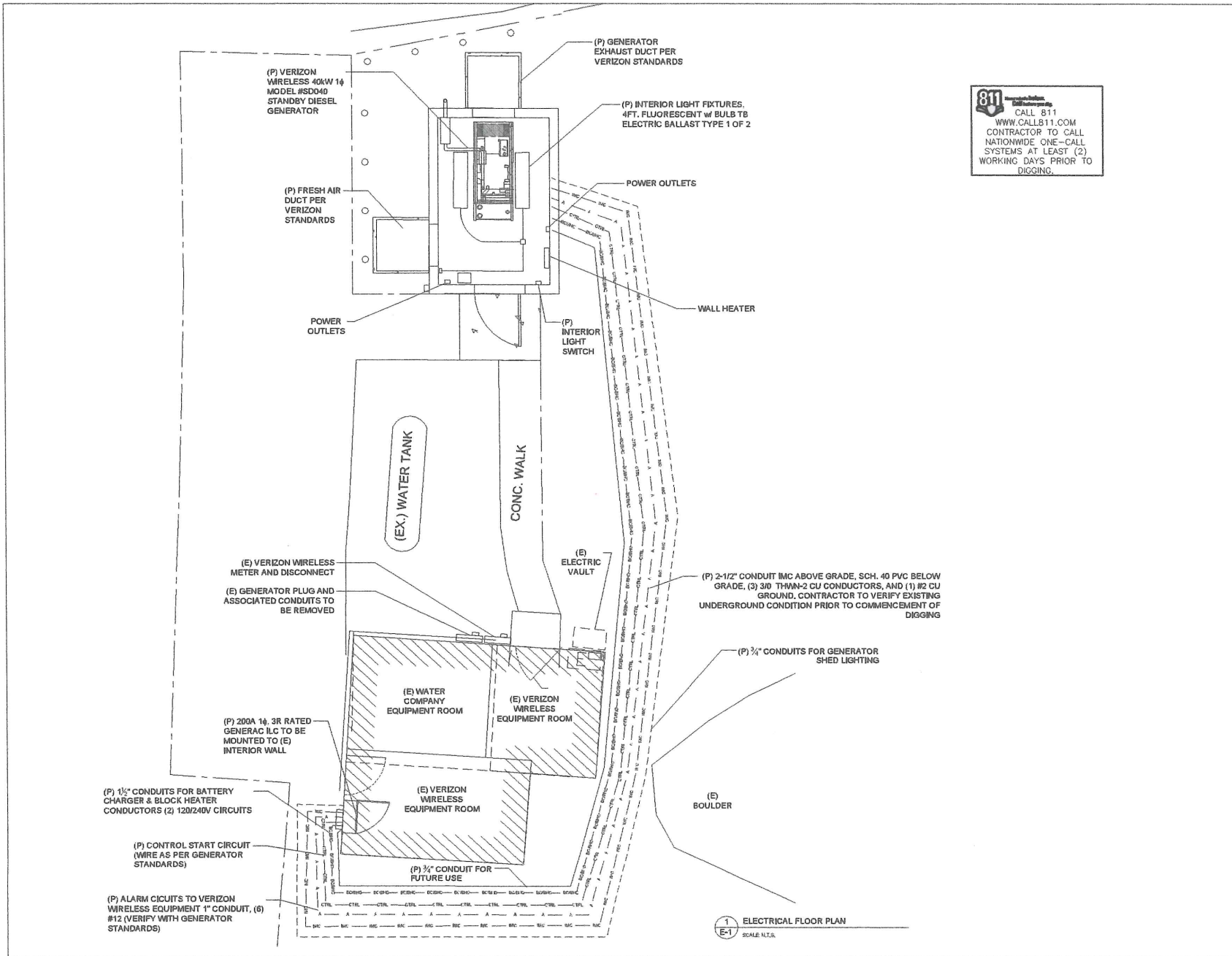
SHED TITLE

GEN. TANK EXPAND & DUCT SILENCER CUT SHEET

REVISION

M-4

15  
TOTAL: 18



**811** California Statewide  
 CALL 811  
 WWW.CALL811.COM  
 CONTRACTOR TO CALL  
 NATIONWIDE ONE-CALL  
 SYSTEMS AT LEAST (2)  
 WORKING DAYS PRIOR TO  
 DIGGING.

PLAN RELEASED FOR

**verizon**  
 2785 MITCHEL  
 DRIVE WALNUT  
 CREEK, CA 94598

PROPOSED PROJECT

63236 HUNTINGTON  
 VISTA ROAD  
 LAKESHORE, CA 93634

STATUS

9/9 CD  
 4/2/2022

ISSUE

NO.	DATE	DESCRIPTION
1	09/09/19	ISS CD
2	11/05/19	ISS CD
3	01/16/20	ISS CD

PROJECT NO.: 0001-7024

DRAWN BY: PHS

CHECKED BY: S. HOFF

APPROVED BY: ALPHEA

SCALE:

ENGINEER OF RECORD



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 FOLSOM, CA 95630  
 TEL: 916-939-8888  
 WWW.PLATINUMENGINEERING.COM

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STAMP



SHEET TITLE

ELECTRICAL  
 FLOOR PLAN

SHEET

E-1	16
TOTAL:	18



DESCRIPTION	VA OR W		BREAKER POLE AMP	CKT NO	L1		L2		E BREAKER POLE AMP	VA OR W		DESCRIPTION
	L1	L2			NO	NO	L1	L2				
TVSS			2 30	3					4 2 30			BTS 1
BTS 2	1000		2 10	5					6 2 30	130		SHAKE BREAK
NEW RCM RECEPTACLES			2 60	7					8 2 30	130		NEW RCM LIGHTS
NEW RCM RECEPTACLES			2 30	8					10 2 30	130		NEW RCM LIGHTS
				11					12 2 30	130		GEN BHED LIGHTS
				13					14 2 20	1000		BLCK HEATER
				15					16 2 20	130		BATTERY CHARGER
				17								
				19					20			
				21					22			
				23					24			
				25					26			
				27					28			
				29					30			
				31					32			
				33					34			
				35					36			
				37					38			
				39					40			
				41					42			
SUB TOTAL CONNECTED	1130	130							2340	300		SUB TOTAL CONNECTED
TOTAL CONNECTED			3,840								18	

- AWG AMERICAN WIRE GAUGE
  - BCW BARE COPPER WIRE
  - DWG DRAWING
  - EMT ELECTRIC METALLIC TUBING
  - GND GROUND
  - IMC INTERMEDIATE METALLIC CONDUIT
  - MGB MASTER GROUND BAR
  - PVC RIGID POLYVINYL CHLORIDE CONDUIT (SCH. 40)
  - RGS RIGID GALVANIZED STEEL
- 
- OHV OVERHEAD TELEPHONE/POWER
  - T UNDERGROUND TELEPHONE/POWER
  - G GROUNDING CONDUCTOR
  - C CONDUIT UNDERGROUND

- FUSE
- CIRCUIT BREAKER
- GROUND WIRE
- TRANSFORMER (AIR CORE)
- METER
- DISCONNECT SWITCH
- CHEMICAL GROUND ROD
- GROUND ROD
- TEST WELL GROUND ROD
- COMPRESSION TYPE CONNECTION
- CADWELDED TYPE CONNECTION

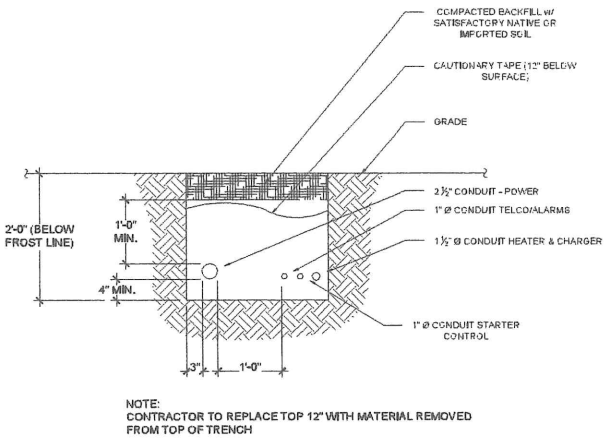
- NOTES:**
- RUN TELCO CONDUITS BETWEEN TELEPHONE UTILITY DEMARCATION POINT AND VERIZON WIRELESS CELL SITE TELCO SERVICE CABINETS AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPES AND TRUE TAPE IN INSTALLED CONDUITS.
  - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL EXACT WORKMATERIALS REQUIRED AND CONSTRUCT TO UTILITY COMPANY PLAN AND SPECIFICATIONS ONLY.
  - CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, PULL ROPES, CABLE PULL BOXES, CONC. ENCASEMENT OF CONDUITS (IF REQUIRED), TRANSFORMER PAD (IF REQUIRED), BARRIERS, POLE RISERS, TRENCHING, BACKFILL, AND INCLUDE ANY UTILITY COMPANY REQUIREMENTS IN SCOPE OF WORK.
  - ALL ELECTRICAL WORK SHALL CONFORM TO REQUIREMENTS SET FORTH IN THE EDITION OF THE ACCEPTED NATIONAL ELECTRIC CODE (NEC) BY LOCAL JURISDICTION AS WELL AS APPLICABLE STATE AND LOCAL CODES.
  - ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS
  - ALL CONDUIT TO BE SCHEDULE 40 PVC BELOW GRADE, IMC ABOVE GRADE, EMT ACCEPTABLE INDOORS
  - ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWING AND SPECS. INCLUDING INCIDENTAL WORK, TO PROVIDE COMPLETE, OPERATION AND APPROVED ELECTRICAL SYSTEM.
  - CONTRACTOR SHALL PAY ALL FEES FOR PERMITTING, AND BE RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
  - CONDUITS ROUTINGS ARE SCHEMATIC. SUBCONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED. ALL CONDUITS SHALL BE RATED 75°C.
  - CONNECTIONS TO GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED, BACK TO BACK CONNECTIONS ON OPPOSITE SIDES OF THE GROUND BUS ARE PERMITTED.
  - PROVIDE 2 PULL STRINGS SECURELY FASTENED AT EACH END OF ALL CONDUITS. PULL STRINGS ARE TO BE 200 LB. TEST POLYETHYLENE CORD. PROVIDE CAP ON THE END OF EACH CONDUIT AND MARK AS SHOWN ON THE ENLARGED SITE PLAN.
  - TOP OF THE UTILITY METER GROUND ROD SHALL BE 6" ABOVE SUB-GRADE OR PER LOCAL JURISDICTION REQUIREMENTS.
  - ALL CONDUCTORS SHALL BE COPPER TYPE THWN OR THHN INSULATION, UN.

NOTE:  
 (E) LOADS HAVE NOT BEEN FIELD VERIFIED THEY ARE APPROXIMATE BASED ON (E) CIRCUIT BREAKER SIZES. IF AT THE TIME OF CONSTRUCTION THE CONTRACTOR FINDS LOADS TO DIFFER FROM THAT WHICH IS SHOWN ON PLANS HE/SHE SHALL NOTIFY THE ENGINEER.

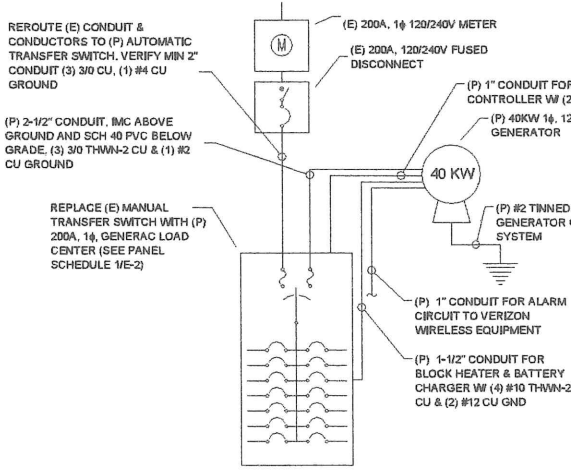
**1 VERIZON PANEL SCHEDULE**  
 SCALE: NTS

**2 ABBREVIATIONS & LEGEND**  
 SCALE: NTS

**3 ELECTRICAL GENERAL NOTES**  
 SCALE: NTS



**4 TRENCH DETAIL**  
 SCALE: 1" = 1'-0"



**5 SINGLE LINE DIAGRAM**  
 SCALE: NTS

- NOTES:**
- SUBCONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY BEFORE START OF CONSTRUCTION.
  - FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT REFER TO DRAWINGS PROVIDED BY PANEL MANUFACTURER.
  - ALL SERVICE EQUIPMENT AND INSTALLATIONS SHALL COMPLY WITH THE N.E.C., UTILITY COMPANY AND LOCAL CODE REQUIREMENTS.
  - SUBCONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE EQUIPMENT WITH FAULT CURRENT RATINGS GREATER THAN AVAILABLE FAULT CURRENT FROM THE POWER UTILITY.
  - POWER, CONTROL, AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE CONDUCTOR (#14 AWG AND LARGER), 600V, OIL RESISTANT THWN-2 CLASS-B STRANDED COPPER CABLE RATED FOR 90° (WET AND DRY) OPERATION; LISTED OR LABELED FOR LOCATION AND RACEWAY SYSTEM USED.
  - CONTRACTOR TO VERIFY COMPATIBILITY OF NEW INSTALLED ELECTRICAL EQUIPMENT WITHIN (E) ELECTRICAL SYSTEM

PLANS PREPARED FOR

**verizon**

2785 MITCHELL DRIVE W WALNUT CREEK, CA 94598

PROJECT NO. 63236 HUNTINGTON VISTA ROAD LAKESHORE, CA 93634

STATUS

DATE

ISSUE

DATE

DESCRIPTION

DATE

DESCRIPTION

DATE

DESCRIPTION

PROJECT NO.: 63236-7031

DRAWN BY: [Signature]

CHECKED BY: [Signature]

APPROVED BY: [Signature]

SCALE:

ENGINEER OF RECORD

**PLATINUM Engineering Solutions, Inc.**  
 10000 15th Street  
 Suite 100  
 San Francisco, CA 94903  
 415.778.8888  
 www.platinumeng.com

PLATINUM ENGINEERING SOLUTIONS, INC. EXPRESSLY DISCLAIMS ITS COMMON KNOWLEDGE AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR CIRCULATED IN ANY FORM OR MANNER WHATSOEVER WITHOUT THE WRITTEN CONSENT OF A REPRESENTATIVE OF PLATINUM ENGINEERING SOLUTIONS, INC.

IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE USER SHALL HOLD PLATINUM ENGINEERING SOLUTIONS, INC. HARMLESS AND SHALL BEAR THE FULL RESPONSIBILITY OF PLATINUM ENGINEERING SOLUTIONS, INC.

STAMP

**ELECTRICAL DETAILS**

SHEET

17

E-2

TOTAL: 18

PLANS PREPARED FOR



2785 MITCHEL  
DRIVE WALNUT  
CREEK, CA 94598

PROPOSED PROJECT

63236 HUNTINGTON  
VISTA ROAD  
LAKESHORE, CA 93634

STATUS

10/19/20

4/12/21

ISSUE

NO.	DATE	DESCRIPTION
1	10/29/20	ISSUE
2	11/05/20	ISSUE
3	01/16/21	ISSUE

PROJECT NO.: 3088-1021

DESIGN BY: JPS

CHECKED BY: S. HERR

APPROVED BY: [Signature]

SCALE:

ENGINEER OF RECORD



1800 N. BAY 14  
SANTA ANA, CALIFORNIA 92705  
TEL: 949.433.8200  
WWW.PLATINUMENGINEERING.COM

PLATINUM ENGINEERING SOLUTIONS, INC. EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR USED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF PLATINUM ENGINEERING SOLUTIONS, INC. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE USER SHALL HOLD PLATINUM ENGINEERING SOLUTIONS, INC. HARMLESS AND SHALL BEAR THE FULL AND SOLE RESPONSIBILITY OF PLATINUM ENGINEERING SOLUTIONS, INC. EPPS.

STAMP



SHEET TITLE

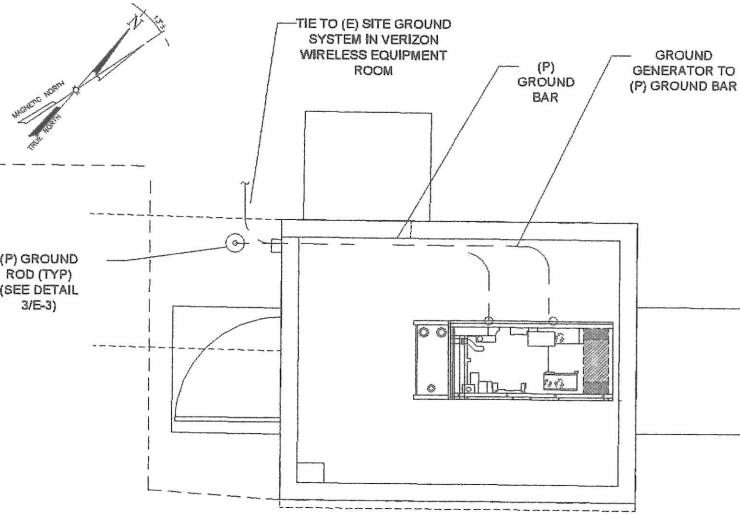
GROUNDING  
DETAIL

SHEET

E-3	18
TOTAL:	18

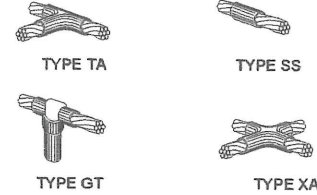
GROUNDING NOTES:

- GROUNDING SHALL COMPLY WITH CEC ART. 250
  - CONTRACTOR SHALL USE #2 STRANDED COPPER CONDUCTOR WITH GREEN INSULATION FOR ALL ABOVE GROUND GROUNDING (UGM) AND #2 SOLID TINNED BARE COPPER CONDUCTOR FOR ALL BELOW-GROUND GROUNDINGS AS INDICATED ON THE GROUNDING DESIGN DRAWINGS.
  - ALL GROUND CONNECTIONS TO BE BURIED LONG BARREL COMPRESSION TYPE CONNECTORS OR APPROVED EQUAL CADWELD EXOTHERMIC WELD CONNECTIONS SHALL BE USED WHEN MAIN CONDUCTOR ADJOINS TWO BUSS BARS. UOM. DO NOT ALLOW BARE COPPER CONDUCTORS TO BE IN CONTACT WITH GALVANIZED STEEL.
  - ROUTE GROUNDING CONDUCTORS ALONG SHORTEST AND STRAIGHTEST PATH POSSIBLE EXCEPT AS NOTED OTHERWISE GROUND CONDUCTORS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS ALLOW A MINIMUM 12" RADIUS BENDS FOR #2 CONDUCTOR AND A MINIMUM OF 6" RADIUS BENDS FOR #6 CONDUCTOR.
  - BOND ANY METAL OBJECTS WITHIN 7 FEET OF NEW METALLIC EQUIPMENT CABINETS FOR GREATER THAN 6 FEET. GROUND METAL OBJECTS WITH DEDICATED DOWN CONDUCTOR ROUTED DIRECTLY TO GROUNDING (DAISY CHAIN SERIES GROUNDING IS NOT PERMITTED).
  - SYSTEM GROUND RESISTANCE MUST BE 5 OHMS OR LESS TO ACHIEVE THIS LEVEL OF RESISTANCE CONTRACTOR SHALL PURSUE ONE OF THE FOLLOWING OPTIONS:
    - CONNECT TO AN (E) SITE SYSTEM
    - CONNECT TO (E) STEEL BUILDING COLUMNS
    - INSTALL A NEW GROUND SYSTEM OR
    - INSTALL NEW XIT GROUND ROD(S)
- UPON COMPLETION OF GROUNDING INSTALLATION CONTRACTOR SHALL EMPLOY AN OWNER APPROVED THIRD PARTY (PAID BY OWNER) TO PREPARE A FALL OF POTENTIAL TEST AND SUBMIT A REPORT OF SUCH TEST FOR APPROVAL BY OWNER.
- CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO-HOLE LONG BARREL COMPRESSION TYPE COPPER LUGS AND KORP-SHIELD PLACED BETWEEN LUGS AND GROUND BAR.
  - GROUNDING RODS SHALL BE 5/8"x10' LONG COPPER CLAD STEEL SPACED AT 10' O.C., APART MAX RODS SHALL BE INTERCONNECTED WITH #2 SOLID TINNED BCW BURIED A MIN. OF 18" BELOW GRADE. AN ONSITE INSPECTION BY OWNER IS REQUIRED PRIOR TO BACKFILL.
  - ALL UNDERGROUND ELECTRODES SHALL BE BONDED TO EMBEDDED STEEL REINFORCING IN CONCRETE SLAB AND MONOPOLE FOUNDATION (IF APPLICABLE).
  - CONTRACTOR SHALL SEAL ALL LOCATIONS WITH ELECTRICAL TAPE AND BUTYL SEALANT TO WEATHERPROOF GROUND KITS. MORE SEALANT MAY BE REQUIRED THAN WHAT IS FURNISH WITH MANUFACTURERS KITS. CONTRACTOR TO FURNISH AS REQUIRED.
  - CONTRACTOR SHALL COVER EXPOSED BCW CONDUCTOR WITH FLEX TUBING. SEAL OPEN END WITH SILICONE SEALANT AND FASTEN TUBING TO PIPE SUPPORTS OR COLUMNS W/ STAND-OFFS AND TY WRAPS AS REQUIRED.



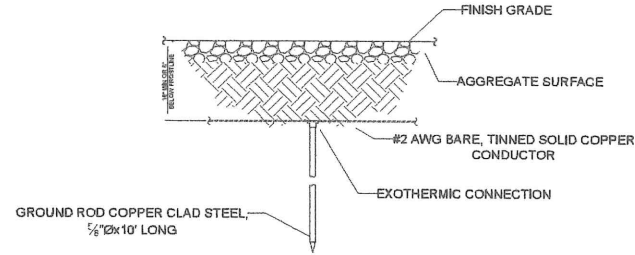
- LEGEND**
- GROUND ROD
  - TEST WELL GROUND ROD
  - CADWELD TYPE CONNECTION

1  
E-3  
SCALE: N.T.S.  
**ELECTRICAL & GROUNDING PLAN**



2  
E-3  
SCALE: N.T.S.  
**TYPICAL CADWELD DETAILS**

**NOTE:**  
CADWELD "TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC TYPES OF CADWELDS TO BE USED FOR THIS PROJECT



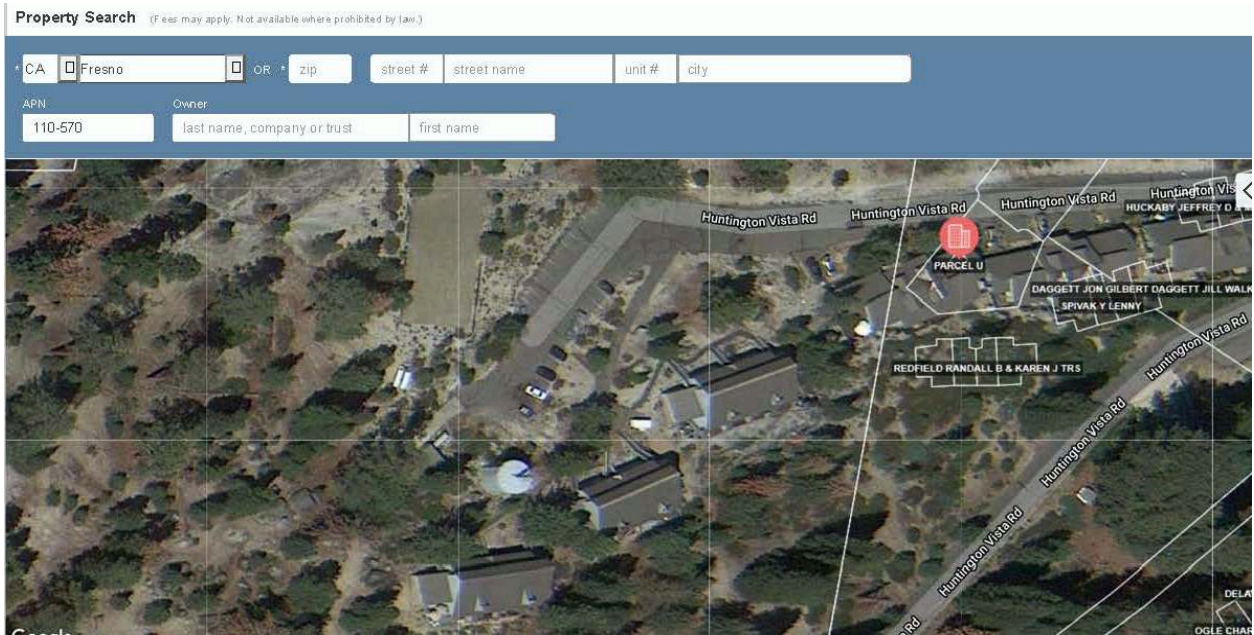
3  
E-3  
SCALE: N.T.S.  
**GROUND ROD DETAIL**

## PROJECT DESCRIPTION/OPERATIONAL STATEMENT

### VERIZON WIRELESS HUNTINGTON LAKE SITE

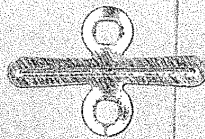
Verizon Wireless proposes to add a backup generator to this existing cell site to maintain mobile coverage during electrical outages. This is important to the area, which is regularly impacted by heavy snowfall. Specifics of the generator are described on the attached site plan drawings.

