



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

DATE: **September 9, 2020**

TO:

Development Services and Capital Projects, Attn: William M. Kettler, Division Manager  
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner  
Development Services and Capital Projects, Current Planning, Attn: David Randall, Senior Planner  
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner  
Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel Gutierrez/James Anders  
Development Services and Capital Projects, Building & Safety/Plan Check, CASp, Attn: Dan Mather  
Development Engineering, Attn: Kevin Nehring, Senior Engineer  
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping  
Road Maintenance and Operations, Attn: John Thompson/Nadia Lopez/Martin Querin/Wendy Nakagawa  
Design Division, Special Projects/Road Projects, Attn: Mohammad Alimi/Dale Siemer/Brian Spaunhurst  
Design Division, Transportation Planning, Attn: Mohammad Alimi/Dale Siemer/Brian Spaunhurst/Gloria Hensley  
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager; Roy Jimenez  
Department of Public Health, Environmental Health Division, Attn: Kevin Tsuda/Deep Sidhu/Steven Rhodes  
Fresno County Fire Protection District, Attn: Jim McDougald, Division Chief  
Sierra Resource District

FROM: Ethan Davis, Planner  
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval No. 4634

APPLICANT: Gary Cha

DUE DATE: **September 24, 2020**

NOTE:

Allow a 1,917 square-foot second residence with a proposed 2,284 square-foot primary residence on a 39.8-acre parcel in the AE-40 (Exclusive Agricultural, 40-acre minimum parcel size) Zone District.

The project sites are located on the east side of Watts Valley Road (Sup. Dist.: 5) (APN: 158-022-31)

**NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).**

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Ethan Davis, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-9669 or thdavis@fresnocountyca.gov via email.

C:\Users\thdavis\Desktop\routing master.docx

*Activity Code (Internal Review):* **2392**

Enclosures



# Fresno County Department of Public Works and Planning

Date Received: 8-11-20

Dra 4634  
(Application No.)

### MAILING ADDRESS:

Department of Public Works and Planning  
Development Services Division  
2220 Tulare St., 6<sup>th</sup> Floor  
Fresno, Ca. 93721

### LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A  
Street Level  
Fresno Phone: (559) 600-4497  
Toll Free: 1-800-742-1011 Ext. 0-4497

### APPLICATION FOR:

- Pre-Application (Type) \_\_\_\_\_
- Amendment Application  Director Review and Approval
- Amendment to Text  for 2<sup>nd</sup> Residence
- Conditional Use Permit  Determination of Merger
- Variance (Class )/Minor Variance  Agreements
- Site Plan Review/Occupancy Permit  ALCC/RLCC
- No Shoot/Dog Leash Law Boundary  Other \_\_\_\_\_
- General Plan Amendment/Specific Plan/SP Amendment)
- Time Extension for \_\_\_\_\_

### DESCRIPTION OF PROPOSED USE OR REQUEST:

TO ALLOW A CONVENTIONAL 2nd SINGLE FAMILY RESIDENCE NOT TO EXCEED 2,000 SF FOR A FAMILY MEMBER

CEQA DOCUMENTATION:  Initial Study  PER  N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: EAST side of WATTS VALLEY ROAD  
between RIVERBEND (North of) and PITMAN HILL RD.  
Street address: 18875 WATTS VALLEY ROAD

APN: 158-022-31 Parcel size: 39.8 AC Section(s)-Twp/Rg: S 9 - T 13 S/R 23 E

ADDITIONAL APN(s): \_\_\_\_\_

I, Gary Cha (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

GARY CHA	5285 E Kings Canyon #114	FRESNO	93727	559-803-4580
Owner (Print or Type)	Address	City	Zip	Phone

<u>Howard Wiens</u>	<u>37965 Barberrry</u>	<u>Squaw Valley</u>	<u>93675</u>	<u>559-226-7944</u>
Applicant (Print or Type)	Address	City	Zip	Phone

Representative (Print or Type)	Address	City	Zip	Phone
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### CONTACT EMAIL:

#### OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: <u>Dra 4634</u>	Fee: \$ <u>1,570.00</u>
Application Type / No.:	Fee: \$
Application Type / No.: <u>Pre-APP 20-105798</u>	Fee: \$ <u>-247.00</u>
Application Type / No.:	Fee: \$
PER/Initial Study No.:	Fee: \$
Ag Department Review:	Fee: \$
Health Department Review: <u>HD</u>	Fee: \$ <u>432.00</u>
Received By: <u>Ethan Davis</u> Invoice No.:	TOTAL: \$ <u>1,755.00</u>

#### UTILITIES AVAILABLE:

WATER: Yes  / No

Agency: \_\_\_\_\_

SEWER: Yes  / No

Agency: \_\_\_\_\_

### STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: \_\_\_\_\_ - T \_\_\_\_\_ S /R \_\_\_\_\_ E

Related Application(s): \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

APN # \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Zone District: AE40

Parcel Size: 39.8



Development Services  
and  
Capital Projects  
Division

Pre-Application Review

Department of Public Works and Planning

gcha26@gmail.com

NUMBER: 20-105798  
APPLICANT: GARY CHA  
PHONE: (559) 803-4580

PROPERTY LOCATION:

APN: 158 - 022 - 31 ALCC: No  Yes #          VIOLATION NO. NO  
CNEL: No  Yes          (level) LOW WATER: No          Yes  WITHIN 1/2 MILE OF CITY: No  Yes           
ZONE DISTRICT: AE-40; SRA: No          Yes  HOMESITE DECLARATION REQ'D.: No  Yes           
LOT STATUS:

Zoning:  Conforms; ( ) Legal Non-Conforming lot; ( ) Deed Review Req'd (see Form #236)  
Merger: May be subject to merger: No  Yes          ZM#          Initiated          In process           
Map Act:  Lot of Rec. Map; ( ) On '72 rolls; ( ) Other         ; ( ) Deeds Req'd (see Form #236)

SCHOOL FEES: No          Yes          DISTRICT:          PERMIT JACKET: No  Yes           
FMFCD FEE AREA:  Outside ( ) District No.:          FLOOD PRONE: No  Yes           
PROPOSED: DRA TO ALLOW A CONVENTIONAL PERMANENT 2<sup>ND</sup> RESIDENCE NOT TO EXCEED 2,000 SQ. FT ANI  
THE PROPERTY OWNER MUST RESIDE ON PROPERETY.

COMMENTS:

ORD. SECTION(S): 816.2.W BY: ALBERT AGUILAR DATE: 7/20/20

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: Agricultural ( ) GPA:           
COMMUNITY PLAN:          ( ) AA:           
REGIONAL PLAN:          ( ) CUP:           
SPECIFIC PLAN:          (X) DRA: 1,570.00  
SPECIAL POLICIES:          ( ) VA:           
SPHERE OF INFLUENCE:          ( ) AT:           
ANNEX REFERRAL (LU-G17/MOU):          ( ) TT:         

PROCEDURES AND FEES:

( ) MINOR VA:           
(X) HD: 432.60  
( ) AG COMM:           
( ) ALCC:           
( ) IS/PER\*:           
( ) Viol. (35%):           
( ) Other:           
Filing Fee: \$ 2,002.00  
Pre-Application Fee: -\$247.00  
Total County Filing Fee: 1,755.00

COMMENTS:

FILING REQUIREMENTS:

- Land Use Applications and Fees
- This Pre-Application Review form
- Copy of Deed / Legal Description
- Photographs
- Letter Verifying Deed Review
- IS Application and Fees\* \* Upon review of project materials, an Initial Study (IS) with fees may be required.
- Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Project Description / Operational Statement (Typed)
- Statement of Variance Findings
- Statement of Intended Use (ALCC)
- Dependency Relationship Statement
- Resolution/Letter of Release from City of           
Referral Letter #

OTHER FILING FEES:

- Archaeological Inventory Fee: \$75 at time of filing  
(Separate check to Southern San Joaquin Valley Info. Center)
- CA Dept. of Fish & Wildlife (CDFW): (\$50) (\$50+\$2,406.75)  
(Separate check to Fresno County Clerk for pass-thru to CDFW.  
Must be paid prior to IS closure and prior to setting hearing date.)

BY: Ethan Davis DATE: 7/29/20  
PHONE NUMBER: (559) 608 - 9669

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

- COVENANT
- MAP CERTIFICATE
- PARCEL MAP
- FINAL MAP
- FMFCD FEES
- ALUC or ALCC
- SITE PLAN REVIEW
- BUILDING PLANS
- BUILDING PERMITS
- WASTE FACILITIES PERMIT
- SCHOOL FEES
- OTHER (see reverse side)

