



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## Planning Commission Staff Report Agenda Item No. 3 January 9, 2020

**SUBJECT:** Initial Study Application No. 7593 and Unclassified Conditional Use Permit Application No. 3639

Allow the expansion of an existing Southern California Edison Service Center with the construction of a laydown yard, which will provide storage area for equipment and material for the construction and maintenance of Southern California Edison's Transmission and Distribution system on a 2.62-acre portion of a 357.80-acre parcel in the RC-40 (Resource Conservation, 40-acre minimum parcel size) Zone District.

**LOCATION:** The subject parcel is located on the north side of Dinkey Creek Road, approximately one quarter-mile east of State Route 168/Tollhouse Road, within the unincorporated community of Shaver Lake (41694 Dinkey Creek Road) (SUP. DIST. 5) (APN 120-260-10U).

**OWNER:** Southern California Edison  
**APPLICANT:** Pascual Garcia

**STAFF CONTACT:** Jeremy Shaw, Planner  
(559) 600-4207

Marianne Mollring, Senior Planner  
(559) 600-4569

### RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7593; and
- Approve Unclassified Conditional Use Permit No. 3639 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

**EXHIBITS:**

1. Mitigation Monitoring, Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plans and Detail Drawings
6. Elevations and Floor Plans
7. Applicant's Operational Statement
8. Summary of Initial Study Application No. 7593
9. Draft Mitigated Negative Declaration

**SITE DEVELOPMENT AND OPERATIONAL INFORMATION:**

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
General Plan Designation	Open Space	No change
Zoning	RC-40	No change
Parcel Size	357.8 acres	No change
Project Site	3.0 acres	Increase to 5.62 acres
Structural Improvements	Southern California Edison, Shaver Lake Service Center consisting of an approximately 11, 842 square-foot main administration building, 2-3 accessory buildings (storage sheds), fuel pumps within an approximately 1.5-acre fenced area	Addition of a 2.62-acre storage yard with two 1,440 square-foot mobile office trailers, and an eight-foot-tall chain link fence topped with barbed wire surrounding the proposed laydown yard
Nearest Residence	Approximately 140 feet west of the service center	No change
Surrounding Development	North: Open Space/Forest Land East: Cal Fire Shaver Lake Station South: Open Space/Forest Land West: Residential	No change
Operational Features	Existing service with a fenced vehicle and equipment storage	The addition of two mobile office trailers, 1-2 all-terrain forklifts, one crane truck,

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
	area, and fuel pumps with canopies	four bucket trucks, four F550 trucks, and nine ¾-ton or ½-ton trucks; storage of power poles, wire and cable reels, insulators, new transformers, material crates, hardware, material on pallets, 2-3 roll-off bins and approximately two Conex storage boxes
Employees	Approximately 10-15 current Service Center employees	Increase of approximately 25 employees to operate the laydown storage yard
Customers	Service Center: approximately 10-15 customers per day during regular business hours; Monday through Friday, 7:00 AM to 4:00 PM	No changes proposed to Service Center operation; no customers will have access to the proposed laydown storage yard
Traffic Trips	Approximately 10-15 customer traffic trips per day, Monday through Friday; approximately 15 one-way employee trips per day. Total of 25-30 traffic trips per day	Additional 1-2 material deliveries per day, 2-4 times per week. Total of up to approximately 8 deliveries of materials per week; 20-25 one-way employee trips per day, six days per week
Lighting	Approximately 7 exterior light poles and 5 building-mounted lights around existing service center	Approximately 1-2 25-foot-tall pole-mounted lights
Hours of Operation	Existing service center operates M-F, 7:00 AM to 4:00 PM	The proposed laydown storage yard will operate between 6:00 AM and 6:00 PM Monday through Saturday, and after hours when necessary

**EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N**

**ENVIRONMENTAL ANALYSIS:**

An Initial Study was prepared for this project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the Initial Study, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the Initial Study is included as Exhibit 8.

Notice of Intent of Mitigated Negative Declaration publication date: November 20, 2019

**PUBLIC NOTICE:**

Notices were sent to 79 property owners within 300 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

**PROCEDURAL CONSIDERATIONS:**

An Unclassified Conditional Use Permit may be approved only if the Five Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on an Unclassified Conditional Use Permit Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

**BACKGROUND INFORMATION:**

The construction of the existing service center was authorized by Conditional Use Permit (CUP) No. 2099, approved by the Planning Commission in 1984. A structural addition to the service center was authorize by Site Plan Review No. 5609-R. The current application was submitted on February 13, 2019 and a revised application received on August 26, 2019, to allow for the expansion of the service center with the construction of an adjacent 2.62-acre storage yard.

*Finding 1: That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood*

	<b>Current Standard:</b>	<b>Proposed Operation:</b>	<b>Is Standard Met (y/n)</b>
Setbacks	Front: 35 feet Rear: 20 feet Side: 20 feet	Front (south): 82+/- feet Rear(north): 1,000+ feet Side (East): 1,000+ feet Side (West): 241+/- feet	Yes
Parking	One space for every two employees and three square feet of parking area for every one square foot of gross floor area	Two paved ADA-compliant parking spaces for each mobile office trailer and approximately 23 additional open parking spaces for employees, with asphalt-concrete gravel surfacing	Yes
Lot Coverage	Zoning Ordinance Section 813.5.G: Permitted buildings and structures shall not exceed one percent (1%) of the total lot	Addition of approximately 2,880 square feet of building area, with an existing approximately 15,000	Yes

	<b>Current Standard:</b>	<b>Proposed Operation:</b>	<b>Is Standard Met (y/n)</b>
	area for lots 10 acres or larger.	square feet of building area. Total of approximately .40 acre of coverage on a 357.80-acre parcel/ approximately .11 percent lot coverage	
Space Between Buildings	No requirement	N/A	N/A
Wall Requirements	No requirements	N/A	N/A
Septic Replacement Area	Septic tank: 50 feet Disposal field: 100 feet Seepage pit: 150 feet	N/A	N/A
Water Well Separation	Septic Tank : 100 feet Disposal Field: 100 feet Seepage Pit: 150 feet	N/A	N/A

**Reviewing Agency/Department Comments Regarding Site Adequacy:**

Zoning and Permit Review Section of the Fresno County Department of Public Works and Planning: Permits will be required for all existing and proposed improvements.

Development Engineering Section of the Fresno County Department of Public Works and Planning: According to FEMA, FIRM Panel 0725H, the project site is not subject to flooding from the 100-year (one-percent-chance) storm event.

Fresno County Department of Public Health, Environmental Health Division: No comment

Development Engineering (Site Plan Review) Section of the Fresno County Department of Public Works and Planning: Parking spaces shall be constructed in compliance with applicable County Ordinance and State standards.

The proposed driveway shall be a minimum of 24 feet and a maximum of 35 feet in width, as approved by the Road Maintenance and Operations Division.

Internal access roads shall comply with required Fire District standards for emergency apparatus.

Fresno County Fire Protection District: The proposed development will be subject to the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

**Analysis:**

The project site comprises approximately 2.62 acres of the 357.8-acre subject parcel. The proposal will expand the existing Shaver Lake Service Center with the addition of a storage yard with two mobile office trailers, to be utilized for storage of equipment and materials for the maintenance of the Southern California Edison transmission and distribution system. No other buildings or structures are proposed with this project. The project will be served by an on-site septic system located easterly adjacent to the proposed laydown yard. Water will be supplied by the Shaver Lake Heights Mutual Water Company.

Staff finds that the subject parcel is adequate in size and shape to accommodate the proposed use.

**Recommended Conditions of Approval:**

*See recommended Conditions of Approval attached as Exhibit 1.*

**Conclusion:**

Finding 1 can be made.

*Finding 2: That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use*

		<b>Existing Conditions</b>	<b>Proposed Operation</b>
Private Road	Yes	Paved access road, unknown condition	Addition of an access driveway off the private road
Public Road Frontage	No	Dinkey Creek Road	No change
Direct Access to Public Road	Yes	Paved private access road connecting to Dinkey Creek Road	New paved access driveway connecting project site to existing paved access road
Road ADT		500	N/A
Road Classification		Arterial	No change
Road Width		25.4 feet along the parcel frontage	No change
Road Surface		Asphaltic Concrete	No change
Traffic Trips		Approximately 10-15 customer traffic trips per day, and approximately 15 one-way employee traffic trips and	Additional 25 one-way employee traffic trips, and up to 8 one-way delivery truck trips per six-day week

		Existing Conditions	Proposed Operation
		6 one-way delivery truck trips per day	
Traffic Impact Study (TIS) Prepared	No	N/A	Not required
Road Improvements Required		N/A	Not required

**Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:**

Development Engineering Section of the Fresno County Department of Public Works and Planning: Dinkey Creek Road is classified as an Arterial road in the County General Plan, with 66 feet of right-of-way along the parcel frontage, per the Plat Book. The minimum width for an Arterial road right-of-way is 106 feet.

Dinkey Creek Road is County maintained and records indicate that this section of Dinkey Creek Road, from Sparrow to 1.6 miles east of Sparrow, has an ADT of 500, a paved width of 25.4 feet, a structural section of 0.37 feet AC over .33 feet AB, and is in very good condition.

The proposed site will take access from the existing private road via Dinkey Creek Road.

Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning: The existing access road off Dinkey Creek Road is not a County-maintained road. The proposal will not have any significant impacts on Road Maintenance Operations.

Site Plan Review Section of the Fresno County Department of Public Works and Planning: Internal access roads shall comply with required widths of the Fire District for emergency apparatus.

An encroachment permit shall be required from the Road Maintenance and Operations Division for any work done within the County right-of-way.

No other comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

**Analysis:**

The proposed laydown storage yard will take access via a proposed new access driveway off the private road which provides access to the Service Center from Dinkey Creek Road. No new access points from Dinkey Creek Road will be authorized with this project. The project is not anticipated to increase customer traffic to and from the service center, and due to the limited scope of the expansion, a Traffic Impact Study was not warranted.

Based on the above information, and with adherence to the Conditions of Approval, staff believes that Dinkey Creek Road is adequate in width and pavement to accommodate the proposed use.

**Recommended Conditions of Approval:**

See recommended Conditions of Approval attached as Exhibit 1.

**Conclusion:**

Finding 2 can be made.

Finding 3: That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof

<b>Surrounding Parcels</b>				
	Size:	Use:	Zoning:	Nearest Residence:
North	40.00 acres 280.0 acres 320.0 acres	Recreational Recreational Recreational/ Open Space	RE RE RC-40	N/A N/A N/A
South	260 acres	Recreational/ Open Space	RC-40	N/A
East	320 acres	Recreational/ Open Space	RE(m)/RC-40	N/A
West	0.18-0.33 acre	Residential	R-1-C(m) (Single-Family Residential, 9,000 square-foot minimum parcel size, Mountain Overlay) Zone District	Approximately 50 feet

**Reviewing Agency/Department Comments:**

Development Engineering Section of the Fresno County Department of Public Works and Planning: The subject parcel is located within the State Responsibility Area (SRA) boundary, and as such, any development is subject to applicable SRA Fire Safe Regulations as they apply to driveway construction.

An engineered grading and drainage plan may be required to show how additional storm water runoff generated by the proposed development will be handled without adversely impacting adjacent properties. A grading permit will be required for any grading proposed with this project.

Development Engineering (Site Plan Review) Section of the Fresno County Department of Public Works and Planning: Any proposed landscape improvement with an area of 500 square feet or greater shall comply with the California Code of Regulations (CCR) Title 23, Division 2, Chapter 2.7, Model Water Efficient Landscape Ordinance (MWELO), and require submittal of landscape and irrigation plans per Governor’s Drought Executive Order of 2015. The landscape and irrigation plans shall be submitted to the Department of Public Works and Planning, Site Plan Review (SPR) unit for review and approval prior to the issuance of building permits.



No building or structure erected in this District shall exceed 35 feet in height unless authorized under Section 813.2, per Section 813.5 D of the Fresno County Zoning Ordinance.

A dust palliative shall be required on all parking and circulation areas.

Outdoor lighting shall be hooded and directed away from adjoining streets and properties.

All proposed signs require submittal of plans to the Department of Public Works and Planning to verify compliance with the Zoning Ordinance.

No other comments specific to land use compatibility were expressed by reviewing Agencies or Departments.

**Analysis:**

There is a residential subdivision located westerly adjacent to the private access road utilized by the existing Service Center. The nearest residential structure is located approximately 50 feet from the proposed new access driveway and approximately 150 feet from the proposed storage yard. Once construction is complete, the increase in traffic and noise generated by operation of the proposed laydown storage yard will be minimal and not represent a substantial increase in intensity of use from the existing Service Center.

Based on the above information, staff believes the proposal will not have an adverse effect upon surrounding properties.

**Recommended Conditions of Approval:**

*See recommended Conditions of Approval attached as Exhibit 1.*

**Conclusion:**

Finding 3 can be made.

*Finding 4: That the proposed development is consistent with the General Plan*

<b>Relevant Policies:</b>	<b>Consistency/Considerations:</b>
General Plan Policy OS-E.3: The County shall require development in areas known to have particular value for wildlife to be carefully planned and, where possible, located so that the value of the habitat for wildlife is maintained.	The Initial Study prepared for this project determined that impacts to biological resources resulting from the proposed development would be less than significant supported by the findings of the Habitat Assessment Report provided by the Applicant.
General Plan Policy OS-E.6: The County shall ensure the conservation of large, continuous expanses of native vegetation to provide suitable habitat for maintaining abundant and diverse wildlife populations, as long as this preservation does not threaten the economic well-being of the County.	The project proposes to develop a relatively small portion (approximately 2.62 acres) of the subject 357.80-acre parcel and will not impact any large continuous expanses of native vegetation nor by extension remove suitable habitat that would otherwise support an abundant and diverse wildlife population.

<b>Relevant Policies:</b>	<b>Consistency/Considerations:</b>
<p>General Plan Policy OS-E.9: Prior to the approval of discretionary development permits, the County shall require, as part of any required environmental review process, a biological resources evaluation of the project site by a qualified biologist. The evaluation shall be based upon field reconnaissance performed at the appropriate time of year to determine the presence or absence of significant resources and/or special-status plants or animals. Such evaluation will consider the potential for significant impact on these resources and will either identify feasible mitigation measures or indicate why mitigation is not feasible.</p>	<p>The U.S. Fish and Wildlife Service (USFWS) reviewed the proposal and did not express any concerns. The project proponent was required to submit a biological habitat assessment in accordance with General Plan Policy OS-E.9. The habitat assessment included a review of the California Department of Fish and Wildlife (CDFW), California Natural Diversity Database (CNDDDB) records. Conclusions and findings of the habitat assessment, which are summarized in the Initial Study prepared for this project, were that no current populations of the State-threatened Sierra Red Fox are known to occur in the vicinity of the project. Additionally, habitat and elevation range preclude the State-threatened Tree Anemone from occurring in the project area. The State and Federal Candidate species, Pacific Fisher, is known to occur in the project area; however, the Applicant's submitted biological habitat assessment indicates that no Pacific Fisher dens are known to occur on or adjacent to the project site, and the high level of anthropogenic activity in the project vicinity creates less than ideal habitat conditions for the Pacific Fisher. The State-listed/threatened and Federally-endangered Sierra Nevada Yellow-Legged Frog is known to occur approximately one and one half-mile east of the project site. The Bald Eagle is listed as California Endangered, and is known to occur in nesting pairs in the vicinity of Shaver Lake, approximately two miles northeast of the project site. The project site itself is not considered suitable nesting, roosting or foraging habitat for the Bald Eagle, and the project is not anticipated to result in adverse impacts to this species.</p> <p>The California Endangered Great Grey Owl is known to occur within one to one and one half-mile of the project site; however, no suitable nesting habitat was observed within the project area by the qualified biologist.</p>

<b>Relevant Policies:</b>	<b>Consistency/Considerations:</b>
<p>General Plan Policy OS-E.13: The County should protect to the maximum extent practicable, wetlands, riparian habitat, and meadows since they are recognized as essential habitats for birds and wildlife.</p>	<p>No wetlands or riparian habitat were identified by the biological habitat assessment completed for this project</p>
<p>General Plan Policy OS-E.17: The County should preserve to the maximum possible extent, areas defined as habitats for rare or endangered animal or plant species in a natural state consistent with State and Federal endangered species laws.</p>	<p>No suitable habitat for any rare or endangered plant or animal species was found within the project area. The project area consists of approximately 2.62 acres of the 357.80-acre subject parcel, and is consistent with this policy.</p>
<p>General Plan Policy OS-L.3: The County shall manage the use of land adjacent to scenic drives and scenic highways based on the following principals:</p> <ul style="list-style-type: none"> <li>a. Timber harvesting within or adjacent to the right-of-way shall be limited to that which is necessary to maintain and enhance the quality of the forest;</li> <li>b. Proposed high-voltage overhead transmission lines, transmission line towers, and cell towers shall be routed and placed to minimize detrimental effects on scenic amenities visible from the right-of-way;</li> <li>c. Installation of signs visible from the right-of-way shall be limited to business identification signs, on-site real estate signs, and traffic control signs necessary to maintain safe traffic conditions. All billboards and other advertising structures shall be prohibited from location within view of the right-of-way;</li> <li>d. Intensive land developments, including, but not limited to, subdivisions of more than four lots, commercial developments and mobile home parks shall be designed to blend into the natural landscape and minimize visual scarring of vegetation and terrain. The design of said development proposals shall also provide for maintenance of natural open space area two hundred (200) feet in depth parallel to the right-of-way. Modification of the setback requirement</li> </ul>	<p>Dinkey Creek Road, adjacent to and traversing a portion of the subject parcel near the project site, is designated as a Scenic Drive in the County's General Plan; as such, Conditions of Approval have been included that landscaping and slatted chain-link fencing is to be provided in order to screen the proposed laydown storage yard from the adjacent roadway as much as is practicable.</p> <p>The proposed development does not include any timber harvesting, and no work is proposed within or adjacent to the County right-of-way. Nor are any new high-voltage transmission lines, transmission line towers, or cell towers proposed with this application.</p> <p>Any installation of signs will be subject to County development standards consistent with the Site Plan Review process.</p> <p>This project does not entail any intensive land development or subdivisions. The project will be limited to approximately 2.62 acres of additional storage area to supplement the existing facility.</p> <p>As previously stated, the proposed laydown storage yard will be required by Conditions of Approval to be screened from view of the Scenic Drive through the use of landscaping and slatted chain-link fencing provided in an earth tone color.</p>

<b>Relevant Policies:</b>	<b>Consistency/Considerations:</b>
<p>may be appropriate when any one of the following conditions exist:</p> <ol style="list-style-type: none"> <li>1) Topographic or vegetative characteristics preclude such a setback;</li> <li>2) Topographic or vegetative characteristics provide screening of buildings and parking areas from the right-of-way;</li> <li>3) Property dimensions preclude such a setback; or</li> <li>4) Development proposal involves expansion of an existing facility or an existing concentration of uses.</li> </ol> <p>e. Subdivision proposal shall be designed to minimize the number of right-of-way access drives;</p> <p>f. Developments involving concentration of commercial uses shall be designed to function as an integral unit with common parking areas and right-of-way access drives; and</p> <p>g. Outside storage areas associated with commercial activities shall be completely screened from view of the right-of-way with landscape plantings or artificial screens which harmonize with the natural landscape.</p>	

**Reviewing Agency/Department Comments:**

Policy Planning Unit of the Fresno County Department of Public Works and Planning: The proposed project is not in conflict with General Plan Policies or Shaver Lake Community Plan Policies, nor are there any conflicts with the Williamson Act. See relevant General Plan Policies in the preceding table.

No other comments specific to General Plan Policy were expressed by reviewing Agencies or Departments.

**Analysis:**

No conflicts with General Plan Policies or County-adopted community plans were identified by any reviewing agencies or departments. The project will be required to comply with all applicable General Plan and Community Plan Policies through adherence to the included Mitigation Measures and Conditions of Approval.

Based on these factors, the proposed laydown storage yard is consistent with the General Plan.

**Recommended Conditions of Approval:**

*See recommended Conditions of Approval attached as Exhibit 1.*

**Conclusion:**

Finding 4 can be made.

*Finding 5:* *That the conditions stated in the Resolution are deemed necessary to protect the public health, safety and general welfare.*

Per Section 873-F of the Zoning Ordinance, Finding 5 addresses the question of whether the included Conditions can be deemed necessary to protect the public health, safety and general welfare of the public and other such conditions as will make possible the development of the County in an orderly and efficient manner and in conformity with the intent and purposes set forth in this Division. The required Conditions of Approval will be addressed through the Site Plan Review process required for this project.

**Reviewing Agency/Department Comments:**

The Conditions of Approval for this project, included as Exhibit 1, are based upon comments and recommendations received from reviewing agencies and departments. Potential impacts to adjacent roadways were analyzed under Finding 2, and impacts to surrounding properties were analyzed under Finding 3. Finding 1 addresses the adequacy of the subject parcel/project site and determines whether or not the site/parcel is of sufficient size to accommodate the proposed use while maintaining required setbacks or buffers from adjacent properties. Finding 4 addresses the project's consistency with the General Plan, which guides development of the County through conformance with the applicable goals and policies contained in the individual Elements. The recommended Mitigation Measures under CEQA, Conditions of Approval and Project Notes are all considered mandatory conditions of approval upon adoption of the Mitigated Negative Declaration and approval of the Unclassified Conditional Use Permit for this project. Based upon staff's analysis, the conditions stated in the resolution are deemed necessary to protect the public health, safety and general welfare.

**Conclusion:**

Finding 5 can be made.

**PUBLIC COMMENT:**

None.

**CONCLUSION:**

Based on the factors cited in the analysis, staff believes the required Findings for granting the Unclassified Conditional Use Permit can be made. Staff therefore recommends approval of Unclassified Conditional Use Permit No. 3639, subject to the recommended Mitigation Measures, Conditions of Approval, and Project Notes.

## **PLANNING COMMISSION MOTIONS:**

### **Recommended Motion** (Approval Action)

- Move to adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7593; and
- Move to determine the required Findings can be made and move to approve Unclassified Conditional Use Permit No. 3639, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

### **Alternative Motion** (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Unclassified Conditional Use Permit No. 3639; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

### **Mitigation Measures, Recommended Conditions of Approval and Project Notes:**

See attached Exhibit 1.

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**Mitigation Monitoring and Reporting Program**  
**Initial Study Application No. 7593/Unclassified Conditional Use Permit Application No. 3639**  
**(Including Conditions of Approval and Project Notes)**

Mitigation Measure					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1	Aesthetics	All outdoor lighting shall be hooded and directed downward away from adjacent property or the public roadway.	Applicant	Applicant/Public Works and Planning (PW&P)	Ongoing
2	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activity, all work shall be halted in the area of the find, An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	Ongoing
Conditions of Approval					
1.	Development of the property shall be in accordance with the Site Plan, Floor Plans, and Operational Statement approved by the Commission.				
2.	A Site Plan Review Application shall be submitted for approval by the Director of the Department of Public Works and Planning in accordance with Section 874 of the Fresno County Zoning Ordinance. Items to be addressed under the Site Plan Review may include, but are not limited to, design of parking and circulation, driveway, access, grading and drainage, fire protection, and lighting.				
3.	The Sierra Unified School District in which the subject property is located is authorized by State Law to adopt a resolution requiring the payment of construction fees. The Department of Public Works and Planning, Development Services Division requires certifications from the school district that the fees have been paid. An official certification form will be provided by the County when application is made for a building permit.				

\*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document.  
Conditions of Approval reference recommended Conditions for the project.