#### Location of the property



**Proposed location of generator on the property**





PERMIT TRACKING SYSTEM

(C.U.P. - Variance - Amendment Application)

1/4 mu

Type of Permit (018), 019, 020

Permit Number CW 2861

APN 110-570-

(USED 110-251-015 TO ACCESS OUTLOT "0")

OUTLOT "0"

	Date Month/Day/Year	Entered
Initial Acceptance	<u>3-18-98</u>	_____
Final Acceptance	_____	_____
Environmental Referral	_____	_____
Final Envir. Clearance	_____	_____
All Comments Returned	_____	_____
Applicant to Return Comments	_____	_____
P.C. Hearing	<u>5/21/98</u> <u>6/23/98</u>	_____
Board Hearing	_____	_____
Final Action	<u>6/23/98</u>	_____

	Codes	Entered
Environmental Status	N, C, E <u>(A)</u>	_____
Project Status	DP, D, <u>(A)</u>	_____
Appeal Status	A	_____

Requested Zone \_\_\_\_\_ (Use for A.A.'s only)

Application Review Date \_\_\_\_\_

PT 8-6-98 julia

T APN(s)

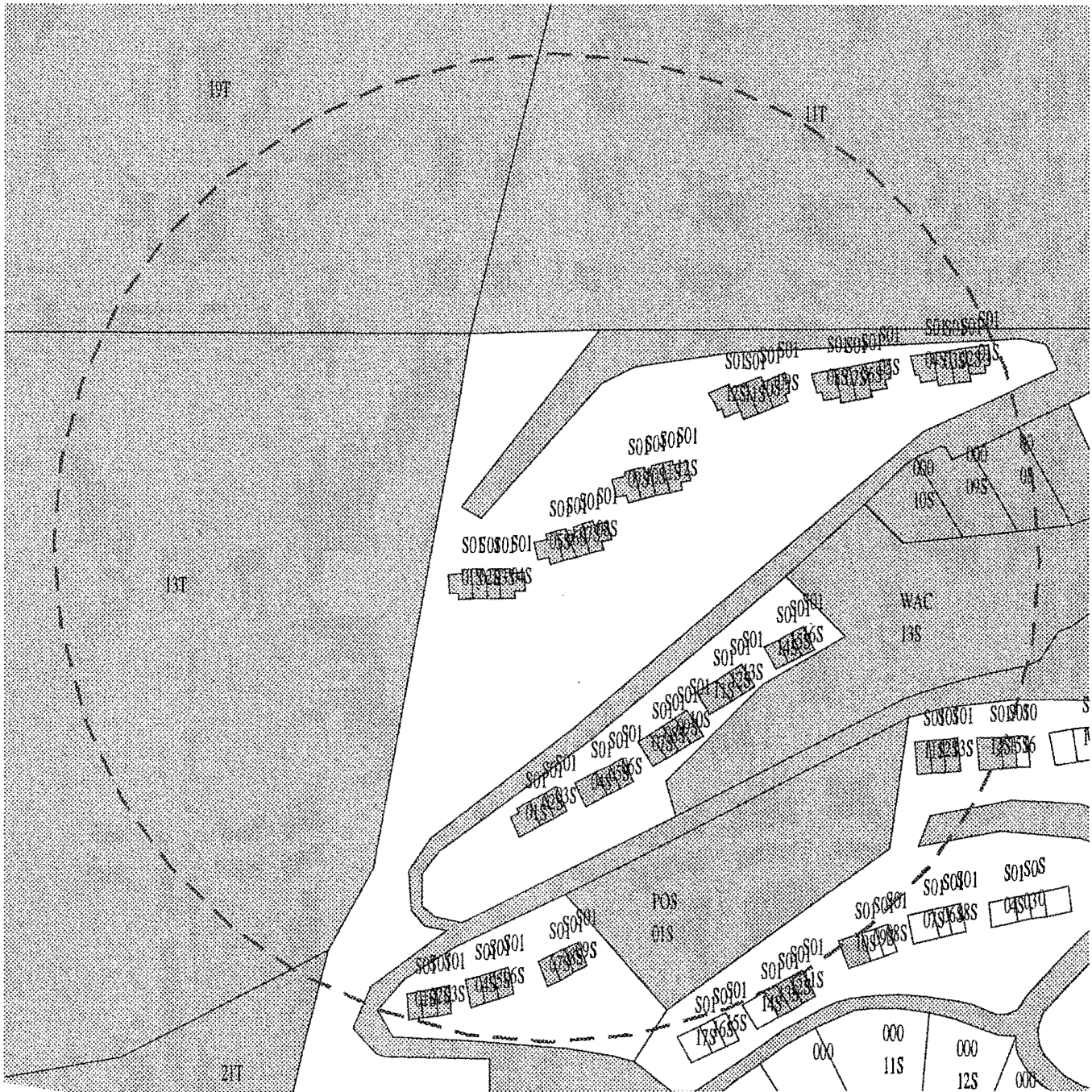
055

CU2861

(7)

Mailing Radius  
600 feet

64  
351  
67 total



\*#####\*  
\*#####\*  
\*#####\*  
\*#####\*

\*\*\*\*\*  
\*\*\*\*\*

TITLE: arcnsp  
TIME PRINTED: Mon Apr 27 16:09:31 1998  
TIME QUEUED: Mon Apr 27 16:09:30 1998  
PRINTED AT: p1@tok0-10005A10CC9A (hplj-4) @ pw52  
SUBMITTED BY: hmm7351@pw52  
DELIVER TO: =====> hmm7351@pw52 <=====

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\*\*\*\*\*

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\*\*\*\*\*

CU2861  
CU2861  
CU2861  
CU2861

CU2861

BBAT INVESTMENTS  
% D D G  
600 W SHAW #300  
FRESNO CA 93704

11029104S

BECK DOROTHY ANNE  
1604 DIVISADERO ST  
FRESNO CA 93721

11058006S

BONNER ELIZABETH B TRUSTEE  
565 E MALLARD CIR  
FRESNO CA 93720

11057005S

BYFIELD JOHN & GUNILLA  
12460 CATTLE KING  
BAKERSFIELD CA 93306

11028105S

CARTER WILLIAM D & AZALEA M  
1112 N RIVERVIEW AVE  
REEDLEY CA 93654

11057002S

CATALINA LARRY PETER & DOLORES M TRS  
228 N MAIN  
PORTERVILLE CA 93257

11058008S

COLLEGE CENTER ASSOCIATES  
P O BOX 2387  
BAKERSFIELD CA 93303

11057003S

COVER CAROL M  
586 VAN BUREN  
LOS ALTOS CA 94022

11028102S



D & H FARMS INC P O BOX 1260 HURON CA 93234	11033013S
DELIS PETER L & DAVIDA L 6015 REXROTH BAKERSFIELD CA 93306	11057008S
DINGLE CHARLES A & DORIS R 2522 W SAN JOSE FRESNO CA 93711	11029110S
DUNCAN JANE V TRUSTEE 7564 N VALENTINE FRESNO CA 93711	11028106S
DURBIN D GREG & JEANNE W 5897 E RANCHO DR FRESNO CA 93727	11057011S
DWYER ROBERT J & MARILYN G 655 E TEAL CIRCLE FRESNO CA 93720	11026112S
EGGEBRAATEN RAYMOND LEROY & DIANE S TRS- 7328 N TAMERA AVE FRESNO CA 93711	11059110S
EICHLER JOHN L & KATHLEEN ANNE TRS 295 SANTA MARIA AVE SAN LUIS OBISPO CA 93405	11029113S
ELLIS RONALD JORDAN & DIANE DUDLEY 1910 BARDALE SAN PEDRO CA 90731	11029105S
ELLSWORTH RICHARD K & SUSAN A 564 PHILAN LEMOORE CA 93245	11033012S

FARMER HOLLY P  
 62952 HUNTINGTON VISTA RD  
 #44 11029112S  
 HUNTINGTON LAKE CA 93634

FISHBACK ROBERT G & BONNIE M TRS -  
 1206 SOL ROAD  
 VISALIA CA 93291 11026110S

FOURCHY ANDRE L & ALYCE TRUSTEES -  
 1379 W ELLERY  
 FRESNO CA 93711 11028107S

FOURCHY CRAIG F & KATE C  
 4928 E CLINTON #203  
 FRESNO CA 93727 11028108S

FRICE GENE M & MARGARET A  
 5008 CABALLEROS AVE  
 SAN LUIS OBISPO CA 93401 11058003S

GARY BLASINGAME  
 P. O. BOX 35  
 SHAVER LAKE CA 93664

GILLESPIE VAL R & SANDRA B  
 ROUTE 3 BOX 192-H  
 SAN LUIS OBISPO CA 93401 11058005S

GORIN EDWARD F & MELINDA L TRS -  
 9337 E MC KINLEY  
 FRESNO CA 93727 11033011S

HAMILTON MARILYN  
 7690 N BRIARWOOD AVE  
 FRESNO CA 93711 11057006S

HARLAN JOHN H & BEVERLY A TRUSTEES -  
 19835 SANTA RITA ST  
 WOODLAND HILLS CA 91364 11057010S

HOOVER JANET DALE BECK 10464 N WILLOW RIDGE CT FRESNO CA 93720	11058001S
HUNTINGTON PINES MUTUAL WATER COMPANY % K BARE 3128 WILLOW AVE #101 CLOVIS CA 93612	11025113S
JOHNSON MORGAN H & SUE A 2200 W 3RD ST MADERA CA 93637	11058002S
JOHNSON RICHARD THOMAS & AMY IRENE TRS % T CARTIER P O BOX 6046 ATASCADERO CA 93423	11058004S
JORDAN DAVID P & REBECCA L P O BOX 356 AUBERRY CA 93602	11026113S
KIRKEGAARD DALE D & PATRICIA A 2525 W STUART FRESNO CA 93711	11029111S
KREYENHAGEN KENNETH N/DIANE REV LIV TR - 15827 BEAVER RUN RD CANYON COUNTRY CA 91351	11057001S
KUKLINSKI FRANK I & PAULA A TRUSTEES - 14927 AVE 313 VISALIA CA 93291	11033015S
LANSING PHILIP S & BARBARA M TRS - 1270-Z CRAVENS LANE CARPINTERIA CA 93013	11029116S
LEACH M ROBERT & MAGGIE M TRUSTEES - 14608 EL PUENTE WAY SARATOGA CA 95070	11059107S

LITTLETON WILLIAM H & IRENE A  
 3914 N VAN NESS AVE  
 FRESNO CA 93704 11058007S

MAGANA BRIAN R & JANET A  
 1801 AVE OF THE STARS  
 #810 11059109S  
 LOS ANGELES CA 90067

MARSELLA GARY E & BARBARA J TRS  
 4915 N WISHON CT  
 FRESNO CA 93704 11029115S

MAXWELL W ANDREW & MARY ELLEN  
 7639 N CHARLES  
 FRESNO CA 93711 11057009S

MILLER EDDIE B & CAROL A  
 562 E RICHMOND  
 FRESNO CA 93720 11026111S

MILLER JAMES L & KATHLEEN A  
 314 MODESTO ST  
 HENDERSON NV 89014 11058012S

MILNES MICHAEL A & ESTHER N  
 1153 KEATS  
 FRESNO CA 93711 11033014S

MINER MICHAEL L & SUSAN E  
 1056 GRAND AVE  
 GROVER BEACH CA 93433 11028104S

MOFFETT MICHAEL & MAUREEN SHEEHAN  
 10138 N QUAIL RUN  
 FRESNO CA 93720 11059108S

OBERTI JACK M & CHRISTINE A TRUSTEES -  
 8116 N PRUESS  
 CLOVIS CA 93611 11029102S

PAREGIAN ABE & MARJORIE E 2705 W SAMPLE FRESNO CA 93711	11058010S
PARKER FRANCES L 4673 E YALE FRESNO CA 93703	11025101S
PETERSON JIMMY L & CYNTHIA S 434 E COLE AVE FRESNO CA 93720	11058009S
PUCHEU JOHN E JR & SUSAN D 25253 W MARTIN RD TRANQUILLITY CA 93668	11057004S
RIFE ROBERT J & WILDA C TRS 5209 N SEQUOIA DR FRESNO CA 93711	11028101S
ROSENSTEIN MORTON G & DONNA R 1332 W MORAGA FRESNO CA 93711	11029107S
SANFORD CHARLES D & GAIL J 205 E SUNNYSIDE CT VISALIA CA 93277	11057007S
SCHNEIDER JAMES A & SANDRA V 3318 E SAMPLE FRESNO CA 93710	11058011S
SIERRA AWARENESS & ADVISORY COMMITTEE 33495 LINSON RD TOLLHOUSE CA 93667	
SMITH STEPHEN IV & ELIZABETH VICK 32505 RD 138 VISALIA CA 93291	11029114S

SOUTHERN CALIFORNIA EDISON CO.  
 P. O. BOX 29  
 SHAVER LAKE CA 93664

SPAULDING ANTHONY A & HELEN L TRS -  
 533 LINCOLN BLVD  
 SANTA MONICA CA 90402 11057012S

STOCKDALE ENERGY COMPANY  
 % P RYALL  
 6625 RIVERGROVE 11029109S  
 BAKERSFIELD CA 93308

TOMERLIN DAVID W & JUNE L  
 2439 W SCOTT  
 FRESNO CA 93711 11029103S

TRAVIS WILLIAM S & TRUDI D  
 3934 W WOODSIDE CT  
 VISALIA CA 93291 11028103S

TURNER DON A & JACQUELINE  
 2727 W BLUFF AVE #106  
 FRESNO CA 93711 11029106S

TURNER JEFFREY MILLER & KRISTINE TRS-  
 41241 RD 70  
 DINUBA CA 93618 11028109S

USA  
 11005011T

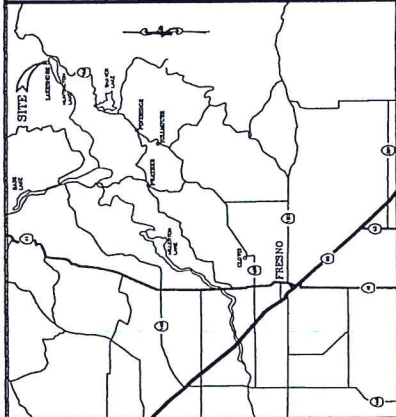
WINTON JAMES T & JONOLYN C  
 1479 W STUART  
 FRESNO CA 93711 11029108S

ZINKIN DE WAYNE & SANDRA JEAN  
 2377 W SHAW STE 112  
 FRESNO CA 93711 11029101S

# GULF COAST BROADCASTING CORPORATION

HUNTINGTON LAKE  
 FRESNO COUNTY, CALIFORNIA  
 CA1556

RECEIVED  
 MAR 11 1996  
 COUNTY OF FRESNO  
 PUBLIC WORKS - ENVIRONMENTAL SERVICES DEPT.



**SITE NAME:** HUNTINGTON LAKE  
**SITE NUMBER:** CA1556  
**SITE ADDRESS:** HUNTINGTON WSTA ROAD  
 HUNTINGTON, CA 93629

**APPLICANT:**  
 GULF COAST BROADCASTING CORPORATION  
 45 ROCKEFELLER PLAZA, SUITE 3201  
 NEW YORK, NY 10020

**AGENT:**  
 MATTHEWS LAND COMPANY, INC.  
 7090 NORTH MARKS AVENUE  
 SUITE 104, FRESNO, CA 93711  
 (209) 437-2049  
 (209) 437-2069 (FAX)

**OWNER:**  
 HUNTINGTON PINES MUNICIPAL WATER COMPANY  
**PROPERTY INFORMATION**  
 A.P.N. 110-57-OUTLOT 0  
 AREA OF CONSTRUCTION: 82 SQUARE FEET

**PROJECT MANAGER:**  
 MATTHEWS LAND COMPANY, INC.  
 45 NORTH MARKS AVENUE  
 SUITE 104  
 FRESNO, CA 93711  
 (209) 437-2049  
 (209) 437-2069 (FAX)

**ARCHITECT & ENGINEER:**  
 ALLAN P. HEDBERG  
 2005 AIRPORT DRIVE  
 BAKERSFIELD, CA 93308

**SURVEYOR:**  
 SMITH & COMPANY SURVEYING SERVICES, INC.  
 P.O. BOX 467  
 BAKERSFIELD, CA 93302

SHEET NO.	DESCRIPTION
T1	TITLE SHEET
C1	LOCATION AND VICINITY MAPS
C2	SITE SURVEY
C3	SITE ELEVATION
A1	SITE DETAIL & GENERAL NOTES
A2	NEW EQUIPMENT ELEVATION
D1	DETAILS
E1	SINGLE LINE DIAGRAM AND ELECTRICAL DETAILS
E2	GROUNDING DETAILS AND NOTES
N1	NOTES

DRAWING INDEX

PROJECT CONSULTANTS

PROJECT INFORMATION

VICINITY MAP

SMITH & COMPANY SURVEYING SERVICES  
 PREPARED BY:  
 P.O. BOX 464  
 BAKERSFIELD, CA 93302  
 PHONE: (805) 382-1217  
 FAX: (805) 382-1218

MATTHEWS LAND COMPANY, INC.  
 PROJECT MANAGEMENT BY:  
 7090 NORTH MARKS AVENUE  
 FRESNO, CA 93711  
 (209) 437-2049  
 (209) 437-2069 (FAX)

GULF COAST BROADCASTING CORPORATION  
 PREPARED FOR:  
 45 ROCKEFELLER PLAZA  
 SUITE 3201  
 NEW YORK, NY 10020  
 (212) 757-5600

DATE: 08/29/97  
 DRAWN BY: JAJ  
 CHECKED BY: JAJ  
 HUNTINGTON LAKE  
 HUNTINGTON WSTA ROAD  
 HUNTINGTON, CA 93629  
 FRESNO COUNTY  
 CA1556  
 SURVEY TITLE  
 ANTENNA FOUNDATIONS  
 TITLE SHEET  
 T1

GULF COAST  
 BROADCASTING CORPORATION  
 HUNTINGTON LAKE SITE - CA1556

**SMITH & COMPANY**  
 SURVEYING SERVICES  
 P.O. BOX 424  
 BAKERSFIELD, CA 93302  
 PHONE: (805) 382-1218  
 FAX: (805) 382-1218

PROJECT NAME:  
 HUNTINGTON LAKE  
 CA1556  
 HUNTINGTON VISTA ROAD  
 HUNTINGTON, CA 93629  
 FRESNO COUNTY

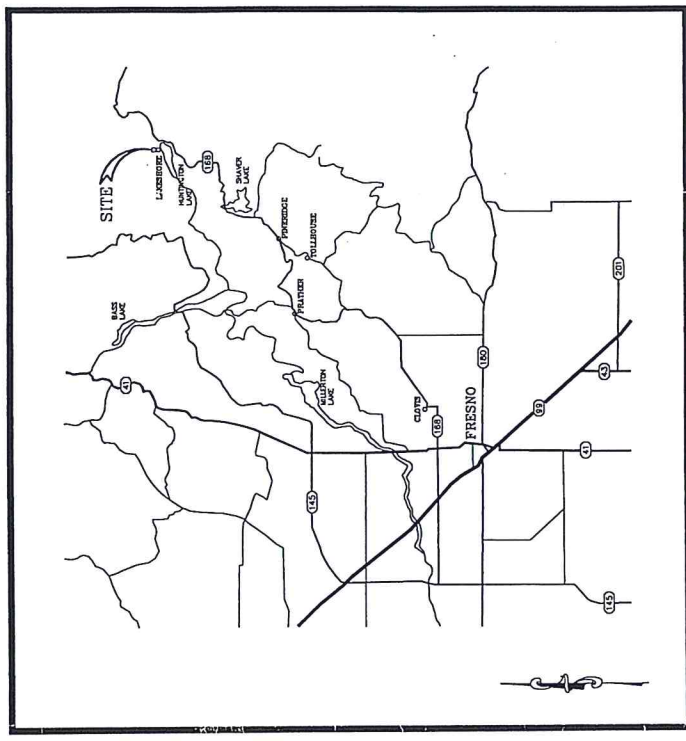
PROJECT NUMBER #:  
 MATTHEWS  
 LAND COMPANY, INC.  
 7090 N. MARKS AVENUE  
 FRESNO, CA 93711  
 (209) 437-2049

PROJECT SCOPE  
 A NEW COMMUNICATIONS FACILITY  
 FRESNO, CA 93711

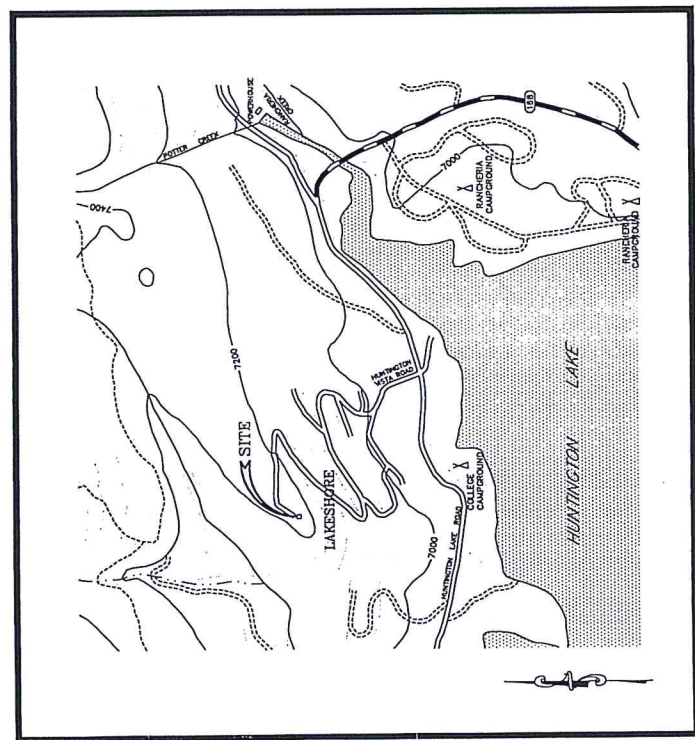
SHEET INDEX  
 SHEET NO. OF TOTAL SHEETS  
 104 OF 104

DATE: 4/24/97  
 SCALE: AS SHOWN

NO.	DATE	REVISIONS



VICINITY MAP  
 NOT TO SCALE  
**APPROVED PLAN**  
 BY: *B/S* DATE: *6-23-98*



LOCATION MAP  
 NOT TO SCALE



<p><b>SMITH &amp; COMPANY</b> SURVEYING SERVICES, INC. P.O. BOX 464 BAYERSFELD, CA 93022 PHONE: (909) 383-1217 FAX: (909) 383-1218</p>	<p>GULF COAST BROADCASTING CORPORATION 435 ROCKEFELLER PLAZA SUITE 3201 NEW YORK, NY 10020 (212) 757-5600</p>	<p>LAND COMPANY, INC. MATTHEWS SUIRE 104 7090 N. MARKS AVENUE FRESNO, CA 93711 (209) 437-2049</p>	<p><b>PROJECT SCOPE</b> A NEW COMMUNICATIONS FACILITY</p> <p><b>SHEET INDEX</b> SITE SURVEY</p> <p>DATE: 04/23/97 SCALE: AS SHOWN REVISIONS NO.   DATE   DESCRIPTION   DRAWN BY   CHECKED BY</p>	<p>PROJECT NAME: HUNTINGTON LAKE HUNTINGTON VISTA ROAD HUNTINGTON, CA 93629 FRESNO COUNTY CA1556</p>
--	---	---	--	--




**APPROVED PLAN**  
B/S  
DATE: 6-23-98

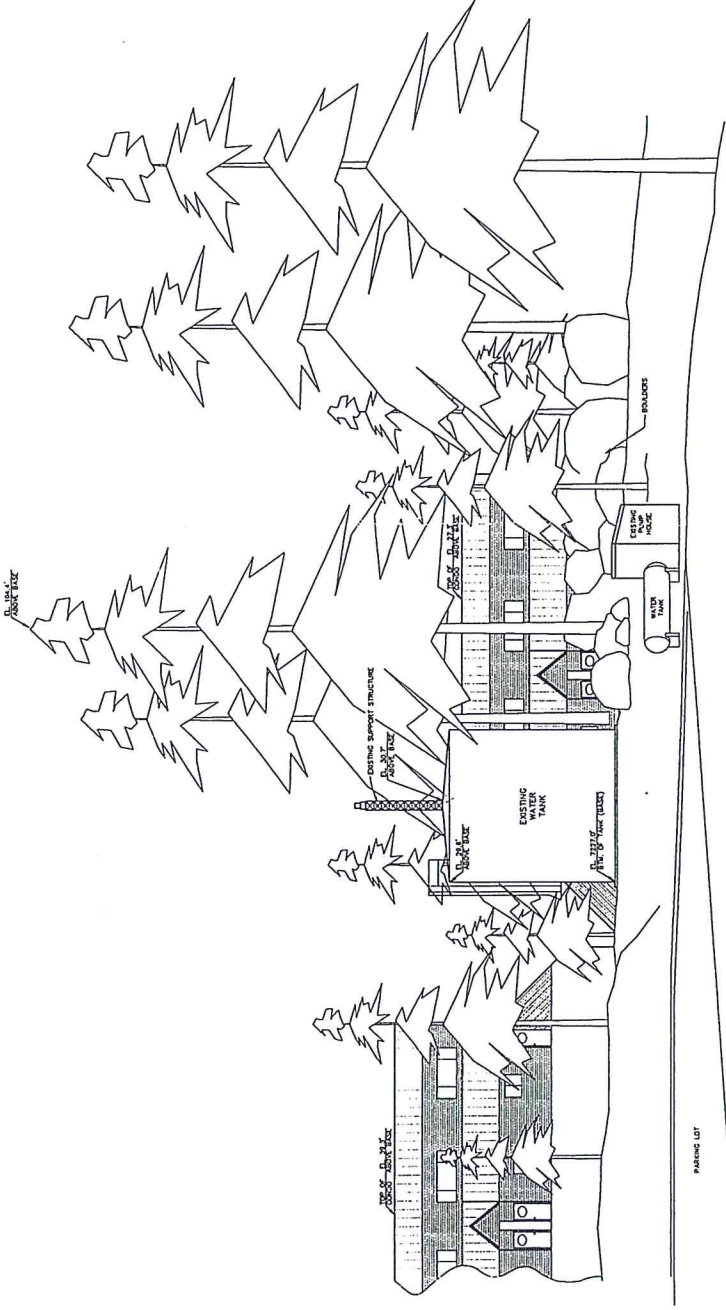
EXISTING SITE SURVEY  
1" = 20'

**NOTES**  
BENCH MARK - NATIONAL GEODETIC SERVICE STATION "BLACK POINT"  
ELEVATION 8111.00 FEET MSL  
GEOCENTRIC INFORMATION FOR CENTER OF SITE - LATITUDE: 37°52'14" (MAD 27 DATUM)  
LONGITUDE: 119°07'13.5" (MAD 27 DATUM)  
ELEVATION: 7227.00 (MAD 28 DATUM)  
OWNER: HUNTINGTON PHOENIX MUNICIPAL WATER COMPANY  
APR: 110-97-OUTLOT 0

**LEGEND**

- UNDERGROUND WATER
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRICAL
- UNDERGROUND GAS
- SITE BOUNDARY LINE
- PROPERTY LINE
- POWER POLE (P.P.)
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- WATER METER
- ELEVATION AT TOP OF CONCRETE
- ELEVATION AT FLANKING
- ELEVATION AT EDGE OF PARAPET
- ELEVATION AT MAXIMUM GROUND
- CENTERLINE OF STREET

 <p><b>SMITH &amp; COMPANY</b> SURVEYING SERVICES P.O. BOX 484 BAKERFIELD, CA 93302 PHONE: (805) 393-1217 FAX: (805) 393-1218</p>	<p>GULF COAST BROADCASTING CORPORATION 45 ROCKEFELLER PLAZA NEW YORK, NY 10020 (212) 757-5600</p>	<p>MATHEWS LAND COMPANY, INC. 7090 N. MARKS AVENUE SUITE 104 FRESNO, CA 93711 (209) 437-2049</p>	<p>PROJECT NAME: HUNTINGTON LAKE CA1556 HUNTINGTON VISTA ROAD FRESNO COUNTY</p> <p>PROJECT SCOPE: A NEW COMMERCIAL FACILITY</p> <p>SHEET INDEX</p> <p>DATE: 8/29/97 SCALE: AS SHOWN</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>8/29/97</td> <td>ISSUED FOR PERMITS</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	8/29/97	ISSUED FOR PERMITS
NO.	DATE	DESCRIPTION							
1	8/29/97	ISSUED FOR PERMITS							



**APPROVED PLAN**  
BY: 10/9 DATE: 6-27-98

EXISTING TANK & CONDOMINIUMS  
NORTH ELEVATION  
1" = 10'

SMITH & COMPANY  
SURVEYING SERVICES, INC.  
P.O. BOX 464  
BARKERSHIRE, CA 93302  
PHONE: (805) 252-1217  
FAX: (805) 252-1218