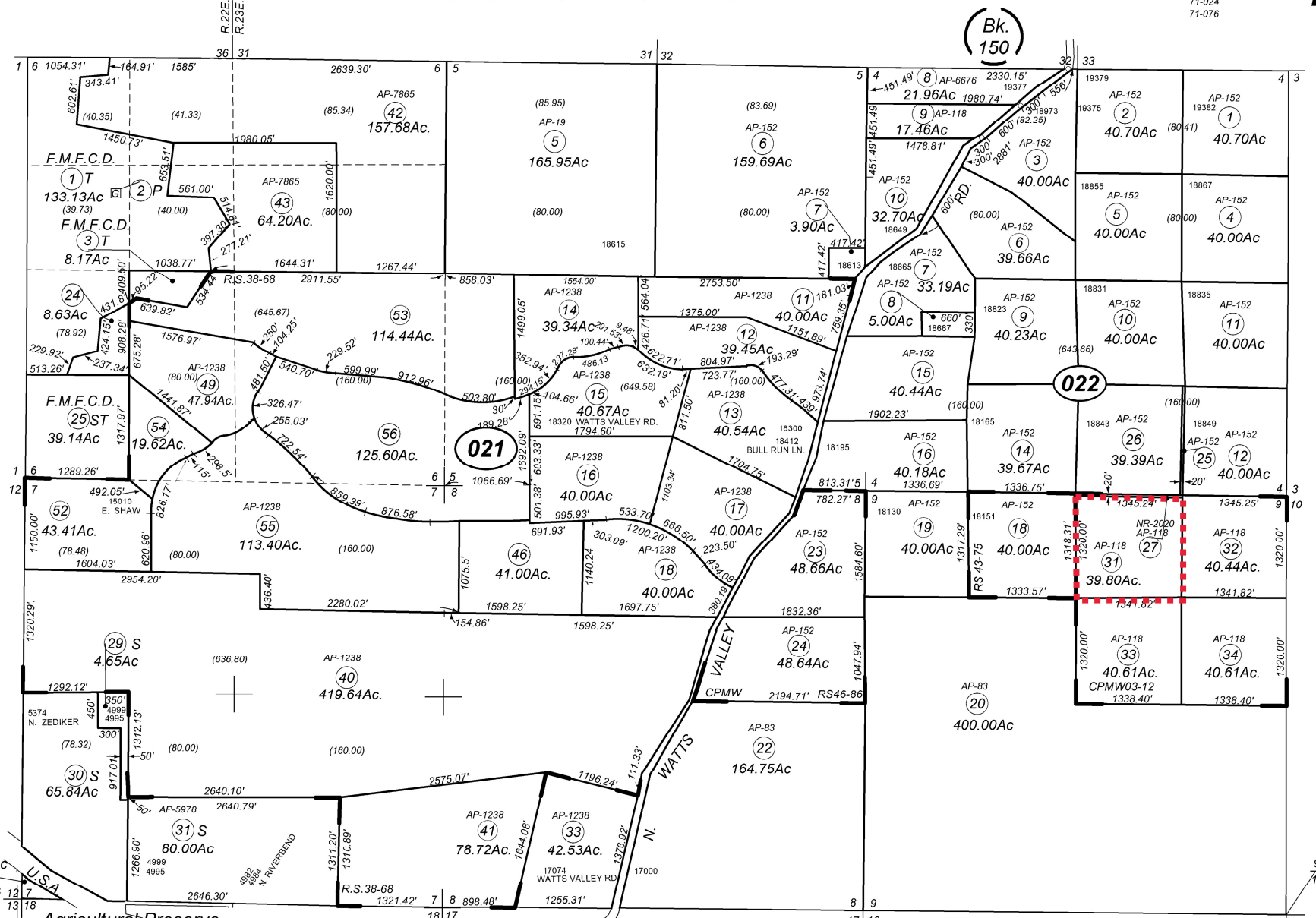
PLU # 113 Fee: \$247.00  
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

OVER.....





-NOTE-  
This map is for Assessment purposes only.  
It is not to be construed as portraying legal  
ownership or divisions of land for purposes  
of zoning or subdivision law.



Bk.  
308

Bk.  
150

022

021

03

06

33

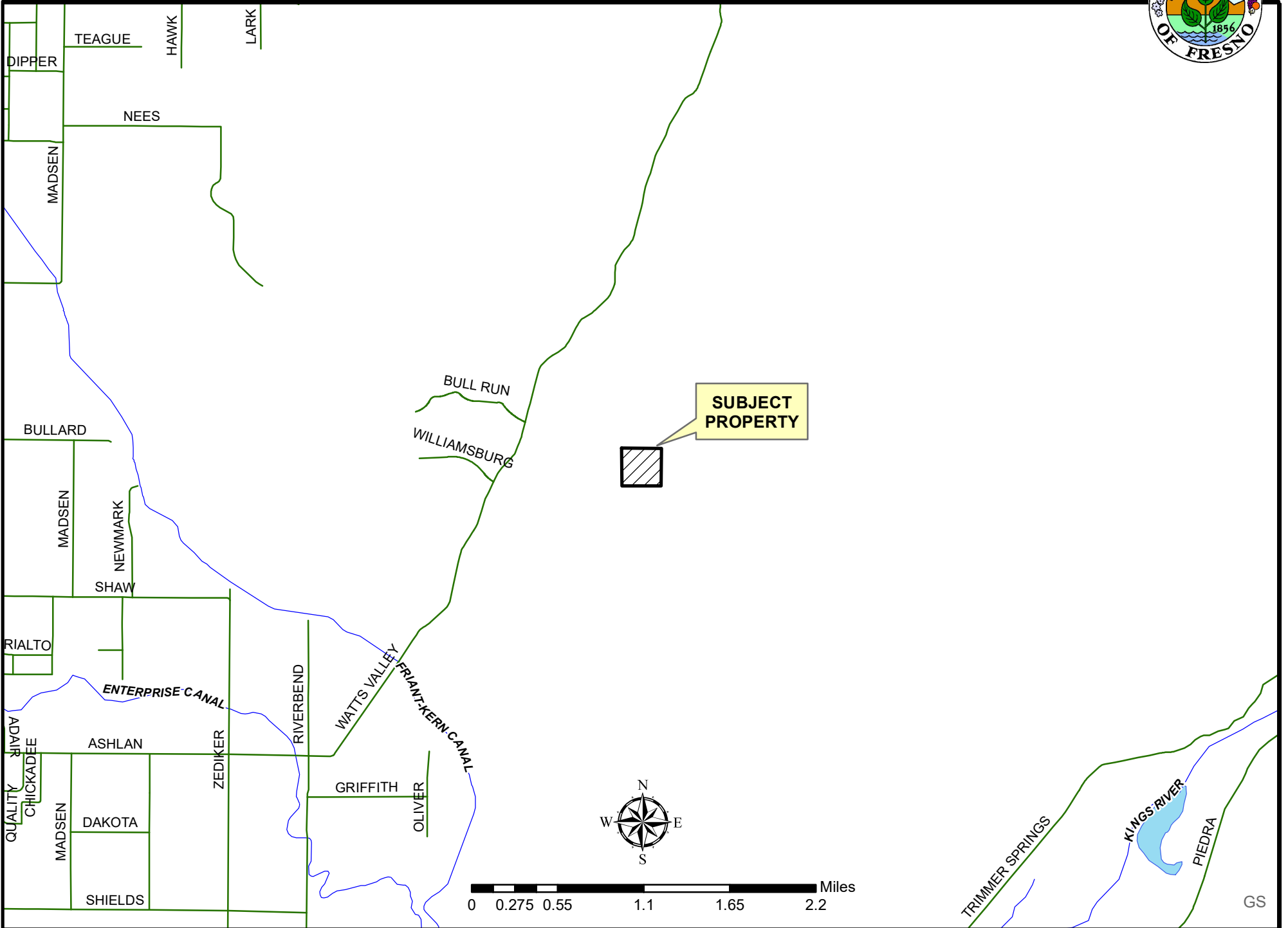
Agricultural Preserve  
Record of Survey - Bk.38, Pg.68  
Record of Survey - Bk.43, Pg.75  
Record of Survey - Bk.46, Pg's. 86-88

C.P.M.W. - Doc. No. 122405, 6-24-2002  
C.P.M.W. No. 03-12 - Doc. No. 61674, 5-2-2012

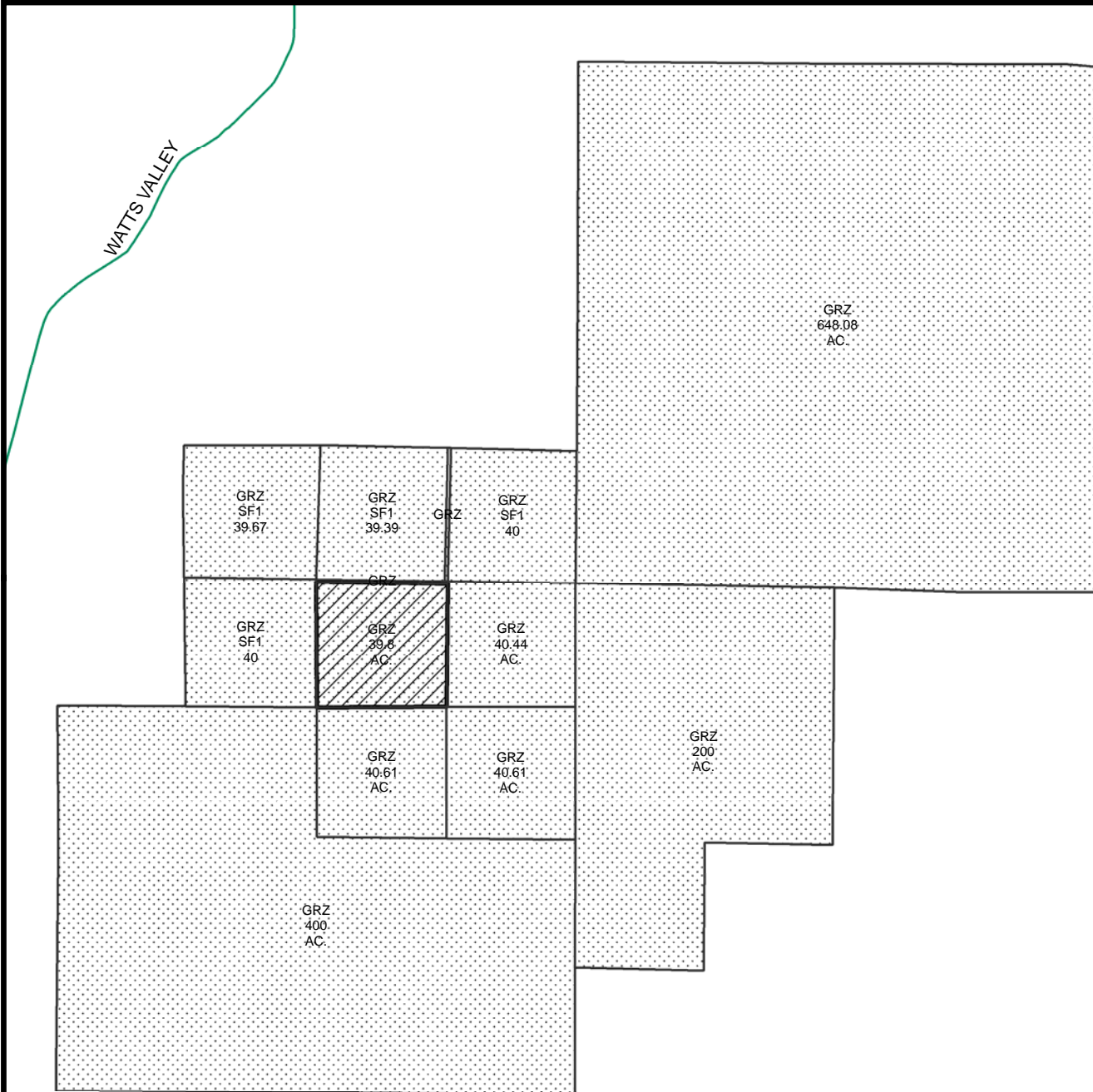
Note - Assessor's Block Numbers Shown in Ellipses  
Assessor's Parcel Numbers Shown in Circles

Assessor's Map Bk.158 - Pg.02  
County of Fresno, Calif.