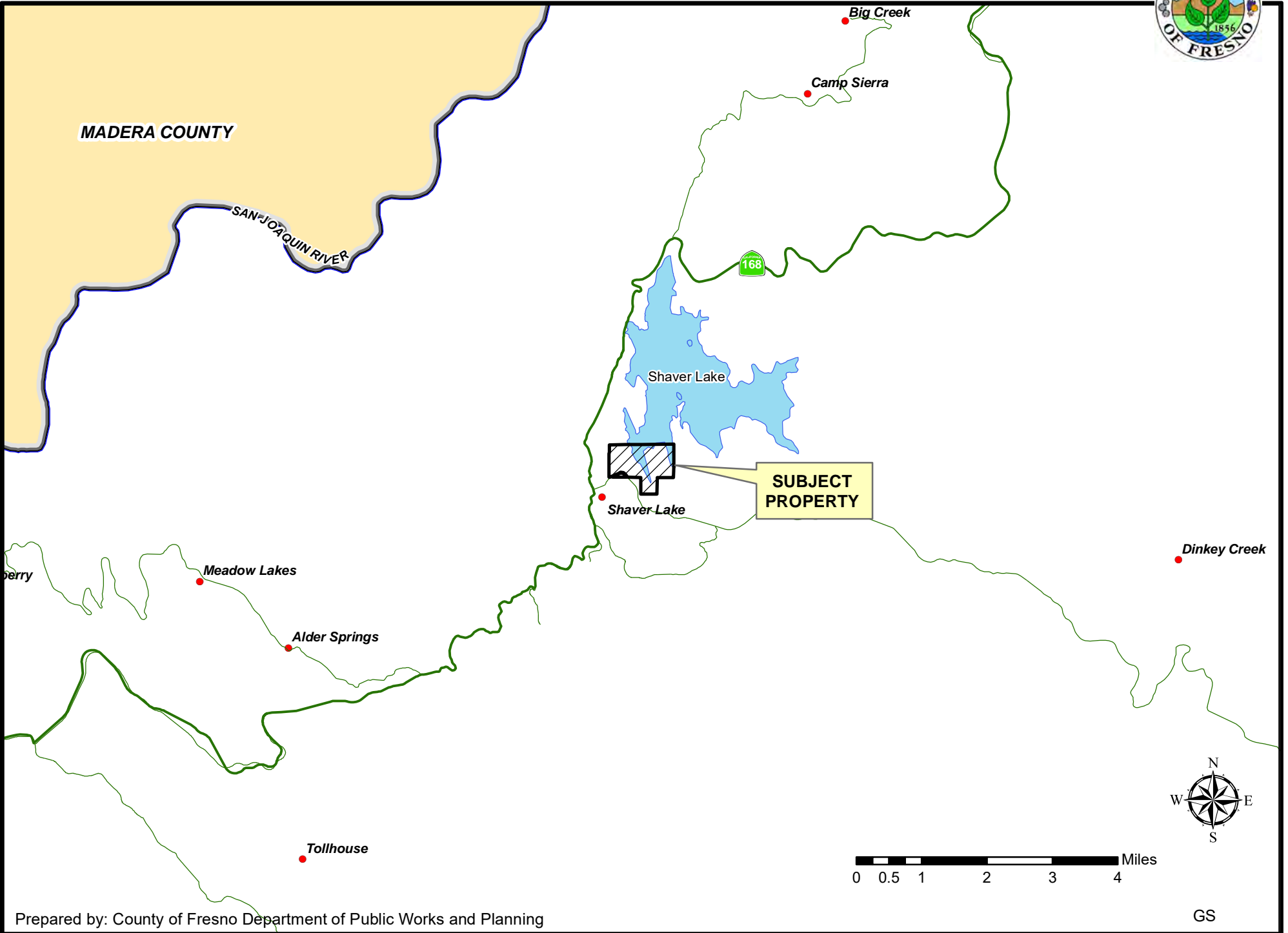
Notes	
<b>The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the Applicant.</b>	
1.	The proposal shall comply with the 2007 California Code of Regulations Title 24 Fire Code. The Applicant shall submit three Site Plans stamped "reviewed" or "approved" from the Fresno County Department of Public Works and Planning to the Fresno County Fire Department for their review and approval. The Applicant shall submit evidence that their plan was approved by the fire department, and all fire protection

**EXHIBIT 1**

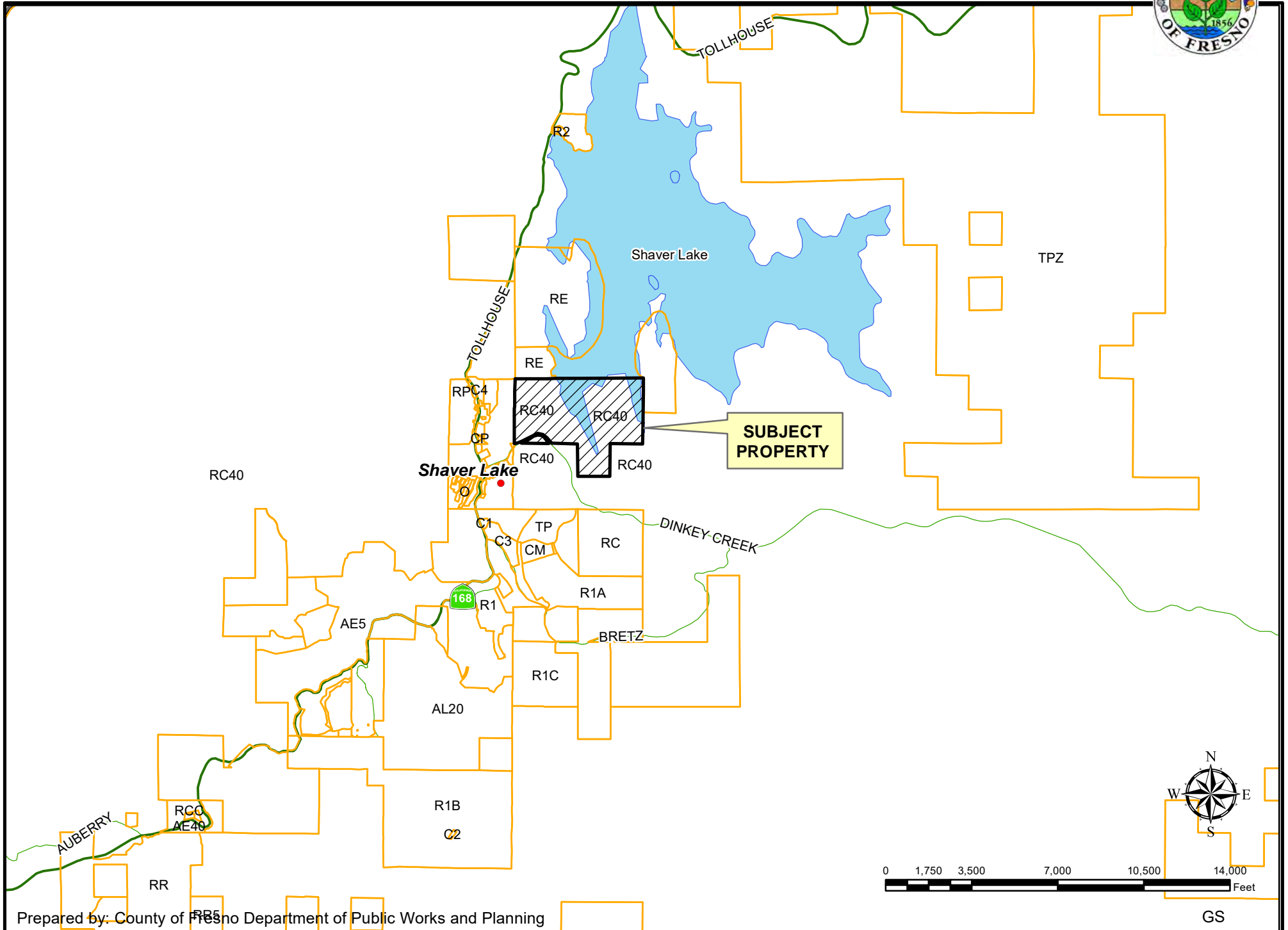
	improvements shall be installed prior to occupancy granted to the use.
2..	The project may be subject to joining the Community Facilities District (CFD). Before plans are submitted to the Fresno County Fire Protection District (FCFPD), a Fire Permit Application may be filled out and submitted to FCFPD to determine eligibility.
3.	The project/development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.
4.	Development shall be in accordance with all applicable State Responsibility Area (SRA) Fire Safe Regulations.
5.	No building or structure erected in this District shall exceed 35 feet in height, per Section 813.5.D of the Fresno County Zoning Ordinance.
6.	If approved, plans, permits and inspections are required for all structures, including, but not limited to, accessible elements and site development based upon the codes in effect at the time of plan check submittal.
7.	Any proposed signs will require submittal of plans to the Fresno County Department of Public Works and Planning to verify compliance with the County Zoning Ordinance.
8.	<p>Within 30 days of the occurrence of any of the following events the Applicant/operators shall update their online Hazardous Materials Business Plan (HNBP) and site map (<a href="https://www.fresnocupa.com">https://www.fresnocupa.com</a> or <a href="http://cers.calepa.ca.gov">http://cers.calepa.ca.gov</a>):</p> <ol style="list-style-type: none"> <li>1. There is a 100% or more increase in the quantities of a previously-disclosed material;</li> <li>2. The facility begins handling a previously-undisclosed material at or above the HNBP threshold amounts.</li> </ol>
9.	The business shall certify that a review of the business plan has been conducted at least once every three years and that any necessary changes were made and that the changes were submitted to the local agency. Contact the Certified Unified Program Agency at (559) 600-3271 for more information.
10.	All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations, Title 22, Division 4.5.
11.	Any work performed within the County right-of-way shall require an Encroachment Permit from the Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning.
12.	A dust palliative shall be required on all parking and circulation areas.
13.	Any additional storm water runoff generated by the project cannot be drained across property lines, and must be retained on site per the County Standards.
14.	An Engineered Grading and Drainage Plan is required to show how additional storm water runoff generated by the proposed development will be handled without adversely impacting adjacent properties. A Grading Permit or Voucher is required for any grading that has been done without a permit and any grading proposed with this application.



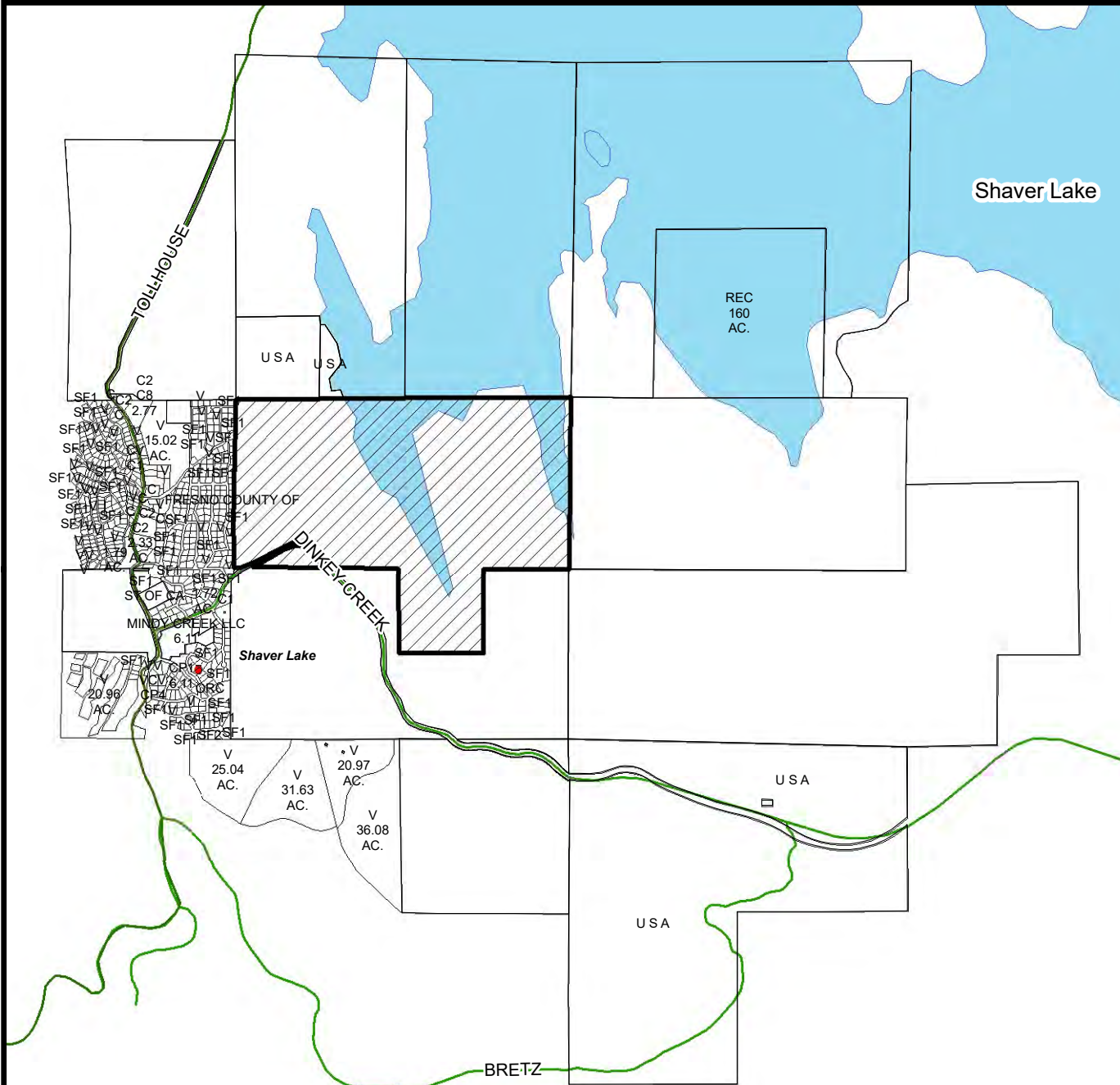
# LOCATION MAP



# EXISTING ZONING MAP



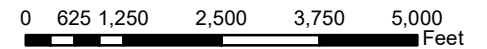
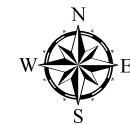
# EXISTING LAND USE MAP



LEGEND
AP1 - APARTMENT
C - COMMERCIAL
C# - COMMERCIAL
CP# - OFFICE COMM./PROF
MHP - MOBILE HOME PARK
ORC - ORCHARD
REC - RECREATION
SF#- SINGLE FAMILY RESIDENCE
V - VACANT
I - INDUSTRIAL

LEGEND:

 Subject Property

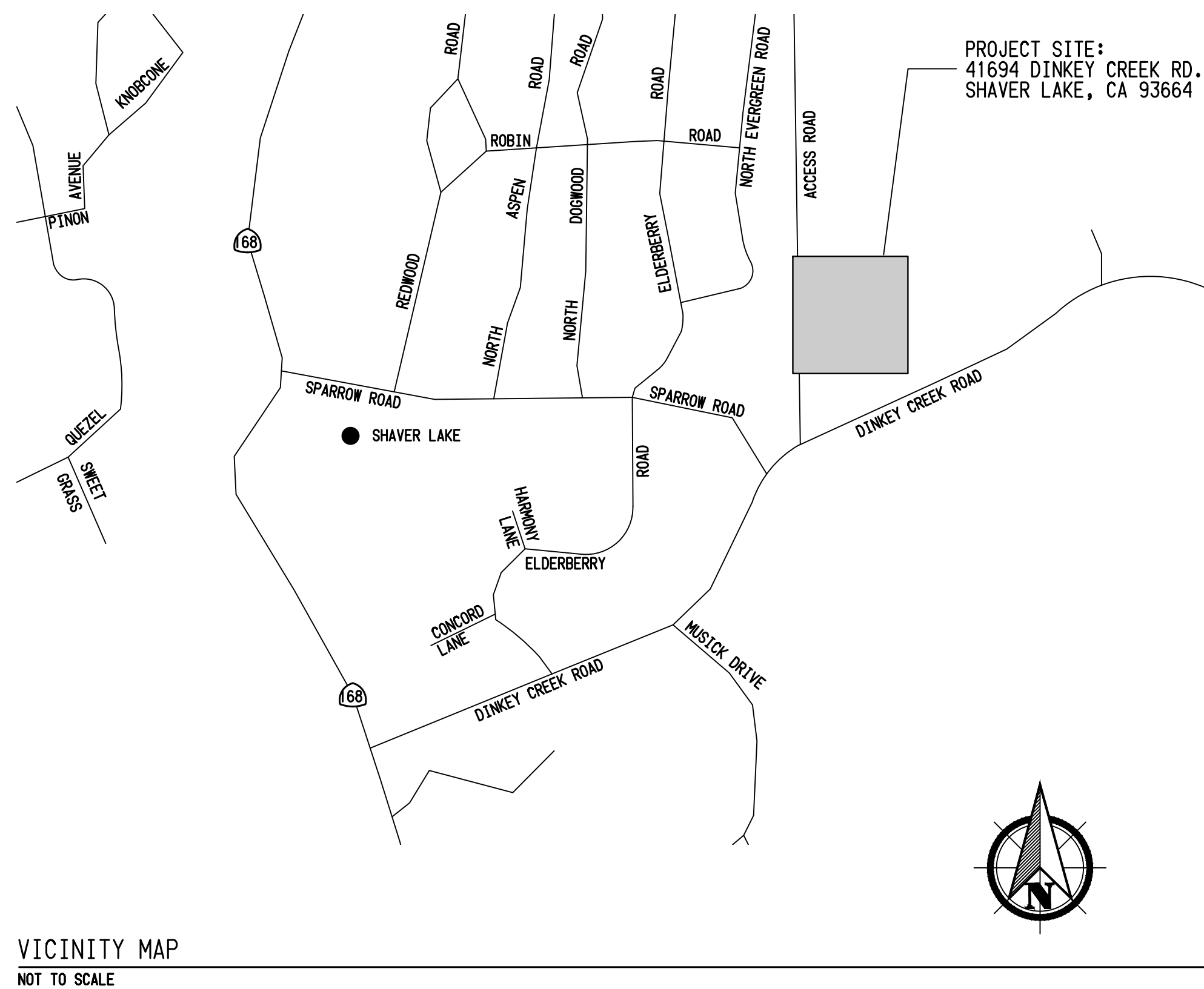
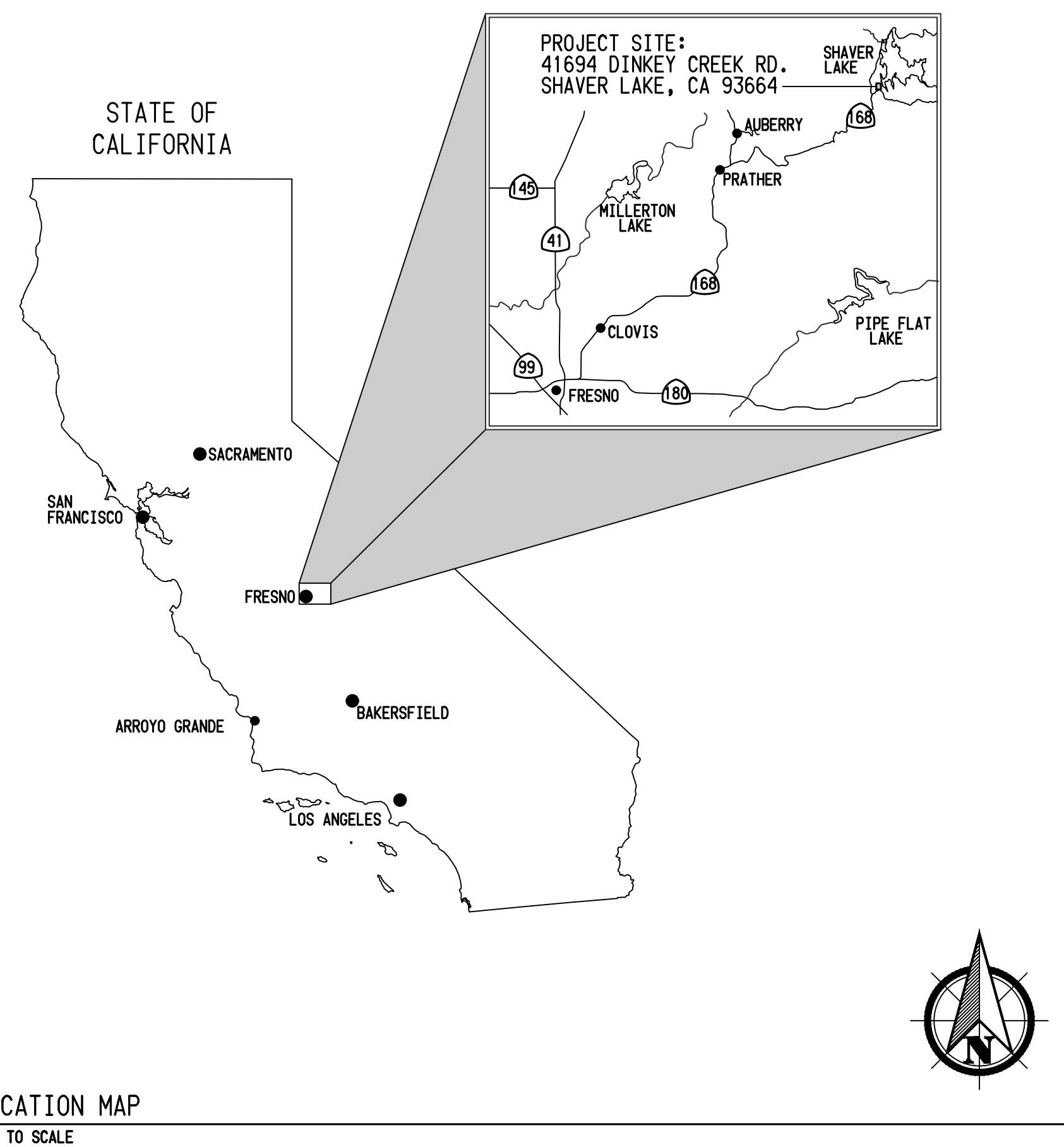


Map Prepared by: GS  
J:GISJCH\Landuse1

Department of Public Works and Planning  
Development Services Division



# SHAVER LAKE SERVICE CENTER LAYDOWN YARD



### GRADING AND DRAINAGE NOTES

1. THE WORK ENCOMPASSED HEREIN SHALL BE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF CHAPTER 18, CHAPTER 33 AND APPENDIX J OF 2013 CALIFORNIA BUILDING CODE AND CALIFORNIA RESIDENTIAL CODE AS ADOPTED AND AMENDED BY CHAPTER 15.28 OF THE FRESNO COUNTY ORDINANCE CODE.
2. A GRADING PERMIT OR VOUCHER SHALL BE OBTAINED FROM THE COUNTY OF FRESNO PUBLIC WORKS AND PLANNING DEPARTMENT, DEVELOPMENT ENGINEERING SECTION PRIOR TO ANY GRADING AND PAVING WORK FOR THIS PROJECT.
3. A NOTICE OF INTENT (NOI) AND STORM WATER POLLUTION PLAN (SWPPP) ARE REQUIRED TO BE FILED WITH STATE WATER RESOURCES CONTROL BOARD BEFORE THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES DISTURBING 1.0 ACRE OR MORE OF AREA. COPIES OF NOI AND SWPPP SHALL BE PROVIDED TO DEVELOPMENT ENGINEERING PRIOR TO THE APPROVAL OF THESE PLANS.
4. MAXIMUM CUT AND FILL SLOPES SHALL BE 2H:1V OR AS ALLOWED PER AN APPROVED AND FILED SOILS REPORT.
5. THE GROUND AROUND THE STRUCTURE SHALL BE SLOPED TWO PERCENT (2%) FOR A DISTANCE OF FIVE FEET (5') TO PROVIDE DRAINAGE AWAY FROM THE STRUCTURE OR AS APPROVED BY THE BUILDING OFFICIAL.
6. COMPACTION REPORTS ARE REQUIRED TO BE SUBMITTED TO DEVELOPMENT ENGINEERS FOR ALL FILLS.
7. A "HOLD ON OCCUPANCY" WILL BE IN EFFECT UNTIL SUCH TIME AS THE DEVELOPMENT IS CERTIFIED "AS-BUILT" BY THE ENGINEER OF RECORD.