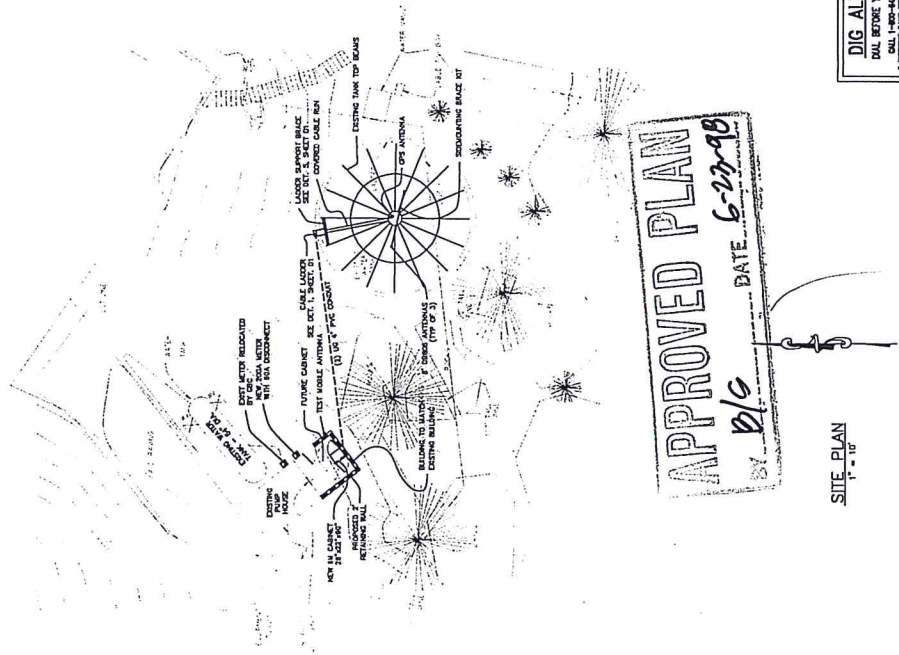
PROJECT MANAGEMENT BY:  
MATTHEWS  
LAND COMPANY  
INC.  
7090 NORTH MARKS AVENUE  
FRESNO, CA 93711  
(209) 437-2049  
(209) 437-2069 (FAX)

PREPARED FOR:  
GULF COAST  
BROADCASTING  
CORPORATION  
45 ROCKEFELLER PLAZA  
SUITE 3201  
NEW YORK, NY 10020  
(212) 757-5500

DRAWING DATE	05/21/97	
DRAWN BY	TJJ	
CHECKED BY		
DATE		
REVISIONS		
NO.	DATE	DESCRIPTION

SITE INFORMATION  
HUNTINGTON LAKE  
HUNTINGTON NSTA ROAD  
HUNTINGTON LAKE  
FRESNO COUNTY  
CALIFORNIA  
CA 93256

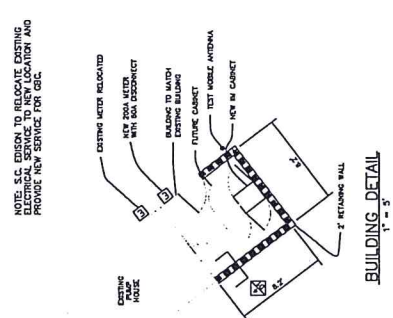
CUSTOMER TYPE  
OUTDOOR EQUIPMENT  
AND  
ANTENNA ADDITIONS  
SHEET TITLE  
ELEVATIONS,  
SITE DETAIL & NOTES  
SHEET NUMBER  
A1



APPROVED PLAN  
BY D/G DATE 6-20-98

DIG ALERT  
CALL BEFORE YOU DIG  
CALL (800) 487-9899  
OR VISIT WWW.CALLBEFOREYOU.DIG

SITE PLAN  
1" = 10'



**SMITH & COMPANY**  
SURVEYING SERVICES

P.O. BOX 454  
BAKERSFIELD, CA 93302  
PHONE: (805) 333-1217  
FAX: (805) 333-1218



**GULF COAST BROADCASTING CORPORATION**  
45 ROCKEFELLER PLAZA  
SUITE 3201  
NEW YORK, NY 10020  
(212) 757-5600

**MATTHEWS LAND COMPANY, INC.**  
PROJECT NUMBER: 7090  
7090 N. MARKS AVENUE  
SUITE 104  
FRESNO, CA 93711  
(209) 437-2049

**PROJECT SCOPE**  
A NEW CONDOMINIUM FACILITY

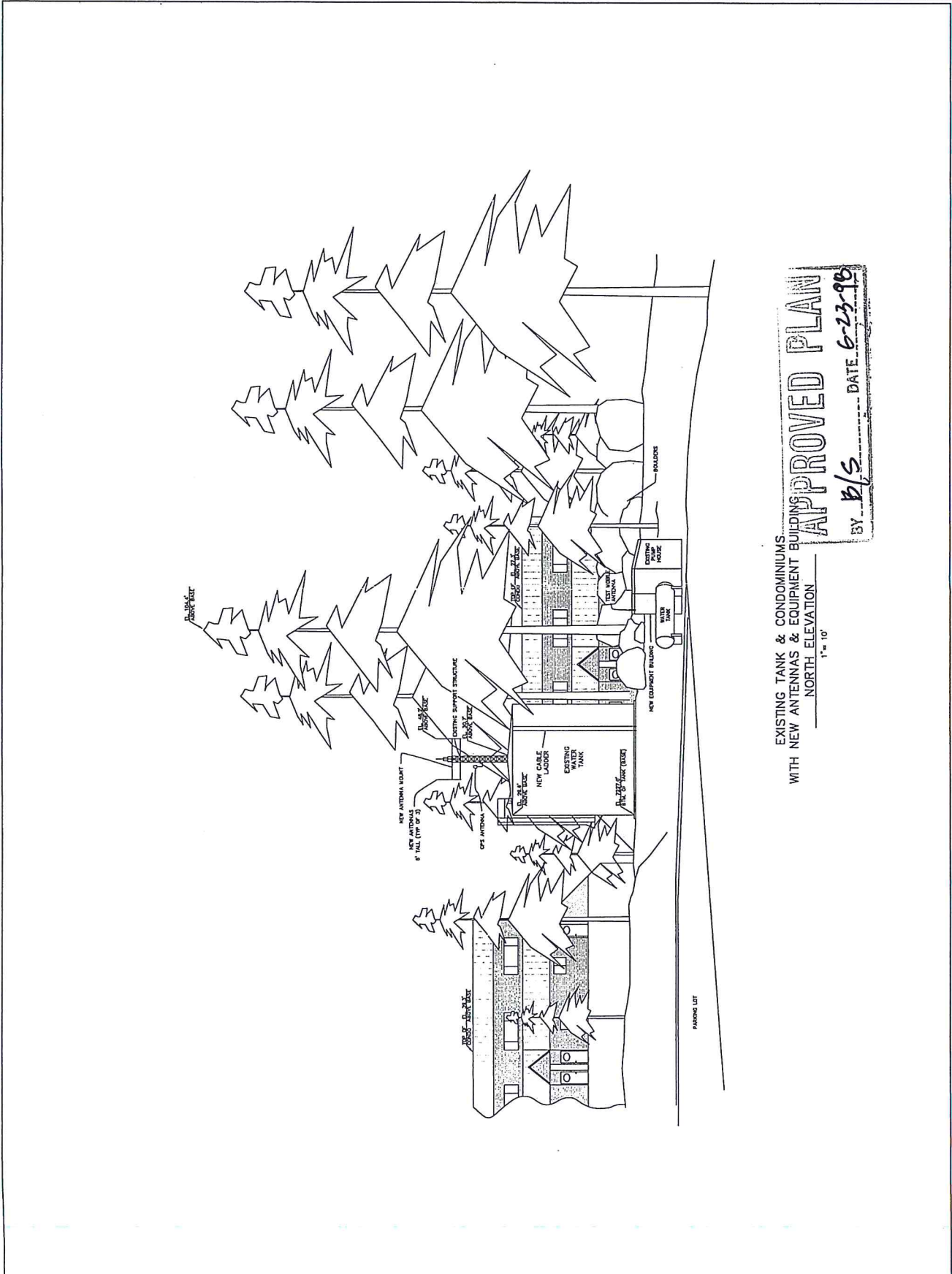
**SHEET INDEX**  
NEW EQUIPMENT ELEVATION

NO.	DATE	DESCRIPTION

DATE: 6/21/97  
DRAWN BY: JLS  
CHECKED BY: JLS

PROJECT NAME:  
HUNTINGTON LAKE  
CA1556  
HUNTINGTON VISTA ROAD  
HUNTINGTON, CA 93629  
FRESNO COUNTY

A2



EXISTING TANK & CONDOMINIUMS  
WITH NEW ANTENNAS & EQUIPMENT BUILDINGS  
**APPROVED PLAN**  
BY: *B/S* DATE: *6-23-98*  
1" = 10'  
NORTH ELEVATION

LAWYERS

*Harry*  
**DW**  
*CU*  
*2861*

# Davis Wright Tremaine LLP

ANCHORAGE BELLEVUE BOISE CHARLOTTE HONOLULU LOS ANGELES PORTLAND RICHLAND SAN FRANCISCO SEATTLE WASHINGTON, D.C. SHANGHAI

LAWRENCE ROBERTS, ESQ.  
Direct (202) 508-6603  
larryroberts@dwt.com

SUITE 700  
1155 CONNECTICUT AVENUE NW  
WASHINGTON, D.C. 20036-4313

TEL (202) 508-6600  
FAX (202) 508-6699  
www.dwt.com

August 14, 1998

Mr. William R. Schulte  
Consumer Services Division  
California Public Utilities Commission  
505 Van Ness Avenue  
San Francisco, CA 94102

Re: Notification Letter for **Huntington Lake** of Gulf Coast Broadcasting (U-3050-C)

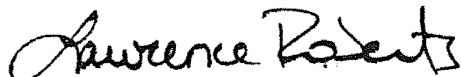
Dear Mr. Schulte:

Gulf Coast Broadcasting ("the Company") hereby provides the Commission with notice pursuant to the provisions of General Order No. 159-A of the Public Utilities Commission of the State of California ("CPUC") that:

- (a) The Company has obtained all requisite land use approvals for the project described in Attachment A.
- (b) No additional land use approval is required.

A copy of this notification letter is also being provided to the appropriate local government agency for its information. Should there be any questions regarding this project, or if you disagree with any of the information contained herein, please contact the undersigned at (202) 508-6600, or Mr. William R. Schulte of the CPUC Consumer Services Division at (415) 703-1836.

Very truly yours,



Lawrence Roberts  
Attorney for Gulf Coast Broadcasting

Attachment

Notification Letter  
Gulf Coast (U-3050-C)  
Page 2



cc: Ms. Carolina Jimenez-Hogg  
Director of Planning  
County of Fresno  
2220 Tulare Street, Suite 800  
Fresno, CA 93721

Mr. Will Randolph  
County Administrator/Executive  
County of Fresno  
2281 Tulare Street, Room 304  
Fresno, CA 93721

Ms. Shari Greenwood  
Clerk to the Board of Supervisors  
County of Fresno  
2281 Tulare Street, Room 301  
Fresno, CA 93721

Ms. Lori Badock  
Consumer Services Division  
Enforcement Branch  
California Public Utilities Commission  
505 Van Ness Avenue  
San Francisco, CA 94102

**Attachment A**

**CPUC CELL SITE REPORT FOR GULF COAST BROADCASTING**

**Site Name: HUNTINGTON LAKE (CA1556)  
(Initial Build)**

**PROJECT DESCRIPTION:**

The Company proposes to mount three (3) six-foot omni antennas onto the 15.5-foot as-built lattice tower on an existing water tank and construct a new eight-foot by eight-foot addition to an existing pump house for associated cellular equipment.

**SITE LOCATION:** End of Huntington Vista Road  
Huntington Lake, CA

**APN:** 110-570-Outlot "O"

**ANTENNAS:** Three (3) six-foot omni antennas

**TOWER:** 15.5-foot lattice tower on top of an existing water tank  
*(existing)*

**BUILDING:** 8-foot by 8-foot addition to an existing pump house

**COORDINATES:** Latitude: 37° 15' 22" N  
(NAD 27) Longitude: 119° 10' 14" W

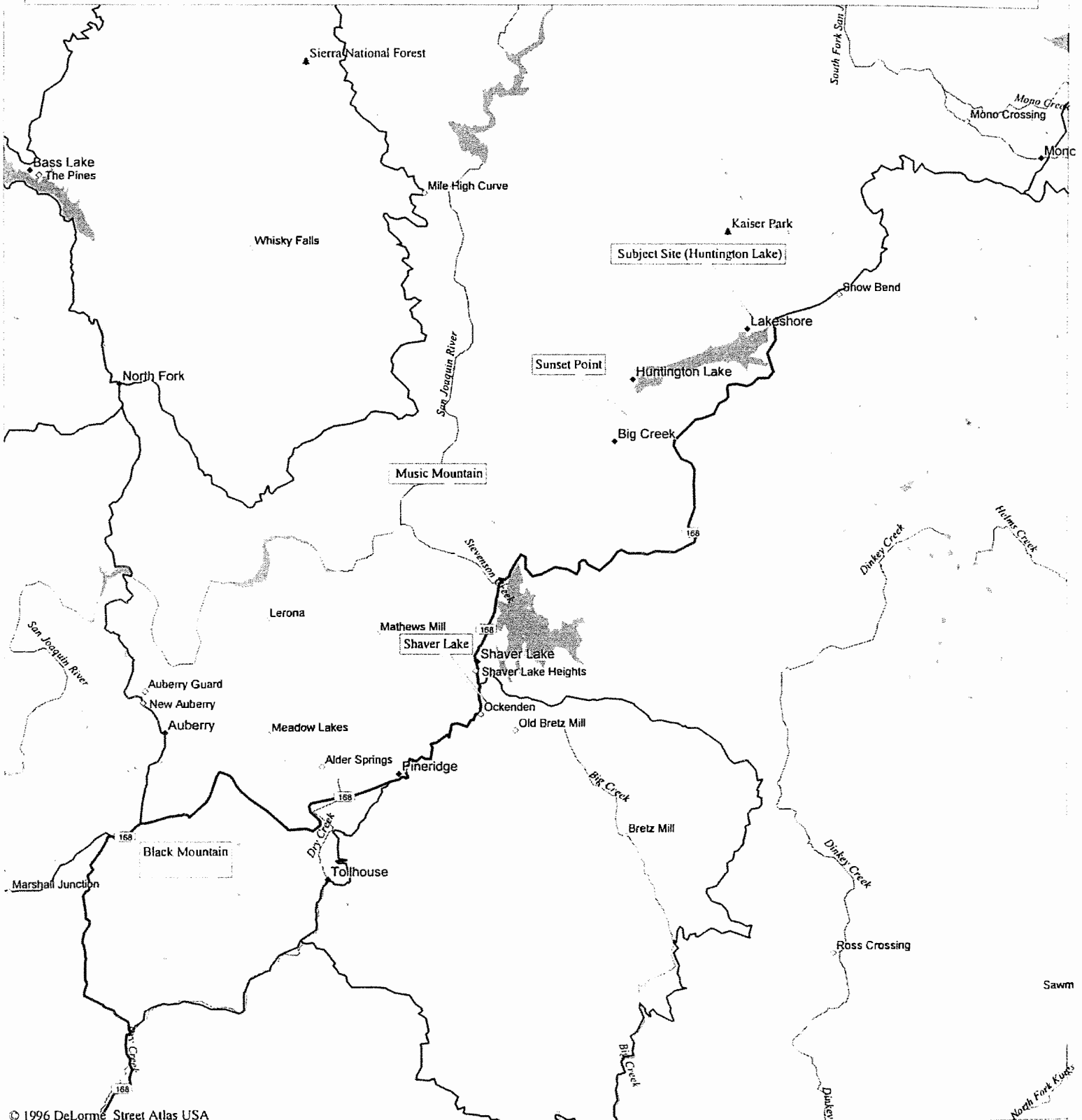
**LAND USE APPROVALS:**

**Conditional Use Permit:**

Issued: June 23, 1998  
Effective: June 23, 1998  
Agency: Planning Commission  
County of Fresno  
2220 Tulare Street  
Fresno, CA 93721  
Permit Number: 2861

# Gulf Coast Broadcasting Sites

COP #2861



© 1996 DeLorme Street Atlas USA

Mag 11.00  
 Wed May 20 17:31 1998  
 Scale 1:250,000 (at center)



- Major Connector
- State Route
- ◆ Small Town
- ▲ Park/Reservation
- Locale
- Population Center
- Land
- Water
- River/Canal
- Intermittent River





June 30, 1998

Mr. Bernard Jiminez  
Public Works and Development Services, Fresno County  
Fresno County Plaza  
2220 Tulare Street, Suite 800  
Fresno, CA 93721

RE: Gulf Coast Broadcasting/GTE Requisite Permit Check-List  
Unclassified Conditional Use Permit Application No. 2861

Dear Bernard:

Enclosed, please find the Requisite Permit Check-List for the above referenced project. Upon your review and approval, please sign the lower portion of the form, retain a copy for your file, and return the original to me in the envelope provided.

If you have any questions regarding this form, please don't hesitate to call.

Thank you.

A handwritten signature in cursive script that reads "Matt Mullin".

Matt Mullin

encl: Requisite Permit Check-List



Wireless Products and Services

PO Box 5011  
San Ramon, CA 94583  
Office (510) 277-9400

REQUISITE PERMIT CHECK-LIST

RE: GTE Site Name: Huntington Lake  
Site Address: End of Huntington Vista Road, Huntington Lake, CA  
APN: 110-570-Outlot "O"  
Project Proposal: Recognize as-built 15.5-foot lattice tower on top of an existing water tank, mount three (3) six-foot (6) omni antennas on the as-built lattice tower, and construct new 8-foot by 8-foot addition to existing pump house to install new cellular electronic equipment.

The following checked ("x") items reflect all permits required by your jurisdiction in order to construct the proposed, or modify the existing, cellular telephone facility at the above-referenced location.

Planning Department

Jurisdiction County of **FRESNO**

No Planning Permits Required (please circle if applicable) \_\_\_\_\_

OR

The following permits are required:

Permit Type	Check appropriate box		Comments
Administrative Approval	Yes <input type="radio"/>	No <input checked="" type="radio"/>	_____
Design Review	Yes <input type="radio"/>	No <input checked="" type="radio"/>	_____
Conditional Use	<input checked="" type="radio"/> Yes <input checked="" type="checkbox"/>	No <input type="radio"/>	_____
Other	_____		_____

\* Additional Comments: ABOVE NAME OBTAINED UNCLASSIFIED CONDITIONAL USE PERMIT (CUP 2861) ON JUNE 23, 1998 FOR ABOVE DESCRIBED PROJECT.

Planning Department Signature

Signature:	Print Name: Bernard Jimenez
Title: <del>Director</del> <b>STAFF ANALYST</b>	Department: Public Works & Development Serv.
Telephone: (209) 262-4321	Date: <b>7-7-98</b>

RECEIVED

MAY 29 1998

County of

FRESNO

CLERK, BOARD OF SUPERVISORS

For Office Use Only

Date Received 5-29-98

Forwarded to P/W 4575

Attn: Helen + Miller on 6-1-98

Hearing set for: 6-23-98, 3:00 P.M.

APPEAL - PLANNING COMMISSION

Date: 5/28/98

SHARI GREENWOOD, Clerk
Board of Supervisors
Hall of Records, Room 301
2281 Tulare St.
Fresno, CA 93721

APPEAL FEE: \$250
(Fee must accompany appeal)
(Fee not applicable if appeal is
only on GPA with no concurrent
applications)

I wish to appeal the Planning Commission's decision to: ( ) deny (X) grant
Unclassified Conditional Application No. 2861 on May 21, 1998
(VA, CUP, TT, AA, GPA) Use Permit (Date of PC Hearing)

for the following specific reasons(s) (Note: Disregard if GPA appeal):

The Planning Commission failed to fully consider all relevant factors in its decision to
grant the Unclassified Conditional Application No. 2861, including:

1. The existing lattice tower upon which the cellular facilities are proposed to be
installed is an illegal, unpermitted use. The CUP cannot be approved until the tower
qualifies as a legal use. That legal defect cannot be cured by approval of the illegal
use in the same public hearing for approval of the CUP since the public hearing notice
did not include notice of approval of the illegal use.

2. A majority of the homeowners in the area objected to the installation of the cellular
facilities on health and safety and aesthetic grounds.

[SEE ATTACHED FOR CONTINUANCE OF SPECIFIC REASONS]

Please notify me of the date and time of the appeal hearing before the
Board of Supervisors.

PLEASE PRINT

Anthony L. Leggio

(Name) c/o Clifford & Brown
1430 Truxtun Avenue, Suite 900

(Address)
Dakersfield, CA 93301 (805) 322-6023

(Zip Code) (Phone No.)

Please check if appeal is being made by applicant's agent: ( )

[Signature]
(Signature)

## SPECIFIC REASONS CONTINUED:

3. The applicant failed to demonstrate that the benefits from the cellular facilities in this particular location outweigh the health and safety and aesthetic concerns of the surrounding homeowners, in particular since there are alternative locations for the installation of the cellular facilities which will meet the needs of the applicant and satisfy the concerns of the surrounding homeowners.

NOTICE OF PUBLIC HEARING  
FRESNO COUNTY PLANNING COMMISSION

A public hearing will be held on **UNCLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 2861** filed by **GULF COAST BROADCASTING** proposing to:

**Allow a cellular communication facility utilizing an existing lattice tower attached to a community water supply tank. The project site is located at the end of Huntington Vista Road on Outlot "O" of Eagles Nest Condominium Subdivision, adjacent to the community of Huntington Lake.**

The Planning Commission hearing will be at 8:50 a.m. (or as soon thereafter as possible) on May 21, 1998, in Room 301, Hall of Records, Tulare & "M" Streets, Fresno, CA.

Anyone may testify. For information contact **Gail Miller**, Public Works & Development Services Department, 2220 Tulare Street, (Corner of Tulare & "M" Streets, Suite A), Fresno, CA 93721, Phone: **(209) 262-4324**.

**NOTES:**

Please share this notice with your neighbors or anyone you feel may be interested.

The Planning Commission will also accept written testimony such as letters, petitions, and statements. In order to provide adequate review time for the Planning Commission, please submit these documents to the Department prior to the hearing date.

If at some later date you challenge the final action on this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

S E E M A P O N R E V E R S E S I D E

GM:hm  
G:\DEVS&PLN\notices\CU2861.WPD



# Agenda Item

DATE: June 23, 1998

TO: Board of Supervisors

FROM: Planning Commission

SUBJECT: RESOLUTION NO. 11332 - UNCLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 2861

APPLICANT: Gulf Coast Broadcasting

REQUEST: Allow a cellular communication facility utilizing an existing lattice tower attached to a community water supply tank.

LOCATION: The project site is located at the end of Huntington Vista Road on Outlot "O" of Eagles Nest Condominium Subdivision. (SUP. DIST.: 5) (APN: 110-570-Outlot "O")

PLANNING COMMISSION ACTION:

At its hearing of May 21, 1998, the Commission considered the Staff Report and testimony (summarized on Exhibit "A"), adopted the recommended findings of fact in the Staff Report, and approved Unclassified Conditional Use Permit Application No. 2861, subject to the following conditions:

1. Development and operation of the facility shall be in substantial conformance with the site plan, elevations, and operational statement, with the qualification that additional equipment buildings may be constructed for other carriers who may install antennas on the tower.

ADMINISTRATIVE OFFICE REVIEW \_\_\_\_\_ Page \_\_\_\_\_ of \_\_\_\_\_  
 BOARD ACTION: DATE June 23, 1998 APPROVED AS RECOMMENDED \_\_\_\_\_ OTHER X



DENIED APPEAL; ADOPTED FINDINGS; APPROVED UNCLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 2861 WITH CONDITIONS AS RECOMMENDED BY PLANNING COMMISSION.

UNANIMOUS \_\_\_\_\_ ARAMBULA Aye KOLIGIAN Aye LEVY Aye OKEN No PERCH Aye

- 2. The approval shall expire in the event the use of the tower ceases for a period in excess of two years. At such time, the tower and related facilities shall be removed and the lease area shall be restored as nearly as practical to its original condition.
- 3. The maximum number of antennas allowed on the tower shall be determined according to wind load calculations as approved by the Fresno County Public Works and Development Services Department.
- 4. A provision shall be included in the lease agreement that reserves co-location opportunities.

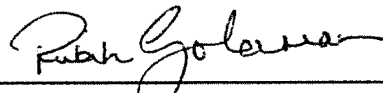
VOTING: Yes: Commissioners Molen, Laub, Cucuk, Eaton, King, Peters, Wilcox

No: Commissioner Tokmakian

Abstain: Commissioner Abrahamian

Absent: None

CAROLINA JIMENEZ-HOGG, Director  
 Public Works & Development Services Department  
 Secretary-Fresno County Planning Commission

By   
 for Kerry L. McCants, Manager  
 Development Services Division

- NOTES:
- 1. The Planning Commission action is final unless appealed to the Board of Supervisors within 15 days of the Commission's action.
  - 2. The approval of this project will expire two years from the date of approval unless substantial development has occurred. When circumstances beyond the control of the applicant do not permit compliance with this time limit, the Commission may grant an extension not to exceed one additional year. Application for such extension must be filed with the Public Works & Development Services Department before the expiration of the conditional use permit.

EXHIBIT "A"

Staff: The Fresno County Planning Commission accepted the Staff Report dated May 21, 1998, without a presentation.

Applicant: The applicant's representative presented information in support of the project as summarized below:

- Gulf Coast Broadcasting is licenced to establish cellular sites in eastern Fresno County.
- The specific site was chosen to provide cellular coverage and improved emergency response for this area.
- We have received complaints by our customers that adequate coverage is not currently being provided.
- There are no existing telecommunication sites available on forest land in the immediate area. It would take approximately six years to establish a new telecommunication site on U.S. Forest Service property.
- Establishing a cellular site within a wilderness area such as the forest would create a greater environmental impact than our proposed project.
- An existing cellular tower located at Sierra Summit was evaluated for co-location possibilities, however, it was determined it could not structurally accommodate additional antennas.
- In dealing with this specific location, three alternatives including the proposed project were presented to the homeowners association.
- In consideration of potential aesthetic impacts we are proposing to utilize six-foot long omni-directional whip antennas instead of the standard 14-foot long antennas.



- We are also proposing to utilize a smaller cabinet design and incorporate it into the existing pump house that exists on the subject site.
- There will be no traffic impact from the proposed project.
- There is a 45-foot separation between the water tank and the nearest residence.
- The line of sight from the residences is of the water tank and not of the existing tower and proposed antennas.
- The homeowners association voted not to allow commercial uses within the existing development and did not vote on our request to install cellular antennas.
- Properties are generally less valuable if there are no modern conveniences such as cellular service near by.
- Our engineers conducted a radio frequency analysis at this location and found frequencies to be well below acceptable levels.
- We have received access rights by the Huntington and Eagle Nest Homeowners Association.
- There are only three privately owned residential tracts in the surrounding area.
- All of the existing Gulf Coast Broadcasting sites are co-location sites.
- A tree pole design is best utilized along major roadways so that motorists passing by do not notice it. At this location, a tree pole may be considered more intrusive than our proposal.
- The mutual water company has agreed to share its leasing revenue with the homeowners.

Others:

Three individuals spoke in opposition to the project as summarized below:

- Our walk-way is 20 feet from the existing tank.
- Of the 20 members that voted, at least 14 voted against the proposal.
- Approval of this project will turn this scenic natural area into a commercial facility.
- There is no screening of the water tank. The only mature vegetation consists of pine trees located in the adjoining forest beyond the tank.
- The home owners were led to believe that the tower was needed in conjunction with the water tank. Now that we know it was installed illegally, we want it removed.
- Cellular service is already available in the area, as well as public phones.
- The majority of homeowners in this condominium project do not want the tower.
- We have a financial and emotional investment in this area.
- Southern California Edison has many telecommunication sites in the area. Gulf Coast Broadcasting should be required to locate on one of their sites.
- People come to Huntington Lake because it is secluded.
- The applicant has chosen our site because it is the highest point of private land available in the area.

Correspondence:

One phone call and two letters were received in opposition to the proposal.