# LOCATION MAP





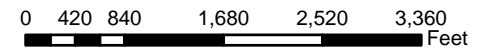
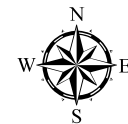
# EXISTING LAND USE MAP



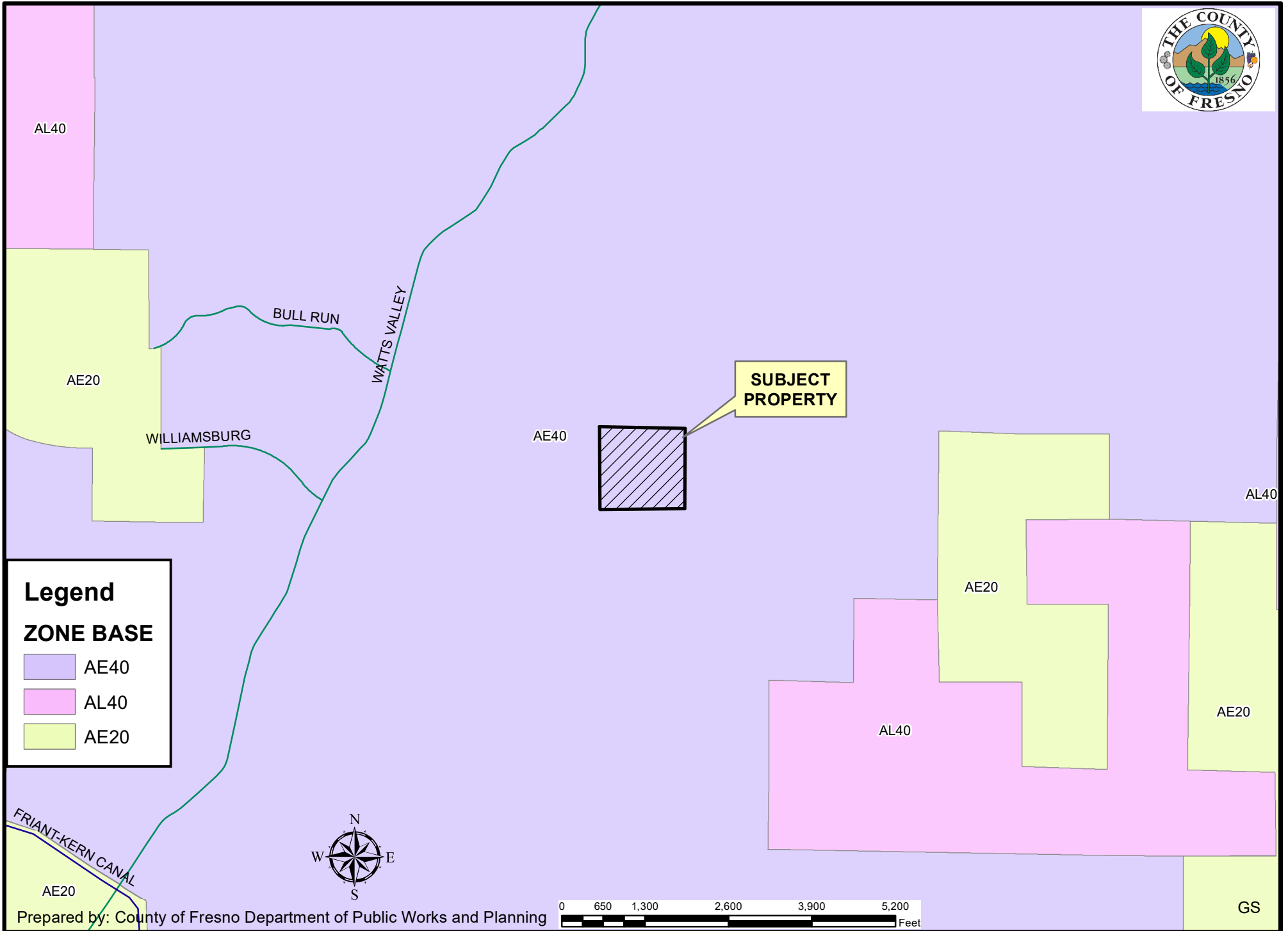
LEGEND
GRZ - GRAZING
SF# - SINGLE FAMILY RESIDENCE
V - VACANT

## LEGEND:

-  Subject Property
-  Ag Contract Land



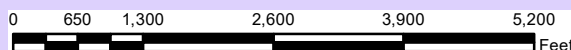
# EXISTING ZONING MAP



**Legend**

**ZONE BASE**

- AE40
- AL40
- AE20



**ORDER NO. : 1411016043****EXHIBIT A**

The land referred to is situated in the unincorporated area of the County of Fresno, State of California, and is described as follows:

Pursuant to that certain Certificate of Waiver of Parcel Map No. 03-12 recorded May 2, 2012 as Document No. 2012-0061674, Official Records of Fresno County.

**PARCEL ONE:**

The Northwest Quarter of the Northeast Quarter of Section 9, Township 13 South, Range 23 East, Mount Diablo Base and Meridian, according to the Official Plat thereof.

Excepting therefrom the North 20 feet of the Northwest Quarter of the Northeast Quarter of Section 9, Township 13 South, Range 23 East, Mount Diablo Base and Meridian, according to the Official Plat thereof, by Deed dated September 2, 2005 as Document No. 2007-0075374 of Fresno County Official Records.

**PARCEL TWO:**

A 60 foot wide non-exclusive access easement for road, P.G.&E. power lines and utility purposes without limitation as to the number of future dominant tenements, appurtenant to and for the benefit of the South three quarters of Section 4 lying Easterly of Watts Valley Road and the North half of the Northwest quarter of Section 9, all in Township 13 South, Range 23 East, Mount Diablo Base and Meridian, with right of both grantor and grantee, their heirs, successors, or assigns to further deed a non-exclusive easement to others. Said easement is located in Section 4, Township 13 South, Range 23 East, Mount Diablo Base and Meridian, the centerline of which is more particularly described as follows:

Beginning at a point on the Southeasterly right of way line Watts Valley Road, said right of way line being 30 feet Southeasterly from the centerline of said road, said point of beginning bearing North 41° 17' 04" West, 892.11 feet from the Northwest corner of the Northeast quarter of the Southwest quarter of said Section 4; thence South 41° 17' 04" East 892.11 feet to said Northwest corner; thence North 89° 32' 25" East 2656.63 feet to the Northeast corner of the Northwest quarter of the Southeast quarter of Section 4; thence South 00° 07' 44" West, 1320.51 feet to the Southeast corner of said Northwest one-quarter of the Southeast quarter of Section 4; thence continuing South 00° 07' 44" West, along the East line of the Southwest quarter of the Southeast quarter of said Section 4, a distance of 60.00 feet to the termination of this description.

**PARCEL THREE:**

A 60' wide non-exclusive access easement located in the North half of the Northeast Quarter of Section 9, Township 13 South, Range 23 East, Mount Diablo Base and Meridian, in the County of Fresno, State of California, according to U.S. Government Township Plats, more particularly described as follows:



The West 30 feet of the Northeast Quarter of the Northeast Quarter of Section 9,  
Together with the East 30 feet of Northwest Quarter of the Northeast Quarter of said Section 9,  
Excepting therefrom the North 20 feet of the Northwest Quarter of the Northwest Quarter of  
said Section 9.

Also excepting therefrom any portion thereof lying within Parcel One above.

Parcel Four:

A non-exclusive easement for ingress and egress over and across the West 30 Feet of the  
Southeast quarter of the Southeast quarter of the Said Section 4 as conveyed by "Grant of  
Easement" recorded May 17, 2004, Document No. 2004-0108554, Fresno County Records.

Parcel Five:

A non-exclusive easement for ingress and egress and public utilities over and across the East 20  
Feet of the Southwest quarter of the Southeast quarter of the Said Section 4 as conveyed by  
that certain "Grant of Easement" recorded August 15, 2005, Document No. 2005-0186745,  
Fresno County Records.

APN: 158-022-31

RECORDING REQUESTED BY:

Old Republic Title Company

Escrow No.: 1411016043  
APN: 158-022-31

When Recorded Mail Document and Tax Statements to:

Gary Cha, Kaonou Vang, John Cha & Kathy Cha  
11978 East Griffith Avenue  
Sanger, CA 93657

Fresno County Recorder  
Paul Dictos, CPA

**2019-0136371**

Recorded at the request of:  
OLD REPUBLIC TITLE COMPANY |

11/13/2019 09:42 24

Titles: 1 Pages: 4

Fees: \$20.00

CA SB2 Fees:\$0.00

Taxes: \$297.00

Total: \$317.00

SPACE ABOVE THIS LINE IS FOR RECORDER'S USE

## Grant Deed

**Exempt from fee per GC27388.1(a)(2); document is subject to the imposition of documentary transfer tax**

The undersigned grantor(s) declare(s):

Documentary Transfer Tax is \$297.00

computed on full value of property conveyed, or

computed on full value less of liens and encumbrances remaining at time of sale.