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OVERALL SITE PLAN	CO.2	
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### GENERAL NOTES

1. THE WORK ENCOMPASSED HEREIN SHALL BE IN ACCORDANCE WITH THE APPROPRIATE PROVISIONS OF THE SPECIFICATIONS ENTITLED "IMPROVEMENT STANDARDS, COUNTY OF FRESNO, STATE OF CALIFORNIA, OCTOBER, 1966 AND AS AMENDED, INsofar AS THE SAME MAY APPLY.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS AND PLANNING OF THE COUNTY OF FRESNO AT (559) 600-4022 AND 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. ALL WORK INSTALLED SHALL MEET OR EXCEED COUNTY IMPROVEMENT STANDARDS. WHERE WORK PROPOSED IS NOT ADDRESSED WITH THESE STANDARDS, THE CONTRACTOR SHALL DEFER TO THE LATEST ADOPTED VERSION OF THE STATE STANDARD DRAWINGS AND SPECIFICATIONS FOR COMPLIANCE.
4. AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE ROAD MAINTENANCE & OPERATIONS DIVISION OF PUBLIC WORKS FOR ANY WORK WITHIN THE RIGHT-OF-WAY. CALL (559) 600-4247 FOR THE PERMIT ENGINEER AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK PERFORMED IN THE COUNTY RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH ROAD MAINTENANCE & OPERATION DIVISION REQUIREMENTS.
5. THE WORK ENCOMPASSED HEREIN SHALL NOT BE COMMENCED UNTIL THE OWNER OF THE PROPERTY OR THE CONTRACTOR HAS FIRST BEEN PROVIDED AN INQUIRY IDENTIFICATION NUMBER FOR SUB-SURFACE INSTALLATIONS AS SPECIFIED IN SECTION 4216 OF THE GOVERNMENT CODE.
6. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY AUTHORITIES OR UTILITY COMPANIES HAVING POSSIBLE INTEREST IN THE WORK OF THE CONTRACTOR'S INTENTION TO EXCAVATE PROXIMATE TO EXISTING FACILITIES AND THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES IN THE WORK AREA. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) TWO (2) DAYS PRIOR TO BEGINNING ANY EXCAVATION.
7. THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM ANY PROPERTY OWNER GIVING HIM PERMISSION TO ENTER HIS PROPERTY FOR THE PURPOSES OF CONSTRUCTING THE IMPROVEMENTS DELINEATED ON THE PLANS AND TRANSMISSIONS THERE TO. THE CONTRACTOR SHALL PROVIDE THE COUNTY WITH A COPY PRIOR TO START OF ANY WORK.
8. WHERE IMPROVEMENTS ARE PROPOSED THAT DO NOT MEET COUNTY STANDARDS, A SUBMITTAL SHALL BE PROVIDED TO DEVELOPMENT ENGINEERING AND/OR RESOURCES AND APPROVAL GRANTED PRIOR TO INSTALLATION.
9. DIRT OR DEBRIS TRACKED ONTO EXISTING COUNTY ROADS FROM THIS PROJECT SHALL BE CLEANED OFF AT THE END OF EACH WORKING DAY TO THE SATISFACTION OF THE COUNTY INSPECTOR.
10. THE COSTS OF ALL TESTING REQUIRED FOR ACCEPTANCE OF WORK SHALL BE FULLY BORNE BY THE APPLICANT.
11. ALL WORK PERFORMED "AT-RISK" WITHOUT APPROVAL OF THESE PLANS, OR ANY REVISIONS THEREAFTER INSPECTION OR PROPER PERMITS FROM THE COUNTY IS SUBJECT TO REVISION, EXPOSURE, REMOVAL AND REPLACEMENT AT THE APPLICANT'S COST.
12. TEMPORARY EROSION CONTROL SHALL BE PROVIDED WITH THE INSTALLATION OF STRAW BALES, SILT FENCES OR OTHER MEANS AGREEABLE TO THE COUNTY OF FRESNO.
13. ALL WORK PROPOSED NOT SPECIFICALLY IDENTIFIED OR DISCUSSED IN THE COUNTY IMPROVEMENT STANDARDS SHALL BE IN COMPLIANCE WITH THE LATEST VERSION OF THE CALTRANS STANDARD PLANS AND SPECIFICATIONS.
14. PERMANENT EROSION CONTROL SHALL BE STRAW-AND-SEED, JUTE MESH NETTING, HYDRO-MULCH, OR SOME TYPE OF LANDSCAPING TO PREVENT LOSS OF MATERIAL. ALL WORK PROPOSED SHALL COMPLY WITH SECTIONS 20 AND 21 OF THE CALTRANS STANDARD SPECIFICATIONS.
15. THE WORK ENCOMPASSED HEREIN SHALL NOT BE APPROVED UNTIL SUCH TIME AS THE OWNER OF THE PROPERTY OR THE CONTRACTOR HAS COMPLIED WITH ALL APPLICABLE REQUIREMENTS AS SPECIFIED IN SECTION 4290 OF THE PUBLIC RESOURCES CODE, AS APPLICABLE.

### CONSULTANTS

ENGINEER / DESIGNER:	OWNER REPRESENTATIVE:
BLAIR, CHURCH & FLYNN PAUL MCGA, P.E., QSO 451 CLOVIS AVENUE, SUITE 200 CLOVIS, CALIFORNIA 93612 TEL (559) 326-1400 FAX (559) 326-1500	SOUTHERN CALIFORNIA EDISON PASCUAL GARCIA 800 W CENEZA AVENUE SAN DIMAS, CALIFORNIA 91773 TEL (909) 394-2876

### PROJECT DATA

**PROJECT SCOPE:**  
CONSTRUCTION OF A NEW LAYDOWN YARD, AND (2) 24' x 60' TEMPORARY TRAILERS FOR SOUTHERN CALIFORNIA EDISON LOCATED AT SHAVER LAKE SERVICE CENTER IN SHAVER, CA.

**GENERAL DATA:**  
 SITE ADDRESS: 41694 DINKEY CREEK RD., SHAVER LAKE CA, 93664  
 APN: 120-260-10U  
 ZONING: RC40  
 JURISDICTION: FRESNO COUNTY  
 TOTAL SITE AREA (DISTURBED): 2.62 ACRE  
 CUT: 4078.30 CU. YD.  
 FILL: 7177.22 CU. YD.  
 IMPORT: 3098.93 CU. YD.  
 FLOOD ZONE: ZONE X  
 FIRM MAP: 06019C0725H

**CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE PERFORMANCE OF WORK, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, ON A CONTINUOUS BASIS NOT LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF BLAIR, CHURCH & FLYNN CONSULTING ENGINEERS.**

PLANS PREPARED BY:

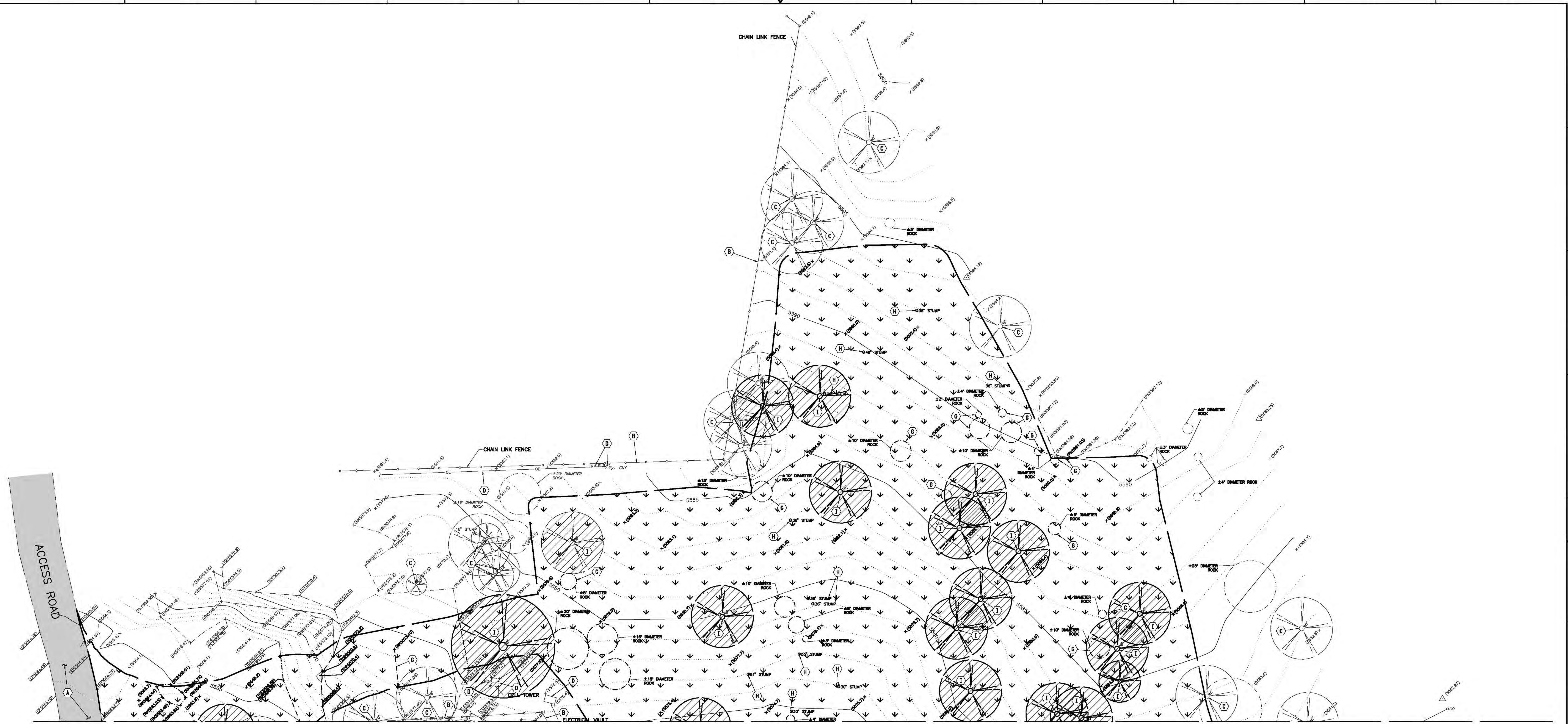
REGISTERED PROFESSIONAL ENGINEER  
PAUL MCGA, P.E., QSO  
No. 78,395  
Blair, Church & Flynn  
CIVIL  
451 Clovis Avenue, Suite 200  
Clovis, California 93612  
Tel (559) 326-1400  
Fax (559) 326-1500  
6/20/2019 Date Signed

LOCATION: SHAVER LAKE, CALIFORNIA  
SHAVER LAKE SERVICE CENTER  
LAYDOWN YARD  
COVER SHEET

SHEET NO.  
TO.0  
SCALE: N/A  
1 OF 11 SHTS.

Drawing: P:\216-0006\17\product\17\170000\170000.dwg; Cover Sheet - BCF.ctb  
Plot by: gperdies May 31, 2019 - 11:16am

NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.					
	BACKCHECK SUBMITTAL	01-30-19					PN	DM		PN																
	BACKCHECK SUBMITTAL	05-30-19					PN	DM		PN																



MATCH LINE - SEE SHEET CO.1

TOPOGRAPHIC LEGEND

DEMOLITION LEGEND

DEMOLITION NOTES

SURVEY NOTES

(335.21)	EXISTING ELEVATION		TREE: SPREAD SHOWN GRAPHICALLY AND TRUNK DIAMETER AS SHOWN
AC	ASPHALTIC CONCRETE		AC PAVING IMPROVEMENTS
CE	CONCRETE EDGE		EXISTING BUILDING
EP	EDGE OF PAVEMENT		CONCRETE IMPROVEMENTS
GB	GRADE BREAK		CHAIN LINK FENCE
RK	ROCK		WOOD FENCE
TD	TOE OF SLOPE		EDGE OF ASPHALT CONCRETE PAVEMENT
TOP	TOP OF SLOPE		GRADE BREAK
VGR	VALLEY GUTTER		ROCK
CP	SURVEY CONTROL POINT		MAJOR CONTOUR
GW	GUY WIRE		MINOR CONTOUR
LP	LIGHT POLE		OVERHEAD ELECTRIC
MH	MANHOLE		SEWER LINE: SIZE AS NOTED
PP	POWER POLE		
SC	SEWER CLEANOUT		
S	SLOPE		
ST	STUMP: DIAMETER AS SHOWN		
TR	TELEPHONE RISER / PEDESTAL		

(A)	PROTECT EXISTING ASPHALT CONCRETE PAVEMENT TO REMAIN
(B)	PROTECT EXISTING CHAIN LINK FENCE TO REMAIN
(C)	PROTECT EXISTING TREE AND ROOTS TO REMAIN
(D)	PROTECT EXISTING UTILITY TO REMAIN
(E)	REMOVE AND LAWFULLY DISPOSE OF ROCK
(F)	REMOVE AND LAWFULLY DISPOSE OF STUMP
(G)	REMOVE AND LAWFULLY DISPOSE OF TREE, ROOTBALL, AND ISOLATED ROOTS GREATER THAN 1/2 INCH IN DIAMETER
(H)	REMOVE EXISTING IMPROVEMENTS AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS SHOWN ON THESE PLANS UNLESS OTHERWISE NOTED ON THE PLAN. THE REMOVAL OF IMPROVEMENTS MUST BE COORDINATED WITH ALL PLAN SHEETS. CONTRACTOR MUST ALSO COORDINATE REMOVAL OF IMPROVEMENTS WITH UTILITY AGENCIES. PROTECT ALL IMPROVEMENTS NOT DESIGNATED FOR REMOVAL. SEE NOTE 1
(I)	TREE AND ROOTS TO BE REMOVED

- THE "LIMIT OF DEMOLITION" SHOWN IS APPROXIMATE AND IS GENERALLY CONSIDERED TO BE THE MINIMUM REMOVAL REQUIREMENTS. CONTRACTOR MUST COORDINATE AS NOTED IN THE LEGEND. REFER TO THE GEOTECHNICAL REPORT FOR SITE PREPARATION REQUIREMENTS.
- CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLISHED MATERIALS OFF SITE.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITY IMPROVEMENTS NOT SPECIFICALLY DESIGNATED FOR REMOVAL.
- THE ON-SITE UNDERGROUND UTILITIES SHOWN ON THIS SHEET ARE AT AN APPROXIMATE LOCATION. THE EXTENT, LOCATIONS AND SIZES ARE UNKNOWN. THE CONTRACTOR SHALL POT-HOLE TO LOCATE AND VERIFY THE UNDERGROUND UTILITY LINES PRIOR TO REMOVAL.
- CONTRACTOR TO PROTECT AND PRESERVE IN PLACE ANY FOUND SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE RESET BY A LICENSED SURVEYOR AND THE APPROPRIATE PAPERWORK FILED WITH THE CITY OR COUNTY.
- ALL HAZARDOUS MATERIALS ENCOUNTERED DURING SITE DEMOLITION SHALL BE REMEDIATED AND DISPOSED OF PER STATE AND EPA REQUIREMENTS.
- CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL UTILITY AGENCIES PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION.
- ANY EXISTING UTILITIES AND/OR IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE OWNER AND AGENCY HAVING AUTHORITY, AT THE CONTRACTOR'S SOLE EXPENSE.

THIS TOPOGRAPHIC SURVEY LOCATES SPECIFIC PHYSICAL FEATURES OF THE SITE AND THEIR ELEVATION AS DETERMINED NECESSARY BY THE PROJECT ENGINEER. IT IS NOT A COMPLETE TOPOGRAPHIC SURVEY OF THE SITE. THE INFORMATION SHOWN REFLECTS THE DATA OBTAINED BY FIELD SURVEY CONDUCTED ON MAY 17, 2018.

**BENCHMARK**

OCCUPIED EXISTING CONTROL.  
 TEM - CONTROL POINT NO.1  
 ELEVATION = 5550.00' ASSUMED DATUM

PLANS PREPARED BY:

**Blair, Church & Flynn**  
 CONSULTING ENGINEERS

465 Clovis Avenue, Suite 200  
 Clovis, California 93222  
 Tel: (559) 528-4400  
 Fax: (559) 528-4100

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF CALIFORNIA  
 No. 78,395  
 David Flynn  
 CIVIL  
 6/20/2019  
 0619 Signed

SCALE IN FEET  
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 Date: 5/17/2018

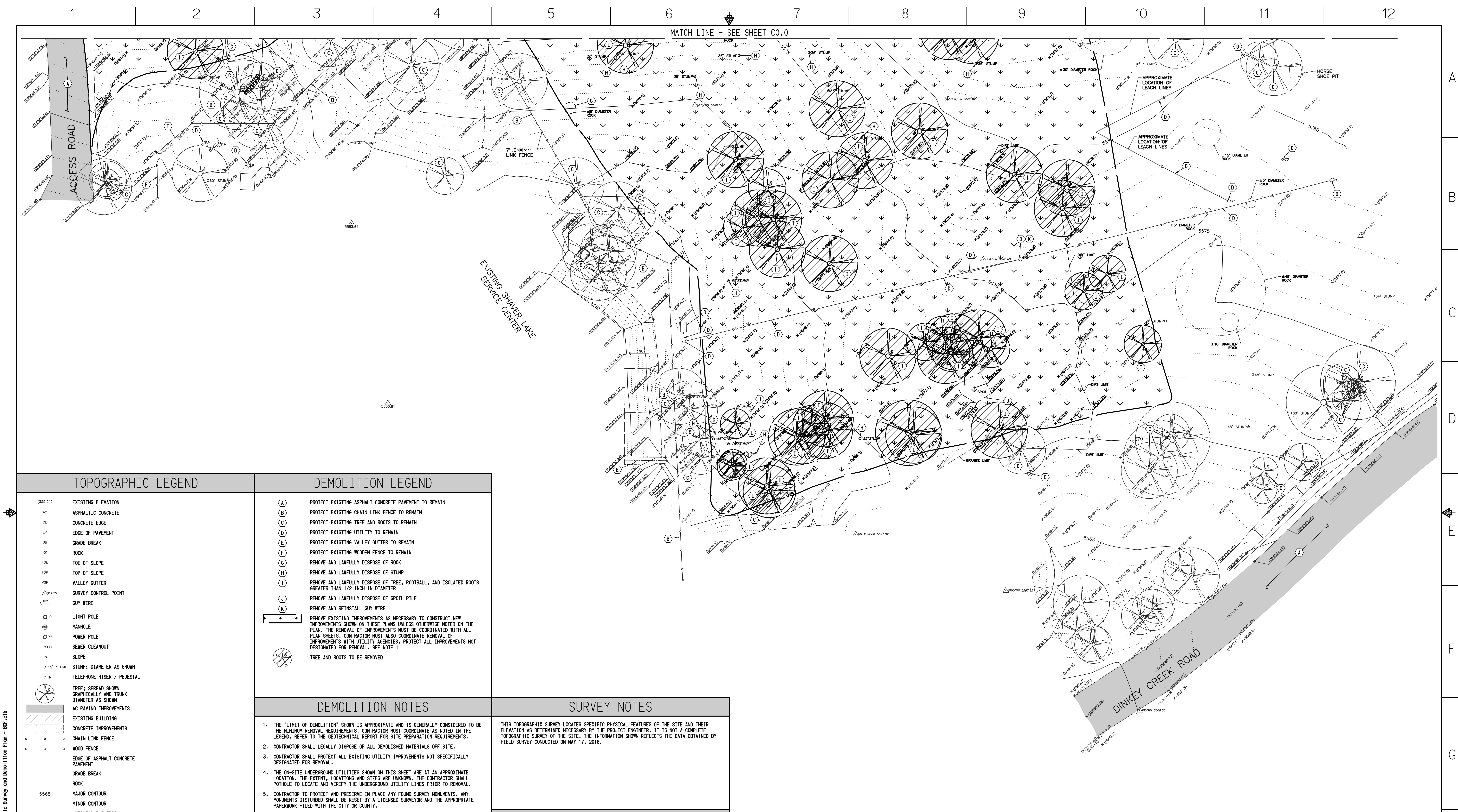
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		BACKCHECK SUBMITTAL	05-30-19					PN	DM	PN												

LOCATION: SHAVER LAKE, CALIFORNIA

SHAVER LAKE SERVICE CENTER  
 LAYDOWN YARD  
 TOPOGRAPHIC SURVEY AND DEMOLITION PLAN

**EDISON**  
 An EDISON INTERNATIONAL Company

SHEET NO.  
**CO.0**  
 SCALE: 1" = 20'  
 2 OF 11 SHTS.



**TOPOGRAPHIC LEGEND**

- (335.21) EXISTING ELEVATION
- AC ASPHALTIC CONCRETE
- CE CONCRETE EDGE
- EP EDGE OF PAVEMENT
- GB GRADE BREAK
- RK ROCK
- TOE TOE OF SLOPE
- TOP TOP OF SLOPE
- VGR VALLEY GUTTER
- △ 311.05 SURVEY CONTROL POINT
- GUY WIRE
- ⊕ LIGHT POLE
- ⊙ MANHOLE
- ⊙ POWER POLE
- SOWER CLEANOUT
- SLOPE
- ⊙ 12" STUMP STUMP; DIAMETER AS SHOWN
- ⊙ TR TELEPHONE RISER / PEDESTAL
- ⊙ TREE; SPREAD SHOWN GRAPHICALLY AND TRUNK DIAMETER AS SHOWN
- AC PAVING IMPROVEMENTS
- EXISTING BUILDING
- CONCRETE IMPROVEMENTS
- CHAIN LINK FENCE
- WOOD FENCE
- EDGE OF ASPHALTIC CONCRETE PAVEMENT
- GRADE BREAK
- ROCK
- 5565 MAJOR CONTOUR
- MINOR CONTOUR
- OVERHEAD ELECTRIC
- 12" SOWER LINE; SIZE AS NOTED

**DEMOLITION LEGEND**

- (A) PROTECT EXISTING ASPHALT CONCRETE PAVEMENT TO REMAIN
- (B) PROTECT EXISTING CHAIN LINK FENCE TO REMAIN
- (C) PROTECT EXISTING TREE AND ROOTS TO REMAIN
- (D) PROTECT EXISTING UTILITY TO REMAIN
- (E) PROTECT EXISTING VALLEY GUTTER TO REMAIN
- (F) PROTECT EXISTING WOODEN FENCE TO REMAIN
- (G) REMOVE AND LAWFULLY DISPOSE OF ROCK
- (H) REMOVE AND LAWFULLY DISPOSE OF STUMP
- (I) REMOVE AND LAWFULLY DISPOSE OF TREE, ROOTBALL, AND ISOLATED ROOTS GREATER THAN 1/2 INCH IN DIAMETER
- (J) REMOVE AND LAWFULLY DISPOSE OF SPOIL PILE
- (K) REMOVE AND REINSTALL GUY WIRE
- REMOVE EXISTING IMPROVEMENTS AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS SHOWN ON THESE PLANS UNLESS OTHERWISE NOTED ON THE PLAN. THE REMOVAL OF IMPROVEMENTS MUST BE COORDINATED WITH ALL PLAN SHEETS. CONTRACTOR MUST ALSO COORDINATE REMOVAL OF IMPROVEMENTS WITH UTILITY AGENCIES. PROTECT ALL IMPROVEMENTS NOT DESIGNATED FOR REMOVAL. SEE NOTE 1
- ⊙ TREE AND ROOTS TO BE REMOVED

**DEMOLITION NOTES**

1. THE "LIMIT OF DEMOLITION" SHOWN IS APPROXIMATE AND IS GENERALLY CONSIDERED TO BE THE MINIMUM REMOVAL REQUIREMENTS. CONTRACTOR MUST COORDINATE AS NOTED IN THE LEGEND. REFER TO THE GEOTECHNICAL REPORT FOR SITE PREPARATION REQUIREMENTS.
2. CONTRACTOR SHALL LEGALLY DISPOSE OF ALL DEMOLISHED MATERIALS OFF SITE.
3. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITY IMPROVEMENTS NOT SPECIFICALLY DESIGNATED FOR REMOVAL.
4. THE ON-SITE UNDERGROUND UTILITIES SHOWN ON THIS SHEET ARE AT AN APPROXIMATE LOCATION. THE EXTENT, LOCATIONS AND SIZES ARE UNKNOWN. THE CONTRACTOR SHALL POT-HOLE TO LOCATE AND VERIFY THE UNDERGROUND UTILITY LINES PRIOR TO REMOVAL.
5. CONTRACTOR TO PROTECT AND PRESERVE IN PLACE ANY FOUND SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE RESET BY A LICENSED SURVEYOR AND THE APPROPRIATE PAPERWORK FILED WITH THE CITY OR COUNTY.
6. ALL HAZARDOUS MATERIALS ENCOUNTERED DURING SITE DEMOLITION SHALL BE REMEDIATED AND DISPOSED OF PER STATE AND EPA REQUIREMENTS.
7. CONTRACTOR SHALL CONTACT AND COORDINATE WITH ALL UTILITY AGENCIES PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION.
8. ANY EXISTING UTILITIES AND/OR IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE OWNER AND AGENCY HAVING AUTHORITY, AT THE CONTRACTOR'S SOLE EXPENSE.