Public Works & Development Services Department  
Carolina Jimenez-Hogg  
Director

AGENDA ITEM NO. 1  
STAFF REPORT  
TO  
THE FRESNO COUNTY PLANNING COMMISSION  
Unclassified Conditional Use Permit Application No. 2861  
May 21, 1998

Applicant: Gulf Coast Broadcasting  
Request: Allow a cellular communication facility utilizing an existing lattice tower attached to a community water supply tank.  
Location: The project site is located at the end of Huntington Vista Road on Outlot "O" of Eagles Nest Condominium Subdivision  
Present Zoning: A-1 (Agriculture, 100,000 square feet parcel size) District.

A. AREA, EXISTING LAND USE, SURROUNDING ZONING, AND PUBLIC NOTICING

- 1. Approximate Area: 4,547 square feet
- 2. Use of Subject Property: Utilities (community water tank)
- 3. Use of Surrounding Area: Condominiums, vacant (see Existing Land Use Map, Exhibit 1).
- 4. Surrounding Zoning: A-1, RC-40, R-1(c) Mountain Overlay, R-1-C(c) Mountain Overlay, (see Existing Zone Map, Exhibit 2).
- 5. City Limits: The subject property is located adjacent to Huntington Lake approximately 10 miles north of the unincorporated community of Shaver Lake.

6. Noticing: Notices were sent to 64 property owners within 600 feet of the subject property and three special interest groups.

**B. BACKGROUND**

The Board of Supervisors in January 1997, accepted the recommendations of a Task Force directed by the Board to develop "Guidelines" for reviewing new wireless communication towers. Based on the Board's action, these "Guidelines" (see Exhibit 3) are utilized in the conditional use permit review process required for each new tower proposal.

**C. ENVIRONMENTAL DETERMINATION**

It has been determined, pursuant to Section 15061 (b) (3) of the State CEQA Guidelines, that the proposed project will not have a significant effect on the environment and is not subject to CEQA.

**D. OPERATIONAL STATEMENT**

The Operational Statement submitted by the applicant is included as Exhibit 4.

**E. SITE PLAN**

The applicant submitted two drawings which are included as Exhibits 5 and 6. Exhibit 5 shows the following major features:

1. The subject 4,547 square-foot Outlot "O" located adjacent to and northwest of the condominiums.
2. Existing improvements including a circular water tank with a tower mounted on the top, a smaller oblong water tank, and an equipment building (pump house).

Exhibit 6 shows the following proposed improvements:

1. A detailed drawing of the the proposed antennas attached to the existing lattice tower.
2. The proposed equipment cabinets as an addition to the existing pump house building and contained within a two inch retaining wall.

An elevation drawing (Exhibit 7) was also submitted by the applicant showing the tower with the proposed antennas attached at a maximum height of 48.2 feet, and the proposed addition to the pump house building.

**F. STAFF ANALYSIS/RECOMMENDED FINDINGS OF FACT**

A Conditional Use Permit may be approved only if four findings specified in Zoning Ordinance Section 873-F are made by the Planning Commission. The following analysis addresses each of the required findings:

Finding 1: *That the site for the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping and other features required by the Zoning Ordinance, to adjust said use with land and uses in the neighborhood.*

The subject 4,547 square-foot Outlot is developed with two water tanks, a crank-up lattice tower mounted atop one of the tanks, and a pump house building. The proposed improvements associated with the project are limited to placement of three antennas (six feet tall by six inches wide) to the stationary portion (lowest leg) of the lattice tower, and construction of a two (six square-feet in size) equipment cabinets. The associated equipment cabinets are proposed as an addition to the existing pump house building. The existing tower is addressed in this application because there is no records of prior County approval. According to the applicant, the existing tower was placed on top of the water tank in 1975, with the intention of providing cable television reception to the residences of the tract. Because the tower lacked the necessary height to receive television broadcast signals antennas were never installed and the tower never became operational. As noted above the only proposed improvements other than the placement of the antennas on the tower is the addition to the pump house. This construction will not reduce building set backs from existing property lines. Based on this information, the subject 4,547 square-foot property is considered to be adequate in size and shape to accommodate the proposed use.

Finding 2: *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.*

Access to the subdivision is provided from Huntington Lake Road via Huntington Vista Road. Huntington Lake Road is a County-maintained road and is classified as a Collector on the Transportation Element of the General Plan. The road is presently developed with 24 feet of pavement width within 66 feet of existing right-of-way. The ADT (average daily traffic) on this section of the road is 500 vehicles. Huntington Vista Road is a privately maintained road which leads to the end of the subdivision where the project site is located.

The applicant indicates that the communication facility will be unmanned. The only significant traffic generated by this use will be during the approximately 21-day construction phase when an average of two heavy duty trucks will visit the site on and off during the three week period. The hours of construction will be Monday through Saturday from 7:00 a.m. to 4:00 p.m. After the mounting of the antennas and construction of the equipment buildings, traffic generated by this use will be limited to a maintenance vehicle coming to the site once or twice a month to service the facility.

Based upon the limited traffic that would be generated by the proposed communication facility, Staff believes Huntington Lake Road and Huntington Vista Road will remain adequate to serve the use.

Finding 3: *That the proposed use will have no adverse impact on the abutting property and surrounding neighborhood or permitted use thereof.*

Finding 4: *That the proposed development is consistent with the General Plan.*

The lot and surrounding area are designated Public Lands and Open Space in the Sierra North Regional Plan. The subject lot is located within a developed residential subdivision.

The proposal is to mount three cellular communication antennas (six feet in height and six inches in diameter) to the fixed portion of an existing crank-up lattice tower. The antennas are to be placed at a maximum height of 48.2 feet. The proposal also includes construction of two small equipment cabinets. According to the operational statement, the facility will be in operation 24 hours a day, 12 months a year. Except for a maintenance person visiting the site monthly, no customers or other employees will visit the facility.

The General Plan Policies do not specifically reference cellular communication facilities, however, public service type facilities are generally accommodated by the plan under any land use designation provided the proposed location is essential to provide a public service. As described in the Background Section of the report, guidelines for reviewing communication facilities sites have been approved by the Board of Supervisors. A basic principle expressed in these "Guidelines" is that the need to accommodate new communication technology must be balanced with the need to protect the community from adverse impacts which can occur if new facilities are allowed to proliferate. Applicants therefore are required to justify the need for each new tower site. In doing so, they must submit evidence demonstrating that opportunities to co-locate antennas on existing nearby towers have been addressed, and that provision be made in land lease agreements to reserve future co-location opportunities.

This proposal supports the objective in the Guidelines by proposing antennas on an existing tower rather than proposing an entirely new site. The applicant has stated that in their search of the area a deliberate attempt was made to look for a site that did not require the installation of a new tower. In selecting this site the applicant is able to utilize an existing structure with only minor modification.

County records indicate the nearest tower is located approximately ten miles to the south within the Shaver Lake area. Information submitted by the applicant indicates that the proposed antennas are needed in order to provide cellular coverage to the Huntington Lake region and Sierra Summit area. In addressing the issue of co-location the applicant indicates the lease agreement for space on the tower does not contain any provisions which could preclude other carriers from placing additional antennas on this tower.

Aesthetics is typically the concern associated with this type of use because of the substantial height of towers which are used to support communication antennas. In this case, the communication facility will utilize an existing crank-up tower that according to the applicant has never been operational and has been in the same location for twenty three years. The applicant indicates he has chosen the smallest possible whip antennas to minimize aesthetic impacts. According to the applicant, the three antennas will be placed on the fixed portion of the tower at a maximum height of 48.2 feet. The applicant states that the telescopic portion of the tower is not functional resulting in the tower being fixed at a maximum height of 50 feet.

The tower is located in a mountainous setting with the natural forest vegetation of the area providing significant visual buffers. This is demonstrated by photos submitted with the application showing numerous large pine trees located on the property and in the surrounding area. According to the photos and elevations, trees ranging in height from 26 feet to 114 feet exist on the subject site and surrounding area. A further consideration is that the County does not have any record of complaints associated with the existing lattice tower, and the Home Owners Association for the subdivision has not expressed any concerns regarding the proposed project.

This type of use typically raises concerns regarding potential interference with household electronic equipment, and potential health affects. With regard to the interference, should an issue arise, it should be noted that the Communications Amendments Act of 1983 gives exclusive jurisdiction over Radio Frequency Interference (R.I.F) matters to the Federal Communications Commission. The applicant indicates that interference with household electronic devices should not occur because the proposed facility operates outside of the frequency band of these types of devices.

The Federal Communication Commission (FCC) which regulates the wireless communication industry indicates that numerous studies have addressed potential health affects of cellular facilities. These studies, according to the FCC, concluded that radio frequency (RF) emissions exposure levels associated with this type of facility are typically far below the levels considered to be safe. Related to this issue, Section 704 of the Telecommunication Act states that no State or local government may regulate personal wireless service facilities on the basis of the environmental effects of radio frequency emissions, to the extent that such facilities comply with the Commission's regulations concerning such emissions.

**G. STAFF RECOMMENDATION**

Staff believes the required findings can be made and recommends approval of Unclassified Conditional Use Permit Application No. 2861, subject to the following conditions:

1. Development and operation of the facility shall be in substantial conformance with the site plan, elevations, and operational statement, with the qualification that additional equipment buildings may be constructed for other carriers who may install antennas on the tower.



2. The approval shall expire in the event the use of the tower ceases for a period in excess of two years. At such time, the tower and related facilities shall be removed and the lease area shall be restored as nearly as practical to its original condition.
3. The maximum number of antennas allowed on the tower shall be determined according to wind load calculations as approved by the Fresno County Public Works and Development Services Department.
4. A provision shall be included in the lease agreement that reserves co-location opportunities.

**NOTES:**

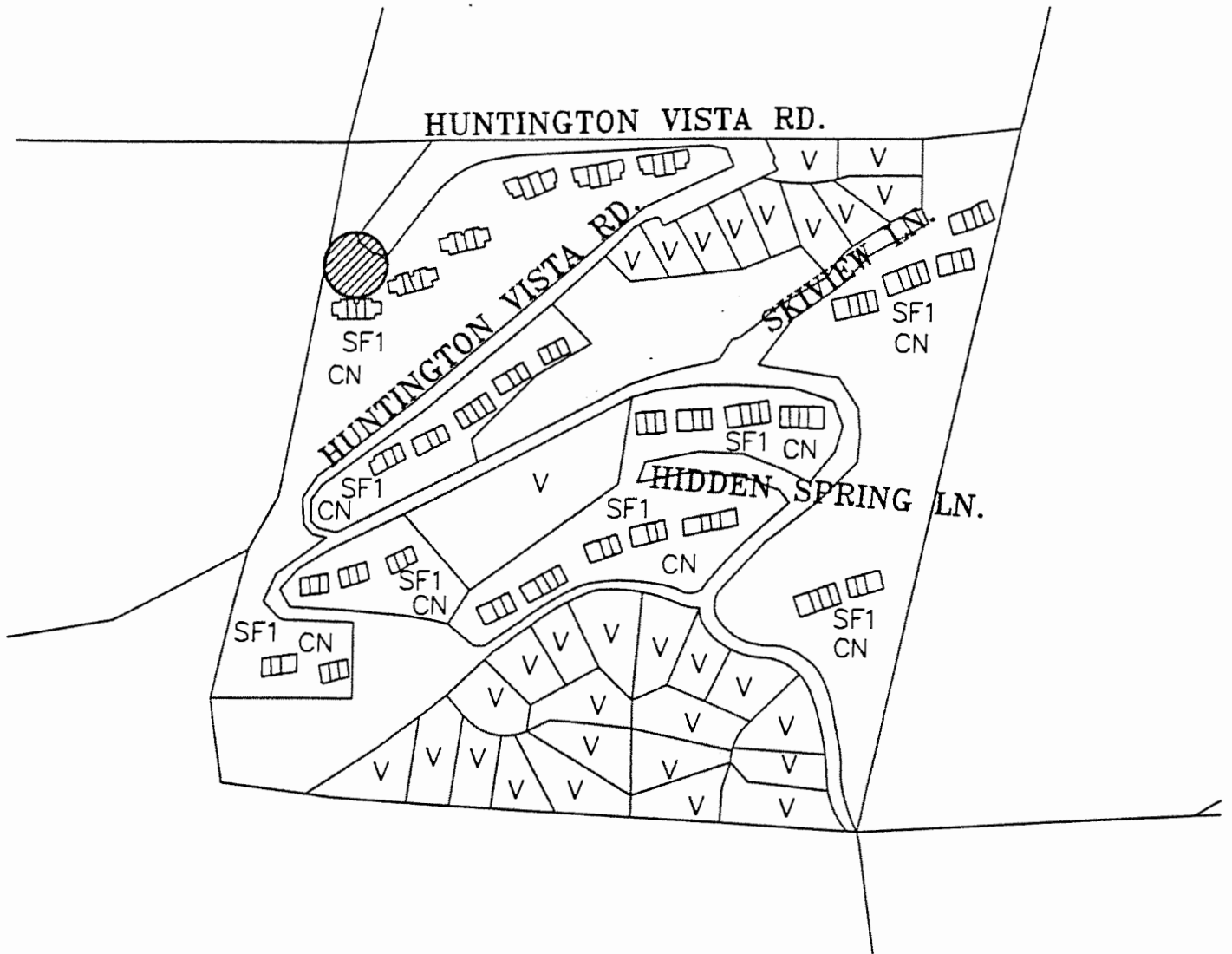
**The following notes reference various mandatory requirements of Fresno County or other agencies and are provided as information to the project applicant.**

1. Contact the Permits Section of the Public Works & Development Services Department regarding requirements for submitted construction plans and obtaining building permits.
2. Wind load calculations with footing designed by a registered civil engineer shall be submitted to the Permits Section of the Fresno County Public Works & Development Services Department before permits are issued.
3. The applicant must complete and submit either a Hazardous Materials Business Plan or a Business Plan Exemption form to the Fresno County Community Health Department, Environmental Health System. Contact the Hazardous Material Disclosure/Registration Program at (209) 445-3271 for more information.


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# EXISTING LAND USE

## CUP 2861



### LEGEND

- CN - CONDOMINIUM
- SF - SINGLE FAMILY RESIDENTIAL
- V - VACANT
- # - NUMBER OF UNITS
-  SUBJECT PROPERTY



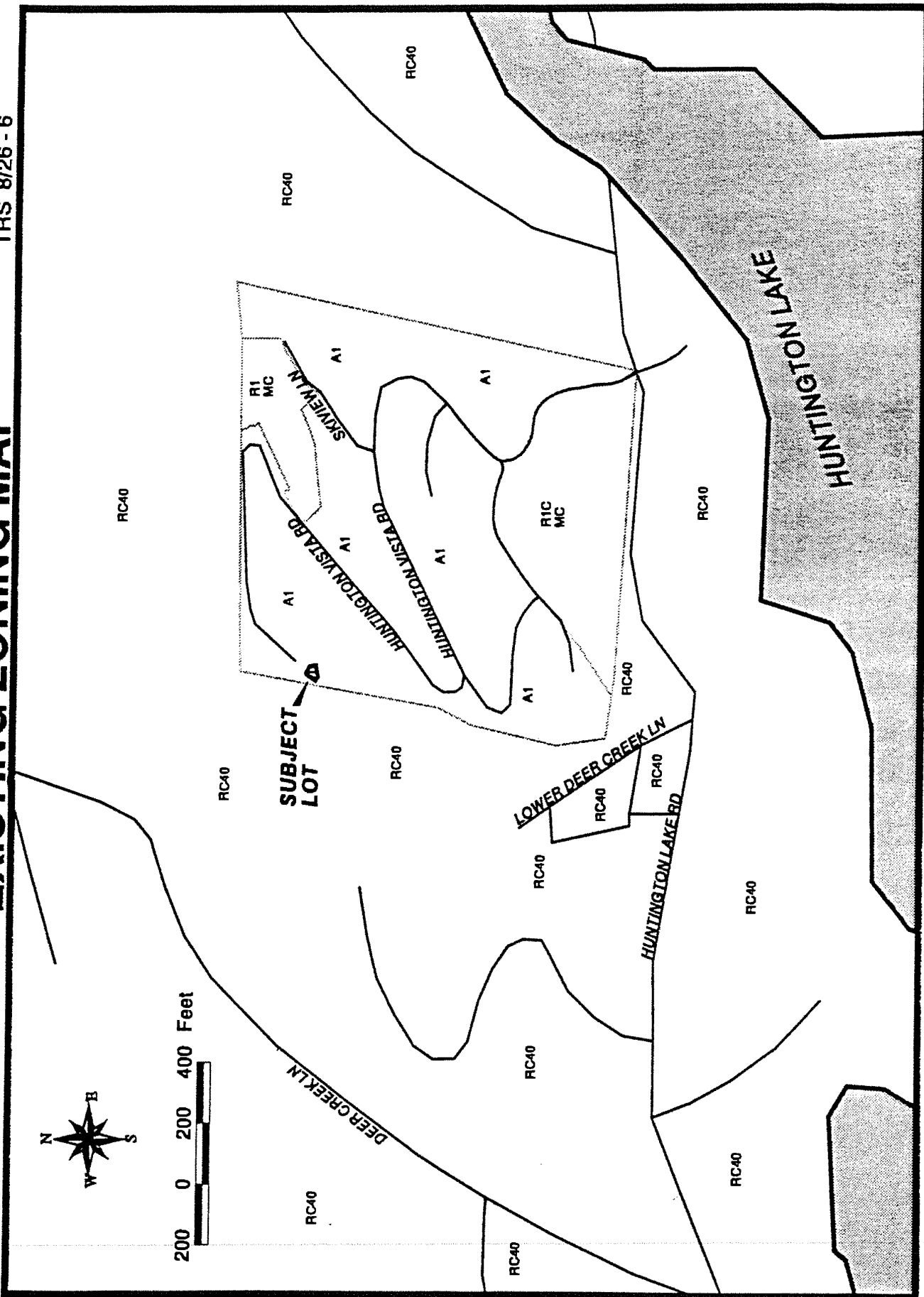
NORTH

EXHIBIT "2"

EXISTING ZONING MAP

CUP 2861

TRS 8/26 - 6



## EXHIBIT "3"

### WIRELESS COMMUNICATION GUIDELINES

1. The need to accommodate new communication technology must be balanced with the need to minimize the number of new tower structures which can adversely impact other segments of the community.
2. The land use permitting process should rely on general guidelines and policies rather than specific standards which are not flexible enough to accommodate the evolving technology.
3. Applicants for new tower permits should be required to submit detailed information in their applications to justify the need for the tower site (e.g. network design, search ring, specific site selection criteria).
4. Applicants for new tower permits should be required to submit evidence regarding alternative sites considered, information regarding potential co-location opportunities, and evidence of negotiation for co-location on other existing towers where such opportunities exist.
5. A map documenting the location of all existing communication towers in the County should be maintained by the County.
6. Applications for new tower sites within one-half mile of the boundary of the Cities of Fresno and Clovis should give consideration to City-adopted Guidelines (see attached Guidelines presently utilized by the City of Fresno).
7. Siting of towers in rural agricultural areas should be subject to the following criteria and requirements:
  - a. Tower sites should be selected to minimize disruption to agricultural aircraft operations, farm irrigation systems, and movement of farm equipment. Applicants should describe factors specific to the property that have been addressed in the site selection. If site selection negotiation is conducted with an absentee owner, a supporting statement from the farm manager should be provided.

- b. Towers should be placed adjacent to the farm homesite or other existing farm buildings. If there are no improvements on the property, the preferred location is at the edge of the field or adjacent to existing farm access roads. Locations at the center of fields or sections of land should be avoided.
  - c. Generally, guyed towers should not be allowed, except for Broadcast T.V., Broadcast Radio, and Amateur Radio.
  - d. Towers should be sited to minimize aesthetic impacts to adjacent homesites on surrounding properties.
  - e. Towers should be sited to minimize impacts to adjacent farming operations on surrounding properties.
- 8. Permits for new tower sites should include provision for removal of towers when they are no longer in use.
  - 9. Applicants for new tower sites should include provisions in their land lease agreements that reserve co-location opportunities.
  - 10. Tower sites adjacent to roads classified as major roads on the Circulation Element of the General Plan should include measures to minimize aesthetic impacts when feasible.
  - 11. The County should consider modified procedures that encourage applicants to fully utilize existing tower sites, and to consider use of existing structures and industrial locations when proposing new sites.

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11/96

**EXHIBIT "4"**



**CONDITIONAL USE PERMIT AND ENVIRONMENTAL ASSESSMENT  
APPLICATIONS**

Gulf Coast Broadcasting Corporation  
Huntington Lake Cell Site  
Huntington Vista Road, Huntington, CA 93629  
APN 110-57-Outlot O  
March 16, 1998

**PROJECT DESCRIPTION / OPERATIONAL STATEMENT**

---

**1.0 INTRODUCTION**

Gulf Coast Broadcasting Corporation (Gulf Coast) is a cellular telephone provider licensed by the Federal Communications Commission (FCC) and regulated in California by the California Public Utilities Commission (CPUC). Gulf Coast is a licensed public utility company.

Gulf Coast is committed to providing quality cellular telephone service to the citizens of Fresno County. In order to accomplish this, Gulf Coast must expand its network to improve cellular telephone service by providing service to currently unserved areas.

It is Gulf Coast's desire to work with the County of Fresno to ensure that this project is consistent with local policies and zoning regulations, while providing the cellular coverage so critical for emergency, business, government and personal use.

**2.0 APPLICATION REQUEST**

This application requests approval of an Unclassified Conditional Use Permit pursuant to the Zoning Ordinance of the County of Fresno for a cellular telephone transceiving site.

### 3.0 GENERAL PROJECT DESCRIPTION

#### 3.1 PROJECT OVERVIEW

The Huntington Lake area presently has below standard cellular telephone coverage. In order to fulfill the expectations of subscribers in the area, Gulf Coast Broadcasting Corporation needs to construct a cellular facility to provide coverage to the Huntington Lake region and the Sierra Summit ski area.

#### 3.2 FACILITY DESCRIPTION

The applicant proposes to construct a cellular telephone transceiving facility on a portion of APN 110-57-Outlot O, a parcel that is owned by the Huntington Pines Municipal Water Company. Gulf Coast is currently negotiating with the property owners to construct and access the proposed cellular facility. The transceiving facility will consist of the following components:

Cell Site Equipment Cabinet - An equipment cabinet will be installed near the water tower and enclosed within a building designed to match the existing pump house. The protective shelter constructed around the equipment will shield the transceiving equipment from the elements, and hide the equipment from view.

Antenna Tower - An existing crack-up lattice tower, which is mounted atop a water tower, will support Gulf Coast Broadcasting Corporation's three omni-directional antennas.

Accessory Antennas - Two accessory antennas will be installed, including a GPS antenna and a test mobile antenna. The GPS antenna is approximately 6" tall and 6" in diameter. A GPS antenna does not transmit a signal; rather it receives a GPS satellite signal and is part of the calibrating device needed for the precise timing of digital cellular technology. There will also be one test mobile antenna, approximately 15" tall and 1½" in diameter, that will be used in evaluating signal strength at the site. Both accessory antennas will be mounted on the equipment shelter.

Utilities - Electrical and phone service will be extended from existing facilities on the property. There will be no on-site generator for this project.

Radio Frequency - The site will transmit and receive calls by radio waves operating in the 800 Mhz band. Radio frequency generated by this facility is non-ionizing, not harmful to humans and does not interfere with other personal or professional electronic equipment.

Facilities Maintenance - Gulf Coast's proposed wireless telecommunications facility will operate 24 hours a day, 365 days a year, with no on-site staff. One or two Gulf Coast

employees will service the facility several times a month for an average of four hours. The employees will access the site in a small service vehicle, and will carry out preventative maintenance tasks. In the event of a problem or an emergency, a service crew will be dispatched immediately to the site.

### **3.3 GENERAL SITE ANALYSIS**

#### **3.3.1 Zoning General Plan Designation**

This site is currently zoned Residential (R4). The Fresno County Zoning Ordinance authorizes communication towers and related equipment facilities as conditionally permitted uses subject to approval of an Unclassified Conditional Use Permit.

#### **3.3.2 Existing Use**

The subject area is identified as APN 110-57-Outlot O. The parcel is currently utilized for a water tower, and is adjacent to the Eagles Nest Condominium complex.

#### **3.3.3 Surrounding Land Uses**

The surrounding land uses are as follows:

North: A-1 (unclassified)

East: A-1 (unclassified)

South: A-1 (unclassified)

West: A-1 (unclassified)

The Eagles Nest Condominiums are situated to the south of the water tank that will support Gulf Coast's proposed cell site antennas. Since the antennas will be mounted to an existing crank-up lattice tower located on top of the water tank, they will not significantly increase the overall visual impact of the water tank facility on the surrounding residences.

#### **3.3.4 Access/Circulation**

The project site area would be accessed via Huntington Vista Road. The agreement between the property owner and Gulf Coast includes ingress and egress rights through the property.



### **3.4 OPERATIONS**

Construction of the cellular facility will take approximately three weeks, with working hours being generally 7:00 a.m. to 4:00 p.m. The equipment required for completion of the site will be:

- 1.) One (1) backhoe - one week
- 2.) 60 ton hydraulic crane - one day
- 3.) 100 foot man lift - three days

All other vehicles necessary during construction will be regular one-half ton and one ton trucks. They will be there on and off during the three week period.

**FINDINGS OF CONFORMANCE WITH THE**  
**FRESNO COUNTY WIRELESS**  
**COMMUNICATIONS GUIDELINES**



COMPLIANCE WITH THE FRESNO COUNTY WIRELESS COMMUNICATIONS  
GUIDELINES

Huntington Lake Cell Site  
Huntington Vista Road  
APN 110-570-“Outlot” O

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The following discussion will identify each of the Fresno County Guidelines and discuss what actions Gulf Coast Broadcasting Corporation (Gulf Coast) has taken, or will take to comply with that guideline.

- 1.) *“The need to accommodate new communications technology must be balanced with the need to minimize the number of new tower structures which can adversely impact other segments of the community.”*

Gulf Coast conducted a site search in the area to identify structures that could support the antennas at a location which would provide adequate radio coverage. To minimize potential aesthetic impacts the subject parcel was chosen because it has an unused lattice tower mounted to the top of a water tank. This proposal will not result in a new tower or an increase in height of the existing tower. In order to minimize the visual impact of this facility, the smallest possible omni directional (whip) antennas will be used.

- 2.) *“The land use permitting process should rely on general guidelines and policies rather than specific standards which are not flexible enough to accommodate the evolving technology.”*

Gulf Coast, in this application, is making every effort to comply with the spirit and intent of the Fresno County Wireless Communications Guidelines.

Gulf Coast Broadcasting Corp.  
Huntington Lake Cell Site (CA1556)  
March 16, 1998  
Page 2

- 3.) ***“Applicants for new tower permits should be required to submit detailed information in their applications to justify the need for the tower site (e.g. network design, search ring, specific site selection criteria).”***

Gulf Coast in their site search was very deliberate in looking for a site that did not require the installation of a new tower. In selecting this site, Gulf Coast is able to utilize an existing structure, with only minor modifications to add the three Omni directional antennas.

- 4.) ***“Applicants for new tower permits should be required to submit evidence regarding alternative sites considered, information regarding potential co-location opportunities, and evidence of negotiation for co-location on other existing towers where such opportunities exist.”***

This is an application to reuse an existing tower, and is not an application for a new tower. No alternative sites were considered because this site complies with the County desires to not construct new towers.

- 5.) ***“A map documenting the location of all existing communication towers in the County should be maintained by the County.”***

A map of all GCB sites (shown on the map submitted by GTE) is on file with the Fresno County Planning Department.