Unincorporated area:  City of

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,  
John Eugene Johnson and Judith Ann Johnson, husband and wife

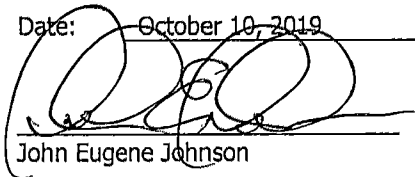
hereby GRANT(S) to

Gary Cha, a single man and Kaonou Vang, a single woman and John Cha, a single man and Kathy Cha, a single woman, all as Joint Tenants

that property in Unincorporated area of Fresno County, State of California, described as follows:

\*\*\* See "Exhibit A" attached hereto and made a part hereof. \*\*\*

Date: October 10, 2019

  
John Eugene Johnson

  
Judith Ann Johnson


A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

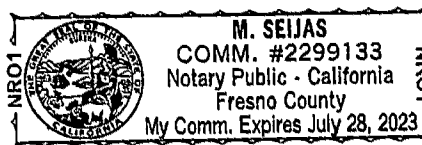
State of California  
County of Fresno

On 10.11.2019 before me, M. Seijas a Notary Public, personally appeared John Eugene Johnson and Judith Ann Johnson, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

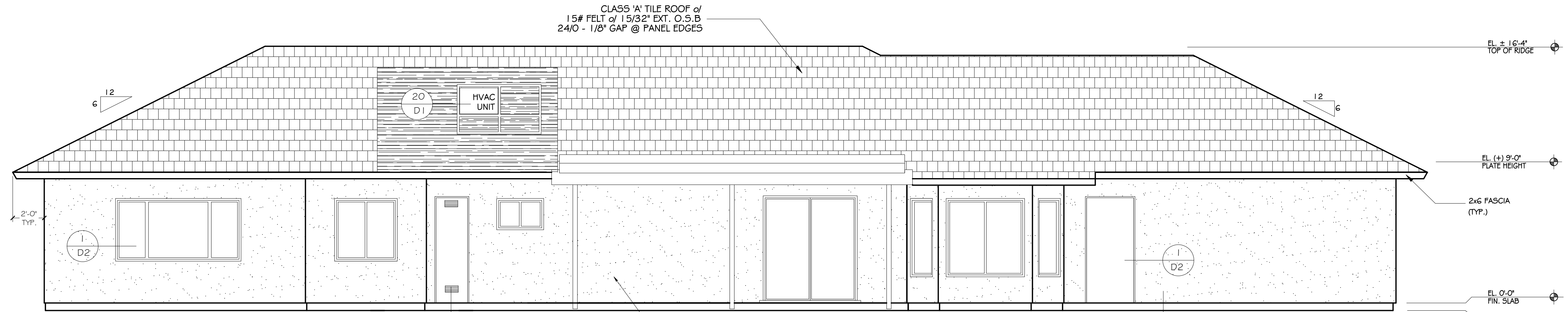
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature:   
Name: M. Seijas  
(Typed or Printed)

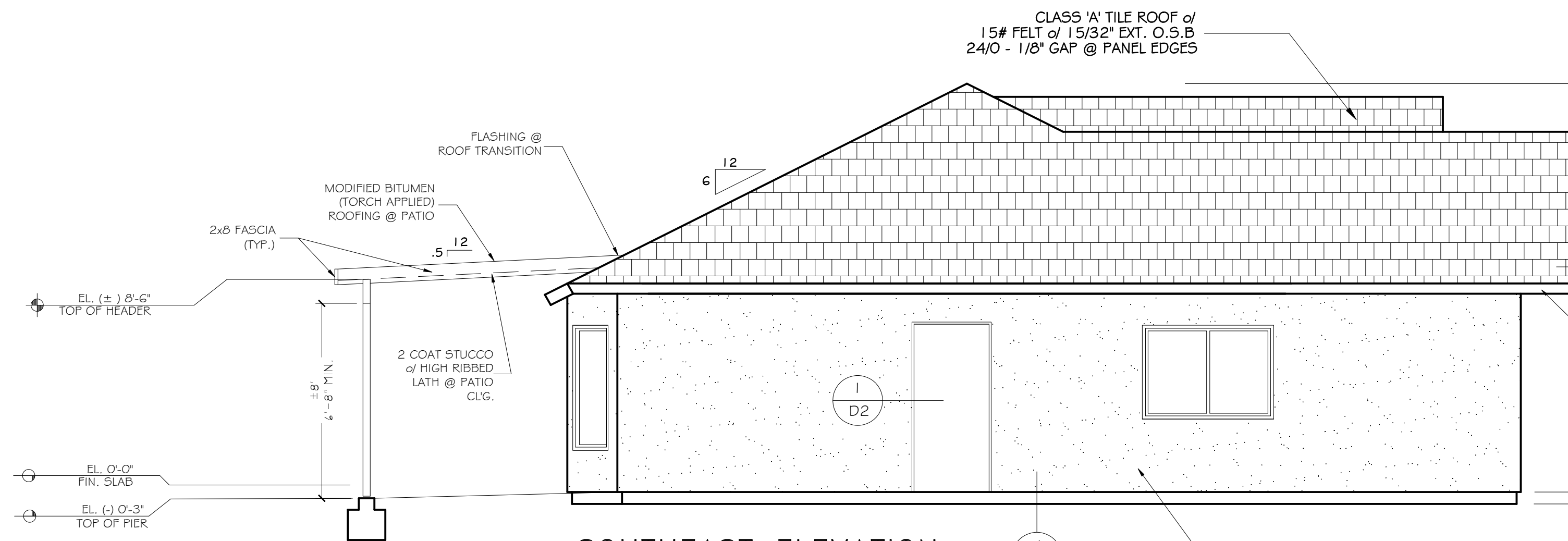


(Seal)

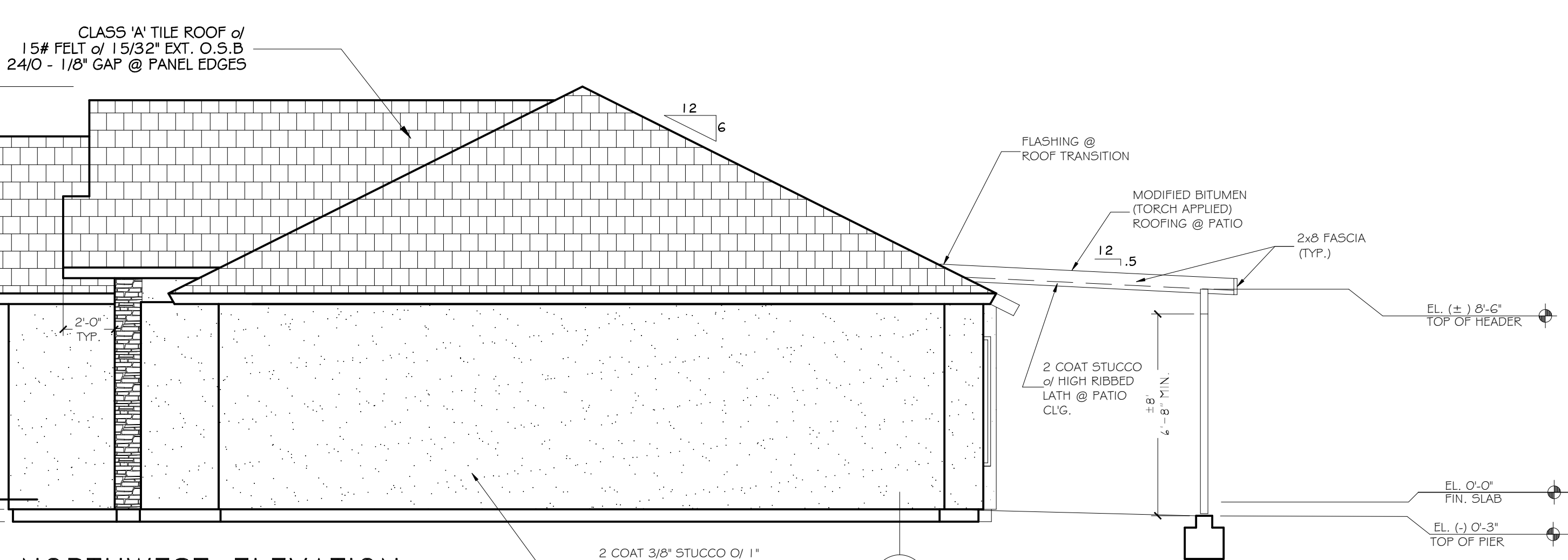


**SOUTHWEST ELEVATION**  
SCALE: 1/4" = 1'-0"

2 COAT 3/8" STUCCO O/ 1" FOAM INSULATION (STAR-R-FOAM ESR 1566) O/ (1) LAYER GRADE 'D' PAPER (2 LAYERS IF APPLIED O/ WOOD SHEATHING) w/ WEEP SCREED

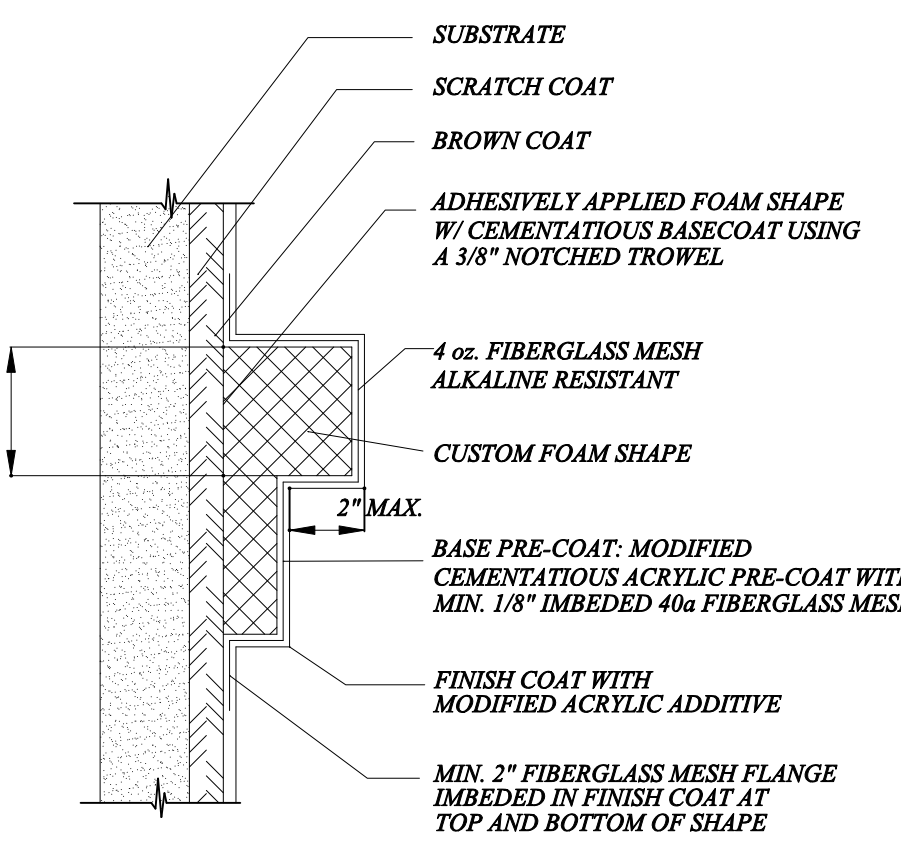
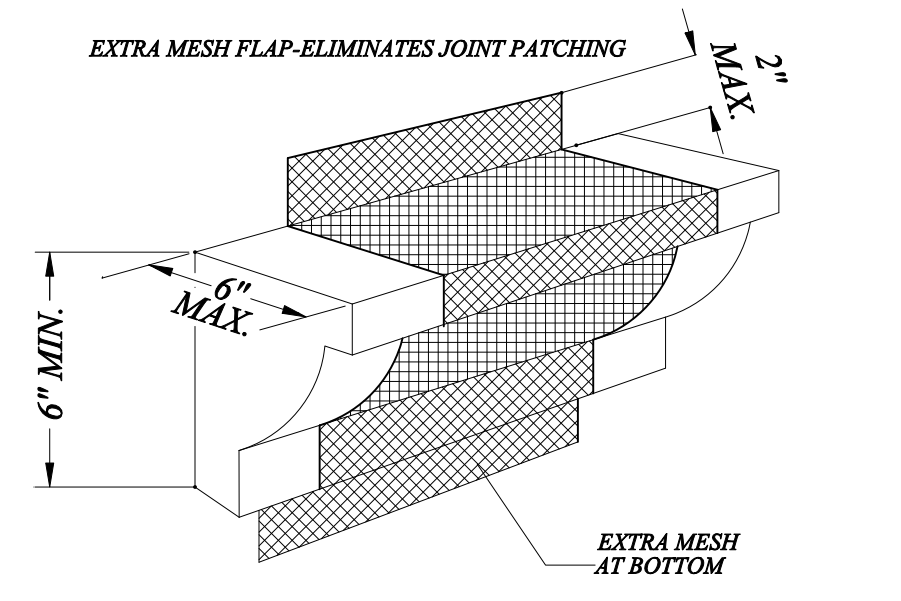