**SURVEY NOTES**

THIS TOPOGRAPHIC SURVEY LOCATES SPECIFIC PHYSICAL FEATURES OF THE SITE AND THEIR ELEVATION AS DETERMINED NECESSARY BY THE PROJECT ENGINEER. IT IS NOT A COMPLETE TOPOGRAPHIC SURVEY OF THE SITE. THE INFORMATION SHOWN REFLECTS THE DATA OBTAINED BY FIELD SURVEY CONDUCTED ON MAY 17, 2018.

**BENCHMARK**

OCCUPIED EXISTING CONTROL.  
 TBM = CONTROL POINT NO. 1  
 ELEVATION = 5550.00' ASSUMED DATUM

Drawing: P:\2018-2019\18000\18000.dwg; CO.1 Topographic Survey and Demolition Plan - BCF.ctb  
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PLANS PREPARED BY:  
**Blair Church & Flynn**  
 CONSULTING ENGINEERS  
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 Clovis, California 93622  
 Tel: (509) 528-4400  
 Fax: (509) 528-4300

8/20/2019  
UCR Signed

REFERENCE DRAWINGS	REFERENCE DRAWINGS	NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	NO.
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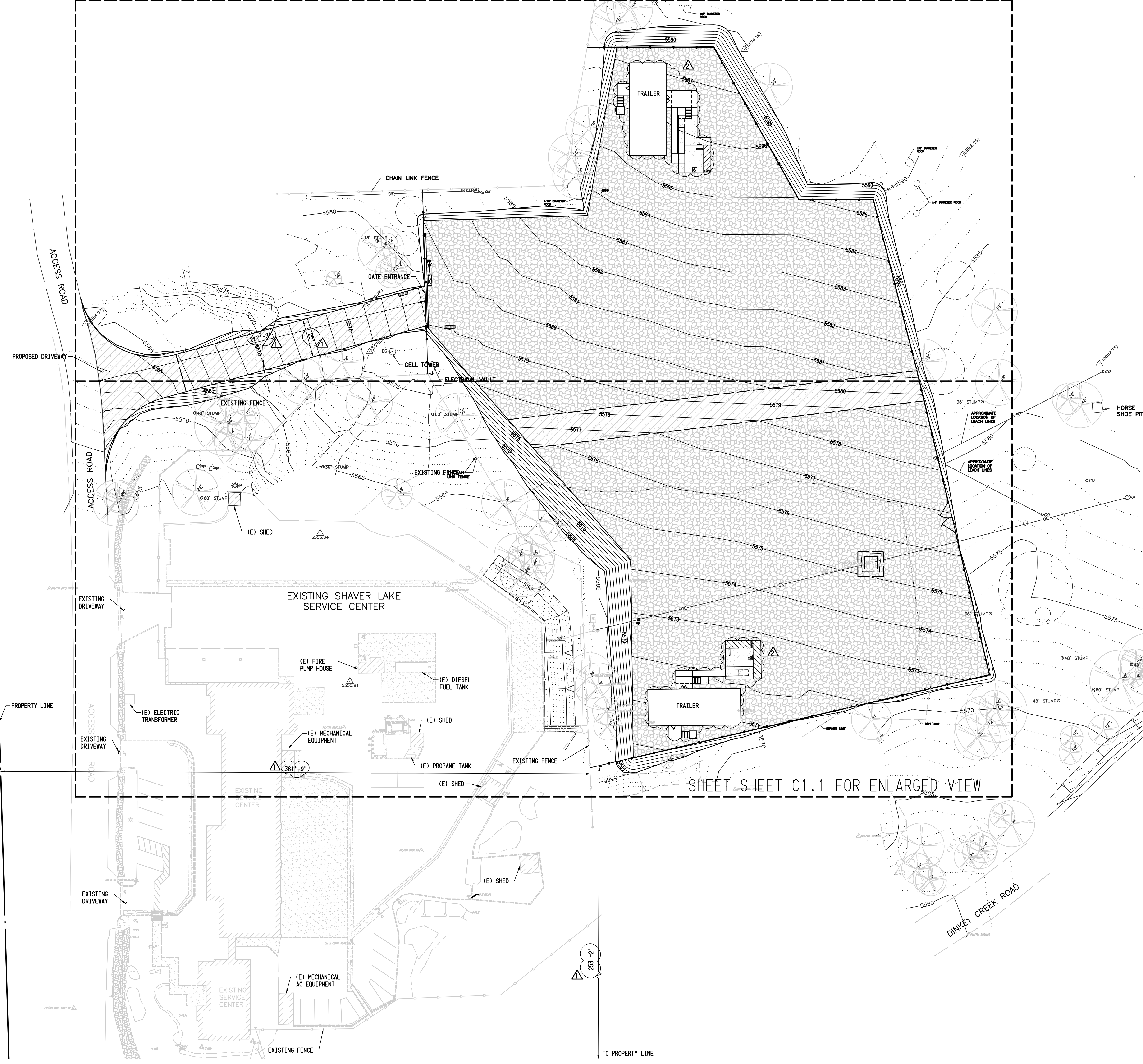
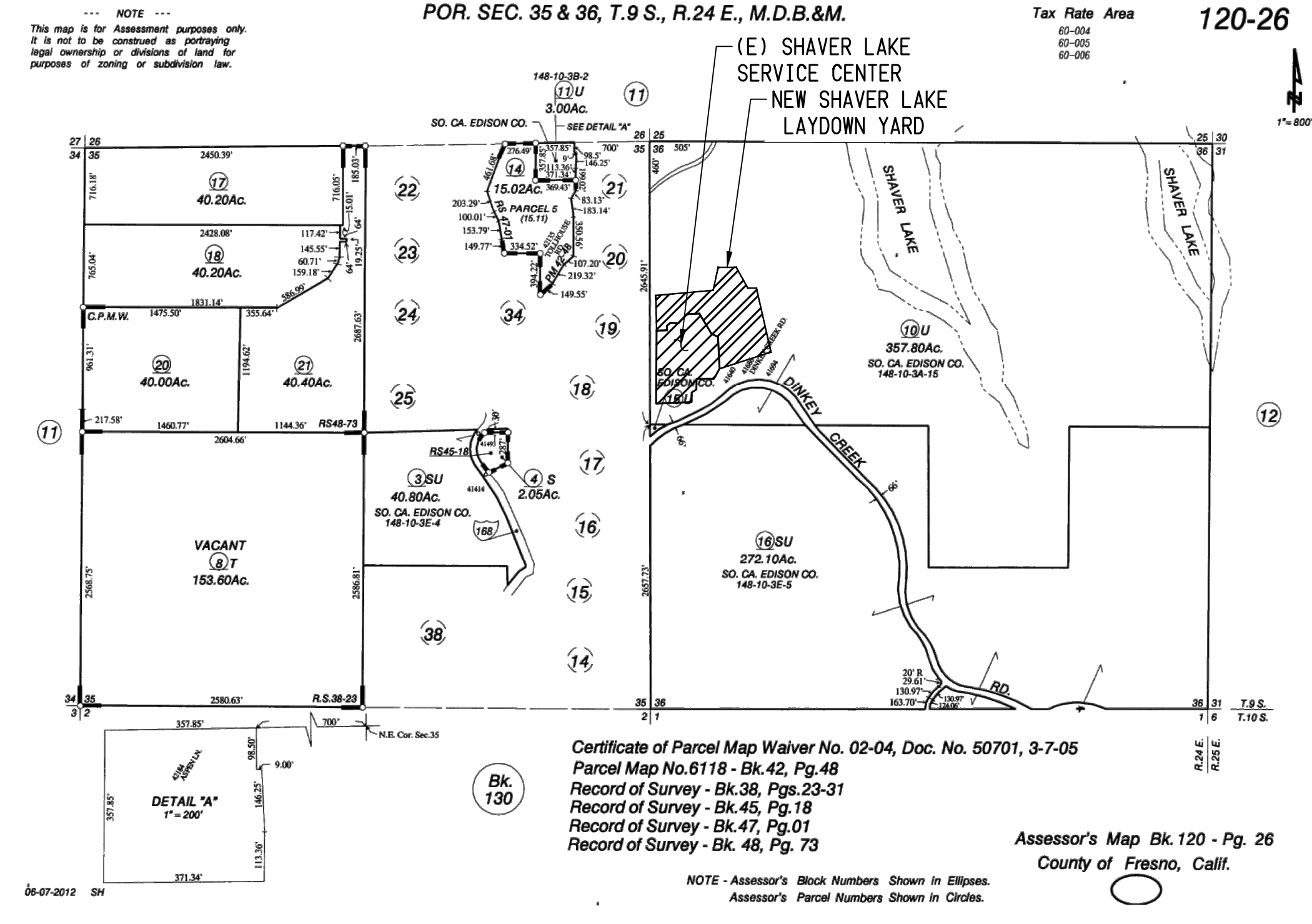
LOCATION: SHAVER LAKE, CALIFORNIA  
 SHAVER LAKE SERVICE CENTER  
 LAYDOWN YARD  
 TOPOGRAPHIC SURVEY AND DEMOLITION PLAN

**EDISON** An EDISON INTERNATIONAL Company

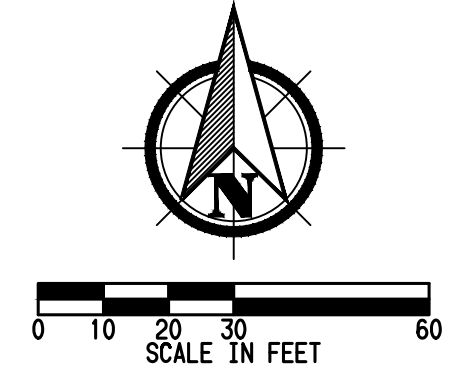
SHEET NO.  
**CO.1**  
 SCALE: 1" = 20'  
 3 OF 11 SHEETS

SHEET SHEET C1.0 FOR ENLARGED VIEW

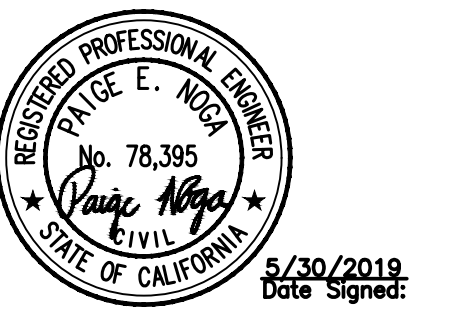
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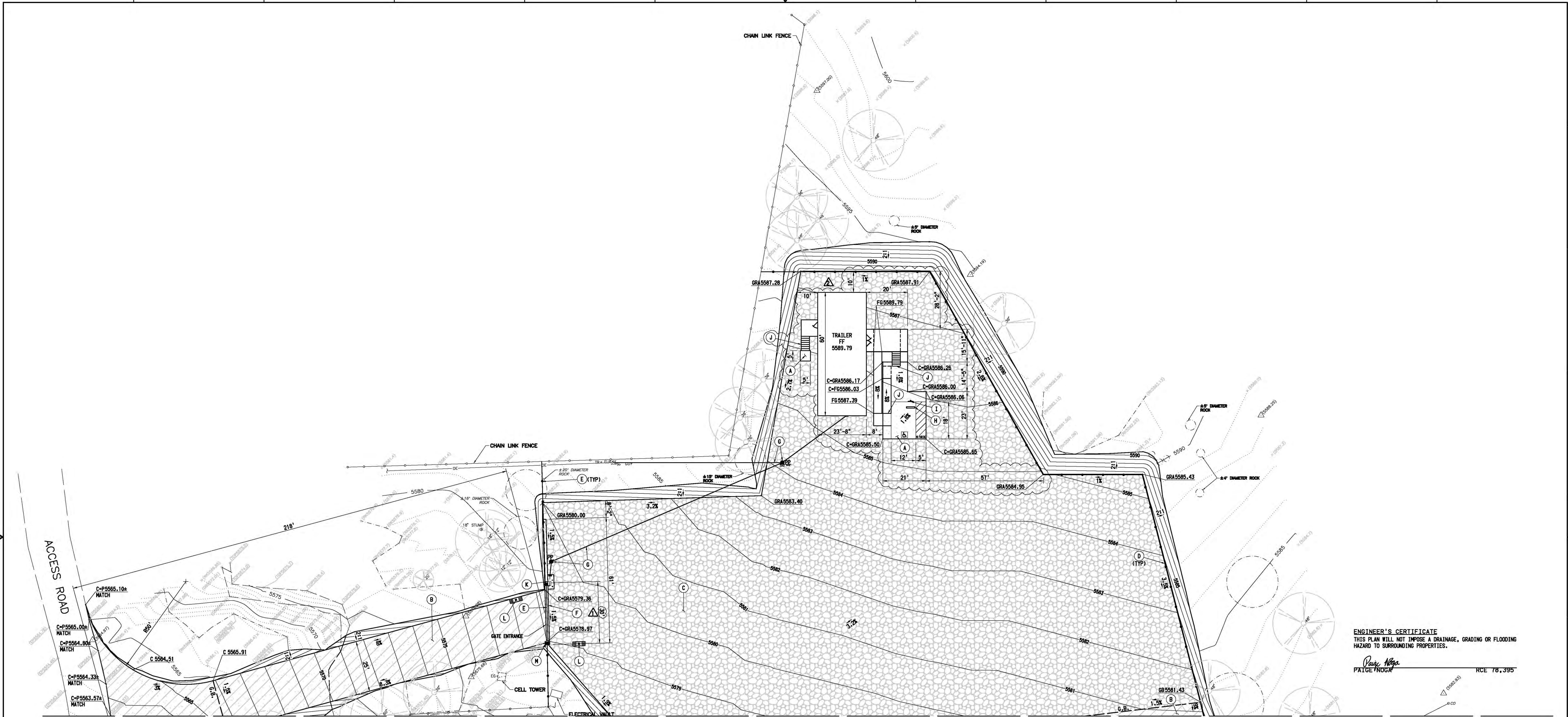
PLANS PREPARED BY:  
**Blair, Church & Flynn**  
 CONSULTING ENGINEERS  
 455 Civic Avenue, Suite 200  
 Clovis, California 93612  
 Tel (509) 238-5100  
 Fax (509) 238-5100



NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	
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LOCATION: SHAVER LAKE, CALIFORNIA  
 SHAVER LAKE SERVICE CENTER  
 LAYDOWN YARD  
 OVERALL SITE PLAN

SHEET NO. **C0.2**  
 SCALE: 1" = 30'  
 4 OF 11 SHTS.



ENGINEER'S CERTIFICATE  
 THIS PLAN WILL NOT IMPOSE A DRAINAGE, GRADING OR FLOODING HAZARD TO SURROUNDING PROPERTIES.  
 PAIGE TRUCK  
 HCE 78,395

MATCH LINE - SEE SHEET C1.1

CONSTRUCTION LEGEND

- (A) CONSTRUCT CONCRETE PAVEMENT IMPROVEMENTS PER DETAIL 1 (C2.0)
- (B) CONSTRUCT HEAVY DUTY CONCRETE PAVEMENT IMPROVEMENTS PER DETAIL 4 (C2.0)
- (C) CONSTRUCT GRAVEL IMPROVEMENTS PER DETAIL 3 (C2.0)
- (D) FURNISH AND INSTALL 8" HIGH CHAIN LINK FENCE PER DETAIL 1 (C2.1)
- (E) FURNISH AND INSTALL SLIDE GATE PER DETAIL 7 (C2.2)
- (F) FURNISH GATE TRACK FOUNDATION PER DETAIL 5 (C2.2)
- (G) NEW POWER POLE AND OVER HEAD ELECTRICAL LINE TO BE INSTALLED BY OTHERS
- (H) FURNISH AND INSTALL CONCRETE WHEELSTOP PER DETAIL 9 (C2.0)
- (I) FURNISH AND INSTALL ACCESSIBLE SIGN PER DETAIL 8 (C2.0)
- (J) STEEL RAMP AND STAIRS PER TRAILER PLANS
- (K) GATE CONTROLLER AND CHAMBERLAIN ELITE SL3000 MOTOR TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- (L) KEY PAD TO BE INSTALLED PER DETAIL 4 (C2.2)
- (M) SIGN PER DETAIL 2 (C2.0) 5 (C2.0)

GRADING LEGEND

- C CONCRETE
- FG FINISHED GRADE
- GB GRADE BREAK
- GRA GRAVEL
- P PAVEMENT
- GRA5583.00 NEW FINISHED SURFACE GRADE
- 1.0% DIRECTION OF DRAINAGE
- 5585 MAJOR CONTOURS
- MINOR CONTOURS

GENERAL GRADING AND DRAINAGE NOTES

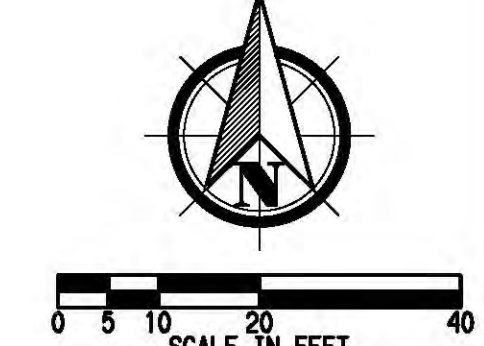
- THE REQUIREMENTS AND INFORMATION SET OUT BELOW ARE PROVIDED FOR THE CONTRACTOR'S CONVIENCE AND DO NOT ENCOMPASS ALL PROJECT REQUIREMENTS DESCRIBED BY THE PROJECT PLANS AND SPECIFICATIONS AND/OR APPLICABLE LAWS, REGULATIONS AND/OR BUILDING CODES.
- CONSTRUCTION OF ALL PROJECT SITE IMPROVEMENTS SUBJECT TO ADA ACCESS COMPLIANCE, INCLUDING ACCESSIBLE PATH OF TRAVEL, CURB RETURNS, PARKING STALL(S) AND UNLOADING AREAS, BARRIER FREE AMENITIES AND/OR OTHER APPLICABLE SITE IMPROVEMENTS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT, CALIFORNIA TITLE 24, AND THE CALIFORNIA BUILDING CODE, CURRENT EDITION(S).
  - CONTRACTOR SHALL FIELD VERIFY ALL GRADES AND SLOPES PRIOR TO THE PLACEMENT OF CONCRETE AND/OR PAVEMENT FOR CONFORMANCE WITH ADA ACCESS COMPLIANCE REQUIREMENTS. EXAMPLES OF MINIMUM AND MAXIMUM LIMITS RELATED TO ADA ACCESS COMPLIANCE INCLUDE, BUT ARE NOT LIMITED TO:
    - A) ACCESSIBLE PATH OF TRAVEL CROSS-SLOPE SHALL NOT EXCEED 2.00%
    - B) ACCESSIBLE PATH OF TRAVEL LONGITUDINAL SLOPES SHALL NOT EXCEED 5.00%
    - C) RAMP LONGITUDINAL SLOPES SHALL NOT EXCEED 8.33%
 WALKS SHALL NOT HAVE LESS THAN 48 INCHES IN UNOBSTRUCTED WIDTH
  - CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IDENTIFIED BY THE PROFESSIONAL ENGINEERING SEAL AND SIGNATURE ON THESE PLANS, OF ANY SITE CONDITION(S) AND/OR DESIGN INFORMATION THAT PREVENTS THE CONTRACTOR FROM COMPLYING WITH THE LAWS, REGULATIONS AND/OR BUILDING CODES GOVERNING ADA ACCESS COMPLIANCE.
  - GROUND SLOPES AWAY FROM BUILDING PADS IN LANDSCAPED OR DIRT AREAS SHALL BE NO LESS THAN 5.0% FOR AT LEAST TEN (10) FEET, OR AS OTHERWISE NOTED ON THE PLANS.
  - DRAINAGE SHALL NOT BE ALLOWED ONTO ADJACENT PROPERTY.

PROJECT DATA

TOTAL SITE AREA:	2.62 ACRE
NORTH STORAGE SPACE AREA:	1.01 ACRE
SOUTH STORAGE SPACE AREA:	1.19 ACRE
FILL:	4076.30 CU. YD.
IMPORT:	7177.22 CU. YD.
	3096.93 CU. YD.

PLANS PREPARED BY:  
**Blair Church & Flynn**  
 CONSULTING ENGINEERS  
 4855 Clivia Avenue, Suite 200  
 Chino, California 91710  
 Tel: (909) 526-6400  
 Fax: (909) 526-5800

REGISTERED PROFESSIONAL ENGINEER  
 No. 78,395  
 PAIGE ALGER  
 CIVIL  
 STATE OF CALIFORNIA  
 5/20/2019  
 DCE Signed



Drawing: P:\Site-Operations\Production\180001.dwg, C:\0 Site and Grading Plan - BFC.ctb  
 Plot for: Operations May 31, 2019 - 11:11 AM  
 SOUTHERN CALIFORNIA EDISON  
 2012 - 5 SIZE

REFERENCE DRAWINGS	NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	NO.
		BACKCHECK SUBMITTAL	01-30-19					PN	DM		PN																							
		BACKCHECK SUBMITTAL	05-30-19					PN	DM		PN																							

LOCATION: SHAVER LAKE, CALIFORNIA

SHAVER LAKE SERVICE CENTER  
 LAYDOWN YARD  
 SITE AND GRADING PLAN

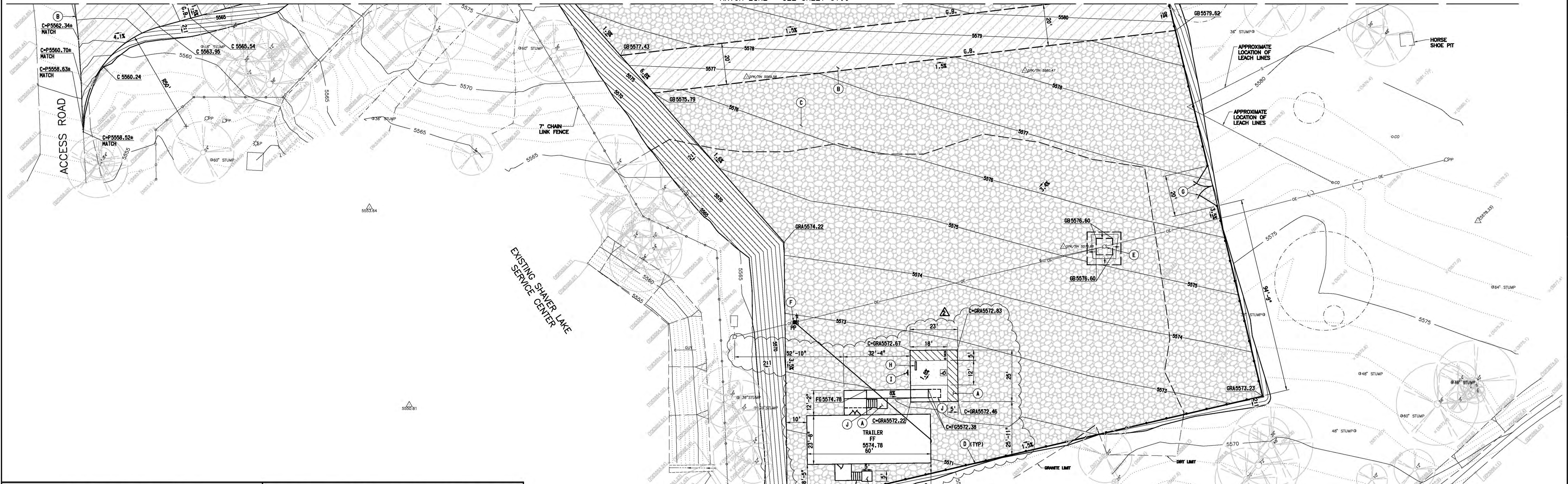
SHEET NO.  
**C1.0**

SCALE: 1" = 20'  
 5 OF 11 SHTS.