- 6.) ***“Applications for new tower sites within one-half mile of the boundary of the Cities of Fresno and Clovis should give consideration to City adopted guidelines. . .”***

The GCB proposed site is located many miles from the nearest incorporated city.

- 7.) ***“Siting of towers in rural agricultural areas should be subject to the following criteria and requirements:***

a.) ***“Tower sites should be selected to minimize disruption to agricultural aircraft operations, farm irrigation systems, and movement of farm equipment. Applicants should describe factors specific to the property that have been addressed in site selection. If site selection negotiation is conducted with an absentee owner, a supporting statement from the farm manager should be provided.***

b.) ***“Towers should be placed adjacent to the farm home site or other existing farm buildings. If there are no improvements on the property, the preferred location***

Gulf Coast Broadcasting Corp.  
Huntington Lake Cell Site (CA)556)  
March 16, 1998  
Page 3

*is at the edge of the field or adjacent to existing farm access roads. Locations at the center of fields or sections of land should be avoided.*

- c.) *“Generally, guyed towers should not be allowed, except for Broadcast T.V., Broadcast Radio, and Amateur Radio.*
- d.) *“Towers should be sited to minimize aesthetic impacts to adjacent home sites on surrounding parcels.*
- e.) *Towers should be sited to minimize impacts to adjacent farming operations on surrounding properties.”*

This is not a new tower and is not in an agricultural area.

- 8.) *“Permits for new tower sites should include provision for removal of towers when they are no longer in use.*

The applicant is willing to accept a condition of approval requiring removal of equipment upon termination of the proposed use. However, the tower does not belong to Gulf Coast, thus Gulf Coast is not able to agree to the removal of the tower. Gulf Coast does agree to return the site to the existing condition upon discontinuation of the use of the site.

- 9.) *“Applicants for new tower sites should include provisions in their land lease agreements that reserve co-location opportunities.”*

This is not a new tower, and it belongs to the Huntington Pines Mutual Water Company. There are not any provisions in the lease that would preclude other carriers from locating on this tower.

- 10.) *“Tower sites adjacent to roads classified as major roads on the Circulation Element of the General Plan should include measures to minimize aesthetic impacts when feasible.”*

The closest road to the project site is Huntington Lake Road. Due to the location of the project site, and the intervening development, this site is not visible from Huntington Lake Road.

- 11.) *“The County should consider modified procedures that encourage applicants to fully utilize existing tower sites, and to consider use of existing structures and industrial locations when proposing new sites.”*

GCB proposes to work with staff to develop design options for this site that would allow administrative review of modifications to this site to accommodate a future carrier.



April 20, 1998

Mr. Bernard Jimenez, Staff Analyst  
Development Services Division  
County of Fresno  
Public Works & Development Services Department  
2220 Tulare Street  
Fresno, CA 93721

RE: Unclassified Conditional Use Permit No. 2861  
Gulf Coast Broadcasting Corporation  
Huntington Lake (CA 1556)

Dear Bernard:

In response to your letter dated April 1, 1998, requesting additional information about the proposed Gulf Coast Broadcasting (GCB) application in Huntington Lakes, the following information is being provided. Each bullet below will correspond to the bulleted questions contained in your letter.

- GCB is not a new carrier, and has been doing business in Fresno County for several years. GCB's license area is in the Sierra's where they have constructed four (4) new sites over the last eighteen (18) months. These sites have been co-locations with the California Division of Forestry, AT&T, US Forest Service, and Ponderosa Telephone. These sites were installed to provide service to areas which did not have cellular service prior to implementation of these sites. GCB will probably construct additional sites in the future, including the possibility of one site in the coming year. Due to the small size of GCB's license area and the limited population within the service area, GCB will not construct a significant number of new sites.
- The existing tower is a crank up structure, but the antennas will be attached to the lowest leg of the tower. The antennas will remain at the height reflected on the plans.
- "Omni-directional antennas" are whip type antennas. Initially, the site will only provide analog service, but the site will, at some point in the future, provide both analog and digital service.
- As we discussed, the equipment cabinet will be on the water tank site.

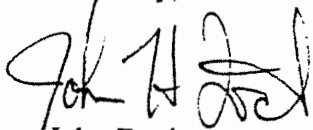
*Gulf Coast Broadcasting Corporation  
Huntington Lake Cell Site (CA 1556)*

*Page 2*

- This application did not specifically request approval to allow other carriers on the tower. In order to comply with tower siting policy 11, GCB requests that the application be amended to include approval of antennas for other carriers on the tower, subject to staff approval.
- I have continued to research the history of the tower and the water tank. The water tank and the tower were both constructed in 1975, as part of the subdivision improvements for the Huntington Condominium development. The tower was placed on the tank in order to provide cable television to the condominiums. The developer had advertised that cable television would be provided to the new development. Evidently, the developer's intent was to place television antennas on the tower and then provide cable to the condos from this point, but the tower was not high enough to obtain television reception. The water tank and tower should be shown on the improvement plans for the Huntington Condominiums. Considering this information, it appears that the existing tower was authorized as part of the permit for the Huntington Condominiums.

If you need any additional information, or have any questions, please contact me.

Sincerely,

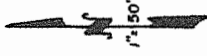


John Ford  
Planning Consultant

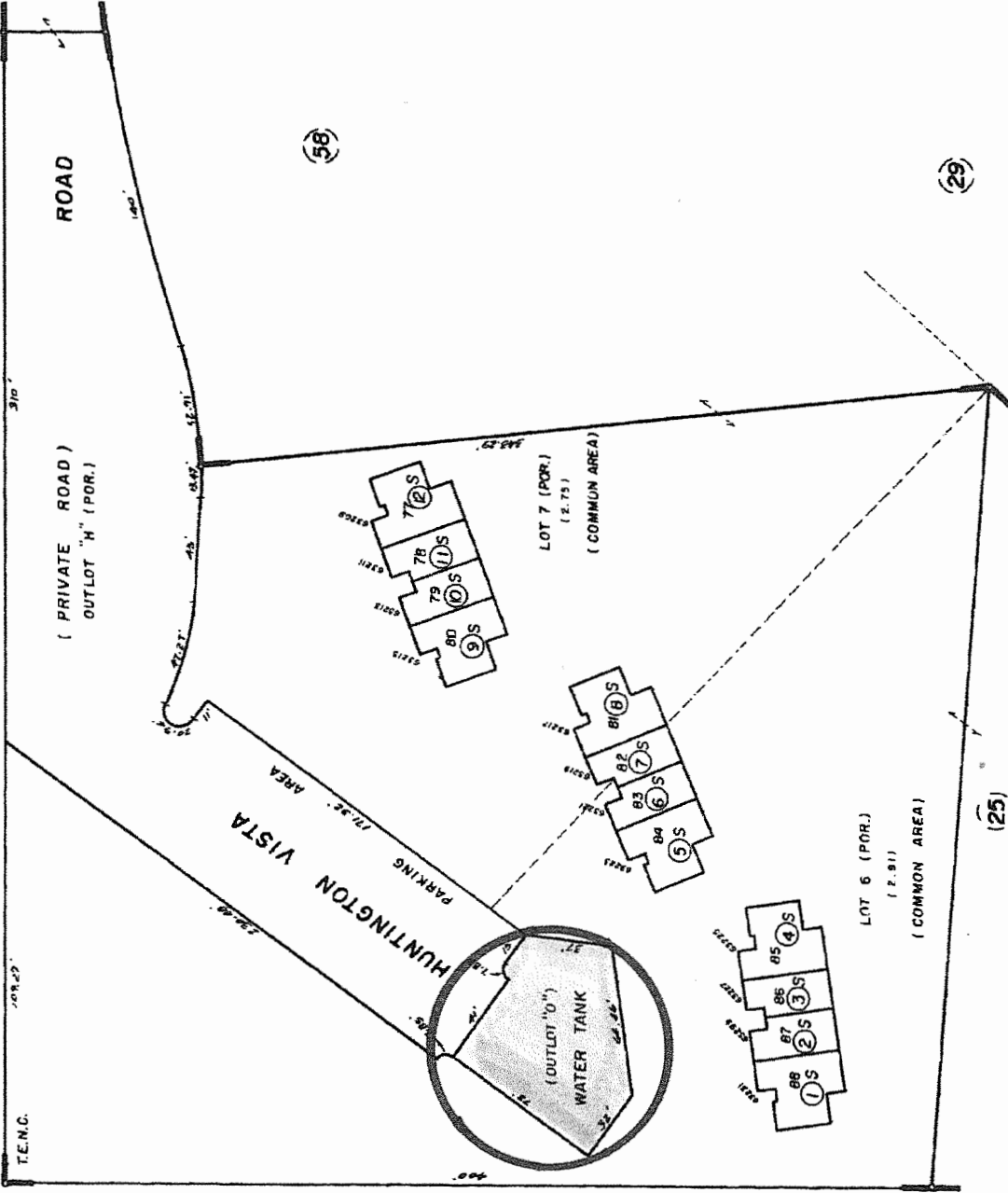
110-57

Tom Rate Area  
60-006

SUBDIVIDED LAND IN POR. SEC. 6, T. 8 S., R. 26 E., M. D. B. & M.



\*\*\* NOTE \*\*\*  
This map is for Assessment purposes only.  
It is not to be construed as portraying  
legal ownership or divisions of land for  
purposes of zoning or subdivision law.



(05)

(58)

(25)

(29)

(25)

(12)

The Eagles Nest Condo. Plan For Lot 6 Of Tract No. 2584 - Plat Blk. 43, Pgs. 92 - 97

NOTE - Assessor's Block Numbers Shown in Ellipses.  
Assessor's Parcel Numbers Shown in Circles.

Assessor's Map Blk. 110, -Pg. 57  
County of Fresno, Calif.





ANTHONY L. LEGGIO  
DAYNA A. LEGGIO  
2300 WEYBRIDGE DRIVE  
BAKERSFIELD, CALIFORNIA 93311  
HOME: (805) 665-2323  
OFFICE: (805) 322-6023

PETER DELIS  
DAVIDA DELIS  
2552 DAVID ROAD  
ARVIN, CALIFORNIA 93203  
HOME: (805) 871-1733  
OFFICE: (805) 858-0309

May 19, 1998

VIA FEDERAL EXPRESS  
AND FACSIMILE

County of Fresno  
Public Works & Development Services Department  
2220 Tulare Street, Sixth Floor  
Fresno, California 93721

Attention: Gail Miller

RE: Notice of Public Hearing: Use Permit Application No. 2861

Gentlepersons:

This will serve to confirm and follow-up my recent telephone conversation with Gail Miller advising of our objection to the proposed installation of a cellular communication facility immediately adjacent to our homes in Huntington Lake.

My wife and I have been owners of Unit #86 since the time of the original development. Likewise, Pete and Davida Delis have been long time owners of Unit #82. Both of our respective family and friends have long enjoyed the natural beauty which Huntington Lake has to offer year-round. Our units are at the far west end of the development, immediately adjacent to the proposed transmission antenna. Our unit, Unit #86, is approximately twenty feet (20') from the proposed antenna, and my front kitchen window and front door are in a direct line of sight with the proposed antenna. Likewise, the Delis home is within approximately fifty feet (50') of the proposed antenna and also in direct line of sight from the front kitchen window and front door.

County of Fresno  
RE: Eagles Nest Condominium Subdivision  
May 19, 1998

It is important for the Planning Commission be aware that this issue has previously been brought before the Eagles Nest Condominium Homeowners' Association for consideration. At that time, a **majority** of the owners voted **against** a similar proposal to locate the antenna on Association property. Enclosed as Attachment No. 1 is a copy of the notice from the President of the Homeowners' Association advising of this rejection of the proposal by Golf Coast Broadcasting.

As a result of the Homeowners voting against the proposal, the applicant contacted Huntington Pines Mutual Water Company to seek permission to install the antenna on top of the existing water tank. This is clearly an attempt to circumvent the opposition of the adjoining homeowners. Significantly, when the issue was first raised with the Homeowners' Association, one of the original proposals was to locate the antenna on top of the water tank. It was at this time that many of the homeowners learned for the first time that the existing lattice tower was not needed for current operation of the water tank. As a result of learning this, we requested that the water company consider removing the unnecessary lattice tower and offered to make a donation to the water company to cover the cost of removing the unneeded tower. Enclosed is Attachment No. 2 which is a copy of the correspondence sent to Mr. Jack Swertfager of Huntington Pines Mutual Water Company wherein this offer was extended.

For all of the reasons discussed by the Homeowners when voting against this proposal, we continue to strongly object to the installation of these commercial antennas in an area immediately adjacent and directly visible by us while enjoying the beauty and serenity of the Huntington Lake area from our homes. Attached as Attachments No. 3, 4 and 5, are sample letters sent to the Homeowners' Association by certain of us homeowners objecting to this proposal and the basis for those objections.

In summary, we strongly urge the Planning Commission to reject this proposal as it was previously rejected by the Homeowners' Association. The basis for our objections include the following:

(1) The installation of any electrical appliance such as a telephone antenna adjacent to residential property will directly diminish the value of that property. Both for health and aesthetic reasons, potential buyers are concerned about purchasing a residence near an electrical antenna or transmission line and this is reflected by a direct correlation in reduction of property values.

County of Fresno  
RE: Eagles Nest Condominium Subdivision  
May 19, 1998

(2) The installation of the antenna will have a direct negative aesthetic affect on the area, especially in an area as natural and beautiful as Huntington Lake. The fact that the proposal antenna will be attached to the existing lattice tower on top of the water tank is irrelevant. Only recently did the homeowners learn that the existing lattice tower was not necessary for the operation of the water tank, and therefore it can and should be removed to help improve the aesthetic affect of the area. The addition of antennas on top of the water tank will only add to the unsightly condition.

(3) The proposed communication facility is within a few feet of many residences. It will be in direct view, and it cannot be screened or otherwise hidden from view.

(4) There is the issue of potential health hazards. While we understand there is some debate on this issue, the point is simply that it is an unresolved issue and one which our respective families are unwilling to voluntarily expose themselves to given the choice.

(5) There are literally thousands of acres of adjoining property, both operated by the Forest Service and the local ski resort, which can be utilized if absolutely necessary. If some people feel that a cellular antenna has become a necessity in a remote and uniquely aesthetic mountain area, we are confident there are other more appropriate locations not immediately adjacent to mountain cabins. These homes were purchased and maintained for the express purpose of escaping the unsightliness of many modern conveniences.

For the reasons stated above, we respectfully request that the Planning Commission vote **no** on this proposal and you continue to maintain Huntington Lake and its natural serenity for the benefit of the existing homeowners and the many visitors to the area in the years to come.

Thank you for your kind consideration.

Very truly yours,



ANTHONY L. LEGGIO  
DAYNA A. LEGGIO  
PETE DELIS  
DAVIDA DELIS

**Huntington Pines Mutual Water Company**  
18 Willow Avenue, #101, Clovis CA 93225

May 19, 1998

*GAIL*  
Ms. ~~Date~~ Miller, Planning Dept.  
County of Fresno  
2220 Tulare Street, 6th Floor  
Fresno, CA 93721

Re: CUP Application by Gulf Coast Broadcasting Co.

Dear Ms. Miller:

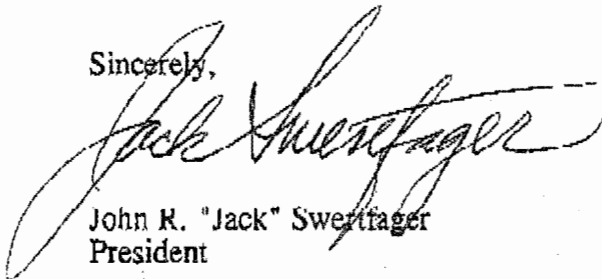
The Huntington Pines Mutual Water Company has negotiated a lease with Gulf Coast Broadcasting Co. whereby Gulf will install three cellular telephone antennae on top of our 100,000 gallon water storage tank at Huntington Lake. We support Gulf's CUP application and encourage the County to approve it. The lease will generate significant rental income to help the Company pay the ever-increasing costs of operating our water and sewer facilities. We are a small mutual company serving only our 138 shareholders, which include the 84-unit Huntington Association, the 24-unit Eagles Nest Association and 30 single family home lots.

The three antennae will be located atop an existing steel tower (on top of the water storage tank) that was built twenty years ago to provide TV reception for the first condominiums. For all but the first year the tower has been unused, as the quality of TV reception was very poor. Ever since the Eagles Nest Condominiums were built (first unit built in 1985), we have never received a complaint from any owner that the tank and tower were a visual nuisance. Now that the tower can be used productively, a few Eagle Nest owners have objected to the visual impact of the tower. We are sensitive to their objections and have acted appropriately.

To improve the esthetic environment for the closest owners, the Company has committed to repainting the tank and adding landscaping around the tank to (ultimately) screening it off. To compensate the Eagles Nest Association, in whose "back yard" our facilities are located, we have agreed to share the rent from Gulf Coast. In fact the Eagles Nest owners, who comprise only 17% of our shareholders, will receive 50% of the financial benefit of the rent. The Company shareholders approved this arrangement at our annual meeting.

Personally, I will welcome the improved cellular service in the area, not only for the obvious public safety aspects, but also as a frequent visitor and a snow skier, I will make good use of it. Thank you.

Sincerely,



John R. "Jack" Swerfager  
President

**HUNTINGTON ASSOCIATION**

2203 N. Cornelia  
Fresno, CA 93722

Phone (209) 275-6289  
Fax (209) 28-92-9500

May 15, 1998

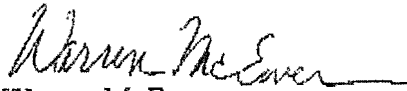
To Whom It May Concern

Re: Cellular Telephone Antenna at Huntington Lake, CA

This letter is in support of the application pending for construction of cellular telephone antenna on the current water tower located at the Huntington Lake Condominium complex at Huntington Lake, California.

I am the current president of the Huntington Condominium Association and a homeowner in the complex. Recently our Board of Directors unanimously approved access through our complex for the construction and maintenance of the antenna. This approval was granted so that we can enjoy improved cellular service from Huntington Lake. At present service is spotty with frequent loss of signal for persons using AT&T service and non-existent for GTE service.

There will be no environmental impact as the water tower is already in place and will not be altered with the installation of the antenna.



Warren McEwen  
President  
Huntington Condominium Association



## Facsimile Transmission Sheet

<b>To:</b>	Gail Miller	<b>Date:</b>	5/19/98
<b>Organization:</b>	Planning - Fresno County	<b>From:</b>	Roger E. Gonzalez
<b>Fax:</b>	209/262-4893	<b>Re:</b>	

Number of Pages (including this page): 11

Hard Copy to Follow By: None to Follow

If you did not receive all of the pages or have received this communication in error, please contact me at this office immediately at (408) 438-9500.

### Comments:


Gail:

I have received permission from Huntington Pines Mutual Water Co. to release a copy of the Grants of Access Easements.

Attached please find the Grants of Access Easements from Eagles Nest Condo Association and Huntington Association. Said Agreements have been already executed and have been included in the Lease Agreement between Gulf Coast Broadcasting Corp. and Huntington Pines Mutual Water Co.

If you require additional information please call.

Sincerely,

  
Roger E. Gonzalez

Site Name Huntington Lake Site Number CA1556-0100

**EXHIBIT "F"**

**GRANTS OF ACCESS EASEMENT**

THE FOLLOWING GRANTS OF ACCESS EASEMENTS ARE ATTACHED HERETO AND MADE A PART OF THIS AGREEMENT:

- 1) Easement granted to Huntington Pines Mutual Water Company by Eagles Nest Condominium Owners' Association for the benefit of Gulf Coast Broadcasting Corporation dated April 20, 1998.
- 2) Grant of Easement to Huntington Pines Mutual Water Company by Eagles Nest Condominium Owners' Association for the benefit of Gulf Coast Broadcasting Corporation dated April 20, 1998.
- 3) Grant of Right of Way Huntington Pines Mutual Water Company by Eagles Nest Condominium Owners' Association for the benefit of Gulf Coast Broadcasting Corporation dated April 20, 1998.

Site Name Huntington Lake Site Number CA1556-0100

Recording requested by:  Huntington Pines Mutual Water Company	
When recorded, mail to:  Huntington Pines Mutual Water Co. 3128 Willow Avenue, #101 Clovis, CA 93612	

### Easement

#### Recitals.

1. The Eagles Nest Condominium Owners' Association, a California nonprofit mutual benefit association ("Association"), maintains and administers, pursuant to the Declaration of Covenants, Conditions and Restrictions of Eagles Nest Condominiums, recorded January 15, 1986 in Fresno County as Document No. 86004825 ("CC&R's"), the Common Area which is a part of the Eagles Nest Condominiums Project ("Project"), developed pursuant to the Eagle Nest Condominium Plan recorded in Book 43, pages 92 to 97 inclusive, of Plats, Official Records of said County, and located on Lot 6 and Outlots G and H of Tract 2584, Huntington, according to the map thereof recorded in book 31, Pages 1 to 9 inclusive, of Plats, Official Records of said County.

2. The By-Laws of the Association specifically empower the Association's Board of Directors to grant utility easements under, through and over the Common Area, which are reasonably necessary to the ongoing development and operation of the Project.

3. All of the Owners in the Association are also shareholders of the Huntington Pines Mutual Water Company, a California corporation ("Company"), whose shares are appurtenant with the ownership of the land and condominium parcels served by the Company.

4. The Company has received and approved a proposal from Gulf Coast Broadcasting Corporation ("Gulf Coast"), to lease space from the Company for the purpose of installing, constructing, maintaining and operating: (i) a cellular radio antenna on the existing tower located on top of the water storage tank located on Outlot O of said Tract 2584 ("Outlot O"), (ii) radio communications equipment to be located within an extension of the existing pump shed on said Outlot O, and (iii) coaxial cable transmission lines between (i) and (ii).

5. The Company holds an easement for right of way over Tract 2584, recorded June 17, 1977 in Book 6817, Page 930 of Fresno County Records, but said easement is limited to purposes related to water and sewer system facilities and may not provide an assignable right of way easement for the purpose of access to cellular telephone equipment.

6. The Company has proposed to share the rent to be paid by Gulf Coast to the Company with the Association, in exchange for an easement from the Association over Outlots G and H of Tract 2584, which are part of the Project Common Area and administered by the



Site Name Huntington Lake Site Number CA1556-0100

Association pursuant to the CC&R's.

7. The Association's Board of Directors has considered the Company's rent-sharing proposal, found that the quitclaiming of an additional easement for ingress and egress for Outlot O to the Company for cellular telephone purposes, but limited specifically to the Gulf Coast proposal, is reasonably necessary to the ongoing development and operation of the Project, and has voted and approved the quitclaiming of this easement.

For valuable consideration, receipt of which is hereby acknowledged, the undersigned hereby quitclaims to the Huntington Pines Mutual Water Company an easement for ingress and egress for the purposes of installing, constructing, maintaining and operating cellular communications equipment, as defined in lease between Huntington Pines Mutual Water Company and Gulf Coast, receipt of a copy of which is hereby acknowledged by the Association. This easement shall have a limited term, commencing with the commencement date, and terminating upon the termination, of said lease. This easement encumbers Outlots G and H of Tract 2584, the servient tenement, and will be appurtenant to Outlot O of said Tract 2584, the dominant tenement. This easement is not assignable by the Company for any purpose, or to any party, other than to its lessee for the duration of its lease with Gulf Coast and, upon the prior written approval of the Association's Board of Directors, which shall not be reasonably withheld, to any assignee of such lessee.

In Witness Hereof, the Undersigned have executed this Easement this 20<sup>th</sup> day of April, 1998.

Eagles Nest Condominiums Owners' Association a California nonprofit mutual benefit association

By: D. Sue Durlin  
Pres. of Board

By: Margie Ferguson  
SECRETARY OF BOARD

Site Name Huntington Lake Site Number CA1556-0100

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

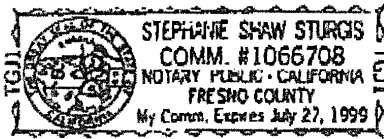
STATE OF CALIFORNIA

COUNTY OF FRESNO

On April 20, 1998 before me, STEPHANIE SHAW STURGIS, personally appeared D. GREG DURBIN.

personally known to me - OR -

proved to me on the basis of satisfactory evidence to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Stephanie Shaw Sturgis  
(SIGNATURE OF NOTARY)

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

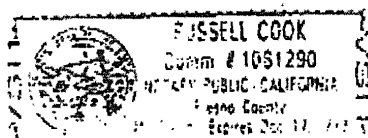
STATE OF CALIFORNIA

COUNTY OF FRESNO

On 4-27, 1998 before me, Russell Cook, personally appeared Margie Parisian.

personally known to me - OR -

proved to me on the basis of satisfactory evidence to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Russell Cook  
(SIGNATURE OF NOTARY)

H. GOURBIN/WPPERSONAL/EAGLES/RIGHTWAY

Site Name Huntington Lake Site Number CA1556-0100

Recording requested by:  Huntington Pines Mutual Water Company	
When recorded, mail to:  Huntington Pines Mutual Water Co. 3128 Willow Avenue, #101 Clovis, CA 93612	

### Grant of Easement

#### Recitals.

1. The Eagles Nest Condominium Owners' Association, a California nonprofit mutual benefit association, ("Association") maintains and administers, pursuant to the Declaration of Covenants, Conditions and Restrictions of Eagles Nest Condominiums, recorded January 15, 1986 in Fresno County as Document No. 86004825 ("CC&R's"), the Common Area which is a part of the Eagles Nest Condominiums Project ("Project"), developed pursuant to the Eagle Nest Condominium Plan recorded in Book 43, pages 92 to 97 inclusive, of Plats, Official Records of said County, and located on Lot 6 and Outlots G and H of Tract 2584, Huntington, according to the map thereof recorded in book 31, Pages 1 to 9 inclusive, of Plats, Official Records of said County.

2. The By-Laws of the Association specifically empower the Association's Board of Directors to grant utility easements under, through and over the Common Area, which are reasonably necessary to the ongoing development and operation of the Project.

3. Each of the Owners in the Association are also shareholders of the Huntington Pines Mutual Water Company, a California corporation ("Company"), whose shares are appurtenant with the ownership of the land and condominium parcels served by the Company.

4. The Company owns and maintains a water storage tank ("Tank"), as part of a water distribution system which provides the Project and other shareholders with domestic and fire-protection water supplies.

5. Said Tank was to have been constructed entirely on Outlot O of said Tract 2584, which lot is owned by the Company, but a portion of the Tank encroaches onto the Association's Common Area, as illustrated on Exhibit A attached hereto for reference.

6. The Association's Board of Directors desires to resolve this encroachment in the most expedient and cost efficient manner available, and has voted and approved the granting of this specific easement.

Site Name Huntington Lake Site Number CA1556-0100

For valuable consideration, receipt of which is hereby acknowledged, the Undersigned, hereby grants to the Huntington Pines Mutual Water Company an easement for the purposes of locating, maintaining, repairing and using said tank, said easement to encumber that specific portion of Lot 6 of said Tract 2584 which underlies the current Tank location and lies within 3.0 feet outside said Tank's foundation. Said easement shall be appurtenant to Outlot O of said Tract 2584. Said easement shall have a term limited to the life of the Tank, and shall automatically expire in the event that the Tank is demolished, removed, replaced or relocated.

In Witness Hereof, the Undersigned have executed the Grant of Easement this 20<sup>th</sup> day of April 1998.