**SOUTHEAST ELEVATION**  
SCALE: 1/4" = 1'-0"

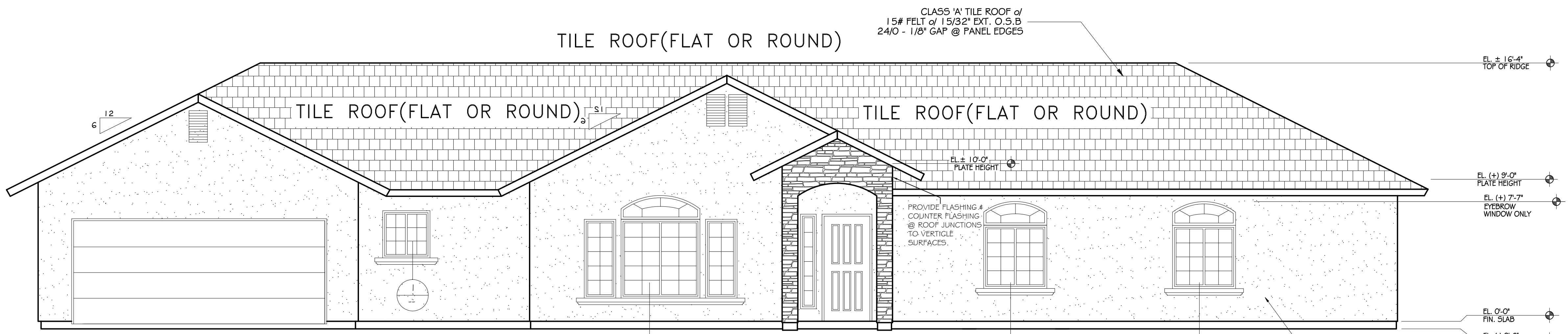


**NORTHWEST ELEVATION**  
SCALE: 1/4" = 1'-0"

2 COAT 3/8" STUCCO O/ 1" FOAM INSULATION (STAR-R-FOAM ESR 1566) O/ (1) LAYER GRADE 'D' PAPER (2 LAYERS IF APPLIED O/ WOOD SHEATHING) w/ WEEP SCREED



**FOAM POP-OUT DETAIL**



**NORTHEAST ELEVATION**  
SCALE: 1/4" = 1'-0"

6:12 ROOF PITCH THRU-OUT  
HIP ROOF w/ GABLE @ FRONT

2 COAT 3/8" STUCCO O/ 1" FOAM INSULATION (STAR-R-FOAM ESR 1566) O/ (1) LAYER GRADE 'D' PAPER (2 LAYERS IF APPLIED O/ WOOD SHEATHING) w/ WEEP SCREED

**PLUMBING NOTES**

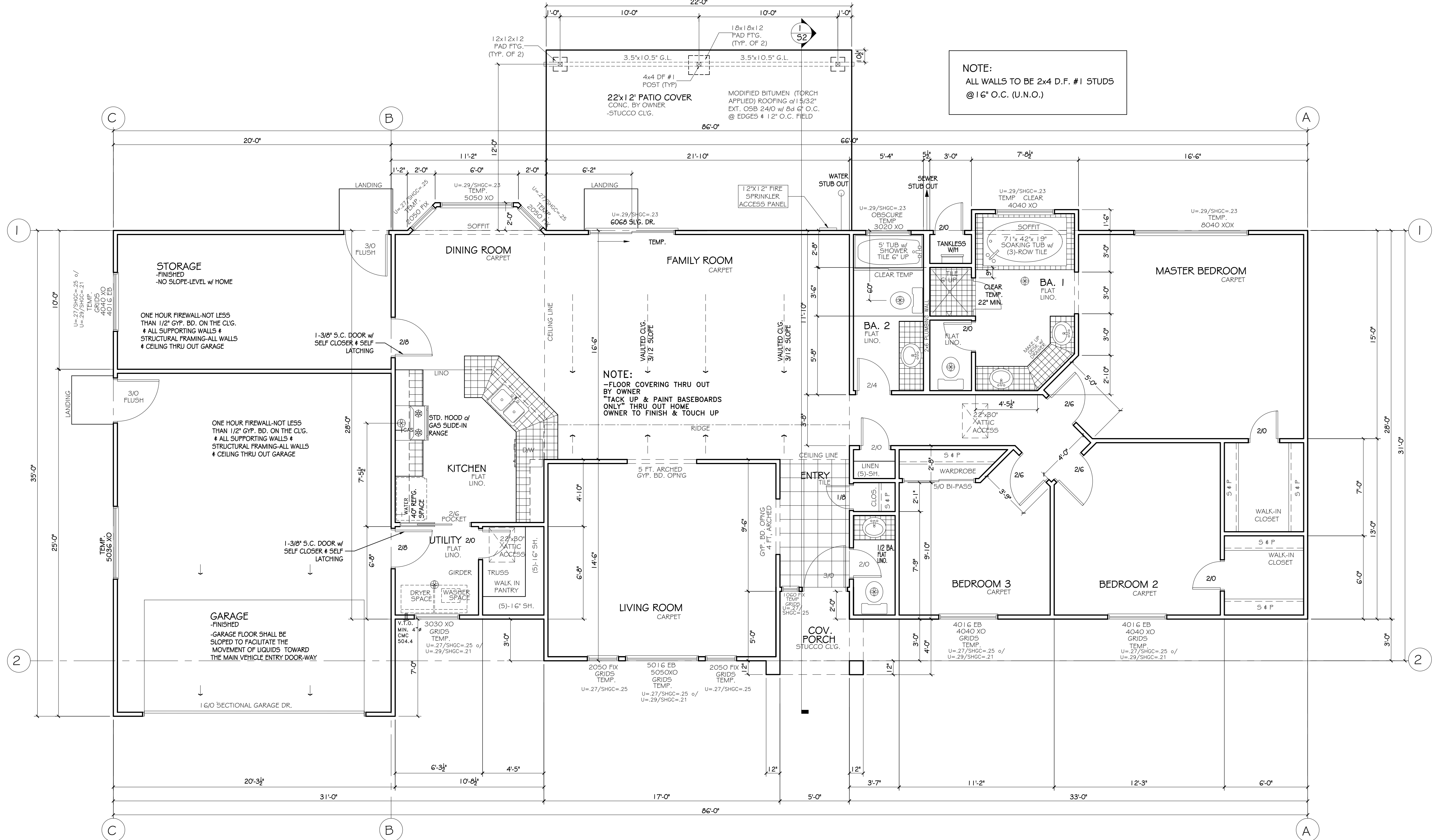
- HOSE BIBBS SHALL HAVE NON REMOVABLE BACK FLOW PREVENTER DEVICES ATTACHED.
- SHOWER STALLS AND TUB ENCLOSURES MUST CONFORM TO THE REQUIREMENTS OF CPC 412.6 & 412.7 (1.024 SQ. IN.) THRESHOLD 2'-9" DEEP.
- SHOWERS AND TUBSHOWER COMBOS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, HAVING A MAX. MIXED WATER SETTING OF 120 DEG.
- WHEN A JETTED TUB IS INSTALLED, PROVIDE 1 1/2" x 2" TUB ACCESS PANEL OR SOLID WELDED PLASTIC DRAIN FITTINGS.
- THE MAX HOT WATER TEMP. DISCHARGING FROM THE BATHTUB SHALL BE LIMITED TO 120 DEG F. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION.
- WATER CLOSETS SHALL NOT USE MORE THAN 1.28 GALLONS PER FLUSH PER CPC 402.2.
- NO GAS PIPING SHALL BE INSTALLED IN OR ON THE GROUND UNDER ANY BUILDING OR STRUCTURE AND ALL EXPOSED GAS PIPING SHALL BE KEPT 6" ABOVE THE GRADE OF THE STRUCTURE. GAS PIPING UNDER A CONCRETE SLAB MAY BE PERMITTED ONLY WHEN INSTALLED IN ACCORDANCE TO THE STANDARD APPROVED BY THE BUILDING OFFICIAL. THE TERM 'BUILDING OR STRUCTURE' SHALL INCLUDE PORCHES AND STEPS WHETHER COVERED OR UNCOVERED BREEZEWAYS, ROOF PORCHES, COCHERERS, ROOFED PATIOS, CARPORTS, COVERED WALKS, COVERED STEPS DRIVEWAYS AND SIMILAR STRUCTURES OR APPURTENANCES.
- SLEEVES SHALL BE PROVIDED TO PROTECT ALL PIPING THROUGH CONCRETE AND MASONRY WALLS AND CONCRETE FLOORS.
- WATER HEATER RELIEF VALVE SHALL BE PIPED OUTSIDE THE BUILDING POINTED DOWNWARD AND SHALL END NOT MORE THAN 2 FEET MORE LESS THAN 6 INCHES ABOVE GROUND. THE DRAIN SHALL BE PIPED WITH GALVANIZED STEEL, HARD DRAWN COPPER, CPVC, OR LISTED RELIEF VALVE DRAIN TUBE. INSIDE PIPE DIAMETER SHALL NOT BE SMALLER THAN THE RELIEF VALVE OUTLET AND THE TERMINAL END SHALL NOT BE THREADED.
- PLUMBING SYSTEMS SHALL BE LOCATED ABOVE THE DESIGN FLOOD ELEVATION.
  - WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING QUICK-ACTING SHUT-OFF VALVES [CPC 609.10]:
    - AUTOMATIC WASHING MACHINE (HOT AND COLD WATER).
    - ICE MAKER.
    - DISHWASHER.
    - FRONT AND REAR SPRINKLER OUTLETS.
  - ALL DROP IN TUBS (IF APPLICABLE) SHALL BE LISTED AS AS JETTED OR SOAKING TUB ONLY.