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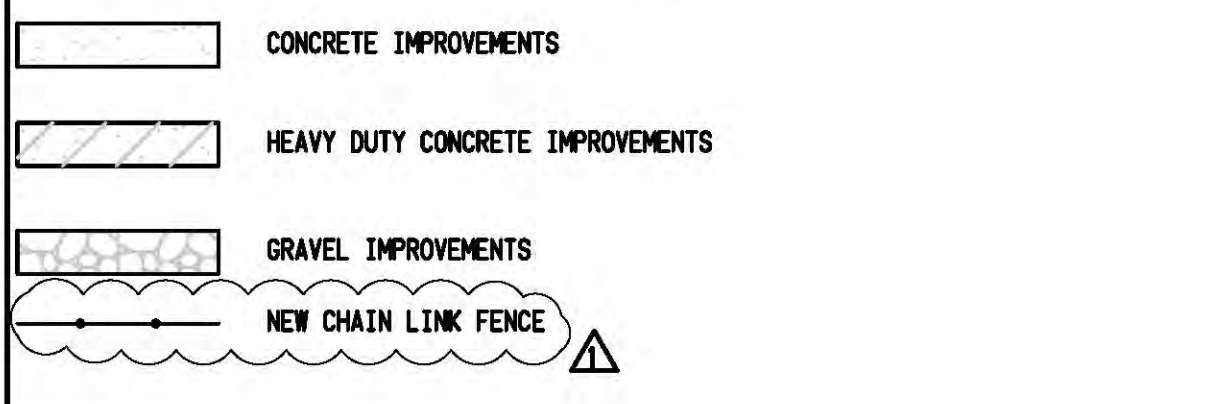


MATCH LINE - SEE SHEET C1.0



CONSTRUCTION LEGEND

- (A) CONSTRUCT CONCRETE PAVEMENT IMPROVEMENTS PER DETAIL  $\frac{1}{C2.0}$
- (B) CONSTRUCT HEAVY DUTY CONCRETE PAVEMENT IMPROVEMENTS PER DETAIL  $\frac{4}{C2.0}$
- (C) CONSTRUCT GRAVEL IMPROVEMENTS PER DETAIL  $\frac{3}{C2.0}$
- (D) FURNISH AND INSTALL 6" HIGH CHAIN LINK FENCE PER DETAIL  $\frac{1}{C2.1}$
- (E) PROVIDE 3:1 TRANSITION SLOPES AROUND POLES STARTING AT 3' OFFSET FROM OUTSIDE OF POLE
- (F) NEW POWER POLE AND OVER HEAD ELECTRICAL LINE TO BE INSTALLED BY OTHERS
- (G) FURNISH AND INSTALL 6" HIGH DOUBLE SWING GATE PER DETAIL  $\frac{8}{C2.2}$
- (H) FURNISH AND INSTALL CONCRETE WHEELSTOP PER DETAIL  $\frac{9}{C2.0}$
- (I) FURNISH AND INSTALL ACCESSIBLE SIGN PER DETAIL  $\frac{8}{C2.0}$
- (J) STEEL RAMP AND STAIRS PER TRAILER PLANS



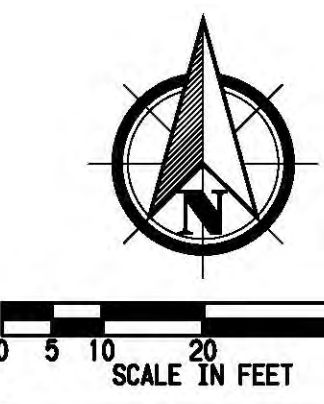
GENERAL GRADING AND DRAINAGE NOTES

1. CONSTRUCTION OF ALL PROJECT SITE IMPROVEMENTS SUBJECT TO ADA ACCESS COMPLIANCE, INCLUDING ACCESSIBLE PATH OF TRAVEL, CURB RETURNS, PARKING STALL(S) AND UNLOADING AREAS, BARRIER FREE AMENITIES AND/OR OTHER APPLICABLE SITE IMPROVEMENTS SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT, CALIFORNIA TITLE 24, AND THE CALIFORNIA BUILDING CODE, CURRENT EDITION(S).
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  - C) RAMP LONGITUDINAL SLOPES SHALL NOT EXCEED 8.33%
 WALKS SHALL NOT HAVE LESS THAN 48 INCHES IN UNOBSTRUCTED WIDTH
3. CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF RECORD, IDENTIFIED BY THE PROFESSIONAL ENGINEERING SEAL AND SIGNATURE ON THESE PLANS, OF ANY SITE CONDITION(S) AND/OR DESIGN INFORMATION THAT PREVENTS THE CONTRACTOR FROM COMPLYING WITH THE LAWS, REGULATIONS AND/OR BUILDING CODES GOVERNING ADA ACCESS COMPLIANCE.
4. GROUND SLOPES AWAY FROM BUILDING PADS IN LANDSCAPED OR DIRT AREAS SHALL BE NO LESS THAN 5.0% FOR AT LEAST TEN (10) FEET, OR AS OTHERWISE NOTED ON THE PLANS.
5. DRAINAGE SHALL NOT BE ALLOWED ONTO ADJACENT PROPERTY.
6. ALL FILL MATERIAL USED TO SUPPORT THE FOUNDATIONS OF ANY BUILDING OR STRUCTURE SHALL BE PLACED UNDER THE DIRECTION OF A LICENSED GEOTECHNICAL ENGINEER, AND IN COMPLIANCE WITH THE PROJECT SPECIFICATIONS. A SOILS COMPACTION REPORT SHALL BE SUBMITTED TO THE ENGINEER OF RECORD AS REQUIRED BY THE PROJECT SPECIFICATIONS.
7. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS REQUIRED BY GOVERNING PUBLIC AGENCIES.
8. THE CONTRACTOR SHALL IMPLEMENT A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY GOVERNING PUBLIC AGENCIES.
9. CONTRACTOR TO MATCH EXISTING PAVEMENT GRADE AT ALL NEW PAVEMENT LOCATIONS UNLESS OTHERWISE NOTED ON THE PLANS.

GRADING LEGEND

- C CONCRETE
- FG FINISHED GRADE
- GB GRADE BREAK
- GRA GRAVEL
- P PAVEMENT
- GRA5883.00 NEW FINISHED SURFACE GRADE
- 1.5% DIRECTION OF DRAINAGE
- 5585 MAJOR CONTOURS
- MINOR CONTOURS

ENGINEER'S CERTIFICATE  
 THIS PLAN WILL NOT IMPOSE A DRAINAGE, GRADING OR FLOODING HAZARD TO SURROUNDING PROPERTIES.  
 Paul A. Flynn  
 PAUL A. FLYNN  
 HCE 78,395



PLANS PREPARED BY:  
**Blair Church & Flynn**  
 CONSULTING ENGINEERS  
 4855 Clarks Avenue, Suite 200  
 Clark, California 95622  
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 Fax: (916) 238-6400



NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	
	BACKCHECK SUBMITTAL	01-30-19					PN	DM		PN												
	BACKCHECK SUBMITTAL	05-30-19					PN	DM		PN												

LOCATION: SHAVER LAKE, CALIFORNIA

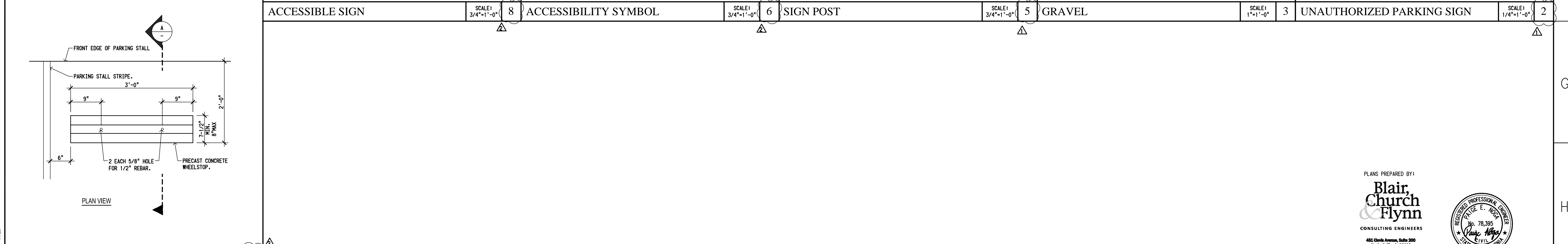
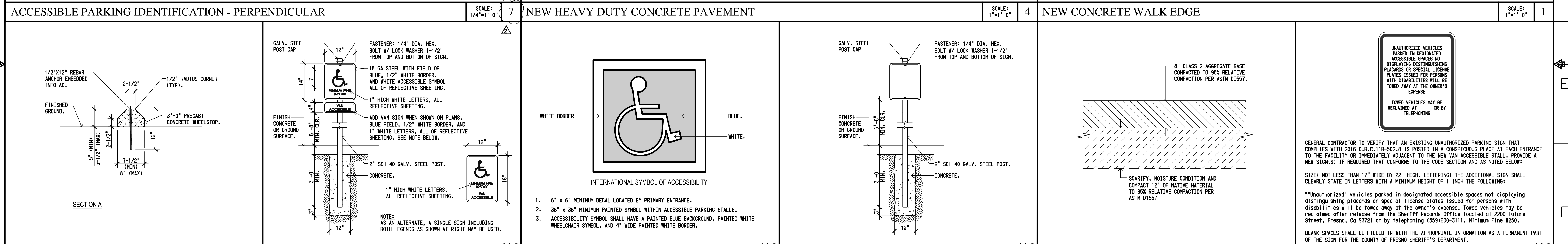
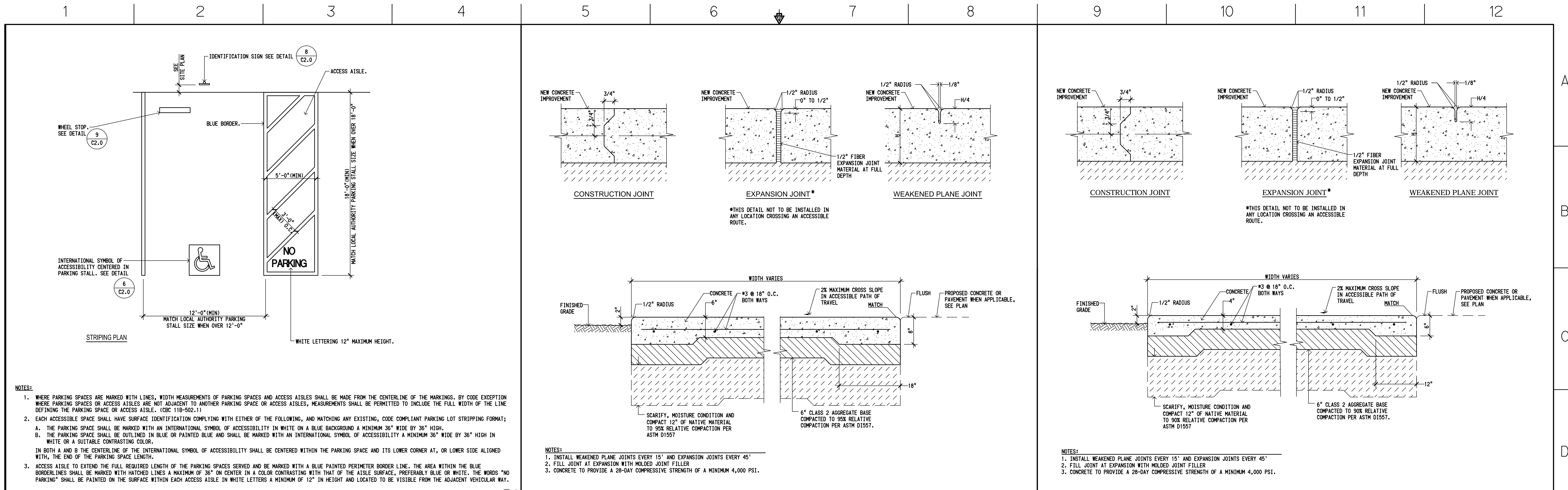
SHAVER LAKE SERVICE CENTER  
 LAYDOWN YARD  
 SITE AND GRADING PLAN

SHEET NO.  
**C1.1**

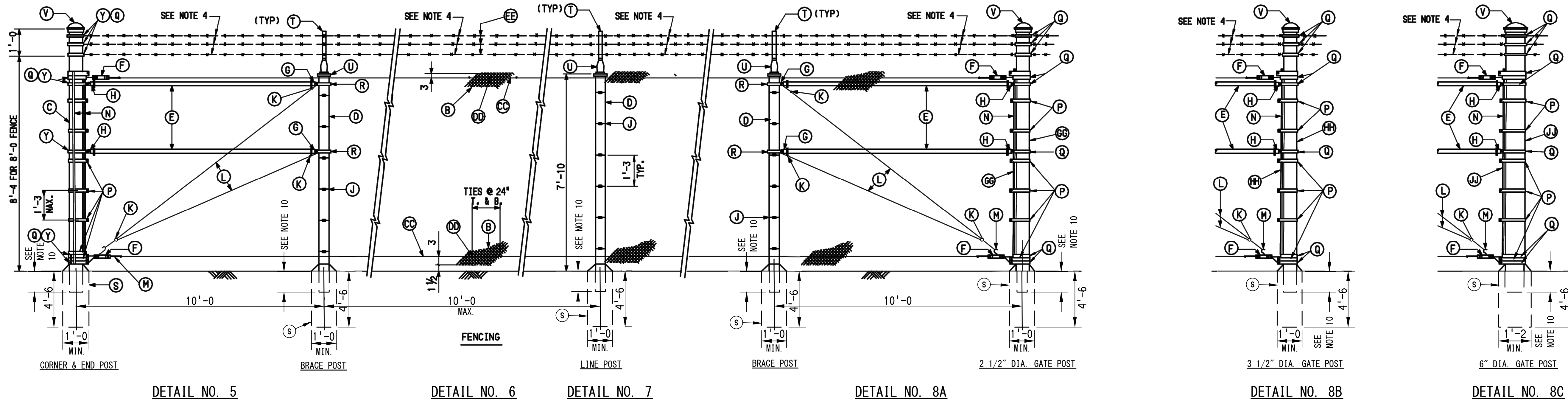
SCALE: 1" = 20'

6 OF 11 SHTS.

Drawing: P:\016-00001\016-00001\016-00001.dwg, C1.1 Site and Grading Plan - BFC.ctb  
 Plot for: Operations May 31, 2019 11:11 AM  
 SOUTHERN CALIFORNIA EDISON  
 2012 - 5 SIZE

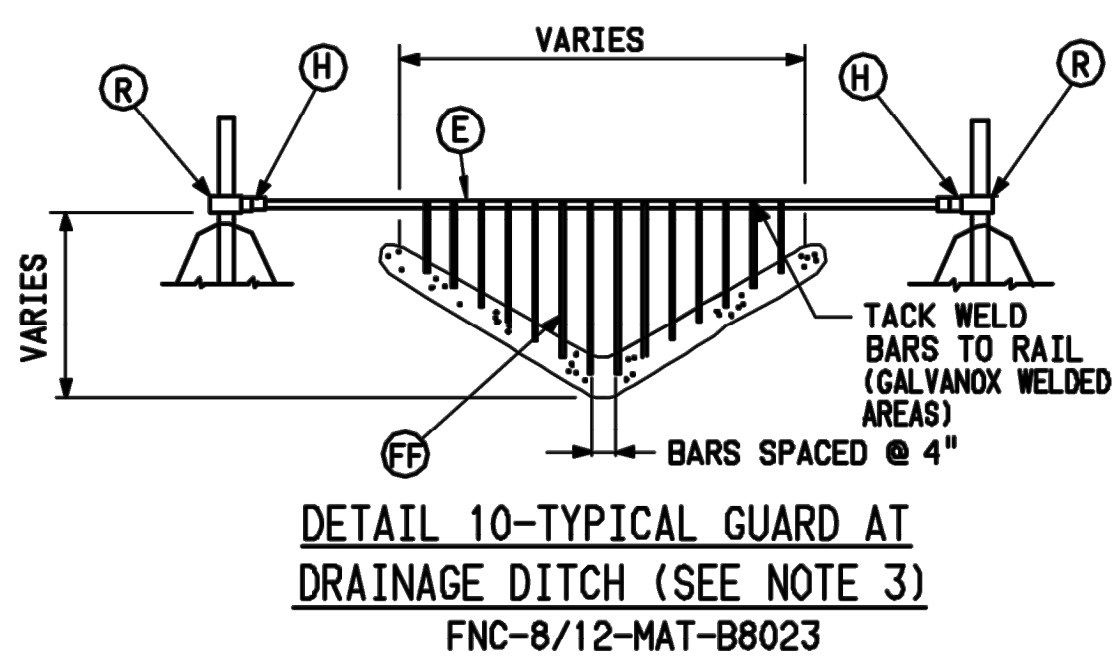
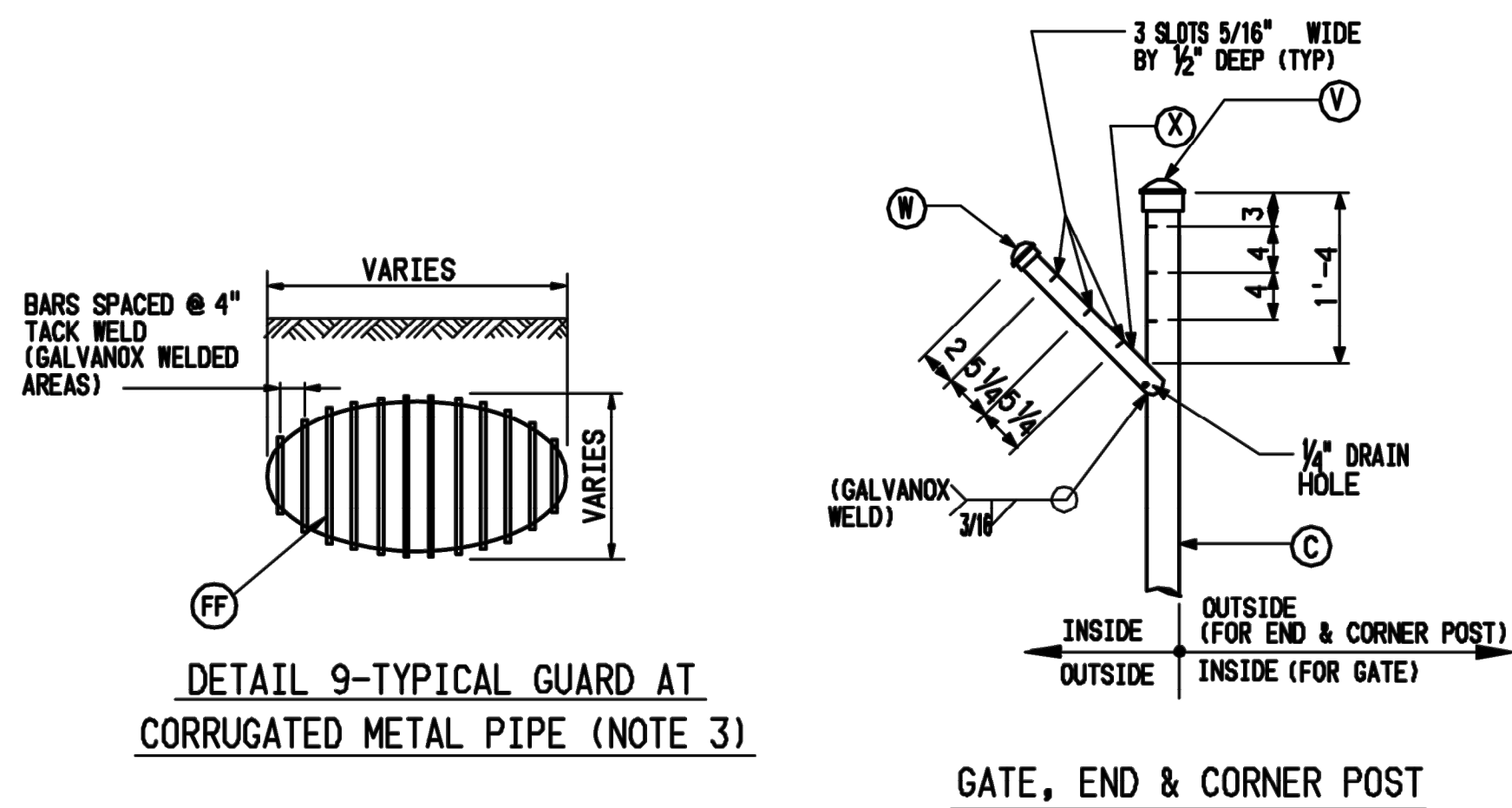


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1	BACKCHECK SUBMITTAL	01-30-19					PN	DM		PN													
2	BACKCHECK SUBMITTAL	05-30-19					PN	DM		PN													



MATERIAL LIST	
ITEM	DESCRIPTION
B	CHAIN LINK FENCE FABRIC, 9 GAUGE GALV. STEEL WIRE, 2" x 2", 8'-0" HIGH
C	CORNER POSTS AND END POSTS 2 1/2" DIA. PIPE FOR 8'-0" FENCE 3 1/2" DIA. PIPE FOR 12'-0" FENCE
D	2" DIA. PIPE FOR 8'-0" FENCE
E	1 1/4" # PIPE, RAIL
F	3/8" x 6" EYE & EYE TURNBUCKLE
G	RAIL END FOR 1 1/4" # PIPE, 1 3/8" # O.D. W/ TENSION EYE
H	RAIL END FOR 1 1/4" # PIPE, 1 3/8" # O.D.
J	9 GA. ALUMINUM TIE WIRE
K	CLIP, 1/4" CROSSBY WIRE ROPE
L	1/4" GALV. STEEL STRAND OR APPROVED EQUAL
M	TRUSS ROD TIGHTENER (1/2" MIN. EYE BOLT W/ HEX NUT 6" MIN. THREAD)
N	3/8" x 3/4" TENSION BAR
P	TENSION BAND (1/8" x 1") FOR 2 1/2" # PIPE TENSION BAND (1/8" x 1") FOR 3 1/2" # PIPE TENSION BAND (1/8" x 1") FOR 6" # PIPE

MATERIAL LIST	
ITEM	DESCRIPTION
Q	BRACE BAND (1/8" x 1") FOR 2 1/2" # PIPE BRACE BAND (1/8" x 1") FOR 3 1/2" # PIPE BRACE BAND (1/8" x 1") FOR 6" # PIPE
R	BRACE BAND (1/8" x 1") FOR 2" # PIPE
S	POST FOUNDATION, CONCRETE 2500 PSI @ 28 DAYS POST FOUNDATION CAP MAYBE SUBSTITUTED WITH GROUT
T	EXTENTION ARM FOR MOUNTING BARBED WIRE
U	BARBED WIRE ARM BASE, FOR 2" # PIPE
V	POST CAP FOR 2 1/2" # PIPE POST CAP FOR 3 1/2" # PIPE POST CAP FOR 6" # PIPE
W	POST CAP FOR 1 1/2" # PIPE
X	1 1/2" # PIPE, 1'-6" LONG, GALV.
Y	CORNER BRACE BAND (1/8" x 1") FOR 2 1/2" # PIPE
CC	STIFFENER WIRE, 7 GAUGE GALV. STEEL WIRE
DD	ALUMINUM #4 TIE WIRE, 4" LONG OR HOG RING
EE	BARBED WIRE, 12 1/2 GAUGE GALV. METAL
FF	#5 ASTM A615 GR. 60 BAR
GG	2 1/2" DIA. PIPE, GATE POST
HH	3 1/2" DIA. PIPE, GATE POST
JJ	6" DIA. PIPE, GATE POST



- GENERAL NOTES**
- ALL MATERIAL SHALL BE HOT DIP GALVANIZED.
  - FOR TOP AND BOTTOM TENSION WIRES (CC), PROVIDE ONE TURNBUCKLE FOR EACH RUN OF 300 FEET MAXIMUM.
  - AT LOCATIONS ALONG THE FENCE WHERE IT IS IMPOSSIBLE TO MAKE THE FENCE FABRIC CONFORM TO THE IRREGULARITIES OF THE EARTH'S SURFACE, SUCH AS DRAINAGE DITCHES, APPROVED GUARDS SHALL BE PROVIDED TO PREVENT ENTRY FROM UNDER THE FENCE. CORRUGATED METAL PIPING (8" DIA. AND ABOVE) WHICH EXTEND FROM THE INSIDE TO THE OUTSIDE OF SUBSTATION FENCING, SHALL BE EQUIPPED WITH GUARDS ON BOTH PIPE ENDS. SEE GRADING DRAWING FOR TYPICAL GUARD LOCATION.
  - 3 STRANDS OF BARBED WIRE OUTSIDE OF SUBSTATION AND 2 STRANDS OF BARBED WIRE INSIDE. SEE SECTION "A-A" ECS 71-03-02, S4 TYPICAL ALL FENCES.
  - FOR ASSEMBLY CODES SEE ECS 71-03-01, S1.
  - ALL PIPE SIZES ARE NOMINAL. SEE TABLE 1 ON ECS 71-03-01, S1 FOR ACTUAL O.D.
  - ALL PIPE MAY BE SCHEDULE 40 OR TUF-40.
  - SEE ECS 71-03-02, S5 FOR GATE POST FOR ROLLING GATES.
  - FENCE AND POST SHALL BE COATED GREEN TO MATCH EXISTING.
  - FENCE POST EMBEDMENT AS REQUIRED PER FENCE MANUFACTURER.

