

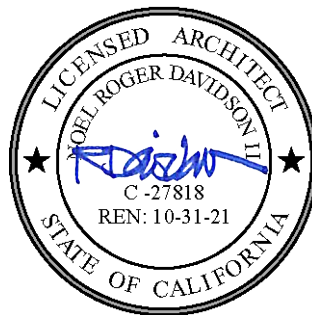
ADDENDUM 01

Contract # 19-S-04

Dated: 06-04-2020

The foregoing documents are amended in the respects as herein set forth. This addendum and the amendments herein shall become part of said documents and of any contract entered into pursuant to said documents.

PLEASE ACKNOWLEDGE THIS ADDENDUM ON YOUR PROPOSAL. IF YOU HAVE GIVEN THE CONTRACT DOCUMENTS TO SOMEONE ELSE, PLEASE FORWARD THIS ADDENDUM.



06/04/2020
Date Signed

Architect of Record: _____

Office: (559) 600-4477
ndavidson@fresnocountyca.gov

Noel Roger Davidson II, #C27818
License Renewal 10/31/21

**Fresno County Department of Public Works and Planning
Development Services & Capital Projects Division**
2220 Tulare Street, 8th Floor
Fresno, CA 93721-2104

A. BID FORMS AND CONTRACT CONDITIONS:

No Changes

B. SPECIFICATIONS:

No Changes

C. DRAWINGS:

- a. Fresno County Sheriff Area 2 Substation Bldg
 - i. The attached revised Grading Plan, Sheet C1.1 dated 6/4/20, replaces previous sheet C1.1 dated 5/29/20.

D. GENERAL CLARIFICATIONS:

None as this time

AS-GRADE PLANS, FINAL SOILS REPORT (IF APPLICABLE) AND COMPACTION REPORTS ARE REQUIRED TO BE SUBMITTED AND APPROVED PRIOR TO RECEIVING A "FINAL" "AS-GRADE" REVIEW. TIME WILL TAKE APPROXIMATELY ONE WEEK. YOU MAY REQUEST OVERTIME PLAN REVIEW FOR AN ADDITIONAL FEE. A "SAFE-TO-OCCUPY" CAN BE GRANTED BUT WILL REQUIRE A \$15,000.00 CASH DEPOSIT. THE DEPOSIT WILL BE FULLY REFUNDED ONCE THE "AS-GRADE" HAS BEEN APPROVED AND ALL OTHER HOLDS HAVE BEEN CLEARED FOR THE ENTIRE PROJECT. DEPOSITS ARE TYPICALLY REFUNDED FROM THE FINANCE DEPARTMENT IN THE FORM OF A CHECK APPROXIMATELY 1 WEEK AFTER THE REFUND IS REQUESTED. THERE WILL BE A ONE-TIME \$60.00 HANDLING FEE FOR THE "SAFE-TO-OCCUPY" TRANSACTION SHOULD IT BE REQUESTED.

PAVEMENT SECTION:

- HEAVY TRUCK SECTION**
- * 3.5" AC/ 14" AB/ 12" C.N.S.
 - * 3.5" AC/ 6" AB/ 9" ASB/ 12" C.N.S. (ALTERNATE)
- ALL OTHER AREAS**
- * 2.5" AC/ 10.5" AB/ 12" C.N.S.
 - * 2.5" AC/ 5" AB/ 6.5" ASB/ 12" C.N.S. (ALTERNATE)
- * INDICATES 95% RELATIVE COMPACTION

NOTES:

1. ALL GRADING SHALL COMPLY WITH APPENDIX J OF THE 2016 CALIFORNIA BUILDING CODE AND THE PROJECT GEOTECHNICAL REPORTS, WHICHEVER IS MORE STRINGENT.
2. COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY SHALL BE PROVIDED FOR ALL LOOSE FILLS.
3. PROVIDE TWO PERCENT DRAINAGE AWAY FROM BUILDING PAD FOR TEN FEET MINIMUM.
4. NO DRAINAGE IS TO BE ONTO ADJACENT PROPERTY.
5. THIS DRAINAGE PLAN SHALL NOT HAVE AN ADVERSE EFFECT ON ADJACENT PROPERTY.
6. ANY CHANGES TO THESE PLANS MUST BE APPROVED BY THE DEVELOPMENT DEPARTMENT.
7. PROVIDE THE CITY WITH "AS GRADED" PLANS. PLANS ARE REQUIRED PRIOR TO THE ISSUANCE OF THE BUILDING FINAL.
8. ANY VERTICAL CUT OR FILL DIFFERENTIAL EQUAL TO OR GREATER THAN 12" BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL. DIFFERENTIALS LESS THAN 12" TO HAVE A MAXIMUM SLOPE OR 1 VERTICAL TO 2 HORIZONTAL.
9. ALL SIDE AND REAR LOT DRAINAGE SWALES ARE TO BE COMPLETED PRIOR TO BUILDING FINAL.
10. ALL FILLS USED TO SUPPORT THE FOUNDATIONS OF ANY BUILDING OR STRUCTURE SHALL BE PLACED UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER, AND THE PLACEMENT OF FILL SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER OR HIS QUALIFIED REPRESENTATIVE. A SOIL INVESTIGATION REPORT AND A REPORT OF SATISFACTORY PLACEMENT OF FILL, BOTH ACCEPTABLE TO THE BUILDING OFFICIAL SHALL BE SUBMITTED (2016 CALIFORNIA BUILDING CODE).
11. THE OVERALL BUILDING SITE SHALL HAVE A MINIMUM SLOPE OF 1.0% IN ALL AREAS TO AN APPROVED DRAINAGE FACILITY OR A PUBLIC STREET.
12. ALL REQUIRED WALLS AND RETAINING WALLS REQUIRE SEPARATE BUILDING PERMITS IN ADDITION TO THE GRADING PERMIT.
13. PERMITS FOR ALL REQUIRED WALLS SHALL BE OBTAINED PRIOR TO APPROVAL OF THE AS-GRADED PLANS. PERMITS FOR RETAINING WALLS SHALL BE OBTAINED WITHIN 30 DAYS OF GRADING PERMIT ISSUANCE.
14. NO PERMANENT ON-SITE WATER RETENTION IS ALLOWED.
15. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT OF THE MAXIMUM DRY DENSITY OF THE SOIL ACCORDING TO ASTM STANDARD D1557.
16. THIS GRADING PLAN IS FOR APPROVAL OF ON-SITE ELEVATIONS ONLY. THE ELEVATIONS SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRE SEPARATE PUBLIC WORKS DEPARTMENT APPROVAL & PERMIT. ANY NOTES THAT APPLY TO THE PUBLIC RIGHT-OF-WAY ARE FOR REFERENCE ONLY. IF ON-SITE ELEVATIONS SHOWN DO NOT CONFORM WITH APPROVED STREET PLANS, AN APPROVED AMENDMENT IS REQUIRED.
17. THE CONTRACTOR SHALL MAKE PROVISIONS FOR DUST AND EROSION CONTROL 24 HOURS A DAY, 7 DAYS A WEEK UNTIL PROJECT IS FINAL.
18. ANY PERSON, CONTRACTOR, OR SUBCONTRACTOR PLANNING TO CONDUCT ANY EXCAVATION SHALL CONTACT USA NORTH AT 811 AT LEAST TWO (2) WORKING DAYS, BUT NO MORE THAN 14 CALENDAR DAY, PRIOR TO COMMENCING EXCAVATION.
19. RECOMMENDATIONS AS OUTLINED IN THE PRELIMINARY SOILS REPORT BY TECHNICON, REPORT NO. 190598.001, DATED NOVEMBER 1, 2019 SHALL BECOME REQUIREMENTS FOR THIS DEVELOPMENT.

BENCHMARK:

COUNTY BM KL 11 - BRASS CAP, SOUTH SIDE OF BELMONT, 110' WEST OF ARMSTRONG, 3' EAST OF TELEPHONE POLE.
ELEVATION = 334.011 U.S.G.S. DATUM

NOTE: ADD 300 TO ALL 4-DIGIT ELEVATIONS FOR U.S.G.S. DATUM

LEGEND:

- C PROPOSED CONCRETE ELEVATION
- 60.40 EXISTING GROUND ELEVATION
- ETC EXISTING TOP OF CURB ELEVATION
- EFL EXISTING GUTTER FLOW ELEVATION
- FG PROPOSED FINISH GRADE ELEVATION
- FL PROPOSED FLOWLINE ELEVATION
- GB GRADE BREAK
- P PROPOSED PAVEMENT ELEVATION
- S SLOPE
- TC PROPOSED TOP OF CURB ELEVATION
- - - EXISTING PROPERTY LINE
- - - - EXISTING CURB & GUTTER TO REMAIN
- ===== PROPOSED 6" CURB
- ===== PROPOSED CURB & GUTTER
- PROPOSED PAVEMENT RIDGE LINE
- ////// HEAVY TRUCK SECTION AREA

SCALE: 1" = 40'

GRADING PLAN
1129 NORTH ARMSTRONG AVENUE
APN 310-133-04, 05 & 06

ENGINEER:

BRET GIANNETTA R.C.E. 56567 DATE

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT: DATE

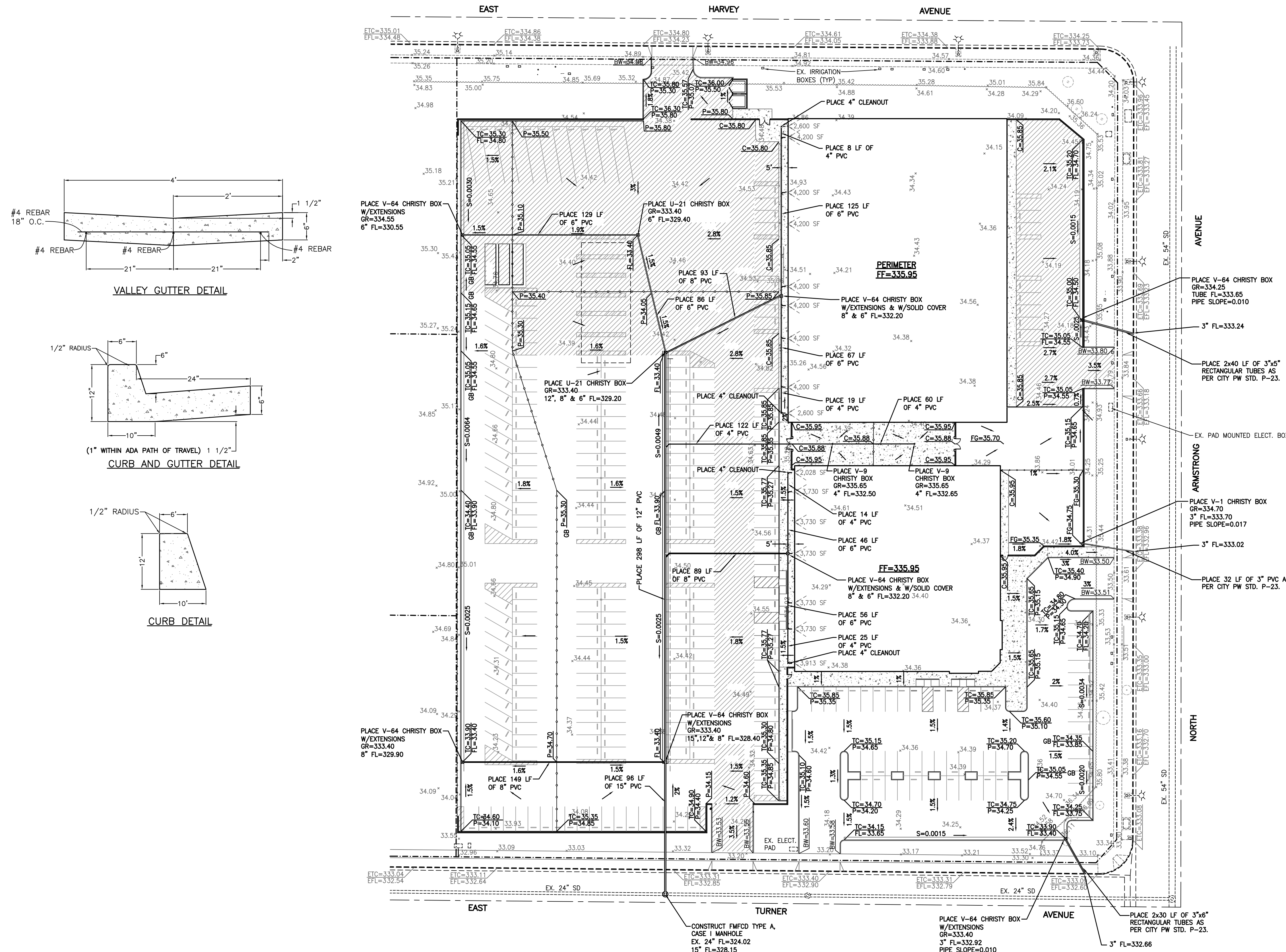
F.M.F.C.D. APPROVAL IS LIMITED TO:

1. ONSITE DRAINAGE AREA BOUNDARIES
2. LOCATION OF DRAINAGE ENTRY INTO PUBLIC STREETS

GARY G. GIANNETTA
CIVIL ENGINEERING & LAND SURVEYING

1119 78TH STREET
FRESNO, CA 93721
(559) 264-3590

SHEET C1.1 DATE: 6/4/20



QUANTITIES (FOR PERMIT PURPOSES ONLY)

EXCAVATION = 1,000 C.Y.
EMBANKMENT = 5,500 C.Y.

PLAN CHECK NO. B20-