**MECHANICAL NOTES**

- EACH BATHROOM IS REQUIRED TO HAVE AN EXHAUST FAN W/ MIN. VENTILATION RATE OF 50 CFM & MIN. DUCT DIAMETER- 4"
- KITCHENS ARE REQ. TO HAVE AN EXHAUST FAN.
- MIN. VENTILATION RATE OF 100 CFM @ 5 MIN. DUCT DIAMETER SHALL BE 4" KITCHEN VENTILATION IN R-1 OR R-3 OCCUPANCIES SHALL BE PROVIDED BY A FORCED DRAFT METAL VENTILATING HOOD INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF SECTION 916 OR BY MEANS OF AN APPROVED DOWN DRAFT VENTILATING SYSTEM, OR A FORCED DRAFT CEILING OR WALL FAN LOCATED APPROXIMATELY OVER THE COOKING EQUIPMENT, AND LISTED FOR THE USE. ALL SUCH SYSTEMS SHALL HAVE BACK DRAFT DAMPERS AND EXHAUST DUCTS THAT TERMINATE OUTSIDE THE BUILDING. CEILING AND WALL MOUNTED FANS SHALL BE CAPABLE OF PROVIDING A MINIMUM OF FIVE (5) AIR CHANGES PER HOUR. VENTLESS HOODS SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE BUILDING OFFICIAL.
- HOUSEHOLD COOKING APPLIANCES SHALL BE INSTALLED PER MANUFACTURERS REQUIREMENTS OR PROVIDE MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS PER [CMC 921.3.1]
- KITCHEN EXHAUST OUTLETS SHALL TERMINATE AT LEAST TWO FEET (10 MM) ABOVE THE ROOF AND SHALL EXTEND AT LEAST TWO FEET (3048 MM) ABOVE THE ADJOINING GRADE LEVEL [CMG 802.7.3.2].
- PLUMBING, FLUE VENTS AND DISCHARGE OUTLETS OF EXHAUST FANS SHALL BE AT LEAST THREE FEET (914 MM) ABOVE, OR TEN FEET (3048 MM) AWAY FROM ALL OUTSIDE AIR-INTAKE OPENINGS INTO THE BUILDING [CMC 501.1]
- AFTER OCT. 1, 2010 - ANY LOW RISE RESIDENTIAL HOMES REQUIRING HERS VERIFICATION WILL BE REQUIRED TO SUBMIT A REGISTERED CF-1R FROM A HERS PROVIDED REGISTRY DATABASE.
- THE BUILDER SHALL PROVIDE THE BUILDING OWNER AT OCCUPANCY THE APPROPRIATE CERTIFICATES OF COMPLIANCE AND A LIST OF THE FEATURES, MATERIALS, COMPONENTS AND MECHANICAL DEVICES INSTALLED IN THE DWELLING UNIT AND INSTRUCTIONS ON HOW TO OPERATE AND MAINTAIN THEM EFFICIENTLY. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL.
- WATER HEATERS SHALL CONFORM TO THE FIRST HOUR RATING LISTED IN TABLE 5-1.
- EXHAUST AIRFLOW SHALL BE IN ACCORDANCE WITH TABLE 4-4
- EXHAUST FANS IN THE LAUNDRY ROOM SHALL HAVE A MIN. OF 50 CFM INTERMITTENT OR 25 CFM CONTINUOUS.
- BATHROOM EXHAUST FANS SHALL BE PROVIDED WITH GASKET OR CAULK BETWEEN EXHAUST HOUSING AND CEILING TO PREVENT FLOW AND LOSS OF HEATED OR COOLED AIR.
- EXHAUST VENTS SHALL TERMINATE NO CLOSER THAN 3'-0" TO AN OPENING

**GENERAL NOTES**

- PROVIDE STREET ADDRESS NUMBERS 4" HIGH-REFLECTIVE w/ 1/2" STROKE MIN. MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. WHERE BUILDINGS ARE ISOLATED OR NOT CLEARLY VISIBLE FROM THE STREET, MULTIPLE POSTING IS REQUIRED.
- SHEET ROCK NAILING INSPECTION REQUIRED.
- CEILING HEIGHT 8'-0" THRU-OUT U.N.O.
- WEATHER STRIP INSPECT. REQUIRED PRIOR TO COVERING
- USE 4x12 HEADERS ABOVE ALL DOORS & WINDOWS U.N.O.
- INTERIOR WALL COVERING TO BE 1/2" GYP. BOARD CLASS III, U.N.O.
- 1/2" OF ALL WINDOWS TO BE OPERABLE. PROVIDE SCREENS AND OPENINGS
- GLASS DOORS & WINDOWS WITHIN 24" OF DOORS OR WITHIN 18" OF FLOOR SHALL BE TEMPERED.
- WINDOWS IN BEDROOMS. TO BE MAX. 44" ABOVE FLOOR w/ OPENABLE A NET CLEAR OPENING OF NOT LESS THAN 5 SQUARE FEET
- WEATHER STRIP ALL EXTERIOR DOORS AND WINDOWS INCLUDING DOOR FROM GARAGE TO HOUSE
- DOORS & WINDOWS CERTIFIED BY C.E.C. & LABELED
- ALL JOINTS & PENETRATIONS CAULKED & SEALED
- HOUSEHOLD COOKING APPLIANCES SHALL BE INSTALLED PER MANUFACTURERS REQUIREMENTS OR PROVIDE MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS PER [CMC 921.3.1]
- CEILING FANS THAT EXCEED 70# IN WEIGHT MUST BE SUPPORTED INDEPENDENT OF THE OUTLET BOX.
- WINDOWS TO MEET THE MINIMUM STANDARDS AS ESTABLISHED BY THE C.B.C.
- LANDING LENGTH TO BE A MIN. 36" OR WIDTH OF DOOR, WHICHEVER IS GREATER
- 1" MAX. STEP DOWN FOR DOORS SWINGING ON LANDINGS, MEASURED FROM TOP OF THRESHOLD [CBC 1004.9]
- 7.75" MAX. STEP DOWN FOR DOORS SWINGING IN, MEASURED FROM TOP OF THRESHOLD [CBC 1004.9]
- FINGER JOINTED STUDS NOT ALLOWED IN STRUCTURAL WALLS (BEARING OR SHEAR WITHOUT ENGINEERING ANALYSIS OR ICGO APPROVAL TO SUBSTANTIATE EQUIVALENCY)
- PROVIDE FIRE BLOCKING @ 1'0" INTERVALS @ ALL FLOOR & CEILING LEVELS
- MAXIMUM OPENING IN HORIZONTAL DIAPHRAGM NOT TO EXCEED 24" WITHOUT BLOCKING
- PROVIDE CONT. PLYWOOD UNDER ALL CAL-FILL FRAMING ABOVE & BELOW.
- THE INSULATION SHALL CONFORM TO FLAME SPREAD RATINGS & SMOKE DENSITY REQ. OF CPC 707.3
- ALL TUBSHOWER OPENINGS SHALL BE RODENT PROOF, w/ 1" CEMENT COVERING IN AN APPROVED MANNER
- STEEL PLATE @ DEAD BOLT STRIKERS & SOLID SHIM 6"
- APPROVED CEILING FAN BOXES WILL BE REQUIRED IN CEILING FAN LOCATIONS
- PROVIDE CHEMICAL TOILET ON SITE DURING CONST. TOILET FACILITIES SHALL BE READILY AVAILABLE TO CONSTRUCTION WORKERS PRIOR TO COMMENCING WORK.
- CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM SHALL BE USED AS A BASE FOR TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. MATERIALS SHALL CONFORM TO ASTM C 1178, C 1288 OR C 1325 & SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS
- THE ATTIC ACCESS SHALL BE WEATHER STRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF 9FM 1 2-7A-2 [CRC R327.8.2.1]



**LUMBER SPECS:**  
LUMBER SHALL BE DOUGLAS FIR LARCH JOISTS AND STUDS.....#2 OR BETTER  
POSTS.....#1 OR BETTER  
BMS AND HDRS.....#2 OR BETTER/U.N.O.  
BLKG' AND SECONDARY FRMG.....#2 OR BETTER  
SILL PLATE AND ALL WOOD IN CONTACT WITH CONCRETE.....PRESSURE TREATED #1

**AREAS:**

RESIDENCE .....	1917 S.F.
GARAGE .....	700 S.F.
PATIO/PORCH.....	35 S.F.