8 FT. HIGH CHAIN LINK FENCE WITH BARBED WIRE

SCALE: 1/4"=1'-0" 1

PLANS PREPARED BY:  
**Blair, Church & Flynn**  
 CONSULTING ENGINEERS  
 465 Clovis Avenue, Suite 200  
 Clovis, California 93622  
 Tel: (559) 258-4400  
 Fax: (559) 258-2100

REGISTERED PROFESSIONAL ENGINEER  
 STATE OF CALIFORNIA  
 No. 78,395  
 DATE: 6/20/2019  
 0618 Signed

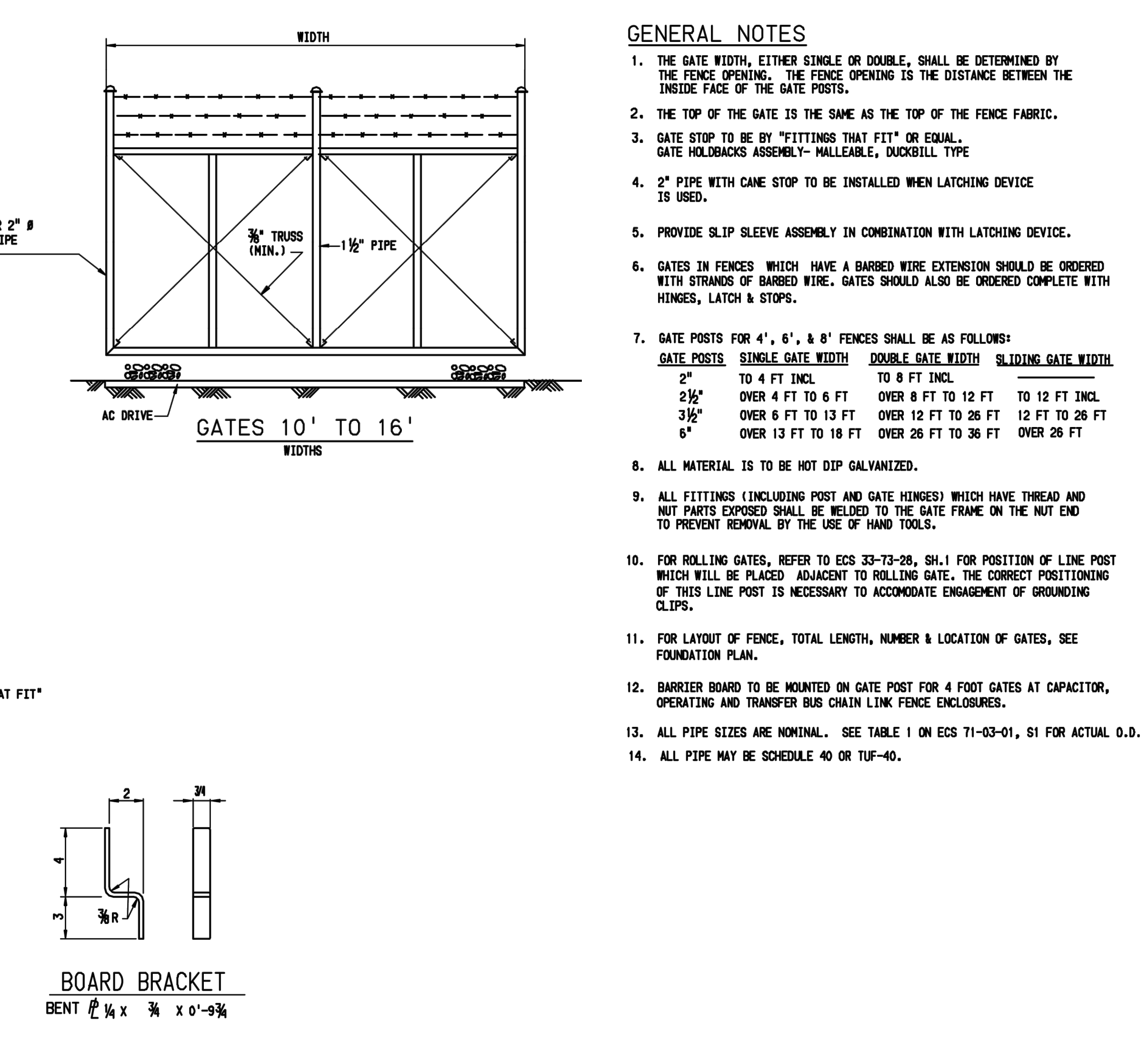
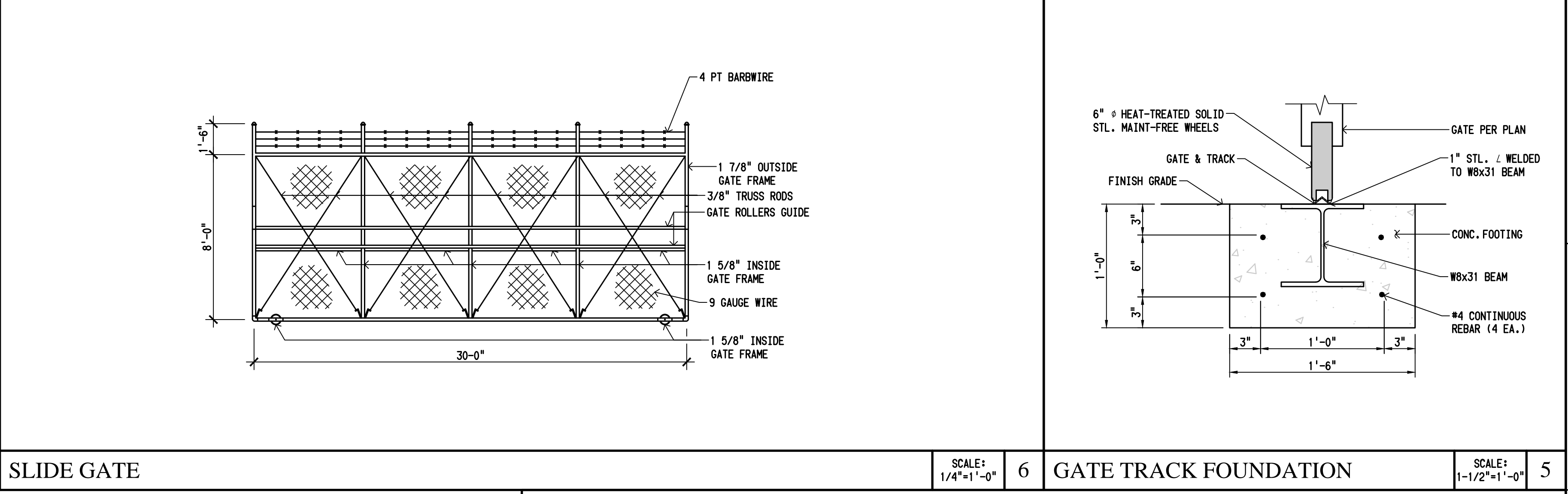
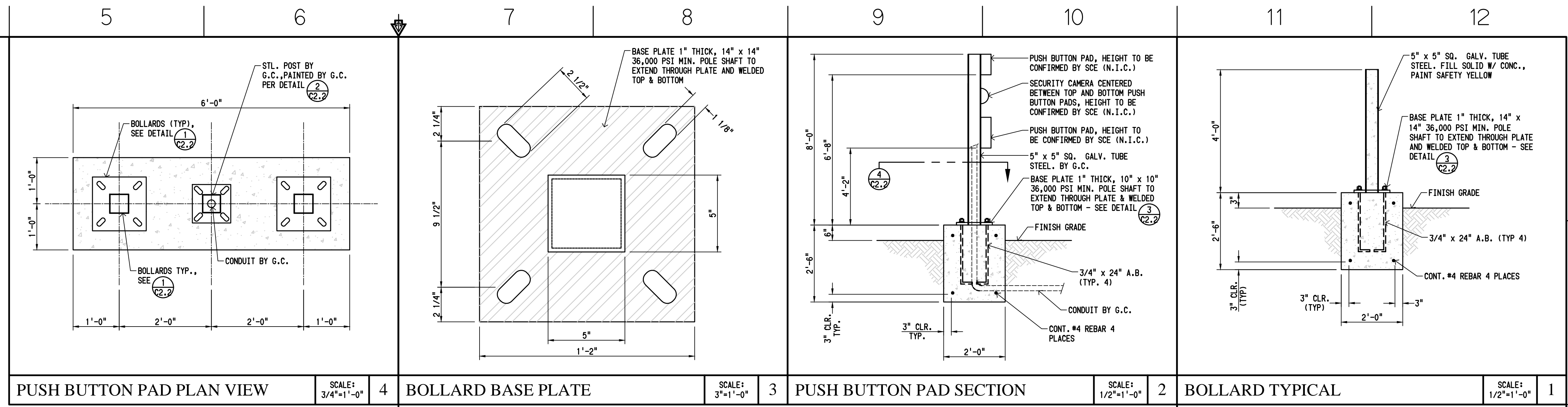
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	BACKCHECK SUBMITTAL	01-30-19				PN	DM		PN										
	BACKCHECK SUBMITTAL	05-30-19				PN	DM		PN										

LOCATION: SHAVER LAKE, CALIFORNIA

SHAVER LAKE SERVICE CENTER  
 LAYDOWN YARD  
 SITE DETAILS

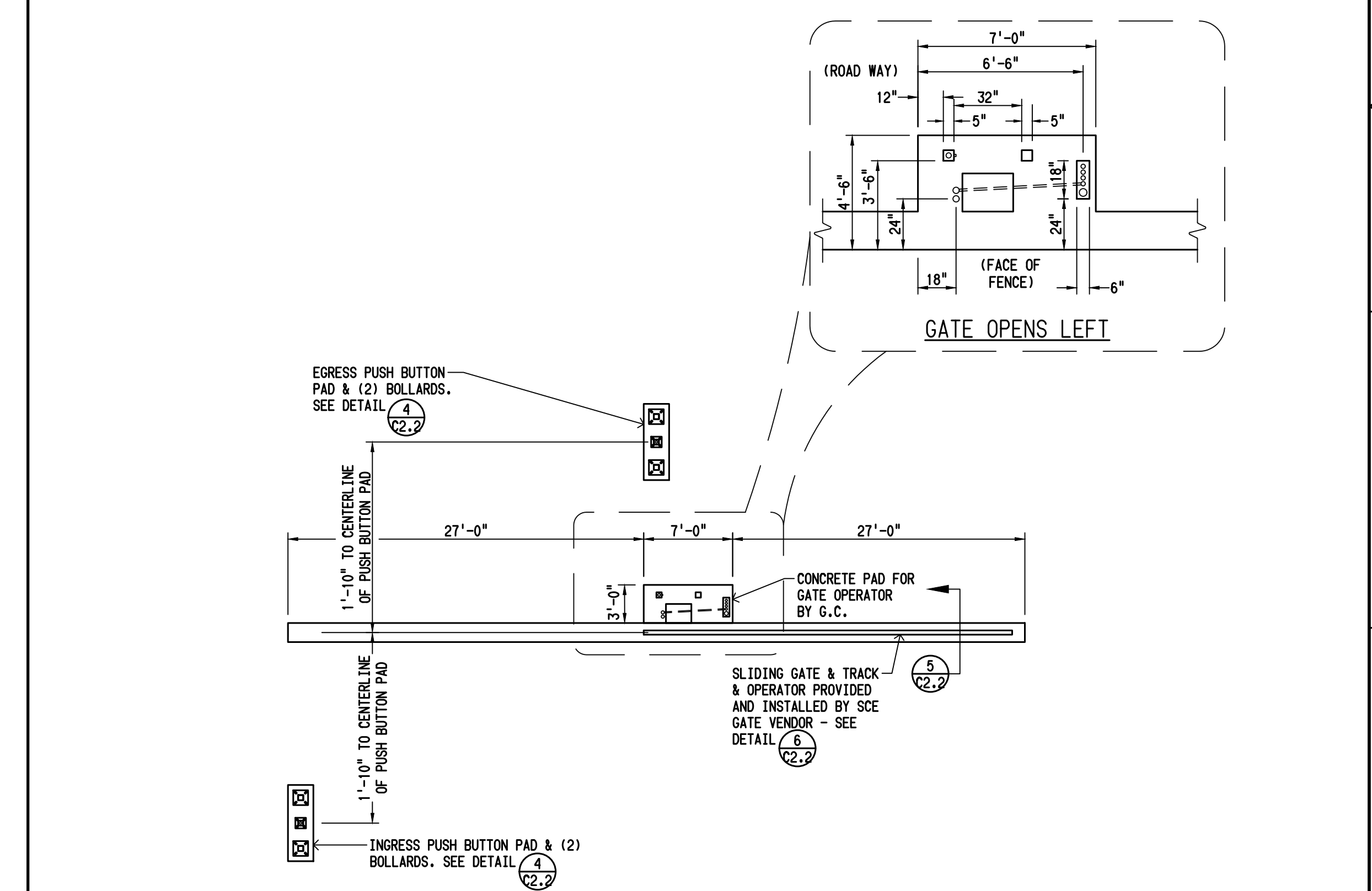
**EDISON** An EDISON INTERNATIONAL Company

SHEET NO. C2.1  
 SCALE: AS NOTED  
 8 OF 11 SHTS.



- GENERAL NOTES**
- THE GATE WIDTH, EITHER SINGLE OR DOUBLE, SHALL BE DETERMINED BY THE FENCE OPENING. THE FENCE OPENING IS THE DISTANCE BETWEEN THE INSIDE FACE OF THE GATE POSTS.
  - THE TOP OF THE GATE IS THE SAME AS THE TOP OF THE FENCE FABRIC.
  - GATE STOP TO BE BY "FITTINGS THAT FIT" OR EQUAL. GATE HOLDBACKS ASSEMBLY- MALLEABLE, DUCKBILL TYPE.
  - 2" PIPE WITH CANE STOP TO BE INSTALLED WHEN LATCHING DEVICE IS USED.
  - PROVIDE SLIP SLEEVE ASSEMBLY IN COMBINATION WITH LATCHING DEVICE.
  - GATES IN FENCES WHICH HAVE BARBED WIRE EXTENSION SHOULD BE ORDERED WITH STRANDS OF BARBED WIRE. GATES SHOULD ALSO BE ORDERED COMPLETE WITH HINGES, LATCH & STOPS.
  - GATE POSTS FOR 4', 6', & 8' FENCES SHALL BE AS FOLLOWS:  

GATE POSTS	SINGLE GATE WIDTH	DOUBLE GATE WIDTH	SLIDING GATE WIDTH
2"	TO 4 FT INCL	TO 8 FT INCL	
2 1/2"	OVER 4 FT TO 6 FT	OVER 8 FT TO 12 FT	TO 12 FT INCL
3 1/2"	OVER 6 FT TO 13 FT	OVER 12 FT TO 26 FT	12 FT TO 26 FT
6"	OVER 13 FT TO 18 FT	OVER 26 FT TO 36 FT	OVER 26 FT
  - ALL MATERIAL IS TO BE HOT DIP GALVANIZED.
  - ALL FITTINGS (INCLUDING POST AND GATE HINGES) WHICH HAVE THREAD AND NUT PARTS EXPOSED SHALL BE WELDED TO THE GATE FRAME ON THE NUT END TO PREVENT REMOVAL BY THE USE OF HAND TOOLS.
  - FOR ROLLING GATES, REFER TO ECS 33-73-28, SH.1 FOR POSITION OF LINE POST WHICH WILL BE PLACED ADJACENT TO ROLLING GATE. THE CORRECT POSITIONING OF THIS LINE POST IS NECESSARY TO ACCOMMODATE ENGAGEMENT OF GROUNDING CLIPS.
  - FOR LAYOUT OF FENCE, TOTAL LENGTH, NUMBER & LOCATION OF GATES, SEE FOUNDATION PLAN.
  - BARRIER BOARD TO BE MOUNTED ON GATE POST FOR 4 FOOT GATES AT CAPACITOR, OPERATING AND TRANSFER BUS CHAIN LINK FENCE ENCLOSURES.
  - ALL PIPE SIZES ARE NOMINAL. SEE TABLE 1 ON ECS 71-03-01, S1 FOR ACTUAL O.D.
  - ALL PIPE MAY BE SCHEDULE 40 OR TUF-40.



Drawing: P:\218-0000\Drawings\Automatic Gate Details.dwg: C2.2 Automatic and Swing Gate Details - BCF.ctb  
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PLANS PREPARED BY:

**Blair Church & Flynn**  
CONSULTING ENGINEERS

465 Clovis Avenue, Suite 200  
Clovis, California 93222  
Tel: (509) 528-4400  
Fax: (509) 528-4300

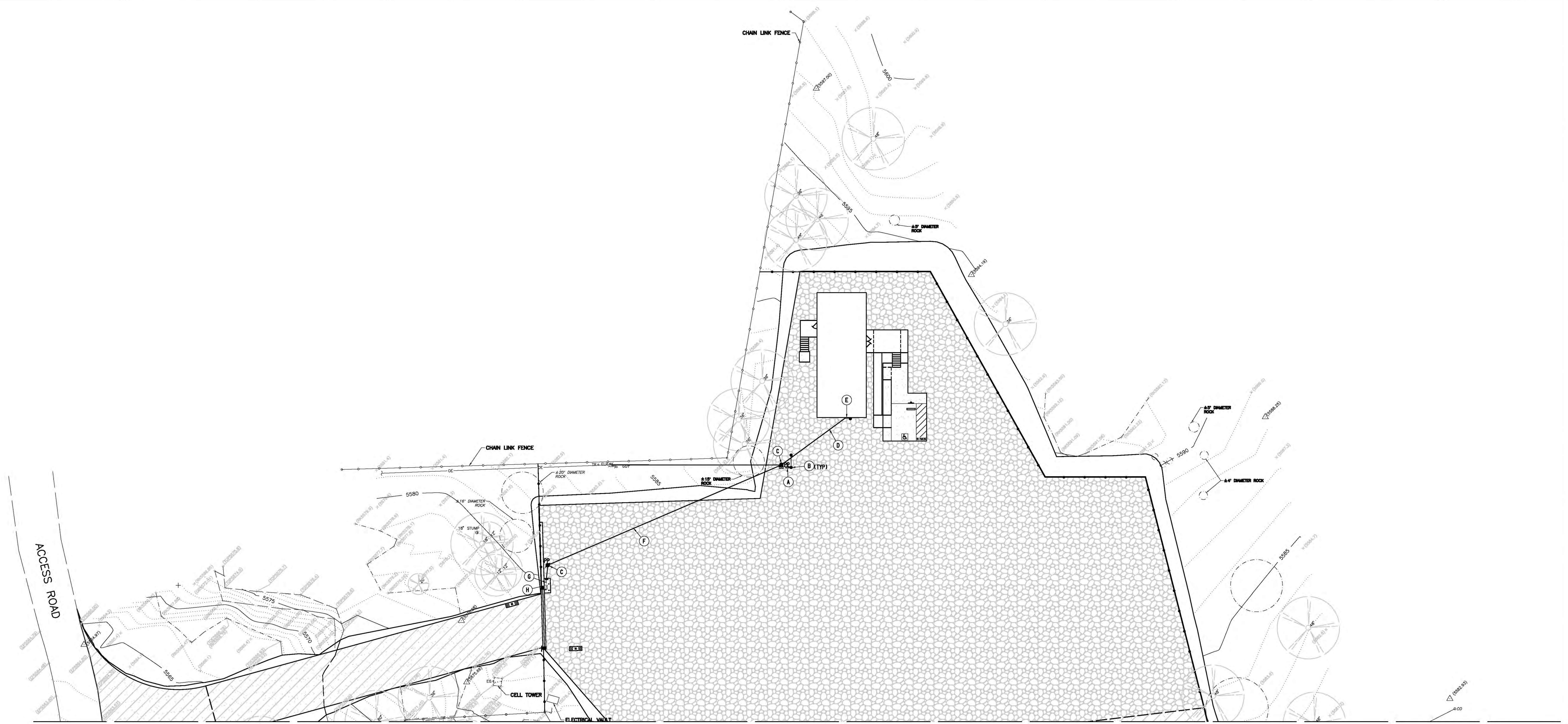
REGISTERED PROFESSIONAL ENGINEER  
STATE OF CALIFORNIA  
No. 78,395  
Date: 6/20/2019

LOCATION: SHAVER LAKE, CALIFORNIA

SHAVER LAKE SERVICE CENTER  
LAYDOWN YARD  
AUTOMATIC AND SWING GATE DETAILS

SHEET NO. C2.2

SCALE: 9 OF 11 SHTS.