Eagles Nest Condominiums Owners' Association

By: D. Greg Durbin  
Pres. of Board

By: Margie Harsanian  
SECRETARY OF BOARD

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

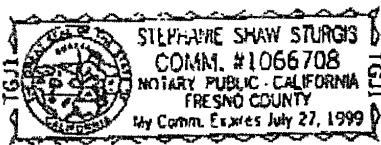
STATE OF CALIFORNIA

COUNTY OF FRESNO

On April 20, 1998 before me, STEPHANIE SHAW STURGIS personally appeared D. Greg Durbin

personally known to me - OR -

proved to me on the basis of satisfactory evidence to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/his/their authorized capacity(ies), and that by his/his/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

Stephanie Shaw Sturgis  
(SIGNATURE OF NOTARY)

Site Name Huntington Lake Site Number CA1556-0100

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

STATE OF CALIFORNIA

COUNTY OF FRESNO

On 4-27, 1998 before me, Russell Cook, personally appeared Margie Parajin, personally known to me - OR -

proved to me on the basis of satisfactory evidence to be the person(s) whose names(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



WITNESS my hand and official seal.

[Handwritten signature of Russell Cook]

(SIGNATURE OF NOTARY)

II GOURBIN WP PERSONAL EAGLES EASEMENT

Site Name Huntington Lake Site Number CA1556-0100

Recording requested by:

Huntington Pines Mutual Water Company

When recorded, mail to:

Huntington Pines Mutual Water Co.  
3128 Willow Avenue, #101  
Clovis, CA 93612

### Grant of Right of Way

#### Recitals.

1 The Huntington Association, a California nonprofit corporation, ("Association") maintains and administers, pursuant to the "Declaration of Covenants, Conditions, Restrictions and Easements Establishing A Plan For Condominium Ownership For Huntington Tract No. 2584", recorded September 22, 1977 in Fresno County as Document No. 101783 ("CC&R's"), the Common Area which is a part of the Huntington Condominiums Project ("Project"), developed pursuant to the "Condominium Plan Of Lots 1, J, 4 & 5 Of Tract No. 2584, Huntington" recorded in Book 31, pages 16 to 23 inclusive, of Subdivision Maps, Official Records of said County ("Condo Plan"), and located on Lots 1, 2, 3, 4, 5, 9 and 10 and Outlots A, B, C, D, E, F, I, J, K, L and N of Tract 2584, Huntington, according to the map thereof recorded in book 31, Pages 1 to 9 inclusive, of Plats, Official Records of said County.

2 The By-Laws of the Association specifically empower the Association's Board of Directors to grant utility easements under, through and over the Common Area, which are reasonable necessary to the ongoing development and operation of the Project.

3 Each of the Owners in the Association are also shareholders of the Huntington Pines Mutual Water Company, a California corporation ("Company"), whose shares are appurtenant with the ownership of the land and condominium parcels served by the Company

4 The Company has received and approved a proposal from Gulf Coast Broadcasting Corporation ("Gulf Coast"), to lease space from the Company for the purpose of installing, constructing, maintaining and operating (i) cellular radio antennae on the existing tower located on top of the water storage tank located on Outlot O of Tract 2584, (ii) radio communications equipment to be located within an extension of the existing pump shed on said Outlot O, and (iii) coaxial cable transmission lines between (i) and (ii).

5 The Company holds an easement and right of way over all of the area included in Tract 2584, recorded June 17, 1977 in Book 6817, Page 930 of Fresno County Records, but said easement is limited to purposes related to water and sewer system facilities and may not provide an assignable right of way for the purpose of

Site Name Huntington Lake Site Number CA1556-0100

cellular telephone equipment. Thus, the Company has requested from the Association a Right of Way over Outlots A, C, E and F of Tract 2584.

6. The Association's Board of Directors has considered the Company's request and the lease between the Company and Gulf Coast (receipt of a copy of which is hereby acknowledged by the Association), has found that the granting of an additional right of way to the Company for cellular telephone purposes falls within the powers granted in the By-Laws of the Association, and has voted and approved the granting of said right of way

For valuable consideration, receipt of which is hereby acknowledged, the undersigned hereby grants to the Huntington Pines Mutual Water Company a right of way for the purposes of installing, constructing, maintaining and operating cellular communications equipment. This right of way encumbers Outlots A, C, E and F of Tract 2584, the servient tenement, and will be appurtenant to Outlot O of said Tract 2584, the dominant tenement. This right of way is not assignable by the Company for any other purpose, or to any party other than its lessee for the duration of its lease, without the prior written approval of the Association's Board of Directors.

In Witness Hereof, the Undersigned have executed this Grant of Right of Way this 21<sup>st</sup> day of April 1998 1998.

Huntington Association,  
a California nonprofit corporation

By: *Warren M. [Signature]*

By: *[Signature]*

Site Name Huntington Lake Site Number CA1556-0100

STATE OF California

COUNTY OF Fresno

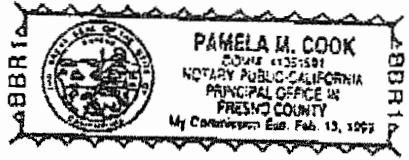
On April 21, 1998 before me, Pamela M. Cook  
(Name, Title of Officer)

personally appeared Warren McEwen and Gary Marsella

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Pamela M. Cook  
(Signature of Notary Public)



(This area for notarial seal)



*Letter to Mgr. of Huntington Pines Mutual Water Co. from Tony Leggio regarding the offering of money to remove the tower.*

ATTACHMENT NO. 2

**CLIFFORD & BROWN**

A PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

BANK OF AMERICA BUILDING  
1430 TRUXTON AVENUE, SUITE 900  
BAKERSFIELD, CALIFORNIA 93301-5230

KELLY ZIMMERMAN  
OFFICE ADMINISTRATOR  
SHIRLEY M. KRISTELL  
CONTROLLER

STEPHEN T. CLIFFORD  
JAMES E. BROWN  
ROBERT O. HARDING  
ARNOLD ANCHORDDOUY  
ANTHONY L. LEGGIO  
PATRICK J. OEBORN  
MICHAEL L. O'DELL  
GROVER M. WALDON  
JOHN R. SZPWCZYK  
STEPHEN H. BOYLE  
JAMES B. WIENS  
RICHARD G. ZIMMER  
CHARLES J. MELTON  
TERI A. EJORN

GREGORY J. KOHLER  
STEPHEN R. WAINER  
SCOTT L. HARPER  
BILL J. KUENZINGER  
BETH A. VAN VOORHIS  
WINIFRED THOMSON HOOD  
MARK E. PARRFORD  
KURT S. RONNOW  
JONATHAN R. BARNES\*

OF COUNSEL  
THOMAS H. STANTON  
CURTIS DARLING

November 11, 1997

TELEPHONE NO.  
(805) 322-6023  
TELECOPIER NO.  
(805) 322-3508

E-MAIL

cb'aw@clifford-brownlaw.com

† LLN TAXATION  
‡ CERTIFIED PUBLIC ACCOUNTANT

Mr. Jack Swertfager  
Huntington Pines Mutual Water Company  
3128 Willow Avenue, Suite 101  
Clovis, CA 93612

Dear Mr. Swertfager:

This will serve to confirm our recent telephone conversation wherein I advised that certain owners are willing to consider contributing to the Huntington Pines Mutual Water Company the funds necessary to remove the existing tower on top of the water tank which sits immediately adjacent to our homes at Huntington Lake. Many of us have just learned for the first time that the unsightly tower on top of the water tank is no longer being utilized and serves no useful purpose.

Therefore, we would appreciate it if Huntington Pines Mutual Water Company would consider this offer and advise how we can proceed with coordinating obtaining an estimate of the cost to remove the unneeded tower.

Thank you for your consideration of this offer.

Very truly yours,

Anthony L. Leggio

ALl:sem

ATTACHMENT NO. 1

EAGLES NEST CONDOMINIUM HOMEOWNERS' ASSOCIATION  
% KAREN D. BARE  
3128 WILLOW, SUITE 101  
CLOVIS, CA 93612  
(209) 292-9300 FAX (209) 292-9500

July 22, 1997

Dear Homeowners:

This letter is sent as a follow-up to earlier letters to you regarding a proposed lease/easement for a cellular telephone antenna and related facilities with GTE/Gulf Coast Broadcasting Corp. When the Board of your homeowners' association met last night, we were advised that a sufficient number of homeowners had voted against the proposal so that it is clear that the proposal will not receive the required 75% approval. Accordingly, we are notifying GTE, through its realtor, and also Huntington Pines Mutual Water Company, that the association has decided to terminate any further discussions or negotiations concerning a cellular telephone antenna and related facilities.

Very truly yours,



D. Greg Durbin, President

DGD:ho

ATTACHMENT NO. 2

**CLIFFORD & BROWN**

A PROFESSIONAL CORPORATION

ATTORNEYS AT LAW

BANK OF AMERICA BUILDING

1430 TRUXTUN AVENUE, SUITE 900

BAKERSFIELD, CALIFORNIA 93301-5230

STEPHEN T. CLIFFORD  
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MICHAEL L. O'DELL  
GROVER H. WALDON  
JOHN R. SZEWCZYK  
STEPHEN H. BOYLE†  
JAMES B. WIENS  
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BILL J. KUENZINGER  
BETH A. VAN VOORHIS  
WINIFRED THOMSON HOSS  
MARK E. PAFFORD  
KURT S. RONNOW  
JONATHAN B. BARNES\*

OF COUNSEL  
THOMAS M. STANTON  
CURTIS DARLING

KELLY ZIMMERMAN  
OFFICE ADMINISTRATOR  
SHIRLEY M. KRISTELL  
CONTROLLER

TELEPHONE NO.  
(805) 322-6023

TELECOPIER NO.  
(805) 322-3508

E-MAIL  
cblaw@clifford-brownlaw.com

November 11, 1997

† LLM TAXATION  
\* CERTIFIED PUBLIC ACCOUNTANT

Mr. Jack Swertfager  
Huntington Pines Mutual Water Company  
3128 Willow Avenue, Suite 101  
Clovis, CA 93612

Dear Mr. Swertfager:

This will serve to confirm our recent telephone conversation wherein I advised that certain owners are willing to consider contributing to the Huntington Pines Mutual Water Company the funds necessary to remove the existing tower on top of the water tank which sits immediately adjacent to our homes at Huntington Lake. Many of us have just learned for the first time that the unsightly tower on top of the water tank is no longer being utilized and serves no useful purpose.

Therefore, we would appreciate it if Huntington Pines Mutual Water Company would consider this offer and advise how we can proceed with coordinating obtaining an estimate of the cost to remove the unneeded tower.

Thank you for your consideration of this offer.

Very truly yours,

Anthony L. Leggio

ALL:sem

ATTACHMENT NO. 3

6 June 1997

To: Eagles Nest Condominium Homeowners Association  
c/o Karen D. Bare, 3128 Willow, Suite 101  
Clovis CA 93612  
FAX 209/292-9500

From: Ken and Diane Kreyenhagen  
(Eagles Nest #88)  
15827 Beaver Run Rd.  
Canyon Country CA 91351-4004  
FAX 805/252-8482

Re: Proposed GTE cellular telephone antenna

1. No mention is made of the rental fees that are expected. If the fee is not quite substantial, the Condo Association and Water Company should not consider the proposal further. The visual degradation caused by the antennas is not worth it for a few hundred dollars a year income to the Association and Water Company.

2. Enough's enough! The west end of Eagles Nest is already burdened by a number of unsightly utilities, including the main water tank, the pressure tank, the pump building, and two propane tanks. Unless we are going to do something to ameliorate this unsightly utility clutter, we shouldn't consider adding more (see item 5 below).

3. Putting the antenna on or near the water tank may be desirable for GTE, but we are strongly opposed to the antenna unless it can be done in such a way that it is essentially not visible, especially to the immediately adjacent condo owners. We do not see a location which meets this minimum requirement. Of the proposed locations, Proposal 1 (antenna attached to northwest side of the tank) may be the least offensive, from the standpoint of minimizing interference with north-facing views from Units 85, 86, 87, and 88. We will vigorously oppose any free standing antenna located west of the water tank (Proposal 3), or location of the antenna as an extension to the existing tower on the water tank (Proposal 2), since either of these would directly interfere with our view of College Rock and Kaiser Ridge, or with the view from other condos in our building.

4. The large Cellular Cabinet must be located where it is not visible, preferably in the existing pump shed.

5. In fairness to the immediately adjacent condo owners, if you are going to consider additional unsightly utilities in our area by the addition of the large antenna proposed by GTE, immediate steps should be taken to improve the general appearance of this area. Specifically, any lease with GTE must contain a requirement to develop natural landscaping (like conifers and faster-growing quaking aspens) around the tanks and the

other utilities in this area. Further, the income received for the first few years by the Condo Association and the Water Company should be exclusively dedicated to maintaining and improving this landscaping until it begins to mature.

6. Indeed, even if we reject GTE's proposal, the Association and the Water Company should devote some resources towards making landscaping improvements so that the water tank will be less offensive to its immediate neighbors?.

Thank you for your consideration, and for the dedication of the Boards of both the Association and the Water Company.

Ken and Diane Kreyenhagen  
Eagles Nest #88

cc: John/William Pucheu (Unit 85); Tony Leggio (Unit 86); Bill Carter (Unit 87)

ATTACHMENT NO. 4

ANTHONY L. LEGGIO  
DAYNA A. LEGGIO  
2300 Weybridge Drive  
Bakersfield, California 93311  
Home: (805) 665-2323  
Office: (805) 322-6023

May 30, 1997

Mr. D. Greg Durbin  
President  
Eagles Nest Condominium Homeowners Association  
c/o Karen D. Bare  
3128 Willow, Suite 101  
Clovis, California 93612

RE: Proposed Cellular Telephone Antenna

Dear Greg:

This will serve to confirm our recent telephone conversation concerning the proposed installation of a cellular telephone antenna and related facilities on the water tank at Eagles Nest.

As we discussed, my wife and I own Unit 86 which is directly adjacent to the water tank. In this regard, our front door and kitchen window directly face the water tank.

First, please let me express our appreciation for the time and effort which you and other members donate to the Board. We appreciate your efforts and also appreciate the fact that you allowed us an opportunity to voice our opinions regarding this proposed antenna. For numerous reasons, my wife and I along with Mr. & Mrs. Peter Delis (Unit #81) strongly object to the installation of the antenna.

First, and based upon prior experience, the installation of any electrical appliance such as a telephone antenna adjacent to residential property will directly diminish the value of that property. Both for health and aesthetic reasons, potential buyers are concerned about purchasing a residence near an electrical antenna or transmission line and this is reflected by a direct correlation and reduction of property values. In this situation, the proposed antenna would be within feet of the sidewalk entrance to the homes in Eagles Nest and certainly within feet of our front door and kitchen window.

Mr. D. Greg Durbin  
May 30, 1997  
Page 2

Second, there is the issue of potential health hazards. While I understand there is some debate on this issue, the point is simply that it is an unresolved issue and one that my family and I are unwilling to voluntarily expose ourselves to if given the choice. Ironically, as I am sure you and the other members of the Board can appreciate, one of the primary reasons we purchased a second home at Eagles Nest was to be in a natural setting with as few manmade obstructions as possible.

Third, and of equal importance, is the negative aesthetic affect of the erection of any such antenna would have on the complex in general and our unit in particular. We have direct view of the tank and when we purchased our home, realized that we would have to live with this necessary obstruction. However, we did not anticipate that additional electric appliances (such as antennas, satellite dishes, etc.) would thereafter be installed on top of the tank.

Finally, I must raise the issue of whether the Board of Directors has the authority to grant a license for commercial use of the common area without the unanimous consent of the members. This antenna will not provide a service or benefit to the Association. While I have not thoroughly researched this issue, it seems that if the Board could grant such commercial licenses without unanimous consent that a portion of any common area of the Homeowners Association could be placed in commercial use to the detriment of a minority of owners. In this case, the antenna is not for the benefit of the Association and I can certainly appreciate why certain homeowners may not object since it is not immediately adjacent to their homes. I think this could be a very dangerous precedent.

We hope that the Board will give these comments serious consideration. We also hope all of the other homeowners will carefully consider the negative economic and health impacts which will result when considering what may otherwise seem to be an economically beneficial proposal.

Thank you again for your time and consideration.

Very truly yours,

ANTHONY L. LEGGIO

cc: John & Beverly Harlan  
19835 Santa Rita Street

Exhibit 7  
Letter from owner of unit 88 to other homeowners stating why they oppose the antennas

ATTACHMENT NO. 5

15827 Beaver Run Road  
Canyon County CA 91351-4004  
9 July 1997

Glenn and Anita Catalina  
151 No. Matthew  
Porterville CA 93257

Dear fellow Huntington Lake owners.

In our mail today, we received a request from the Eagles Nest Homeowners Association to vote on an important issue, namely, changing our By-Laws and approving the creation of a 55-ft transmission tower at the west end of our tract to enable GTE to provide Cellphone service to their customers in the Huntington Lake area.

We have been owners of Unit #88 since the Eagles Nest/Eagles Landing development was opened, and I hope we have been good neighbors. Our unit is at the far west end of the development, immediately adjacent to the proposed GTE transmission tower, and it will be directly in our view to the north. Our condo is the most directly impacted by the proposed tower, and we strongly object to the proposed construction.

However, there is a more fundamental issue here, going to the very heart of having a non-contentious Homeowner's Association. Should any majority, to achieve some relatively small financial advantage, impose a very large penalty on one or a few of their members?

As stated above, we believe we have been good neighbors and have supported the Association, and our fellow members in every way. I have planted and cared for trees to improve the common areas, and personally installed the stairs at the west end of the parking lot that allow easy access to the west end of the development. We are therefore deeply hurt that the Association would consider imposing a 55-ft tower to obstruct our view and reduce our property value.

The argument is made that this will bring in \$6,000 per year income to the Association. Indeed, we could probably receive a similar amount from other Cellphone providers. Just take a minute and look around and note the number of these transmission towers that are springing up in urban areas. Shall we make Eagles Nest/Eagles Landing a forest of these towers? How would you vote if the proposed 55-ft tower were to be built on Association common property right in front of your condo? The issue is one of basic fairness. None of us bought our Condos in the expectation that the Association would allow commercial development of the common areas.

There are better physical sites around Huntington Lake for transmission towers, but it is obvious that GTE chose our property (and the water tank) because the Forest Service will not let them erect such a tower on public land. Doesn't that tell us something?

It is argued that the Water Company will let GTE erect a tower on their tank if our Association refuses. Perhaps they will try, but all of us are also stakeholders in the Water Company.

We very strongly ask for your NO vote on both the approval of the GTE proposal and the amendment to the By-Laws. If you have already voted in favor, we urge that you rescind that vote.

Thanks!

*Ken Kreyenhagen*

Ken and Diane Kreyenhagen  
803/252-8482

*Diane Kreyenhagen*





April 20, 1998

Mr. Bernard Jimenez, Staff Analyst  
Development Services Division  
County of Fresno  
Public Works & Development Services Department  
2220 Tulare Street  
Fresno, CA 93721

RE: Unclassified Conditional Use Permit No. 2861  
Gulf Coast Broadcasting Corporation  
Huntington Lake (CA 1556)

Dear Bernard:

In response to your letter dated April 1, 1998, requesting additional information about the proposed Gulf Coast Broadcasting (GCB) application in Huntington Lakes, the following information is being provided. Each bullet below will correspond to the bulleted questions contained in your letter.

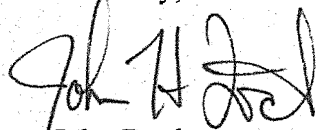
- GCB is not a new carrier, and has been doing business in Fresno County for several years. GCB's license area is in the Sierra's where they have constructed four (4) new sites over the last eighteen (18) months. These sites have been co-locations with the California Division of Forestry, AT&T, US Forest Service, and Ponderosa Telephone. These sites were installed to provide service to areas which did not have cellular service prior to implementation of these sites. GCB will probably construct additional sites in the future, including the possibility of one site in the coming year. Due to the small size of GCB's license area and the limited population within the service area, GCB will not construct a significant number of new sites.
- The existing tower is a crank up structure, but the antennas will be attached to the lowest leg of the tower. The antennas will remain at the height reflected on the plans.
- "Omni-directional antennas" are whip type antennas. Initially, the site will only provide analog service, but the site will, at some point in the future, provide both analog and digital service.
- As we discussed, the equipment cabinet will be on the water tank site.

*Gulf Coast Broadcasting Corporation  
Huntington Lake Cell Site (CA 1556)  
Page 2*

- This application did not specifically request approval to allow other carriers on the tower. In order to comply with tower siting policy 11, GCB requests that the application be amended to include approval of antennas for other carriers on the tower, subject to staff approval.
- I have continued to research the history of the tower and the water tank. The water tank and the tower were both constructed in 1975, as part of the subdivision improvements for the Huntington Condominium development. The tower was placed on the tank in order to provide cable television to the condominiums. The developer had advertised that cable television would be provided to the new development. Evidently, the developer's intent was to place television antennas on the tower and then provide cable to the condos from this point, but the tower was not high enough to obtain television reception. The water tank and tower should be shown on the improvement plans for the Huntington Condominiums. Considering this information, it appears that the existing tower was authorized as part of the permit for the Huntington Condominiums.

If you need any additional information, or have any questions, please contact me.

Sincerely,



John Ford  
Planning Consultant

AA #  
CUP# 2861  
DRA#  
VAR#  
TT #  
#

APPLICATION REVIEW BY PERMIT COUNTER

Instructions: If the items are O.K. or do not apply, place a check "✓" to the left of the item. If a problem may occur, place an "X" to the left of the item and provide a brief explanation of the problem.

✓ 1. Applicability:

- a) Zone District: A-1
  - b) Is the description complete and accurate? ( ) No (✓) Yes
- Explain: \_\_\_\_\_

c) Zoning Ordinance Section: 853. B-14

✓ 2. Attached Computer Printout(s):

- ( ) PACS 22; ( ) PACS 190: (✓) Not Available

✓ 3. Review Building Permit Records:

- (✓) No relevant records: ( ) Active Permit ( ) No ( ) Yes ( ) Copies Attached

✓ 4. Septic leaching factor \_\_\_\_\_; (✓) Not applicable

✓ 5. Flood Prone (✓) No ( ) Yes: Map # \_\_\_\_\_, Zone \_\_\_\_\_

✓ 6. Recorded in history books. Page # 8/26 - NW: ( ) Not Applicable

✓ 7. Previous Applications (AA, CUP, VA, DRA, etc.) in the area: ( ) None

CV 2584, 1090, 1144, 1756, 2530, 1661

✓ 8. School District(s): MINAPETS  
Certificate Due For This Project? (✓) No ( ) Yes

✓ 9. Current violation status: (✓) None ( ) File Number \_\_\_\_\_  
Violation: \_\_\_\_\_

X 10. Property Development Standards:

- |                                   |                                 |
|-----------------------------------|---------------------------------|
| (✓) a. Lot Area _____             | X m. Side Yard <u>see below</u> |
| (✓) b. Width _____                | (✓) n. St. Side Yard _____      |
| (✓) c. Depth _____                | X o. Rear Yard <u>see below</u> |
| (✓) d. Ratio _____                | (✓) p. Fence Height _____       |
| (✓) e. Frontage _____             | (✓) q. Required Walls _____     |
| (✓) f. Density _____              | (✓) r. Parking _____            |
| (✓) g. Main Bldg. Ht. _____       | (✓) s. Access _____             |
| ( ) h. Acc. Bldg. Ht. _____       | (✓) t. Turn Arouds _____        |
| (✓) i. Space between bldgs. _____ | (✓) u. District Size _____      |
| (✓) j. Lot Coverage _____         | (✓) v. Septic Separations _____ |
| (✓) k. Signs _____                | (✓) w. Landscaping _____        |
| (✓) l. Front Yard _____           | (✓) x. Plan Lines _____         |

Explain discrepancies: The existing tank was built across the rear property line and appears to be within the required side yard setback.

PER DENNIS E. [unclear]  
VA NOT REQ'D

X 11. Will an additional clearance (i.e., VAR, TFM, SPR, etc.) be required?  
( ) No ( ) Yes: A variance or mapping procedure may be required to resolve the issues raised in "10-m" and "10-0."

✓ 12. SRA ( ) No (✓) Yes

X 13. Structures Requiring Permits: We have no permit record of the existing tank

✓ 14. Other Comments: \_\_\_\_\_

( ) 15. Address: \_\_\_\_\_

Reviewed by P. Nahigian Date: 4-15-98

County of



## Inter Office Memo

---

DATE: April 7, 1998

TO: Bernard Jimenez, Project Section

FROM: Sharmel Ormonde, Environmental Analysis *SO*

SUBJECT: Environmental Review for CUP 2861 (Gulf Coast Broadcasting)

### Project Description:

This project proposes the placement of a cellular transceiving facility on an existing lattice tower owned by Huntington Pines Mutual Water Company. The cellular transceiving facility includes three whip antennas and associated electronic equipment. An equipment cabinet with two accessory antennas will also be installed next to the tower.

### Determination:

This activity is covered by the general rule that the California Environmental Quality Act (CEQA), applies only to projects which have the potential for causing a significant effect on the environment.

It has been determined with reasonable certainty that there is no possibility that this project may have a significant effect on the environment. The following supports this determination:

- The equipment cabinet will be designed to match the existing pump house and the cellular transceiving facility will be as small as possible and mounted on an existing tower, thus, no visual impact will result.
- Placement of this facility will not increase the height of the existing lattice tower.
- Access to the facility will be achieved by the same methods currently used by the Huntington Pines Mutual Water Company.
- The site will transmit and receive calls by non-ionizing radio waves.
- Electrical and phone service will be extended from the existing facilities on the property.
- The project is limited in scope which minimizes potential impacts.

Therefore, in accordance with Section 15061 (b) (3) of the State of CEQA Guideline, the proposed project is exempt from the provisions of the State of California Environmental Quality Act (CEQA).

Date: April 3, 1998

To: Bernard Jimenez

From: Skip Tullock

Subject: CUP2861

1. Site is served by private roads.
2. Site is in Zone C per FEMA index map 0001-1800

ws337\stlcup2861a.mem

Per: Bob Palacios, Huntington Lake Rd.  
pavement width of 24 feet  
66' feet R.O.W  
poor condition  
ADT 500



Public Works & Development Services Department  
Carolina Jimenez-Hogg  
Director

April 1, 1998

Attn: John Ford  
Matthews Land Company, Inc.  
5619 Scotts Valley Drive, Suite 200  
Scotts Valley CA, 95066

SUBJECT: Unclassified Conditional Use Permit Application No.  
2861

Dear Mr. Ford:

Review of the above-referenced project indicates that the application is not complete. We are therefore unable to continue processing your application until the following information is clarified in the form of a revised operational statement.

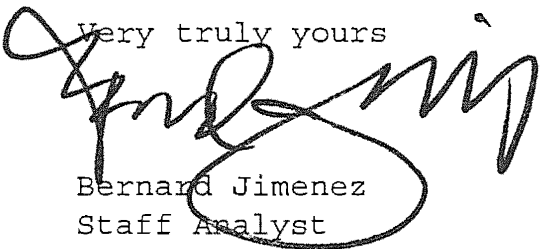
- Please provide information regarding Gulf Coast Broadcasting Corporation. Is this a new carrier establishing its first site/network in Fresno County? If this is the case, please indicate the number of additional cellular site(s) that may be proposed.
- The operational statement indicates that the three omni-directional antennas will be attached to an existing crank-up lattice tower. The elevation drawings provided of the tower and antennas indicate an elevation height of 42.7 feet above the base of the tank. Is this elevation indicative of the tower when it is fully erect? Will the tower be lowered and raised? Please clarify.
- Please define the term "omni-directional antennas". Are these whip and/or panel type antennas? What type of service is being proposed (analog or digital)?
- The site plan drawing depicts the equipment cabinet as being located outside of the water tank site. Has permission been granted to locate on this site? Is this a common area owned by the homeowners association? Please clarify.