**FENESTRATION VALUES**

	U-VALUE	SHGC	U-VALUE w/ GRIDS	SHGC w/ GRIDS
SLIDER - XO	0.29	0.23	0.29	0.21
SINGLE HUNG	0.30	0.23	0.30	0.21
PW	0.27	.25	0.27	0.22
SGD	0.29	0.23	0.29	0.23
FRENCH DR5	0.30	0.24	--	--

**INSULATION SCHEDULE**

CEILING/RAFTERS	R-49 / 13
2X4 EXTERIOR WALLS	R-15 w/ 1" FOAM INSUL
2X6 EXTERIOR WALLS	NONE
DUCTS	R-8
RADIANT BARRIER	NO
GLAZING	DUAL PANE/LOW E

**EQUIPMENT SCHEDULES**

	AFUE	SEER	EF	#
FURNACE - GAS	0.81			1
A/C UNIT		14.0		1
WATER HEATER-TANKLESS			0.96	1

**GAS INPUTS**

*BTUH RATINGS SCHEDULE	*BTUH	# IN SYS.
BRYANT 4 TON	60,000	1
GAS WH-TANKLESS	199,000	1
CLOTHES DRYER	35,000	0
RANGE-DOMESTIC	65,000	1

\*PER TABLE 1208.12016 CPC

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# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## AUTHORIZATION FOR ISSUANCE OF BUILDING/GRADING PERMIT ON WILLIAMSON ACT RESTRICTED LAND

AP Contract: 152

APN 158-022-31

Parcel Location: 18875 Watts Valley Road, Sanger, CA

Project Description: Construction of two Single-family Residences

Applicant/Representative: Gary Cha/Howard Weins Western Homes

	Date
Notarized Statement of Intended Use	2/14/20
Proof of Ownership/ w/ Legal Description	2/14/20
Declaration/Nonrenewal:	N/A

*Even if the County approves a building permit for any proposed structure(s) on the Real Property, on the basis that it is related to the agricultural use, the applicant has acknowledged that he/she may be subject to substantial penalties if such approval is thereafter challenged and found invalid or void. Notwithstanding such prior County approval, if it is thereafter determined the structure is not related to agricultural use, or otherwise constitutes a "material breach" of the Williamson Act contract, the owner of the Real Property may be subject to the penalties provided in Government Code Section 51250. The specified penalty is 25% of the current value of the land and 25% of the value of the improvements constituting the material breach.*

\_\_\_\_\_  
Authorizing Staff Signature

February 14, 2020  
Date

G:\4360Devs&PIn\PLANNING\AG\Building Permits\Applicants 2019\AP 6860  
Pivovaroff\Building\_Permit\_Approval\_Ltr\_Master\_Revised\_5-24-16.doc

GROUND SNOW LOAD	WIND SPEED TOPGRI: DESIGN EFFECTS	DESIGN CAT.	SEISMIC DESIGN CAT.	SUBJECT TO WEATHERING	TO DAMAGE FROM FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
0	85	C	NO	D	NEGLIGIBLE	12 INCHES	VERY HEAVY	28 DEG	NO	FIRM 9/26/08	1500	62.1

SITE PLAN KEY LEGEND	
1	PROPOSED S.F.R. FOR OWNER OCCUPANCY
1A	PROPOSED S.F.R. (NOT A PART OF THIS PERMIT)
2	(N) LPG 125' TO REMOTE FIXT. 325 CFH DEMAND
3	(N) WELL & PRESSURE TANK ±250' TO REMOTE FIXT.
3a	(N) 2,500 GAL WATER STORAGE TANK
4	(N) ALL WEATHER SURFACE - MIN. 10 FT. WIDE (+/-1,000' TOTAL LENGTH)
5	(N) SEPTIC w/ 100% EXP. AREA
6	(E) CONTOUR LINES (20' INTERVALS)
7	LIMIT OF BLD'G. PAD ±110'x70' SEE GRADING PERMIT
8	NOT USED
9	NOT USED
10	NOT USED
11	NOT USED
12	(N) ADDRESS SIGN PER FRESNO CO. ORDINANCE 15.60.335-15.60.340
13	NOT USED
14	(N) TURN AROUND PER CDF
15	INDICATES PROPOSED FUEL MODIFICATION ZONE
16	ACCESS EASEMENT 30' WIDE
17	(E) TURN OUT PER CDF

**FUEL MODIFICATION**  
 THE VOLUME & DENSITY OF FLAMMABLE VEGETATION HAS BEEN MODIFIED TO PROVIDE FOR THE SAFETY OF FIREFIGHTERS & CIVILIANS & PROVIDES FOR A POINT OF ATTACK OF DEFENSE FROM A WILDFIRE. FUEL MODIFICATIONS PLAN ATTACHED (SITE PLAN) ALL BUILDINGS ARE SET BACK FROM THE PROPERTY LINE A MINIMUM OF 30 FEET. ALL FLAMMABLE VEGETATION & FUELS CAUSED BY SITE DEVELOPMENT & CONSTRUCTION, ROAD & DRIVEWAY CONSTRUCTION & FUEL MODIFICATION SHALL BE DISPOSED OF PRIOR TO FINAL CERTIFICATE OF OCCUPANCY BEING ISSUED.

ADDRESS:  
 WATTS VALLEY RD.

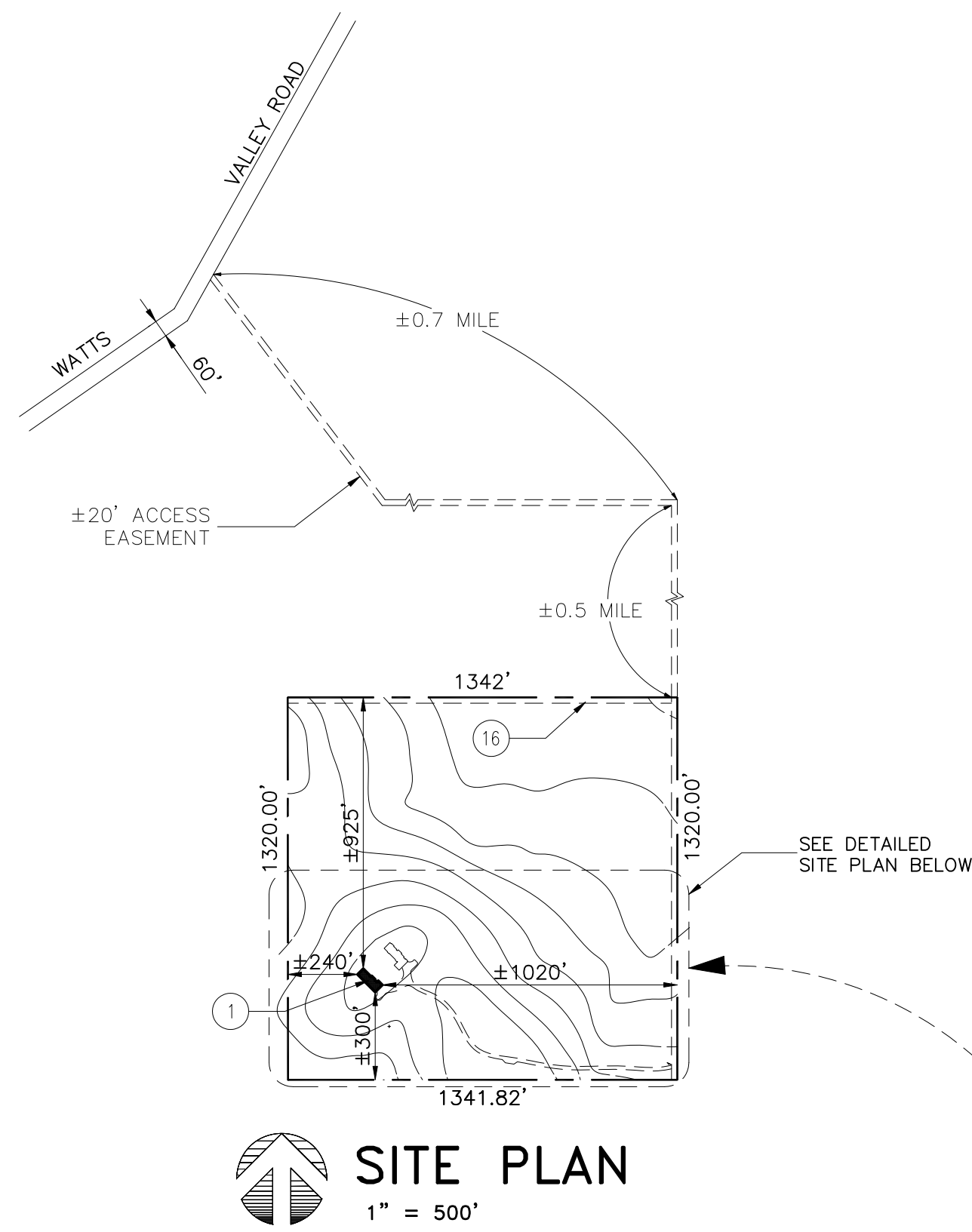
A.P.N.  
 158-022-31

**ENERGY NOTES:**

- "AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE."
- "THE INSULATION SHALL CONFORM TO THE FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF CBC 707.5."
- "ROOFS WITH METAL FRAMING MEMBERS OR A METAL DECK WILL BE REQUIRED TO INSTALL CONTINUOUS INSULATION EITHER ABOVE THE ROOF DECK OR BETWEEN THE ROOF DECK AND THE STRUCTURAL MEMBERS SUPPORTING THE ROOF DECK."
- "JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, EQUIPPED WITH GASKETS, WEATHERSTRIPPED, OR OTHERWISE SEALED TO LIMIT INTERNAL OR EXTERNAL AIR FILTRATION."
- "EVERY MANUFACTURED AND SITE-BUILT FENESTRATION PRODUCT OR FENESTRATION SYSTEM INSTALLED IN CONSTRUCTION SUBJECT TO TITLE 24, PART 6 SHALL HAVE ATTACHED TO IT A CLEARLY VISIBLE TEMPORARY LABEL OR HAVE AN ASSOCIATED LABEL CERTIFICATE THAT LISTS THE U-FACTOR, THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF THAT PRODUCT AND THE METHOD USED TO DERIVE THOSE VALUES, AND CERTIFIES COMPLIANCE WITH AIR LEAKAGE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, SECTION 116(A) 1. THE LABEL SHALL NOT BE REMOVED UNTIL APPROVED BY THE BUILDING INSPECTOR."
- A SET OF CF-2LTG, CF-2-ENV, CF-2R-MECH FORMS SHALL BE COMPLETED AND POSTED AT THE BUILDING SITE FOR MADERA COUNTY BUILDING INSPECTION STAFF. NO FINAL INSPECTION WILL BE MADE UNTIL THESE FORMS ARE PROVIDED TO THE BUILDING INSPECTION STAFF.
- A SET OF INSTALLATION CERTIFICATES CF-2R-ENV-HERS AND CF-2R-MECH-HERS SHALL BE FIELD VERIFIED BY A THIRD PARTY HERS RATER.
- A SET OF CF-3R'S LABELED ENV AND MECH THAT ARE APPLICABLE TO THE CONSTRUCTION PROJECT ARE REQUIRED TO BE ASSEMBLED AND POSTED AT THE BUILDING SITE. COPIES OF THE CF-2R ARE REQUIRED TO PROVIDED TO THE BUILDER, HERS PROVIDER, AND FRESNO COUNTY BUILDING INSPECTION STAFF FOR EVERY HOME THAT UTILIZES HERS VERIFICATION FOR COMPLIANCE.