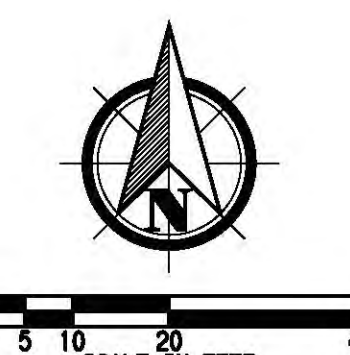
MATCH LINE - SEE SHEET E1.1

**ELECTRICAL LEGEND**

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>(A) FURNISH AND INSTALL 120/240V, 400 AMP SERVICE CT METER AND DISTRIBUTION PANEL "A" PER SCE ESR 2-32 &amp; 2-33 STANDARDS. SEE SINGLE LINE FOR BREAKERS</li> <li>(B) GROUND ROD 12" (MIN) BELOW SURFACE</li> <li>(C) SCE TO FURNISH AND INSTALL POWER POLE AND POLE HARDWARE (200 AMP PANEL)</li> <li>(D) FURNISH AND INSTALL OVERHEAD 1/0 TRIPLEX ACSR FROM SERVICE METER TO FUTURE TRAILERS PER SCE STANDARDS</li> <li>(E) 100A, 120/240V, SINGLE PHASE TRAILER PANEL "A". SCE TO FURNISH AND INSTALL EQUIPMENT FOR OVERHEAD SERVICE ENTRANCE</li> <li>(F) FURNISH AND INSTALL OVERHEAD #6 TRIPLEX ACSR FROM SERVICE METER TO PROPOSED GATE MOTOR POWER POLE</li> <li>(G) TRANSITION FROM #6 TRIPLEX ACSR OVERHEAD TO (1) 1" U.S. SCH. 40 PVC RITH (2) #8 CU THW-2 AND (1) #10 GND. CONDUIT AND CONDUCTOR INSTALLATION PER SCE STANDARDS</li> <li>(H) GATE CONTROLLER AND CHAMBERLAIN ELITE SL3000 1/2 HP MOTOR TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS</li> <li>(I) 200A, 120/240V, SINGLE PHASE TRAILER PANEL "D". SCE TO FURNISH AND INSTALL EQUIPMENT FOR OVERHEAD SERVICE ENTRANCE</li> </ul> | <ul style="list-style-type: none"> <li>(J) FURNISH AND INSTALL 120/240V, 400 AMP SERVICE CT METER AND DISTRIBUTION PANEL "B" PER SCE ESR 2-32 &amp; 2-33 STANDARDS. SEE SINGLE LINE FOR BREAKERS</li> <li> PROPOSED SERVICE CT METER AND DISTRIBUTION PANEL</li> <li> FUTURE TRAILER DISTRIBUTION PANEL</li> <li> 1/2" x 6" COOPER CLAD GROUND ROD, ERICO OR APPROVED EQUAL</li> <li> BURIED BARE COPPER GROUND WIRE</li> <li> SERVICE CONDUCTOR, SEE SINGLE LINE</li> </ul> |
|--|--|

**GENERAL NOTES**

- THE REQUIREMENTS AND INFORMATION SET OUT BELOW ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE AND DO NOT ENCOMPASS ALL PROJECT REQUIREMENTS DESCRIBED BY THE PROJECT PLANS AND SPECIFICATIONS AND/OR APPLICABLE LAWS, REGULATIONS AND/OR BUILDING CODES.
- ELECTRICAL UTILITY LINE TO BE PROTECTED IN PLACE WHEN POSSIBLE. IF ANY CONSTRUCTION CONSTRAINTS ARE ENCOUNTERED DURING THE INSTALLATION OF THE ELECTRICAL EQUIPMENT REMOVE AND RELOCATE THE ELECTRICAL LINE AS NEEDED. IF THE ELECTRICAL LINE CANNOT BE SALVAGED THE CONTRACTOR MUST LAWFULLY DISPOSE OF THE ELECTRICAL LINE AND REPLACE WITH LINE AND KIND.
  - ALL ELECTRICAL POWER IN CLOSE PROXIMITY TO THE INSTALLATION OF THE ELECTRICAL EQUIPMENT MUST BE POWERED OFF PRIOR TO THE START OF CONSTRUCTION, TO PREVENT ANY ELECTRICAL INJURIES.
  - HAND DIG ALL UTILITIES IN CLOSE PROXIMITY TO THE INSTALLATION OF THE ELECTRICAL EQUIPMENT TO AVOID DAMAGING ANY UTILITY LINE.
  - SEE SINGLE LINE DIAGRAM ON SHEET E1.1.
  - THE METHODS CONTAINED IN CEC/NEC ARTICLE 250 SHALL BE FOLLOWED TO COMPLY WITH GROUNDING AND BONDING OF ELECTRICAL SYSTEMS AND NON-CURRENT CARRYING CONDUCTIVE MATERIALS, ENCLOSURES, OR ITEMS FORMING PART OF ANY SUCH EQUIPMENT THAT ENCLOSES OR CARRIES ELECTRICAL CONDUCTOR OR EQUIPMENT THAT IS LIKELY TO BECOME ENERGIZED. SEE CEC/NEC 250.4(A)(1) THROUGH (5) FOR FURTHER DESCRIPTION.
  - WHERE TWO OR MORE GROUND RODS ARE TO BE INSTALLED, THE MINIMUM SEPARATION SHALL BE 6' PER CEC/NEC 250.53 (A)(2), AND (3) RESISTANCE OF ELECTRODES.
  - ALL CONDUITS SHALL COMPLY WITH CEC/NEC TABLE 300.5 MINIMUM BURIAL DEPTH.
  - PER CEC/NEC 110.26 "ACCESS AND WORKING SPACE SHALL BE PROVIDED AND MAINTAINED ABOUT ALL ELECTRICAL EQUIPMENT TO PERMIT READY AND SAFE OPERATION AND MAINTENANCE OF SUCH EQUIPMENT."



PLANS PREPARED BY:

**Blair, Church & Flynn**  
CONSULTING ENGINEERS

465 Clovis Avenue, Suite 200  
Clovis, California 93612  
Tel: (509) 526-6400  
Fax: (509) 526-6100

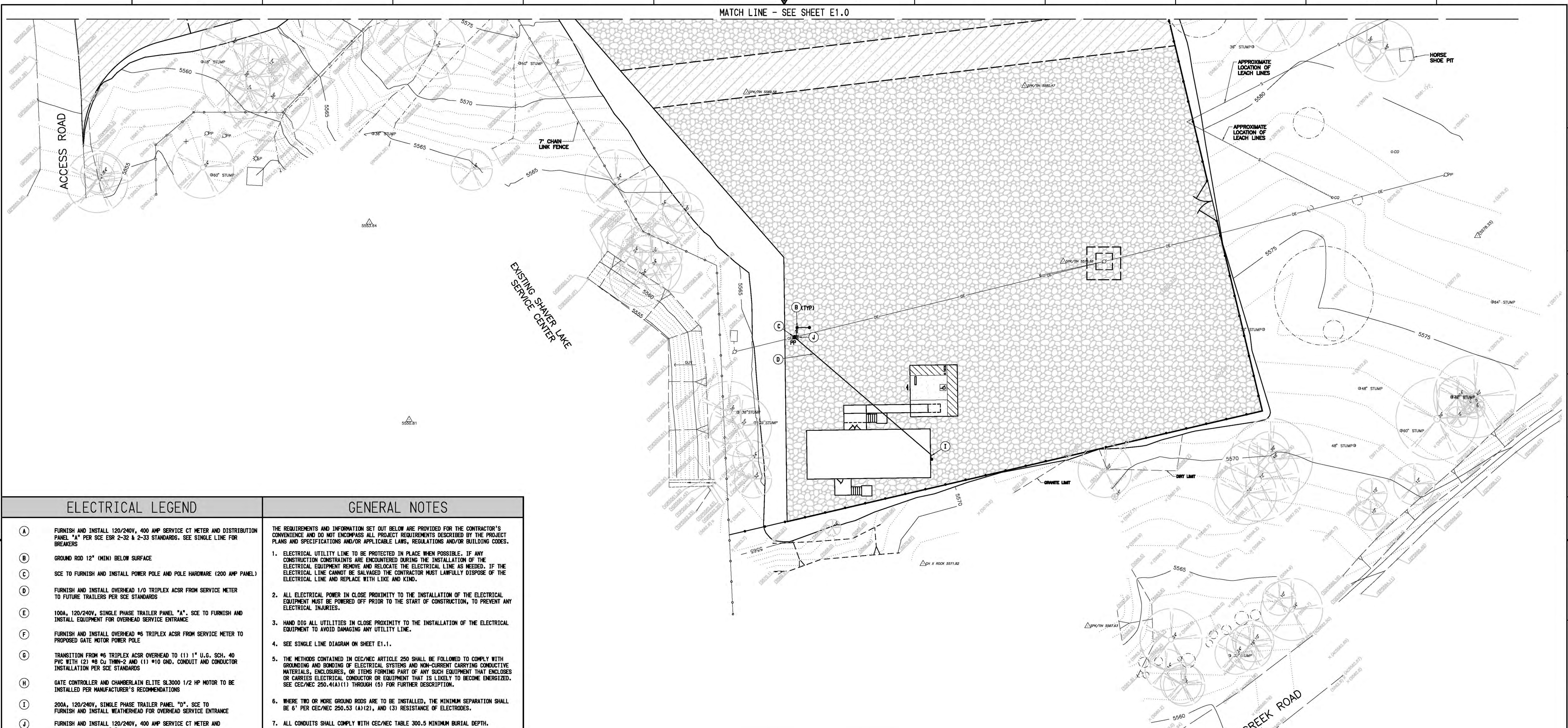
2/4/2019  
0518 Signed



LOCATION: SHAVER LAKE, CALIFORNIA	SHEET NO.
SHAVER LAKE SERVICE CENTER LAYDOWN YARD PARTIAL ELECTRICAL SITE PLAN	E1.0
SCALE: 1" = 20'	10 OF 11 SHTS.

Drawing: P:\218-0000\518\product\conram\1800\_010.dwg: E1.0 Partial Electrical Site Plan - BCF.cfb  
Plot by: gperkins Aug 31, 2019 - 11:10am

MATCH LINE - SEE SHEET E1.0



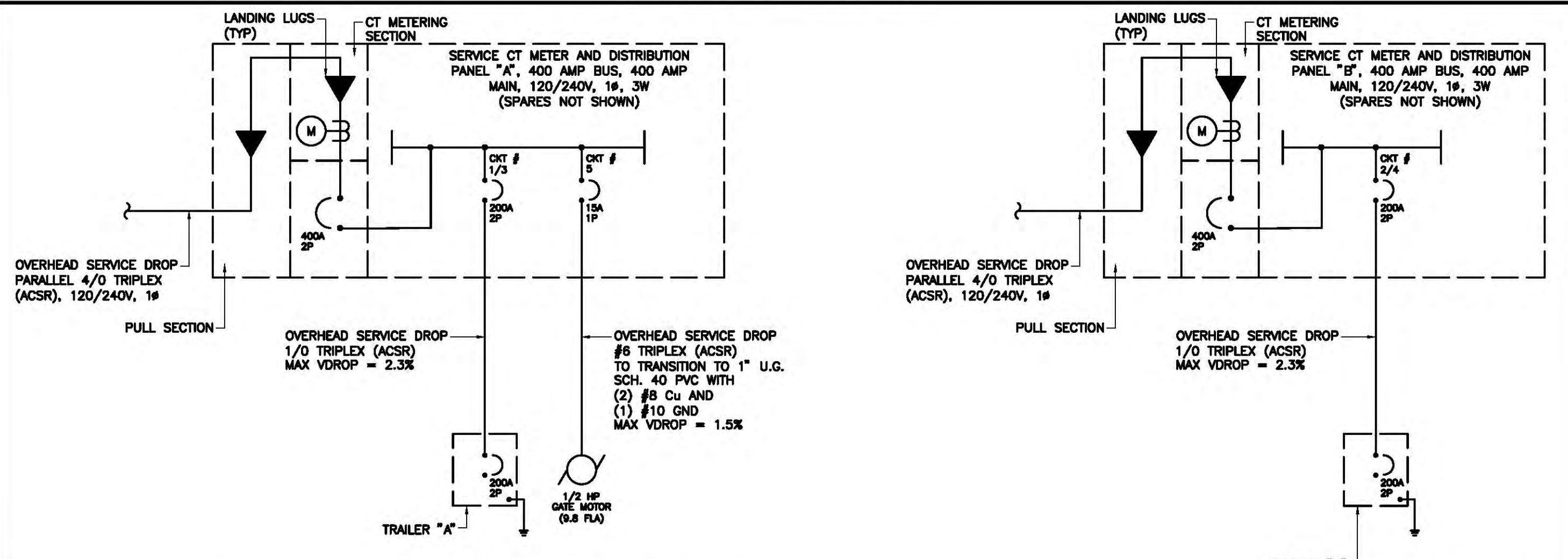
**ELECTRICAL LEGEND**

- (A) FURNISH AND INSTALL 120/240V, 400 AMP SERVICE CT METER AND DISTRIBUTION PANEL "A" PER SCE ESR 2-32 & 2-33 STANDARDS. SEE SINGLE LINE FOR BREAKERS
- (B) GROUND ROD 12" (MIN) BELOW SURFACE
- (C) SCE TO FURNISH AND INSTALL POWER POLE AND POLE HARDWARE (200 AMP PANEL)
- (D) FURNISH AND INSTALL OVERHEAD 1/0 TRIPLEX ACSR FROM SERVICE METER TO FUTURE TRAILERS PER SCE STANDARDS
- (E) 100A, 120/240V, SINGLE PHASE TRAILER PANEL "A". SCE TO FURNISH AND INSTALL EQUIPMENT FOR OVERHEAD SERVICE ENTRANCE
- (F) FURNISH AND INSTALL OVERHEAD #6 TRIPLEX ACSR FROM SERVICE METER TO PROPOSED GATE MOTOR POWER POLE
- (G) TRANSITION FROM #6 TRIPLEX ACSR OVERHEAD TO (1) 1" U.G. SCH. 40 PVC WITH (2) #8 CU THIN-2 AND (1) #10 GND. CONDUIT AND CONDUCTOR INSTALLATION PER SCE STANDARDS
- (H) GATE CONTROLLER AND CHAMBERLAIN ELITE SL3000 1/2 HP MOTOR TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- (I) 200A, 120/240V, SINGLE PHASE TRAILER PANEL "D". SCE TO FURNISH AND INSTALL WEATHERHEAD FOR OVERHEAD SERVICE ENTRANCE
- (J) FURNISH AND INSTALL 120/240V, 400 AMP SERVICE CT METER AND DISTRIBUTION PANEL "B" PER SCE ESR 2-32 & 2-33 STANDARDS. SEE SINGLE LINE FOR BREAKERS
- PROPOSED SERVICE CT METER AND DISTRIBUTION PANEL
- FUTURE TRAILER DISTRIBUTION PANEL
- 1/2" X 8" COPPER CLAD GROUND ROD, ERICD OR APPROVED EQUAL
- BURIED BARE COPPER GROUND WIRE
- SERVICE CONDUCTOR, SEE SINGLE LINE

**GENERAL NOTES**

- THE REQUIREMENTS AND INFORMATION SET OUT BELOW ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE AND DO NOT ENCOMPASS ALL PROJECT REQUIREMENTS DESCRIBED BY THE PROJECT PLANS AND SPECIFICATIONS AND/OR APPLICABLE LAWS, REGULATIONS AND/OR BUILDING CODES.
- ELECTRICAL UTILITY LINE TO BE PROTECTED IN PLACE WHEN POSSIBLE. IF ANY CONSTRUCTION CONSTRAINTS ARE ENCOUNTERED DURING THE INSTALLATION OF THE ELECTRICAL EQUIPMENT REMOVE AND RELOCATE THE ELECTRICAL LINE AS NEEDED. IF THE ELECTRICAL LINE CANNOT BE SALVAGED THE CONTRACTOR MUST LAWFULLY DISPOSE OF THE ELECTRICAL LINE AND REPLACE WITH LIKE AND KIND.
  - ALL ELECTRICAL POWER IN CLOSE PROXIMITY TO THE INSTALLATION OF THE ELECTRICAL EQUIPMENT MUST BE POWERED OFF PRIOR TO THE START OF CONSTRUCTION, TO PREVENT ANY ELECTRICAL INJURIES.
  - HAND DIG ALL UTILITIES IN CLOSE PROXIMITY TO THE INSTALLATION OF THE ELECTRICAL EQUIPMENT TO AVOID DAMAGING ANY UTILITY LINE.
  - SEE SINGLE LINE DIAGRAM ON SHEET E1.1.
  - THE METHODS CONTAINED IN CEC/NEC ARTICLE 250 SHALL BE FOLLOWED TO COMPLY WITH GROUNDING AND BONDING OF ELECTRICAL SYSTEMS AND NON-CURRENT CARRYING CONDUCTIVE MATERIALS, ENCLOSURES, OR ITEMS FORMING PART OF ANY SUCH EQUIPMENT THAT ENCLOSES OR CARRIES ELECTRICAL CONDUCTOR OR EQUIPMENT THAT IS LIKELY TO BECOME ENERGIZED. SEE CEC/NEC 250.4(A)(1) THROUGH (5) FOR FURTHER DESCRIPTION.
  - WHERE TWO OR MORE GROUND RODS ARE TO BE INSTALLED, THE MINIMUM SEPARATION SHALL BE 6' PER CEC/NEC 250.53 (A)(2), AND (3) RESISTANCE OF ELECTRODES.
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**SINGLE LINE DIAGRAM**



PLANS PREPARED BY:  
**Blair, Church & Flynn**  
 CONSULTING ENGINEERS  
 465 Clovis Avenue, Suite 200  
 Clovis, California 93242  
 Tel: (509) 528-6400  
 Fax: (509) 528-6100



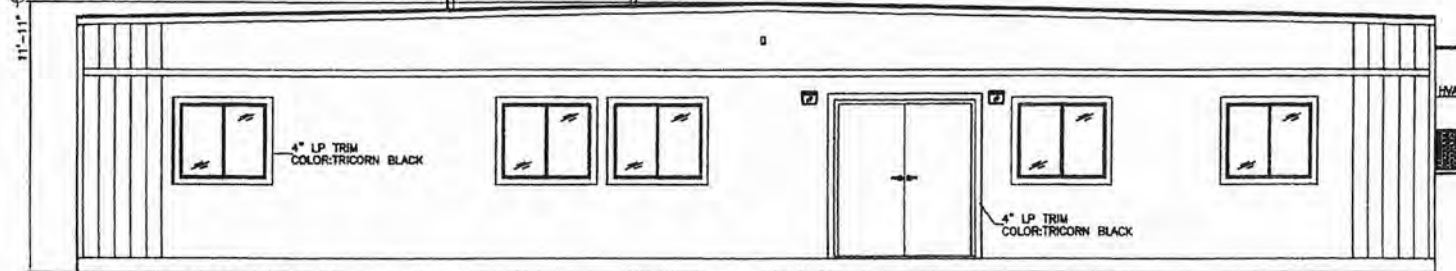
Date Signed:

LOCATION: SHAVER LAKE, CALIFORNIA	SHEET NO. E1.1
SHAVER LAKE SERVICE CENTER LAYDOWN YARD	SCALE: 1" = 20'
PARTIAL ELECTRICAL SITE PLAN	11 OF 11 SHTS.
<b>EDISON</b> An EDISON INTERNATIONAL Company	

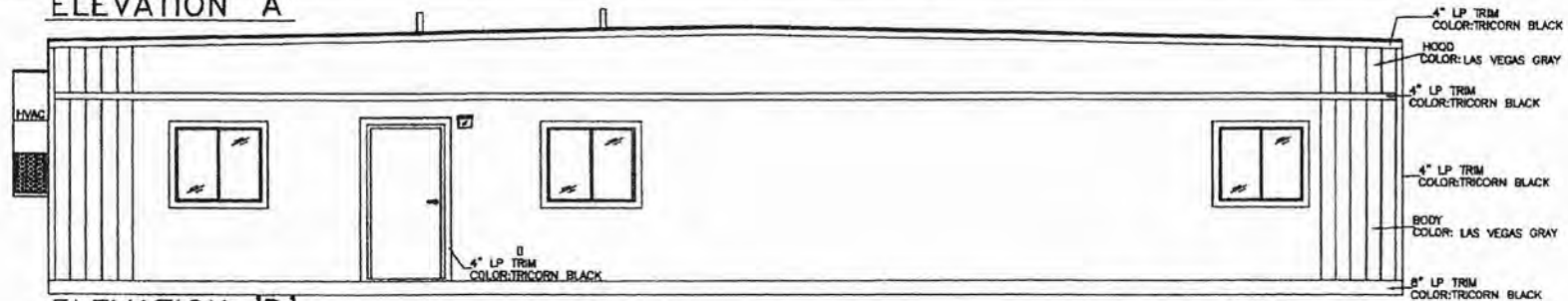
Drawing: P:\218-0000\1800\180000\180000.dwg: E1.1 Partial Electrical Site Plan - BCF.cfb  
 Plot by: gperkins Aug 31, 2013 - 11:18AM

NO.	REVISIONS	DATE	SAP	WO	SUPV	APPROVED	ENGR	CK'D	MADE	P.E.	NO.
	BACKCHECK SUBMITTAL	01-30-19					PN	DM	PN		
	BACKCHECK SUBMITTAL	05-30-19					PN	DM	PN		

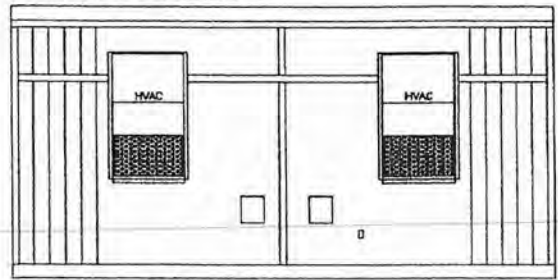
14'-8 9/16" TOTAL SHIPPING HGT.  
 14'-9" TOTAL BUILDING HGT.



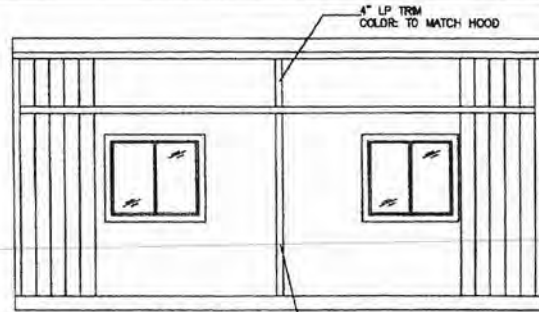
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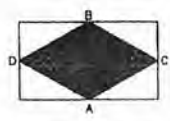
ELEVATION 'B'



ELEVATION 'C'



ELEVATION 'D'



INSTALL DEALER SIGNS  
 PER DEALER SPEC'S  
 ALL EXTERIOR PAINT  
 TO BE SEMI-GLOSS

4" LP TRIM  
 COLOR:TRICORN BLACK  
 HOOD  
 COLOR: LAS VEGAS GRAY  
 4" LP TRIM  
 COLOR:TRICORN BLACK  
 4" LP TRIM  
 COLOR:TRICORN BLACK  
 BODY  
 COLOR: LAS VEGAS GRAY  
 8" LP TRIM  
 COLOR:TRICORN BLACK

4" LP TRIM  
 COLOR: TO MATCH HOOD

4" LP TRIM  
 COLOR: TO MATCH BODY

REVISIONS		DESCRIPTION
REV	DATE	
1		
2		
3		
4		

**PHOENIX MODULAR**  
 3533 S. 49RD AVE. #300  
 PHOENIX, AZ 85008  
 PHONE: (602) 442-9728

DATE: 04/04/08  
 BY: AZ-00  
 CHECKED BY: NY-CA

PAC VAN  
 1000 S. MARSH AVE  
 PHOENIX, AZ 85006  
 PH: (602) 944-3128

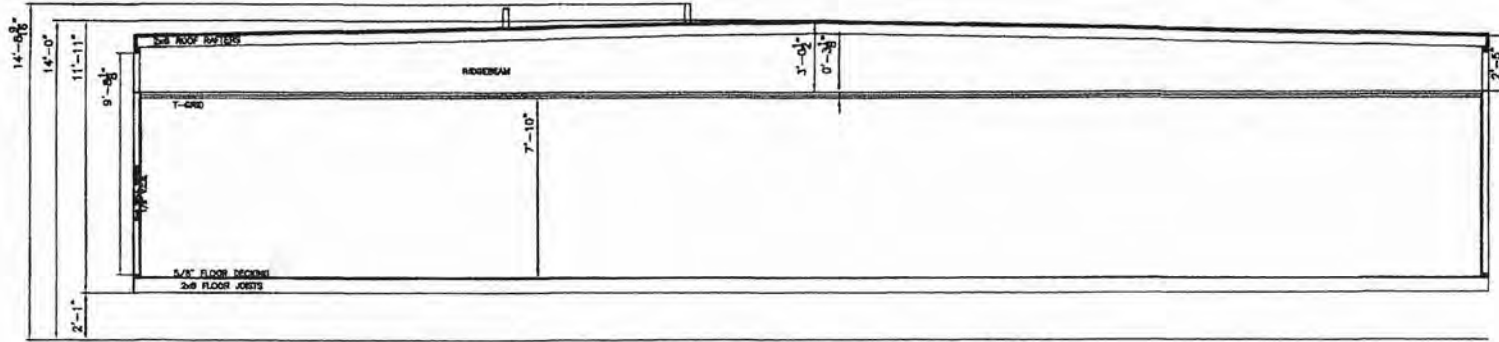
TRUCK NUMBER: PMI-2712 THRU 2713-2460  
 TRUCK NUMBER: PMI-PV-2460-02