John Ford  
April 1, 1998  
Page 2

- Does this application include the accommodations for future carriers as indicated in No. 11 of "COMPLIANCE WITH THE FRESNO COUNTY WIRELESS COMMUNICATIONS GUIDELINES"?

Please submit the requested information to me as soon as possible. If you have any questions, please call me at (209) 262-4321.

Very truly yours

A handwritten signature in black ink, appearing to read "Bernard Jimenez", written over the typed name and title.

Bernard Jimenez  
Staff Analyst

BJ:so  
G:\DEVS&PLN\BERNARD\CUP2861.LTR



March 25, 1998

Mr. Bernard Jimenez, Staff Analyst  
 Development Services Division  
 County of Fresno  
 Public Works & Development Services Department  
 2220 Tulare Street  
 Fresno, CA 93721

RE: Unclassified Conditional Use Permit Application (CUP 2861)  
 Gulf Coast Broadcasting Corporation  
 Huntington Lake (CA 1556)  
 Huntington, CA 93629  
 APN: 110-57-Outlot O

*Via Hand Delivery*

Dear Bernard:

This letter is to provide the information requested for the application referenced above.

Parcel Size 4,547 Square Feet.

Gulf Coast Broadcasting Address 45 Rockefeller Plaza, Suite 3201  
 New York, NY, 10020

Address of the Eagles Nest Homeowners Association: 3128 Willow Road, Suite 101  
 Clovis, CA 93612

President: D. Greg Durban  
 (209) 433-1300

If you need any additional information, or have any questions, please contact me.

Sincerely,

John Ford  
 Planning Consultant



PROJECT ROUTING SLIP

P&DS, DEVELOPMENT SERVICES DIVISION

DATE: March 23, 1998

FROM: Bernard Jimenez

- TO:  EA Staff Analyst, Routing
- Jeff Tweedie, Planning
- Eric VonBerg, ALUC/ALCC
- \*Stan Ediger, Dev. Services
- \*Dennis Ellis, Counter/Zoning
- \*Bill Books, Plan Check
- \*Phil Desatoff, Geologist
- \*Chuck Garabedian, Dev. Engineering
- \*Keith Stewart, Environmental Health
- Other: \_\_\_\_\_

SUBJECT: CU 2861 *BJ*

NO COMMENTS

COMMENTS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INSTRUCTIONS:

- Please return
- Return comments by: 4/6/98
- Hearing Date: 5/7/98

\*Attach Site Plan

*Juan McLaughlin EHA*  
(Signature)

G:\DEVS&PLN\FORMS\ROUTING.SLP 11/97

RECEIVED

MAR 25 1998

Environmental Health System  
Land Use / Water

PROJECT ROUTING SLIP  
PW&DS, DEVELOPMENT SERVICES DIVISION

DATE: March 23, 1998

FROM: Bernard Jimenez

TO: EA Staff Analyst, Routing  
Jeff Tweedie, Planning  
Eric VonBerg, ALUC/ALCC  
 \*Stan Ediger, Dev. Services  
\*Dennis Ellis, Counter/Zoning  
\*Bill Books, Plan Check  
\*Phil Desatoff, Geologist  
\*Chuck Garabedian, Dev. Engineering  
\*Keith Stewart, Environmental Health  
Other: \_\_\_\_\_

SUBJECT: CU 2861

NO COMMENTS

COMMENTS: \_\_\_\_\_

INSTRUCTIONS:

Please return  
Return comments by: 4/6/98  
Hearing Date: 5/7/98

\*Attach Site Plan

(Signature)

G:\DEV'S&PLM\FORMS\ROUTING.SLP 11/97

- 1.) Obtain general info re. Coast coast (e.g. are they new to the area of setting up their own system? Is this their first site? How many planned? Analog & Digital)
- 2.) Antennas
  - A) Omni-directional? Is this panel or whip? Do they have a picture of the antenna?
  - B. Accessory antennas  
Are GPS & test mobile antennas typical? How high is the "crack up" tower? Does it open at max height?
- 3.) Did we request "Findings"? Don't include in Staff Report. What does #11 mean?
- 4.) Should this CRP address the existing towers? Can we adequately describe it?

CUP 286. LTR

PROJECT ROUTING SLIP  
PW&DS, DEVELOPMENT SERVICES DIVISION

DATE: March 23, 1998

FROM: Bernard Jimenez

- TO: EA Staff Analyst, Routing  
 Jeff Tweedie, Planning  
 Eric VonBerg, ALUC/ALCC  
 \*Stan Ediger, Dev. Services  
 \*Dennis Ellis, Counter/Zoning  
 \*Bill Books, Plan Check  
 \*Phil Desatoff, Geologist  
 \*Chuck Garabedian, Dev. Engineering  
 \*Keith Stewart, Environmental Health  
 Other: \_\_\_\_\_

SUBJECT: CU 2861


NO COMMENTS

COMMENTS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INSTRUCTIONS:

- Please return  
 Return comments by: 4/6/98  
 Hearing Date: 5/7/98

\*Attach Site Plan

  
\_\_\_\_\_  
(Signature)

PROJECT ROUTING SLIP  
N&DS, DEVELOPMENT SERVICES DIVISION

DATE: March 23, 1998

~~TO:~~  
~~FROM:~~ Bernard Jimenez

*From*  
~~TO:~~  EA Staff Analyst, Routing  
 Jeff Tweedie, Planning  
 Eric VonBerg, ALUC/ALCC  
 \*Stan Ediger, Dev. Services  
 \*Dennis Ellis, Counter/Zoning  
 \*Bill Books, Plan Check  
 \*Phil Desatoff, Geologist  
 \*Chuck Garabedian, Dev. Engineering  
 \*Keith Stewart, Environmental Health  
 \*Other: Lynne Gorman, Design

SUBJECT: CU 2861

NO COMMENTS

COMMENTS: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

INSTRUCTIONS:

Please return  
 Return comments by: 4/6/98  
 Hearing Date: 5/7/98

\*Attach Site Plan

*[Signature]*  
(Signature)

APPLICATION CHECKLIST

APPLICATION NO. CUP 2861

APPLICANT GULF COST BROADCASTING

TO: EW  
FROM: HM  
DATE: 3-23-98

HEARING DATE: 5-7-98  
CHECKLIST DUE: 4-6-98

COMPLETED

- 1. APN(s) on application agrees with APN(s) on conference checklist ..... ✓
- 2. Owner(s) on application agrees with Deed(s)..... ✓
- 3. Deed (property description) agrees with APN(s) on application..... ✓
- 4. Parcel depicted on site Plan agrees with Deed (property description)..... ✓
- 5. Zoning on conference checklist agrees with Zoning per Zone Map Master and Arcview..... ✓
- 6. APN, Parcel size, Township / Range / Section and Zoning entered on application..... ✓
- 8. Specify radius for mailing labels:  
X 1/4 mi. radius    \_\_\_\_\_ 600' radius    \_\_\_\_\_ other
- 9. Special Interest Group Checklist completed..... \_\_\_\_\_

Discrepancies:

OKAY PER

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_

Supervisory District 5

School District N/A

Application Checklist Completed by: EW

# DISTRIBUTION LIST

Application Nos.: CV 8061

P.C. Date: 5-7-98

Delivered Prepared By: BERNARDO JIMENEZ

Comments Due: 4-1-98

Date to EA: 3-19-98

Distribution Date: 3-23-98

## COUNTY

- Planning Section, Attn: Jeff Tweedie
- \*Development Services, Attn: Stan Ediger
- Planning Section, Attn: ALUC, ALCC, Eric Vonberg
- Environmental Analysis Section, Environmental Review
- \*Development Services, Attn: Zoning/Counter, Dennis Ellis
- Development Services, Attn: Redevelopment, Pete Harkins
- \*Development Services, Attn: Plan Check, Jim Witte
- #XX  \*Development Engineering, Attn: Geology, Phil Desatoff
- Resources Division, Attn: Solid Waste, Jerry Prieto
- \*Development Engineering (2 packets)
  - Robert E. Greene, (Tract Maps)
  - Grading Engineer, (Projects Except Tract Maps)
- #XX  \*Design Division, Attn: Transportation, Lynn Gorman
- #XX  \*Environmental Health, Attn: Keith Stewart (2 packets)
- #XX  Agricultural Commissioner, Attn: Cosmo Inasalco
- Cooperative Extension, Attn: Linda Manton
- Parks Division, Attn: Charlie Janiel
- Sheriff's Office, Attn: Steve Magarian
- Social Services Department, Attn: Bill Murphy
- Assessor's Office, Attn: Bill Greenwood

## CITY

- \*City of Fresno, Development Department, Attn: Al Solis
- City of Fresno, Public Works Department, Attn: Ray Salazar
- City of Fresno, Public Utilities Department, Attn: Dan Traffican
- City of Fresno, Department of Airports
- City of Clovis, Attn: City Manager
- City of \_\_\_\_\_, Planning Department
- City of \_\_\_\_\_, Public Works Department

## FEDERAL

- XX  U.S. Forest Service, Pine Ridge Ranger District, Attn: Dave Sherwood
- USDA-Natural Resources Conservation Service, Attn: Frank Menezes
- Sierra National Forest, Attn: Carol Eford
- Sequoia National Forest, Attn: John Mincka
- Army Corps of Engineers, Pine Flat Lake, Attn: Frank Fomrca
- Army Corps of Engineers, Planning Division, Attn: Walter Yep
- U.S. Bureau of Reclamation, Attn: Carl Daly
- Housing Authorities, Planning & Development Dept., Attn: Frank Rodriguez
- FMHA
- U.S. Dept. of Interior, Fish & Wildlife Service (projects located east Friant-Kern Canal)

## STATE

- XX  \*CA Regional Water Quality Control Board, Attn: Bert E. Van Voris
- \*CALTRANS, Deputy Director of Planning & Programming
- \*CA Department of Fish & Game, Attn: Dale Mitchell
- State Dept. of Health Svcs, Office of Drinking Water (Karl Carlucci)
- CA Environmental Protection Agency, Dept. of Toxic Substance Control, Attn: Tom Kovac
- State Reclamation Board, Floodway Protection Section, Attn: Carol Calton
- CA Division of Forestry & Fire Protection, Attn: Norman Cook

- CA Division of Forest & Fire Protection, Attn: Bill Johnson (for proj. located in Shaver Lake)
- State Lands Commission, Attn: Mike McKown
- CA Archaeological Information Center (CSU-Bakersfield), Attn: Adele Baldwin
- CA Department of Water Resources, Attn: John Shelton
- State Division of Oil & Gas, Attn: Richard Curtin
- CA Division of Mines & Geology, Mined-Land Reclamation Program, Attn: James Pompy
- CA Integrated Waste Mgmt. Bd, Permitting/Enforcement, Environ. Review Section, Mark DeBie
- CA Dept. of Food & Agriculture, Meat & Poultry Inspection Branch, Attn: Dr. Narmara Garbaba

**NOTE:** *Material Extraction Project - Project Staff Analyst, Send Notice of Application to State Geologist*

**LOCAL AGENCIES & DISTRICTS**

- \*San Joaquin Valley Unified Air Pollution Control District, Attn: Dave Mitchell
- Council of Fresno County Governments, Attn: Barbara Goodwin
- \*Fresno Metropolitan Flood Control District, Attn: Doug Harrison
- Consolidated Irrigation District
- Irrigation District/Water District
- Kings River Conservation District
- \*Resource Conservation District *SHIVERA*
- #XX  \*Fresno County Fire Protection District, Fresno-Kings Ranger Unit, Attn: Capt. Rusty Sourza
- #XX  \*Shaver Lake Volunteer Fire Protection District, Attn: Gary Blasingame
- #XX  \*Fire Protection District
- Local Agency Formation Commission (LAFCO), Attn: Marvin Panter
- #XX  \*School District *BIG CREEK ELEMENTARY*
- Fresno Mosquito & Vector Control District
- Fresno Westside Mosquito Abatement District
- Consolidated Mosquito Abatement District
- Mosquito Abatement District
- Water Works District
- Selma-Kingsburg-Fowler County Sanitation District
- \*County Service Area (CSA), Attn: Resources Division, Ray Ramirez
- Community Services District
- Fresno County Red Scale Protection District
- Other

**PRIVATE/OTHER**

- Fresno County Farm Bureau, Attn: C.W. Allison
- Audubon Society
- Sierra Club, Conservation Chairman, Tehipite Chapter
- Shaver Lake Citizen's Advisory Committee, Attn: Tom Llewellyn
- Fig Garden Homeowner's Association
- Fresno Sand & Gravel Producers Association
- San Joaquin River Committee
- San Joaquin River Parkway and Conservation Trust
- San Joaquin River Conservancy
- Mountain Lion Preservation Foundation, Attn: Peter B. Edwards
- CA Native Plant Society, Attn: John Stebbins
- #  Continental Cablevision, Attn: G. Crowe (*FCMA Tract Map Only*)
- Woodward Park Homeowners Association
- Other PUBLIC UTILITIES (*SEE NOTE BELOW*)
- #  Pacific Bell, Attn: Engineering Department, Pete Caldwell
- #  Ponderosa Telephone Company, Attn: Jake Ashworth
- #  General Telephone Company, Attn: Robert Johnson
- #  Continental Telephone Company
- #  Kerman Telephone Company
- #  Pacific Gas & Electric Co., Attn: Fresno Land Rights, Scott Combs
- #  Southern California Edison Company, Attn: Robert Ziegler
- #  Public Utility District: Riverdale/Tranquillity

**NOTES:** \*TT - Route 5 copies to PacBell/PGE; others get 2 sets and use special routing memos.  
 \*TT - Proposing community water sys. need 4 copies of II-H Water Study & Water Quality Study.

**LEGEND:** (\*) Attach Site Plan (XX) Req'd Rtng.-TPM's (#) Req'd Rtng.-TT's

FRESNO COUNTY PUBLIC WORKS & DEVELOPMENT SERVICES DEPARTMENT

MAILING ADDRESS: 2220 Tulare Street, 6th Floor Fresno, CA 93721

LOCATION: Southwest corner of Tulare & "M" Streets, Suite "A" Street Level Fresno Phone: (209) 262-4055 Toll Free Phone: 1-800-742-1011

APPLICATION FOR:

- Amendment Application
Amendment to Text
X Conditional Use Permit
Director Review and Approval
Site Plan Review / Occupancy Permit
Variance / Minor Variance
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

PLACEMENT OF A CELLULAR TRANSCENDING FACILITY ON AN EXISTING LATTICE TOWER, INCLUDING 3 WHIP ANTENNAS AND ASSOCIATED ELECTRONIC EQUIPMENT.

PLEASE TYPE OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements and deeds as specified on the Conference Checklist.

LOCATION OF PROPERTY: WEST side of HUNTING VISTA DR. between and Street address:

APN 110-570-OUTLOT '0' Parcel Size Sec-Twp / Rg. 6 - 8, 26

LEGAL DESCRIPTION: (Attach Copy of Deed)

I, [Signature] (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge.

HUNTINGTON FINES MUTUAL WATER COMPANY 23128 Willow Ave #101
GULF COAST BROADCASTING 45 Rockefeller Plaza Ste 3201 Clovis 93622
JOHN FORD MATTHEWS LAND COMPANY (408) 438-9500
MATT MOLEN 5019 SCOTTS VALLEY DRIVE, SCOTTS VALLEY, CA 95066

OFFICE USE ONLY

Application Type / No.: CVP 2861 Fee: \$4,406.00 PLU 9
Application Type / No.: Fee: PLU
Application Type / No.: Fee: PLU
Application Type / No.: Fee: PLU
Environmental Assessment No.: #126.90 PLU 53
Health Department Review: #253.00 PLU 94
Received by: [Signature]
This permit is sought under Ordinance Section:
Related Applications:
Drafting verification: Zone District: A-1
APN#: 110 - 570 - OUTLOT '0'
APN#:
APN#:
Sec. Twp. Rg. 6 - 8, 26
Parcel Size: N/A

WHEN VALIDATED THIS APPLICATION IS YOUR RECEIPT
OU 4486.00
E REV 126.90
HD FEE 353.00
JULIE TOTL 4965.90
CHEC 4959.00
CHECK 6.90
347211437 MAR 18 935CHNG
LINE 07





March 16, 1998

Mr. Bernard Jimenez, Staff Analyst  
Development Services Division  
County of Fresno  
Public Works & Development Services Department  
2220 Tulare Street  
Fresno, CA 93721

RE: Unclassified Conditional Use Permit Application  
Gulf Coast Broadcasting Corporation  
Huntington Lake (CA 1556)  
Huntington, CA 93629  
APN: 110-57-Outlot O

*Via Hand Delivery*

Dear Bernard:

On behalf of Gulf Coast Broadcasting Corporation, Matthews Land Company, Inc. submits the enclosed Unclassified Conditional Use Permit application package for a cellular transceiving facility. The following items are being submitted to assist the Planning Staff and Planning Commission in the evaluation of the proposed project:

#### **FORMS AND APPLICATION**

- (1) Completed Application Form
- (1) Conference Checklist
- (1) Environmental Assessment Application
- (1) Check for filing fee of \$4,959.00
- (1) Copy of Signed Owner/Agent Authorization Form
- (1) Copy of Preliminary Title Report

#### **PROJECT PLANS**

- (3) Site Plan sets (24"x36" folded to 8½"x11")
- (12) Site Plan sets (11"x17" folded to 8½"x11")
- (1) Black Line site plan set (folded to 8½"x11")
- (12) Copies of Elevations (incorporated into the site plan sets)
- (1) Set of Site Photographs

Gulf Coast Broadcasting Corporation  
Huntington Lake Cell Site (CA 1556)  
Page 2

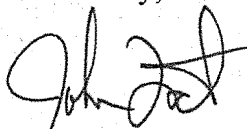
**WRITTEN SUPPORTING DOCUMENTATION**

- (1) Project Description/Operational Statement
- (1) Findings of Conformance with the Fresno County Wireless Communications Guidelines

Gulf Coast Broadcasting Corporation and Matthews Land Company, Inc. firmly believe that after review of these materials that the proposed project can be found consistent with the County of Fresno's adopted General Plan, ordinances and policies.

I hope this information will be helpful in the review of our application. I would be pleased to provide any additional information required to expedite the review process in order to schedule this application for a public hearing before the Planning Commission. Thank you in advance for your consideration. If you need any additional information, or have any questions, please contact me.

Sincerely,



John Ford  
Planning Consultant

cc: Nancy Prevot, GTE

Enclosures listed above

CU 2861



**CONDITIONAL USE PERMIT AND ENVIRONMENTAL ASSESSMENT  
APPLICATIONS**

Gulf Coast Broadcasting Corporation  
Huntington Lake Cell Site  
Huntington Vista Road, Huntington, CA 93629  
APN 110-57-Outlot O  
March 16, 1998

**PROJECT DESCRIPTION / OPERATIONAL STATEMENT**

---

**1.0 INTRODUCTION**

Gulf Coast Broadcasting Corporation (Gulf Coast) is a cellular telephone provider licensed by the Federal Communications Commission (FCC) and regulated in California by the California Public Utilities Commission (CPUC). Gulf Coast is a licensed public utility company.

Gulf Coast is committed to providing quality cellular telephone service to the citizens of Fresno County. In order to accomplish this, Gulf Coast must expand its network to improve cellular telephone service by providing service to currently unserved areas.

It is Gulf Coast's desire to work with the County of Fresno to ensure that this project is consistent with local policies and zoning regulations, while providing the cellular coverage so critical for emergency, business, government and personal use.

**2.0 APPLICATION REQUEST**

This application requests approval of an Unclassified Conditional Use Permit pursuant to the Zoning Ordinance of the County of Fresno for a cellular telephone transceiving site.

### 3.0 GENERAL PROJECT DESCRIPTION

#### 3.1 PROJECT OVERVIEW

The Huntington Lake area presently has below standard cellular telephone coverage. In order to fulfill the expectations of subscribers in the area, Gulf Coast Broadcasting Corporation needs to construct a cellular facility to provide coverage to the Huntington Lake region and the Sierra Summit ski area.

#### 3.2 FACILITY DESCRIPTION

The applicant proposes to construct a cellular telephone transceiving facility on a portion of APN 110-57-Outlot O, a parcel that is owned by the Huntington Pines Municipal Water Company. Gulf Coast is currently negotiating with the property owners to construct and access the proposed cellular facility. The transceiving facility will consist of the following components:

Cell Site Equipment Cabinet - An equipment cabinet will be installed near the water tower and enclosed within a building designed to match the existing pump house. The protective shelter constructed around the equipment will shield the transceiving equipment from the elements, and hide the equipment from view.

Antenna Tower - An existing crack-up lattice tower, which is mounted atop a water tower, will support Gulf Coast Broadcasting Corporation's three omni-directional antennas.

Accessory Antennas - Two accessory antennas will be installed, including a GPS antenna and a test mobile antenna. The GPS antenna is approximately 6" tall and 6" in diameter. A GPS antenna does not transmit a signal; rather it receives a GPS satellite signal and is part of the calibrating device needed for the precise timing of digital cellular technology. There will also be one test mobile antenna, approximately 15" tall and 1½" in diameter, that will be used in evaluating signal strength at the site. Both accessory antennas will be mounted on the equipment shelter.

Utilities - Electrical and phone service will be extended from existing facilities on the property. There will be no on-site generator for this project.

Radio Frequency - The site will transmit and receive calls by radio waves operating in the 800 Mhz band. Radio frequency generated by this facility is non-ionizing, not harmful to humans and does not interfere with other personal or professional electronic equipment.

Facilities Maintenance - Gulf Coast's proposed wireless telecommunications facility will operate 24 hours a day, 365 days a year, with no on-site staff. One or two Gulf Coast

employees will service the facility several times a month for an average of four hours. The employees will access the site in a small service vehicle, and will carry out preventative maintenance tasks. In the event of a problem or an emergency, a service crew will be dispatched immediately to the site.

### **3.3 GENERAL SITE ANALYSIS**

#### **3.3.1 Zoning General Plan Designation**

This site is currently zoned Residential (R4). The Fresno County Zoning Ordinance authorizes communication towers and related equipment facilities as conditionally permitted uses subject to approval of an Unclassified Conditional Use Permit.

#### **3.3.2 Existing Use**

The subject area is identified as APN 110-57-Outlot O. The parcel is currently utilized for a water tower, and is adjacent to the Eagles Nest Condominium complex.

#### **3.3.3 Surrounding Land Uses**

The surrounding land uses are as follows:

North: A-1 (unclassified)  
 South: A-1 (unclassified)

East: A-1 (unclassified)  
 West: A-1 (unclassified)

The Eagles Nest Condominiums are situated to the south of the water tank that will support Gulf Coast's proposed cell site antennas. Since the antennas will be mounted to an existing crank-up lattice tower located on top of the water tank, they will not significantly increase the overall visual impact of the water tank facility on the surrounding residences.

#### **3.3.4 Access/Circulation**

The project site area would be accessed via Huntington Vista Road. The agreement between the property owner and Gulf Coast includes ingress and egress rights through the property.

### **3.4 OPERATIONS**

Construction of the cellular facility will take approximately three weeks, with working hours being generally 7:00 a.m. to 4:00 p.m. The equipment required for completion of the site will be:

- 1.) One (1) backhoe - one week
- 2.) 60 ton hydraulic crane - one day
- 3.) 100 foot man lift - three days

All other vehicles necessary during construction will be regular one-half ton and one ton trucks. They will be there on and off during the three week period.



PW&DS, DEVELOPMENT SERVICES DIVISION
CONFERENCE CHECKLIST

TIME: \_\_\_\_\_

APPLICANT: \_\_\_\_\_

PHONE NO.: \_\_\_\_\_

PROPERTY LOCATION: OUTLOT "O" & LOT 6 (COMMON AREA) OF TRACT # 2584

APN: 110 - 57 - ALCC: (No) Yes # VIOLATION NO. \_\_\_\_\_

SEC. 6 - TN 8 - RG 26 WITHIN 1/2 MILE OF CITY: (No) Yes: \_\_\_\_\_

ZONE DISTRICT: A-1 YARD: Front: 0, Rear: 0, Side: 6, Street: 0

LOT STATUS:

Zoning: (X) Conforms; ( ) Legal Non-Conforming; ( ) Deed Review Req'd (Form 236)

Merger: May be subject to merger: (No) Yes - ZM# \_\_\_\_\_ Initiated; In process

Map Act: (X) Lot of Rec. Map; ( ) On '71/'72 rolls; ( ) Other \_\_\_\_\_; ( ) Deeds Req'd (Form 236)

2ND RES/EXIST SEPTIC: Adequate Inadequate SRA: No (Yes) HOMESITE DEC. REQ'D.: (No) Yes;

SCHOOL FEES: No Yes DISTRICT: BIG CREEK ELEM / MINARETS PERMIT JACKET: (No) Yes;

FMFCD FEE AREA: (X) Outside ( ) District No.: \_\_\_\_\_ FLOOD PRONE: (No) Yes;

PROPOSAL: UNCLASSIFIED CONDITIONAL USE PERMIT TO ALLOW A RADIO ANTENNA / TRANSMISSION FACILITY

ORD. SECTION(S): 853 B 15 BY: Mm DATE: 3/5/98

COMMENTS: \_\_\_\_\_

GENERAL PLAN POLICIES:

PROCEDURES AND FEES:

LAND USE DESIGNATION: Public lands & open space ( ) GPA: \_\_\_\_\_ ( ) TT: \_\_\_\_\_
COMMUNITY PLAN: ( ) AA: \_\_\_\_\_ ( ) TPM: \_\_\_\_\_
REGIONAL PLAN: Sierra Nevada (X) CUP: \$4,486.00 ( ) PCOC: \_\_\_\_\_
SPECIFIC PLAN: ( ) DRA: \_\_\_\_\_ ( ) ALCC: \_\_\_\_\_
SPECIAL POLICIES: ( ) VA: \_\_\_\_\_ (X) EAER: \$126.90 PER TR
SPHERE OF INFLUENCE: ( ) MINOR VA: \_\_\_\_\_ (X) HD: \$353.00
ANNEX REFERRAL (205-02/MOU): \_\_\_\_\_

TOTAL COUNTY FILING FEE: \$ 4,965.90 (Payable to Fresno County)

FILING REQUIREMENTS:

OTHER FILING FEES:

- (X) Land Use Applications and Fees
( ) EA Application and Fees
(X) Conference Checklist
(X) Copy of Deed/Legal Description
( ) Letter Verifying deed review per #236
(X) Project Description/Operational Statement. (Typed)
( ) Statement of Variance Findings
(X) Site Plan - 18 copies + 1 Black Line Copy, (Must be folded to 8.5"X11"max.)
(X) Floor Plan & Elevations - 4 Copies (Must be folded to 8.5"X11"max.)
( ) Dependency Relationship Statement
( ) Photographs
( ) Homesite Declaration
( ) Resolution/Letter of Release from City of \_\_\_\_\_ Referral Letter # \_\_\_\_\_

COMMENTS: \_\_\_\_\_

BY: BERNARD JIMENEZ PHONE: 262-4321 DATE: 3-5-98

NOTE: THE FOLLOWING ADDITIONAL REQUIREMENTS WILL APPLY TO YOUR PROJECT:

- ( ) COVENANT ( ) SPR ( ) FMFCD FEES
( ) CERTIFICATES: WAIVER or COMPLIANCE (X) BUILDING PLANS ( ) SCHOOL FEES
( ) PARCEL MAP / TRACT MAP (X) BUILDING PERMITS ( ) ALUC or ALCC
( ) FINAL MAP ( ) WASTE FACILITIES PERMIT

(X) OTHER (see reverse side)



February 13, 1998

Mr. Bernard Jimenez, Staff  
Development Services Division  
County of Fresno  
Public Works & Development Services Department  
2220 Tulare Street  
Fresno, CA 93721

RE: Request for Determination  
Gulf Coast Broadcasting  
Huntington Lake (CA1556)  
APN: 110-57-Outlot O

*Via U.S. Mail*

Dear Bernard:

As we discussed, Gulf Coast Broadcasting (GTE is managing general partner) would like to place a telecommunications facility in the Huntington Lake area. A site has been identified on Huntington Vista Road. We believe this site is the best possible location from a radio coverage and a County Policy standpoint. The project would consist of mounting three omni-directional antennas onto an existing crank up lattice telecommunications tower located on top of an existing water tank, and placement of two equipment cabinets within an extension to an existing pump house structure.