**SITE PLAN NOTES**

- INSTALL STREET ADDRESS NUMBERS @ LEAST 4" HIGH WITH MINIMUM 1/2" STROKE MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET. WHERE BUILDINGS ARE ISOLATED OR NOT CLEARLY VISIBLE FROM THE STREET, MULTIPLE POSTING IS REQUIRED.
- FINISHED FLOOR TO BE ABOVE CROWN OF STREET
- FIN GRADE FOR THE FIRST 10 FEET FROM THE FOUNDATION SHALL SLOPE A MIN. OF 5% ON ALL SIDES. THIS INCLUDES ANY IMPVIOUS SURFACES
- DRIVEWAYS & PRIVATE ROADS SHALL HAVE A MAX. SLOPE OF 12%. THE GRADE MAY INCREASE TO A MAX. OF 20% FOR PAVED SURFACES.
- CHEMICAL TOILET REQUIRED ON-SITE DURING CONST.
- ALL INFO. PROVIDED ON SITE PLAN IS FOR THE SOLE PURPOSE TO OBTAIN A BUILDING PERMIT & IS BASED EXCLUSIVELY ON INFO. PROVIDED BY THE PROPERTY OWNER WHO IS SOLELY RESPONSIBLE FOR SUCH DATA PROVIDED, AS w/ ANY ERRORS OR OMISSIONS w/ RESPECT TO SAME. ALL PROPERTY INFORMATION, ELEV. GRADES, FILL QUANTITY, SLOPES ETC. ARE TO BE CONSIDERED "ESTIMATES ONLY" & NOT TO BE CONSTRUED AS A LEGAL MAP OF SURVEY OR AS BUILT CONDITIONS.
- LOCATE AND EXPOSE ALL PROPERTY CORNERS AND STRING PROPERTY LINES PRIOR TO FOUNDATION INSPECTION
- JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
- ANY VERTICAL CUT OF FILL DIFFERENTIAL IN EXCESS OF 12" INCHES BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL. WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL.
- PRIOR TO FINAL PERMIT APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN THE CALIFORNIA FIRE CODE. PLANS MUST BE FINALIZED PRIOR TO OCCUPANCY
- CHANGES FROM APPROVED PLANS DURING THE COARSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL



NOTE:  
 ARROWS INDICATE SLOPE & DRAINAGE AS REQUIRED.

DATA:  
 OCCUPANCY GROUP ..... R3/U  
 TYPE OF CONSTRUCTION ..... VB  
 CODE EDITIONS: ..... FRESNO COUNTY ORDINANCE CDE TITLE 15 2016 CRC,CEC,CMC,CFC,CFC, & ENERGY CODE

SEISMIC DESIGN & OTHER DATA ARE AS FOLLOWS:  
 SOIL SITE CLASS ..... D  
 SOIL BEARING CAPACITY ..... 1500 P5F  
 SEISMIC IMPORTANCE FACTOR ..... 1.0  
 GPS COORDINATES ..... 36.8206 LON  
 ..... -119.4723 LAT  
 SPECTRA RESPONSE COEF: ..... S<sub>ds</sub> = 0.487  
 ..... S<sub>d1</sub> = 0.295

SEISMIC DESIGN CATAGORY: ..... C  
 CONCRETE DESIGN STRENGTH ..... 2,500 P.S.I. IN 28 DAYS  
 DESIGN WIND SPEED/EXPOSURE ..... 85 MPH/EXP. 'C'

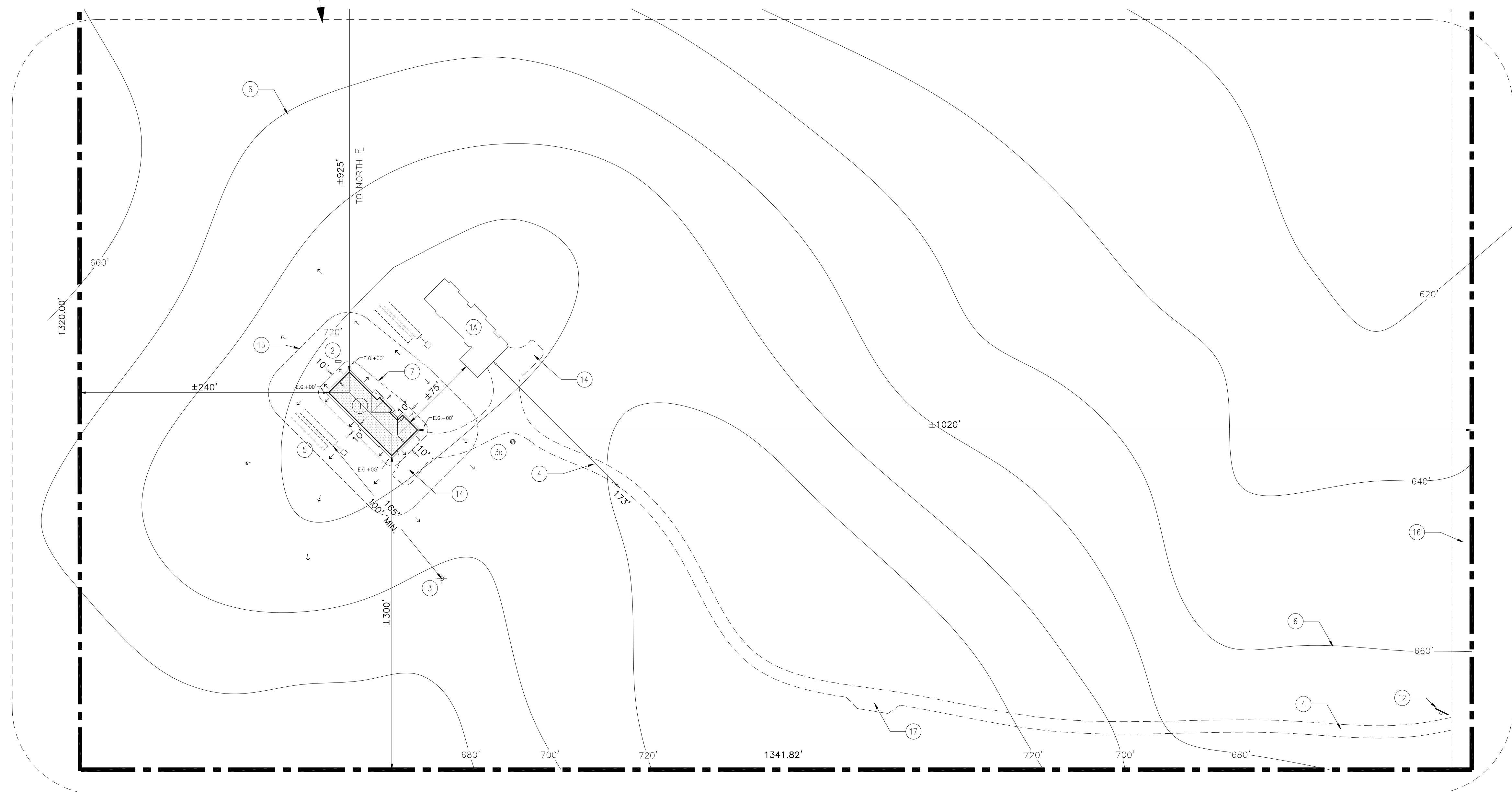
ROOF WEIGHTS: TRUSS/COMP D.L.=24.0 P5F L.L.=20.0 P5F T.L.= 44.0 P5F  
 WALL WEIGHTS: 1 COAT STUCCO D.L.= 10.0 P5F

AREAS:  
 RESIDENCE ..... 1,917 S.F.  
 GARAGE/STRG. .... 700 S.F.  
 PATIO/PORCH ..... 35 S.F.

SHEET INDEX

A0	COVER/SITE PLAN
A1	FLOOR PLAN
A2	ELEVATIONS
S1	FOUNDATION PLAN
S2	ROOF FRAMING PLAN
S3	LATERAL PLAN
D1	FND./FRAMING DETAILS
D2	TYPICAL DETAILS
E1	ELECTRICAL PLAN
T24	ENERGY COMPLIANCE
F5	FIRE SPRINKLERS

CONTRACTOR: GARY A. ROGERS DBA WESTERN HOMES 1289 E SHAW FRESNO, CA 93710 559-226-7944 LIC. NO. 397657 B  
 ARCHITECT: GARY A. ROGERS 450 S. MADERA AVE. MADERA, CA 93637 (559) 674-6598 LIC. NO. C 16583  
 OWNER: JOHN CHA 11978 E GRIFFITH SANGER, CA 93657 (559) 803-4580  
 FIRE SPRINKLERS: RMR CONSTRUCTION 11340 VIA VERONA WAY FRESNO, CA 93730 559-974-5952 LIC. NO. 773724



**DETAILED SITE PLAN**  
 1" = 60'

NOTE:  
 CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE FINALIZED PRIOR TO OCCUPANCY.

A DEFERRED SUBMITTAL FOR FIRE PROTECTION DISTRIC APPROVAL MUST BE OBTAINED PRIOR TO FRAME OR SIMILAR INSPECTION.

**WESTERN HOMES**

JOB #	SHEET
7270	AO

ALL INFO. PROVIDED ON SITE PLAN IS FOR THE SOLE PURPOSE TO OBTAIN A BUILDING PERMIT & IS BASED EXCLUSIVELY ON INFO. PROVIDED BY THE PROPERTY OWNER WHO IS SOLELY RESPONSIBLE FOR SUCH DATA PROVIDED, AS w/ ANY ERRORS OR OMISSIONS w/ RESPECT TO SAME. ALL PROPERTY INFORMATION, ELEV. GRADES, FILL QUANTITY, SLOPES ETC. ARE TO BE CONSIDERED "ESTIMATES ONLY" & NOT TO BE CONSTRUED AS A LEGAL MAP OF SURVEY OR AS BUILT CONDITIONS.