In order to proceed with this site, we need to determine the level of planning review required. Enclosed is a complete set of plans for the development of this facility. Also enclosed, for your review, is a photo page of the existing water tank, lattice tower and pump house. The only modifications needed to the lattice tower would be the installation of two horizontal cross arms on the tower to support the three antennas.

There will be some minor grading for the extension of the pump house building. A small two foot (2') tall retaining wall will be incorporated into the foundation of the building extension. The pump house can be seen in the lower right corner of the photographs. The coaxial cable would run underground between the water tank and the equipment cabinets.

We believe that this proposal is consistent with the County's Tower Siting Guidelines in that a new telecommunications facility would use an existing tower to mount antennas onto. In other,



Huntington Lake Cell Site  
Gulf Coast Broadcasting  
February 13, 1998  
Page 2

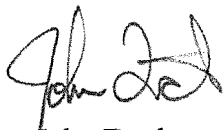
similar circumstances, the addition of antennas to an existing telecommunications facility has been approved administratively. In this particular case, a Use Permit has not been identified for either the water tank or the telecommunications tower. It is our understanding that both the water tank and the tower were in existence before the surrounding Eagles Nest Condominiums were constructed.

In preparing the plans for this site, the surveyor determined that the water tank sits on the property line (see site plan). Outlot O is a parcel created for the water tank. The property around it is owned by the Homeowner's Association for the Eagles Nest Condominiums. The Eagles Nest Condominiums are also members of the mutual water company that owns Outlot O.

We hope that you will agree that the placement of a telecommunications facility at this location will include only minimal improvements to the site which are consistent with the use of the existing structure.

Thank you for your help on this. If you have any questions, or if additional information is needed, please contact me.

Sincerely



John Ford  
Planning Consultant

Enclosures

FRE-977699-1

*First American Title Insurance Company*

1330 East Shaw Avenue  
Fresno, California 93710  
(209) 221-1968

DATE: AUGUST 19, 1997

IN RESPONSE TO THE ABOVE REFERENCED APPLICATION FOR A POLICY OF TITLE INSURANCE, THIS COMPANY HEREBY REPORTS THAT IT IS PREPARED TO ISSUE, OR CAUSE TO BE ISSUED, AS OF THE DATE HEREOF, A POLICY OR POLICIES OF TITLE INSURANCE DESCRIBING THE LAND AND THE ESTATE OR INTEREST THEREIN HEREINAFTER SET FORTH, INSURING AGAINST LOSS WHICH MAY BE SUSTAINED BY REASON OF ANY DEFECT, LIEN OR ENCUMBRANCE NOT SHOWN OR REFERRED TO AS AN EXCEPTION BELOW OR NOT EXCLUDED FROM COVERAGE PURSUANT TO THE PRINTED SCHEDULES, CONDITIONS AND STIPULATIONS OF THE POLICY FORMS.

THE PRINTED EXCEPTIONS AND EXCLUSIONS FROM THE COVERAGE OF THE POLICY OR POLICIES ARE SET FORTH IN EXHIBIT A ATTACHED. COPIES OF THE POLICY FORMS SHOULD BE READ. THEY ARE AVAILABLE FROM THE OFFICE WHICH ISSUED THIS REPORT.

THIS REPORT (AND ANY SUPPLEMENTS OR AMENDMENTS HERETO) IS ISSUED SOLELY FOR THE PURPOSE OF FACILITATING THE ISSUANCE OF A POLICY OF TITLE INSURANCE AND NO LIABILITY IS ASSUMED HEREBY. IF IT IS DESIRED THAT LIABILITY BE ASSUMED PRIOR TO THE ISSUANCE OF A POLICY OF TITLE INSURANCE, A BINDER OR COMMITMENT SHOULD BE REQUESTED.

**PLEASE READ THE EXCEPTIONS SHOWN OR REFERRED TO BELOW AND THE EXCEPTIONS AND EXCLUSIONS SET FORTH IN EXHIBIT A OF THIS REPORT CAREFULLY. THE EXCEPTIONS AND EXCLUSIONS ARE MEANT TO PROVIDE YOU WITH NOTICE OF MATTERS WHICH ARE NOT COVERED UNDER THE TERMS OF THE TITLE INSURANCE POLICY AND SHOULD BE CAREFULLY CONSIDERED.**

**IT IS IMPORTANT TO NOTE THAT THIS PRELIMINARY REPORT IS NOT A WRITTEN REPRESENTATION AS TO THE CONDITION OF TITLE AND MAY NOT LIST ALL LIENS, DEFECTS, AND ENCUMBRANCES AFFECTING TITLE TO THE LAND.**

DATED AS OF **AUGUST 4, 1997** AT 7:30 A.M.

  
TERRY JONES/CH. TITLE OFFICER

THE FORM OF POLICY OF TITLE INSURANCE CONTEMPLATED BY THIS REPORT IS:

**AMERICAN LAND TITLE ASSOCIATION OWNERS POLICY.**

THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS:

A FEE

TITLE TO THE ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

HUNTINGTON PINES MUTUAL WATER COMPANY, A CORPORATION

\* \* \* \* \*

AT THE DATE HEREOF EXCEPTIONS TO COVERAGE IN ADDITION TO THE PRINTED EXCEPTIONS AND EXCLUSIONS IN THE POLICY FORM WOULD BE AS FOLLOWS:

1. TAXES ARE EXEMPT.
2. GENERAL AND SPECIAL COUNTY TAXES FOR THE FISCAL YEAR 1997-98, NOW A LIEN NOT YET PAYABLE.
3. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
4. SUBJECT TO ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING OR OTHER PURPOSES, AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS AS MAY BE RECOGNIZED AND ACKNOWLEDGED BY THE LOCAL CUSTOMS, LAWS, AND DECISIONS OF COURTS, AND THERE IS RESERVED FROM THE LANDS HEREBY GRANTED A RIGHT OF WAY THEREON FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA, RECORDED MARCH 5, 1927 IN BOOK 765, PAGE 179 OF OFFICIAL RECORDS.
5. SUBJECT TO ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING OR OTHER PURPOSES, AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS AS MAY BE RECOGNIZED AND ACKNOWLEDGED BY THE LOCAL CUSTOMS, LAWS, AND DECISIONS OF COURTS, AND THERE IS RESERVED FROM THE LANDS HEREBY GRANTED A RIGHT OF WAY THEREON FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES, AS RESERVED IN PATENT FROM THE UNITED STATES OF AMERICA, RECORDED MARCH 18, 1953 IN BOOK 3281, PAGE 79 OF OFFICIAL RECORDS.

**FRE-977699-1**

6. AN EASEMENT FOR THE HEREINAFTER SPECIFIC PURPOSE AND INCIDENTAL PURPOSES, IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, IN INSTRUMENT RECORDED JUNE 17, 1977 IN BOOK 6817, PAGE 927 OF OFFICIAL RECORDS.

SAID EASEMENT IS FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS, AND IS DESCRIBED AS FOLLOWS:

THOSE CERTAIN AREAS OF LAND LYING WITHIN THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 26 EAST, M.D.B.M., KNOWN AS "THE HUNTINGTON" DELINEATED ON THE "EXHIBIT "A" MAP ATTACHED HERETO AND MADE A PART HEREOF.

7. AN EASEMENT FOR THE HEREINAFTER SPECIFIC PURPOSE AND INCIDENTAL PURPOSES, IN FAVOR OF HUNTINGTON PINES MUTUAL WATER COMPANY, IN INSTRUMENT RECORDED JUNE 17, 1977 IN BOOK 6817, PAGE 930 OF OFFICIAL RECORDS.

SAID EASEMENT IS FOR RIGHT-OF-WAY FOR THE PURPOSE OF INGRESS AND EGRESS TO INSTALL, MAINTAIN, RECONSTRUCT, INSPECT, REPAIR, REPLACE AND WATER AND SEWER SYSTEM FACILITIES, AND IS DESCRIBED AS FOLLOWS:

AS DELINEATED ON EXHIBIT "A" OF THE ABOVE MENTIONED DOCUMENT ATTACHED THERETO.

8. AN EASEMENT FOR THE HEREINAFTER SPECIFIC PURPOSE AND INCIDENTAL PURPOSES, IN FAVOR OF THE PONDEROSA TELEPHONE CO., IN INSTRUMENT RECORDED JUNE 17, 1977 IN BOOK 6817, PAGE 935 OF OFFICIAL RECORDS.

SAID EASEMENT IS FOR TELEPHONE LINES, WIRES, CABLES AND OTHER EQUIPMENT, INCLUDING ABOVE-GROUND AND BELOW-GROUND INSTALLATIONS AND OTHER FACILITIES AND APPURTENANCES THERETO (TOGETHER WITH ANCILLARY RIGHTS OF INGRESS AND EGRESS THEREFROM), AND IS DESCRIBED AS FOLLOWS:

AS DELINEATED ON EXHIBIT "A" OF THE ABOVE MENTIONED DOCUMENT ATTACHED THERETO.

9. PRIOR TO THE ISSUANCE OF OUR POLICY OF TITLE INSURANCE, IT IS A REQUIREMENT THAT THIS COMPANY BE FURNISHED A COPY OF THE RESOLUTION OF THE BOARD OF DIRECTORS OF GTE CERTIFIED BY THE SECRETARY OF SAID CORPORATION, AUTHORIZING AND APPROVING THE CONTEMPLATED TRANSACTION IN DETAIL. WHICH RESOLUTION MUST CONTAIN, AMONG OTHER THINGS, REFERENCE TO THE SPECIFIC DOCUMENTS TO BE EXECUTED BY SAID CORPORATION AND A DESIGNATION OF THE OFFICER(S) WHOSE SIGNATURES MAY BE RELIED UPON FOR THE EXECUTION OF INSTRUMENTS ON BEHALF OF SAID CORPORATION.

10. PRIOR TO THE ISSUANCE OF OUR POLICY OF TITLE INSURANCE, IT IS A REQUIREMENT THAT THIS COMPANY BE FURNISHED A COPY OF THE RESOLUTION OF THE BOARD OF DIRECTORS OF HUNTINGTON PINES MUTUAL WATER COMPANY, A CORPORATION CERTIFIED BY THE SECRETARY OF SAID CORPORATION, AUTHORIZING AND APPROVING THE CONTEMPLATED TRANSACTION IN DETAIL. WHICH RESOLUTION MUST CONTAIN, AMONG OTHER THINGS, REFERENCE TO THE SPECIFIC DOCUMENTS TO BE EXECUTED BY SAID CORPORATION AND A DESIGNATION OF THE OFFICER(S) WHOSE SIGNATURES MAY BE RELIED UPON FOR THE EXECUTION OF INSTRUMENTS ON BEHALF OF SAID CORPORATION.

**FRE-977699-1**

**DESCRIPTION:**

OUTLOT O OF TRACT NO. 2584, HUNTINGTON, IN THE UNINCORPORATED AREA OF THE COUNTY OF FRESNO, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 31, PAGES 1 THROUGH 9, INCLUSIVE OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPTING THEREFROM ALL DEPOSITS OF MINERALS, INCLUDING OIL AND GAS, IN SUCH REAL PROPERTY, TOGETHER WITH THE RIGHT TO PROSPECT OR EXTRACT AND REMOVE SUCH DEPOSITS OF MINERALS, INCLUDING ALL OIL AND GAS THEREFROM, AS RESERVED IN THE DEED FROM STATE OF CALIFORNIA TO C.A. WEYMOUTH, DATED DECEMBER 6, 1950 RECORDED JANUARY 3, 1951 IN BOOK 2947, PAGE 240 OFFICIAL RECORDS, SERIES NO. 244, AND IN THE PATENT FROM THE STATE OF CALIFORNIA C.A. WEYMOUTH, JANUARY 28, 1953, RECORDED MARCH 18, 1953 IN BOOK 3281, PAGE 79 OF OFFICIAL RECORDS, SERIES NO. 15757.

\* \* \* \* \*

**WARNING**

"THE MAP ATTACHED HERETO MAY OR MAY NOT BE A SURVEY OF THE LAND DEPICTED THEREON. YOU SHOULD NOT RELY UPON IT FOR ANY PURPOSE OTHER THAN ORIENTATION TO THE GENERAL LOCATION OF THE PARCEL OR PARCELS DEPICTED. FIRST AMERICAN EXPRESSLY DISCLAIMS ANY LIABILITY FOR ALLEGED LOSS OR DAMAGE WHICH MAY RESULT FROM RELIANCE UPON THIS MAP."

\* \* \* \* \*

CH

**NOTICE**

SECTION 12413.1 OF THE CALIFORNIA INSURANCE CODE, EFFECTIVE JANUARY 1, 1990, REQUIRES THAT ANY TITLE INSURANCE COMPANY, UNDERWRITTEN TITLE COMPANY, OR CONTROLLED ESCROW COMPANY HANDLING FUNDS IN AN ESCROW OR SUB-ESCROW CAPACITY, WAIT A SPECIFIED NUMBER OF DAYS AFTER DEPOSITING FUNDS, BEFORE RECORDING ANY DOCUMENTS IN CONNECTION WITH THE TRANSACTION OR DISBURSING FUNDS. THIS STATUTE ALLOWS FOR FUNDS DEPOSITED BY WIRE TRANSFER TO BE DISBURSED THE SAME DAY AS DEPOSIT. IN THE CASE OF CASHIER'S CHECKS OR CERTIFIED CHECKS, FUNDS MAY BE DISBURSED THE NEXT DAY AFTER DEPOSIT. IN ORDER TO AVOID UNNECESSARY DELAYS OF THREE TO SEVEN DAYS, OR MORE, PLEASE USE WIRE TRANSFER, CASHIER'S CHECKS, OR CERTIFIED CHECKS WHENEVER POSSIBLE.

IF YOU HAVE ANY QUESTIONS ABOUT THE EFFECT OF THIS NEW LAW, PLEASE CONTACT YOUR LOCAL FIRST AMERICAN OFFICE FOR MORE DETAILS.

\*\*\*\*\*

**NOTICE**

IN ACCORDANCE WITH SECTIONS 18662 AND 18668 OF THE REVENUE AND TAXATION CODE, A BUYER MAY BE REQUIRED TO WITHHOLD AN AMOUNT EQUAL TO THREE AND ONE-THIRD PERCENT OF THE SALES PRICE IN THE CASE OF THE DISPOSITION OF CALIFORNIA REAL PROPERTY INTEREST BY EITHER:

1. A SELLER WHO IS AN INDIVIDUAL WITH A LAST KNOWN STREET ADDRESS OUTSIDE OF CALIFORNIA OR WHEN THE DISBURSEMENT INSTRUCTIONS AUTHORIZE THE PROCEEDS BE SENT TO A FINANCIAL INTERMEDIARY OF THE SELLER, OR
2. A CORPORATE SELLER WHICH HAS NO PERMANENT PLACE OF BUSINESS IN CALIFORNIA.

THE BUYER MAY BECOME SUBJECT TO PENALTY FOR FAILURE TO WITHHOLD AN AMOUNT EQUAL TO THE GREATER OF 10 PERCENT OF THE AMOUNT REQUIRED TO BE WITHHELD OR FIVE HUNDRED DOLLARS (\$500).

HOWEVER, NOTWITHSTANDING ANY OTHER PROVISION INCLUDED IN THE CALIFORNIA STATUTES REFERENCED ABOVE, NO BUYER WILL BE REQUIRED TO WITHHOLD ANY AMOUNT OR BE SUBJECT TO PENALTY FOR FAILURE TO WITHHOLD IF:

1. THE SALES PRICE OF THE CALIFORNIA REAL PROPERTY CONVEYED DOES NOT EXCEED ONE HUNDRED THOUSAND DOLLARS (\$100,000), OR
2. THE SELLER EXECUTES A WRITTEN CERTIFICATE, UNDER THE PENALTY OF PERJURY, CERTIFYING THAT THE SELLER IS A RESIDENT OF CALIFORNIA, OR IF A CORPORATION, HAS A PERMANENT PLACE OF BUSINESS IN CALIFORNIA, OR
3. THE SELLER, WHO IS AN INDIVIDUAL, EXECUTES A WRITTEN CERTIFICATE, UNDER THE PENALTY OF PERJURY, THAT THE CALIFORNIA REAL PROPERTY BEING CONVEYED IS THE SELLER'S PRINCIPAL RESIDENCE (AS DEFINED IN SECTION 1034 OF THE INTERNAL REVENUE CODE).

THE SELLER IS SUBJECT TO PENALTY FOR KNOWINGLY FILING A FRAUDULENT CERTIFICATE FOR THE PURPOSE OF AVOIDING THE WITHHOLDING REQUIREMENT.

THE CALIFORNIA STATUTES REFERENCED ABOVE INCLUDE PROVISIONS WHICH AUTHORIZE THE FRANCHISE TAX BOARD TO GRANT REDUCED WITHHOLDING AND WAIVERS FROM WITHHOLDING ON A CASE-BY-CASE BASIS.

THE PARTIES TO THIS TRANSACTION SHOULD SEEK AN ATTORNEY'S, ACCOUNTANT'S, OR OTHER TAX SPECIALIST'S OPINION CONCERNING THE EFFECT OF THIS LAW ON THIS TRANSACTION AND SHOULD NOT ACT ON ANY STATEMENTS MADE OR OMITTED BY THE ESCROW OR CLOSING OFFICER.



**ADDENDUM TO EXHIBIT A  
LIST OF PRINTED EXCEPTIONS AND EXCLUSIONS (By Policy Type)**

**11. AMERICAN LAND TITLE ASSOCIATION RESIDENTIAL TITLE INSURANCE POLICY - 1987  
WITH EAGLE PROTECTION ADDED**

**EXCLUSIONS**

In addition to the Exceptions in Schedule B, you are not insured against loss, costs, attorneys' fees, and expenses resulting from:

1. Governmental police power, and the existence or violation of any law or government regulation. This includes building and zoning ordinances and also laws and regulations concerning:
  - land use;
  - improvements on the land;
  - land division; or
  - environmental protection.

This exclusion does not apply to violations or the enforcement of these matters which appear in the public records at Policy Date.

This exclusion does not limit the coverage described in Items 12c and d, 13 and 18 of Covered Title Risks.

2. The right to take the land by condemning it, unless:
  - a notice of exercising the right appears in the public records on the Policy Date; or
  - the taking happened prior to the Policy Date and is binding on you if you bought the land without knowing of the taking.
3. Title Risks:
  - that are created, allowed, or agreed to by you;
  - that are known to you, but not to us, on the Policy Date—unless they appeared in the public records;
  - that result in no loss to you; or
  - that first affect your title after the Policy Date—this does not limit the coverage described in Items 3b, 8, 17 and 19 of Covered Title Risks.
4. Failure to pay value for your title.
5. Lack of a right:
  - to any land outside the area specifically described and referred to in Item 3 of Schedule A; or
  - in streets, alleys, or waterways that touch your land.

This exclusion does not limit the coverage described in Items 5 and 12a of Covered Title Risks.

**12. AMERICAN LAND TITLE ASSOCIATION LOAN POLICY - 1992 WITH A.L.T.A. ENDORSEMENT FORM 1 COVERAGE  
WITH EAGLE PROTECTION ADDED**

**EXCLUSIONS FROM COVERAGE**

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the Land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the Land; (iii) a separation in ownership or a change in the dimensions or area of the Land or any parcel of which the Land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the Land has been recorded in the Public Records at Date of Policy. This exclusion does not limit the coverage provided under insuring provisions 14, 15, 16 and 24 of this policy.  
(b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the Public Records at Date of Policy. This exclusion does not limit the coverage provided under insuring provisions 14, 15, 16 and 24 of this policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the Public Records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without Knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
  - (a) created, suffered, assumed or agreed to by the Insured Claimant;
  - (b) not known to the Company, not recorded in the Public Records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy;
  - (c) resulting in no loss or damage to the Insured Claimant;
  - (d) attaching or created subsequent to Date of Policy (this paragraph (d) does not limit the coverage provided under insuring provisions 7, 8, 16, 17, 19, 20, 21, 23, 24 and 25); or
  - (e) resulting in loss or damage which would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of the Insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with applicable doing business laws of the state in which the Land is situated.
5. Invalidity or unenforceability of the lien of the Insured Mortgage, or claim thereof, which arises out of the transaction evidenced by the Insured Mortgage and is based upon:
  - (a) usury, except as provided under insuring provision 10 of this policy; or
  - (b) any consumer credit protection or truth in lending law.

Exhibit 7  
**4. AMERICAN LAND TITLE ASSOCIATION LOAN POLICY - 1970**  
**WITH A.L.T.A. ENDORSEMENT FORM 1 COVERAGE**  
**SCHEDULE OF EXCLUSIONS FROM COVERAGE**

1. Any law, ordinance or governmental regulation (including but not limited to building and zoning ordinances) restricting or regulating or prohibiting the occupancy, use or enjoyment of the land, or regulating the character, dimensions or location of any improvement now or hereafter erected on the land, or prohibiting a separation in ownership or a reduction in the dimensions or area of the land, or the effect of any violation of any such law ordinance or governmental regulation.
2. Rights of eminent domain or governmental rights of police power unless notice of the exercise of such rights appears in the public records at Date of Policy.
3. Defects, liens, encumbrances, adverse claims, or other matters (a) created, suffered, assumed or agreed to by the insured claimant, (b) not known to the Company and not shown by the public records but known to the insured claimant either at Date of Policy or at the date such claimant acquired an estate or interest insured by this policy or acquired the insured mortgage and not disclosed in writing by the insured claimant to the Company prior to the date such insured claimant became an insured hereunder, (c) resulting in no loss or damage to the insured claimant; (d) attaching or created subsequent to Date of Policy (except to the extent insurance is afforded herein as to any statutory lien for labor or material or to the extent insurance is afforded herein as to assessments for street improvements under construction or completed at Date of Policy).
4. Unenforceability of the lien of the insured mortgage because of failure of the insured at Date of Policy or of any subsequent owner of the indebtedness to comply with applicable "doing business" laws of the state in which the land is situated.

**5. AMERICAN LAND TITLE ASSOCIATION LOAN POLICY - 1970 WITH REGIONAL EXCEPTIONS**

When the American Land Title Association Lenders Policy is used as a Standard Coverage Policy and not as an Extended Coverage Policy, the exclusions set forth in paragraph 4 above are used and the following exceptions to coverage appear in the policy.

**SCHEDULE B**

This policy does not insure against loss or damage by reason of the matters shown in parts one and two following:

Part One:

1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
2. Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of said land or by making inquiry of persons in possession thereof
3. Easements, claims of easement or encumbrances which are not shown by the public records.
4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by public records.
5. Unpatented mining claims; reservations or exceptions in patents or in Acts authorizing the issuance thereof, water rights, claims or title to water.
6. Any lien, or right to a lien, for services, labor or material theretofore or hereafter furnished, imposed by law and not shown by the public records.

**6. AMERICAN LAND TITLE ASSOCIATION LOAN POLICY - 1992**  
**WITH A.L.T.A. ENDORSEMENT FORM 1 COVERAGE**  
**EXCLUSIONS FROM COVERAGE**

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

1. (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land, (ii) the character, dimensions or location of any improvement now or hereafter erected on the land, (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
3. Defects, liens, encumbrances, adverse claims or other matters:
  - (a) created, suffered, assumed or agreed to by the insured claimant;
  - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy;
  - (c) resulting in no loss or damage to the insured claimant;
  - (d) attaching or created subsequent to Date of Policy (except to the extent that this policy insures the priority of the lien of the insured mortgage over any statutory lien for services, labor or material or the extent insurance is afforded herein as to assessments for street improvements under construction or completed at date of policy); or
  - (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage.
4. Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with applicable "doing business" laws of the state in which the land is situated.
5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
6. Any statutory lien for services, labor or materials (or the claim of priority of any statutory lien for services, labor or materials over the lien of the insured mortgage) arising from an improvement or work related to the land which is contracted for and commenced subsequent to Date of Policy and is not financed in whole or in part by proceeds of the indebtedness secured by the insured mortgage which at Date of Policy the insured has advanced or is obligated to advance.
7. Any claim, which arises out of the transaction creating the interest of the mortgagee insured by this policy, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that is based on:
  - (i) the transaction creating the interest of the insured mortgagee being deemed a fraudulent conveyance or fraudulent transfer; or
  - (ii) the subordination of the interest of the insured mortgagee as a result of the application of the doctrine of equitable subordination; or
  - (iii) the transaction creating the interest of the insured mortgagee being deemed a preferential transfer except where the preferential transfer results from the failure:
    - (a) to timely record the instrument of transfer; or
    - (b) of such recordation to impart notice to a purchaser for value or a judgment or lien creditor.

**7. AMERICAN LAND TITLE ASSOCIATION LOAN POLICY - 1992 WITH REGIONAL EXCEPTIONS**

When the American Land Title Association policy is used as a Standard Coverage Policy and not as an Extended Coverage Policy the exclusions set forth in paragraph 6 above are used and the following exceptions to coverage appear in the policy.



### OWNER - AGENT AUTHORIZATION FORM

Matthews Land Company, Inc., now acting as the Agent for the applicant, Gulf Coast Broadcasting Corporation listed below, has the permission and authority as granted by the property owner to conduct the following activities on behalf of the applicant:

- Review, copy and obtain all public records regarding my property from the Fresno County Assessor's Office, Planning and Building Departments.
- Assemble, prepare, and apply for all required planning, zoning, building, or any other such permits as required from the County of Fresno or any other governmental body/agency having jurisdiction.
- Coordinate the installation of microwave antennas, new telephone lines, cellular antennas, and related equipment modification of the Cellular Transceiving Facility located at the site indicated below.

**OWNER:** Huntington Pine Mutual Water Co.  
1195 West Shaw, Suite C  
Fresno, CA 93711

**AGENT:** Matthews Land Company, Inc.  
5619 Scotts Valley Drive, Suite 200  
Scotts Valley, CA 95066  
Phone: (408) 438-9500

**APPLICANT:** Gulf Coast Broadcasting Corporation  
45 Rockefeller Plaza, Suite 3201  
New York, NY 10020  
Phone: (209) 437-2049

**SITE INFORMATION:** End of Huntington Vista Road, Huntington Lake, CA 93629  
APN: \_\_\_\_\_, commonly known as Outlot "H" of Parcel Map 110-570

**SIGNED:**

Owner: John R. Swertfager 7/23/97  
 By: JOHN R. SWERTFAGER Date  
 President

Agent: John H. Ford 3/15/98  
 By: John Ford Date  
 Matthews Land Company, Inc.

Applicant: \_\_\_\_\_  
 By: \_\_\_\_\_ Date  
 Gulf Coast Broadcasting Corp.