DATE: JAY D.  
 BY: D. MOORE

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SHEET #  
 5  
 OF 8

OWNER'S SEAL



CROSS-SECTION

705 LERRING

REVISONS		DESCRIPTION
REV	DATE	
Δ		
Δ		
Δ		
Δ		

**PHOENIX MODULAR**  
 3033 S. 43RD AVE. SUITE 2000  
 PHOENIX, AZ 85008  
 PHONE: (602) 442-8288

**PAC VAN**  
 2801 S. UNIVERSITY AVENUE  
 PH. 9177 WESTCHRYSTAL DRIVE PH. 2124

DATE: 04/04/08  
 DRAWN BY: AZCO  
 CHECKED BY: NY/CA

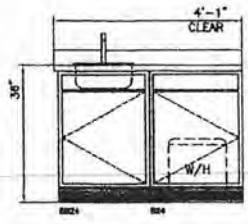
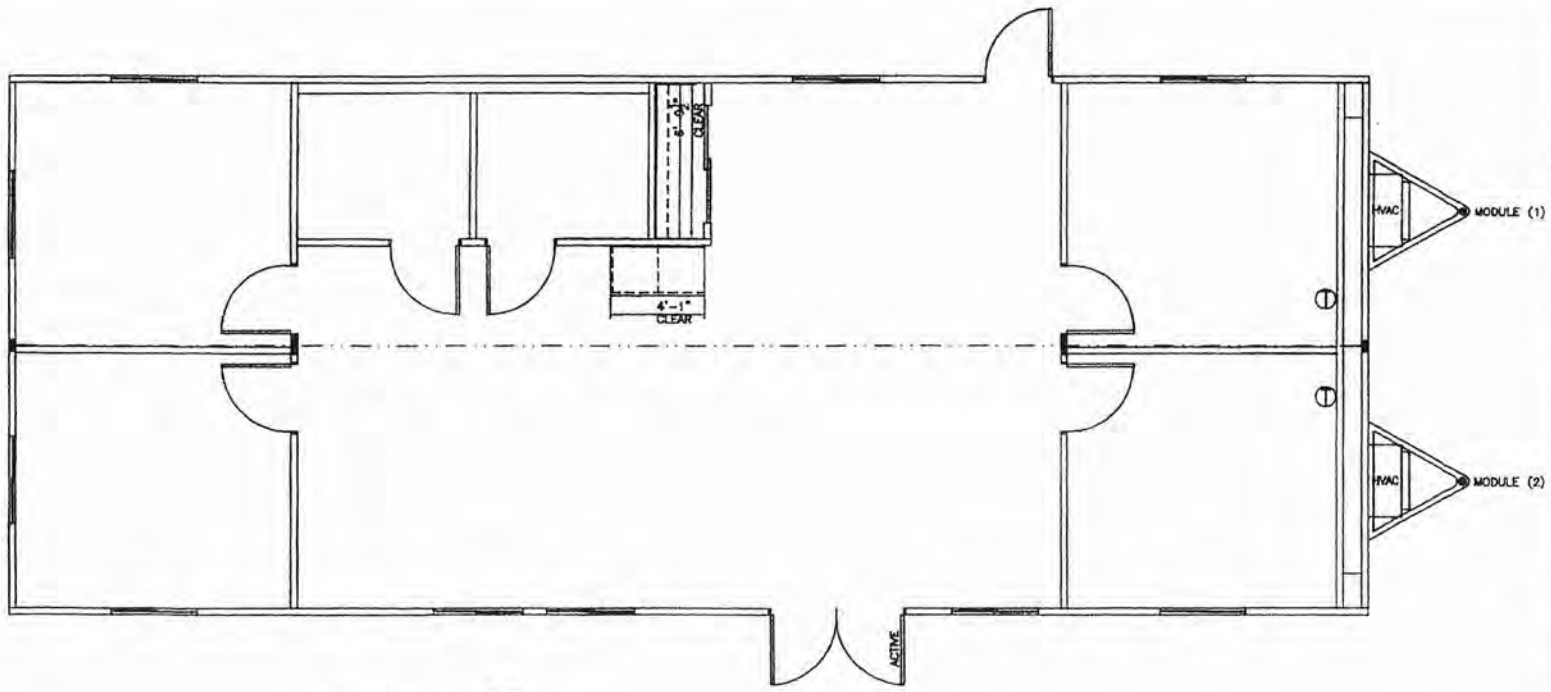
PROJECT: PMI-2712 THRU 2713-2460  
 SHEET: PMI-PV-2460-02

CLIENT PROJECT: JAY D. MOORE  
 TRUCK NUMBER: PMI-2712 THRU 2713-2460  
 SERIAL NUMBER: PMI-PV-2460-02

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SHEET #  
 7  
 OF 8





CABINET DETAIL 'A'

ENGINEER'S SEAL

REVISIONS	
REV	DESCRIPTION

**PHOENIX MODULAR**  
 1000 S. 43RD AVENUE  
 PHOENIX, AZ 85009  
 PHONE: (602) 442-8286

DATE: 04/04/08  
 BY: JAY D. MOORE  
 CHECKED BY: JAY D. MOORE

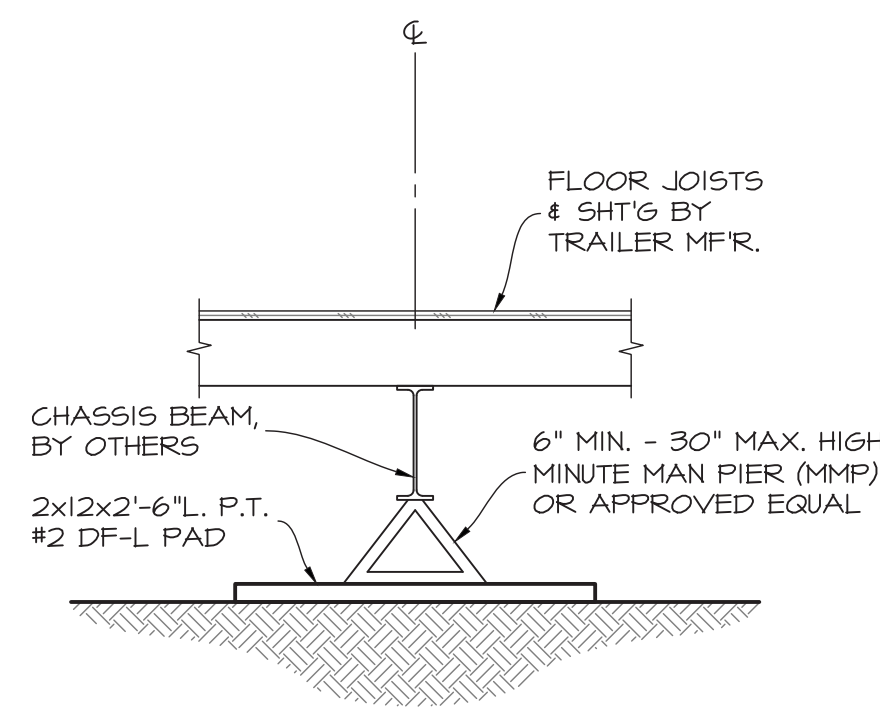
PAC VAN  
 1000 S. 43RD AVENUE  
 PHOENIX, AZ 85009  
 PHONE: (602) 442-8286

PROJECT NUMBER: PMI-2712 THRU 2713-2460  
 DRAWING NUMBER: PMI-PV-2460-02

DATE: 04/04/08  
 BY: JAY D. MOORE  
 CHECKED BY: JAY D. MOORE

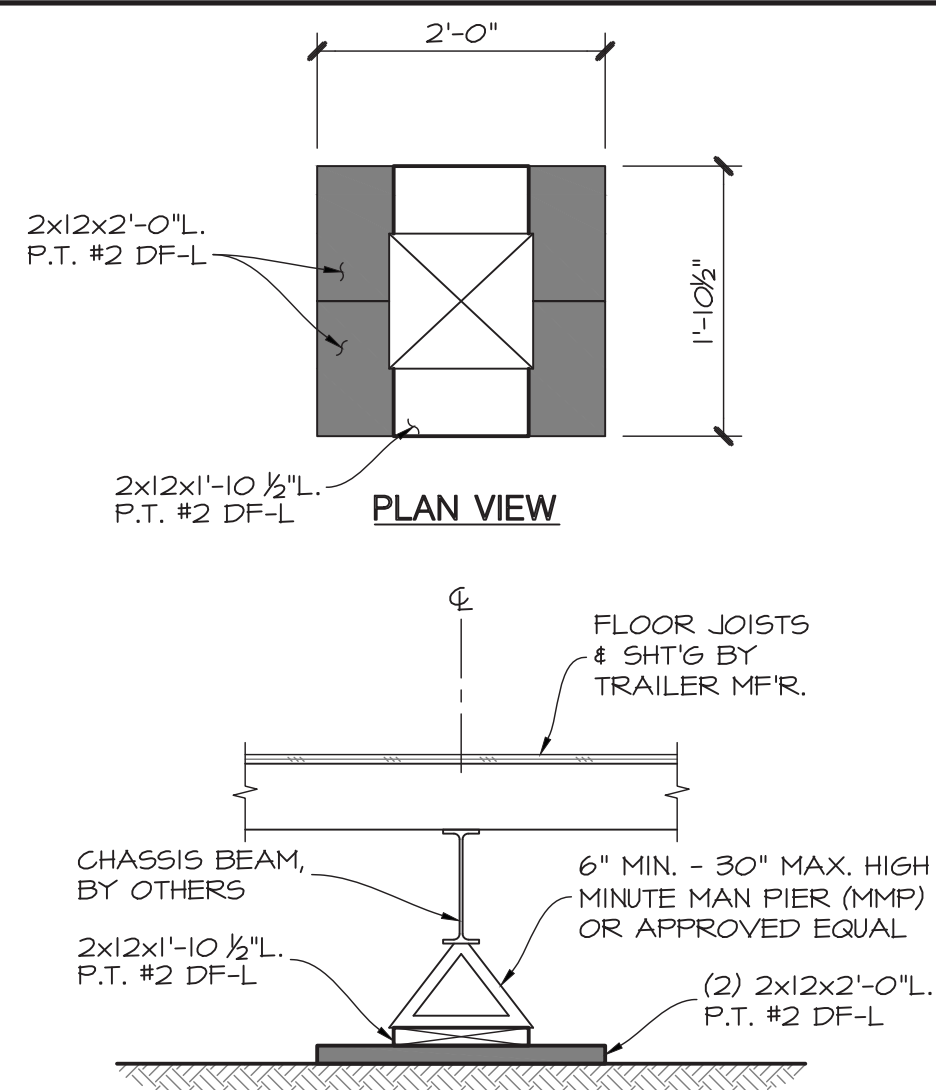
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SHEET #  
 08  
 OF 08



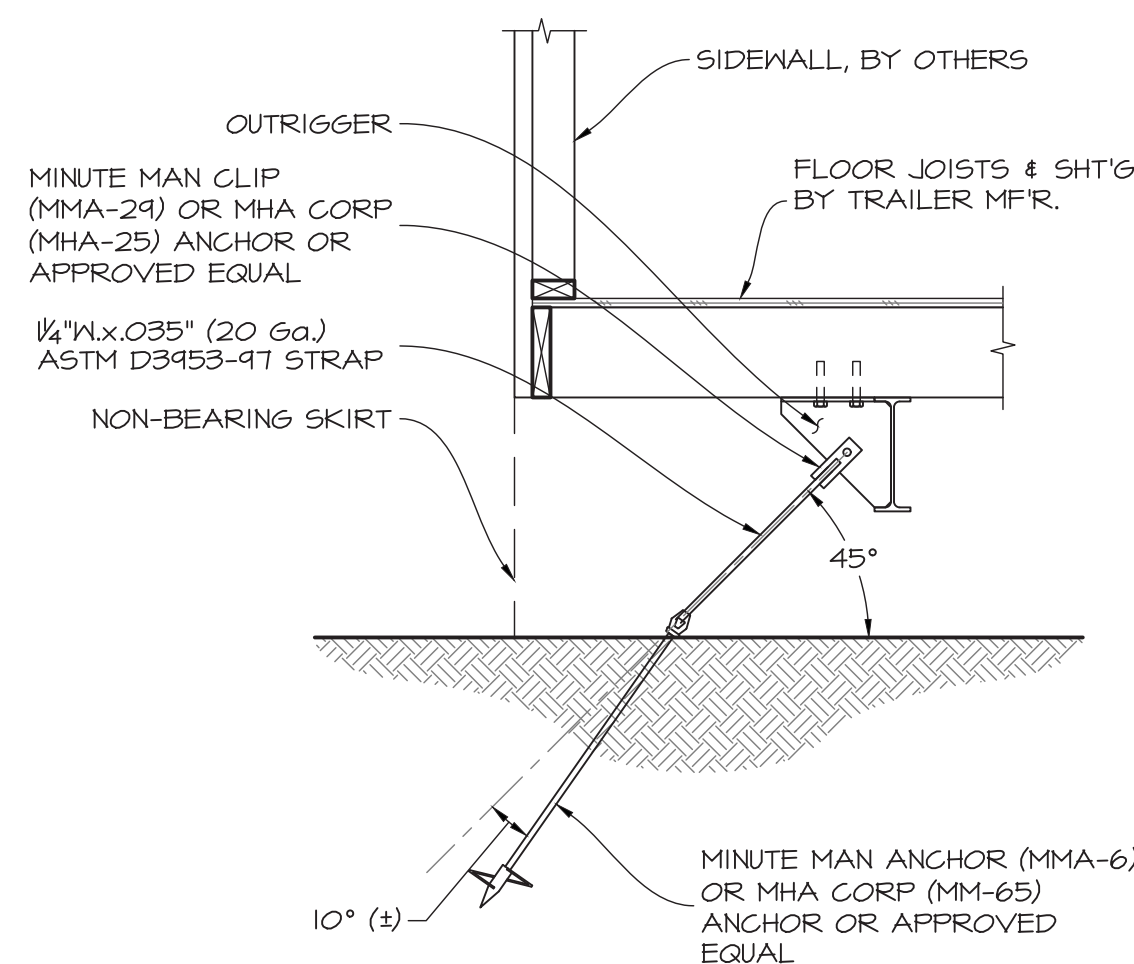
**1 SINGLE PAD SUPPORT DETAIL**

3/4" = 1'-0"



**2 DOUBLE PAD SUPPORT DETAIL**

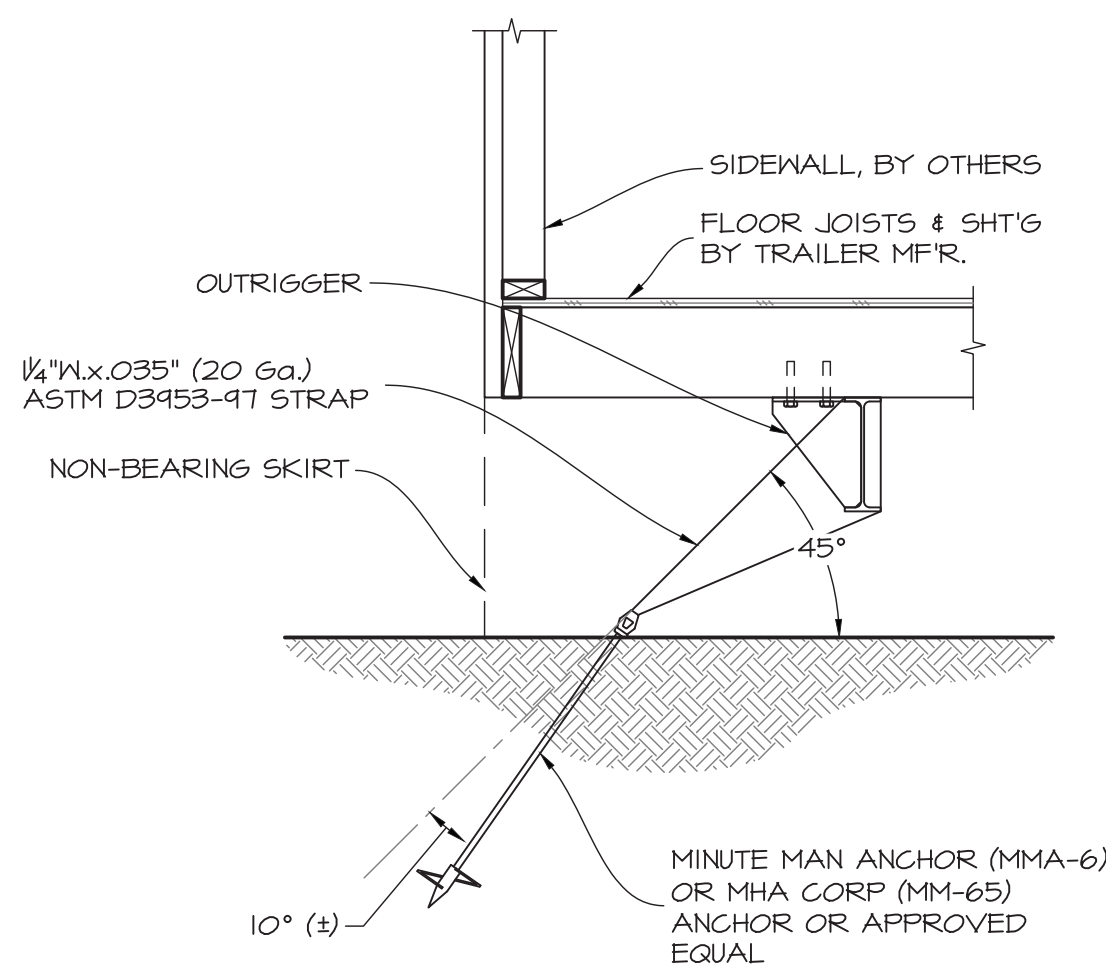
3/4" = 1'-0"



**3 ALT. 1 TIEDOWN DETAIL**

3/4" = 1'-0"

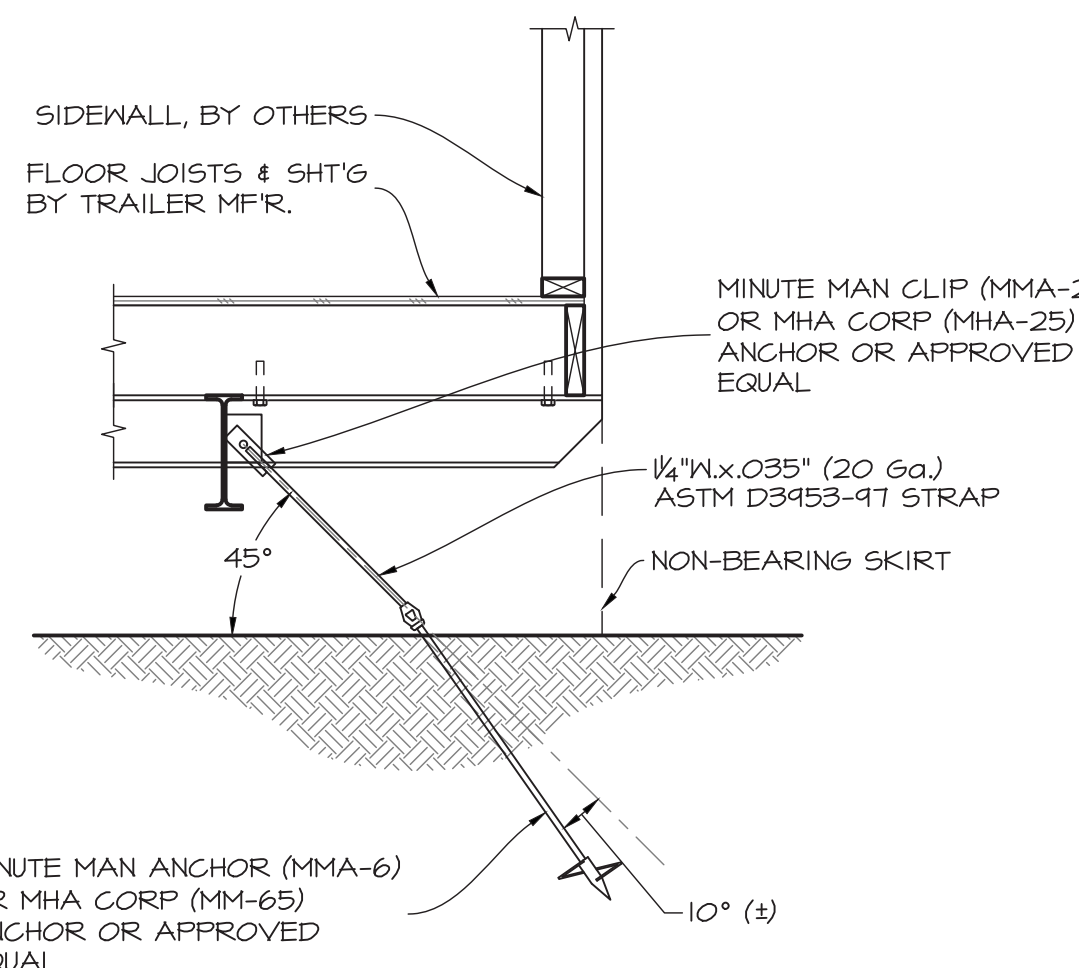
- STRAP TO BE TYPE I, GRADE I, FINISH B w/ A MINIMUM TOTAL CAPACITY OF 4,125 LBS. AND A WORKING CAPACITY OF 3,500 LBS. MARKED EVERY 5 FEET.



**4 ALT. 2 TIEDOWN DETAIL**

3/4" = 1'-0"

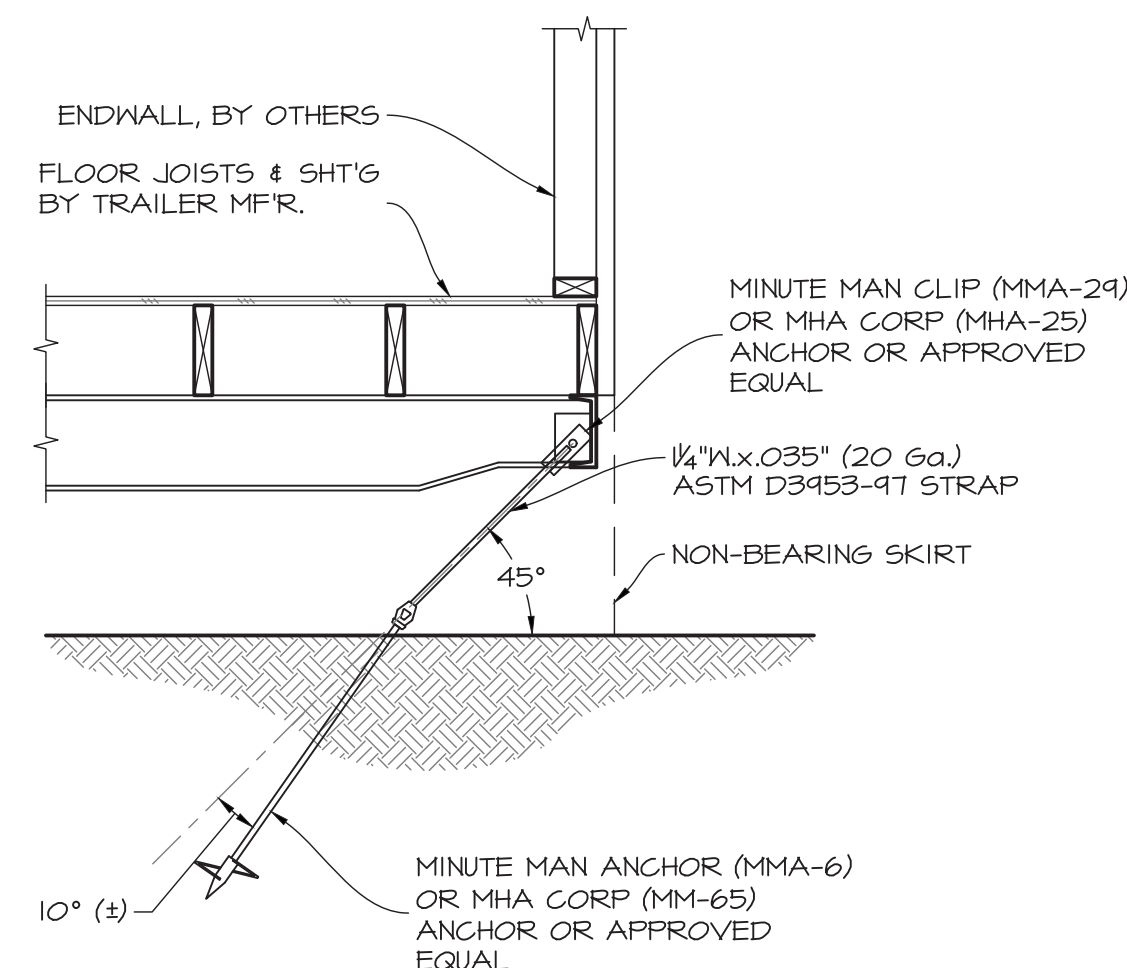
- STRAP TO BE TYPE I, GRADE I, FINISH B w/ A MINIMUM TOTAL CAPACITY OF 4,125 LBS. AND A WORKING CAPACITY OF 3,500 LBS. MARKED EVERY 5 FEET.



**5 DIAGONAL TIEDOWN DETAIL**

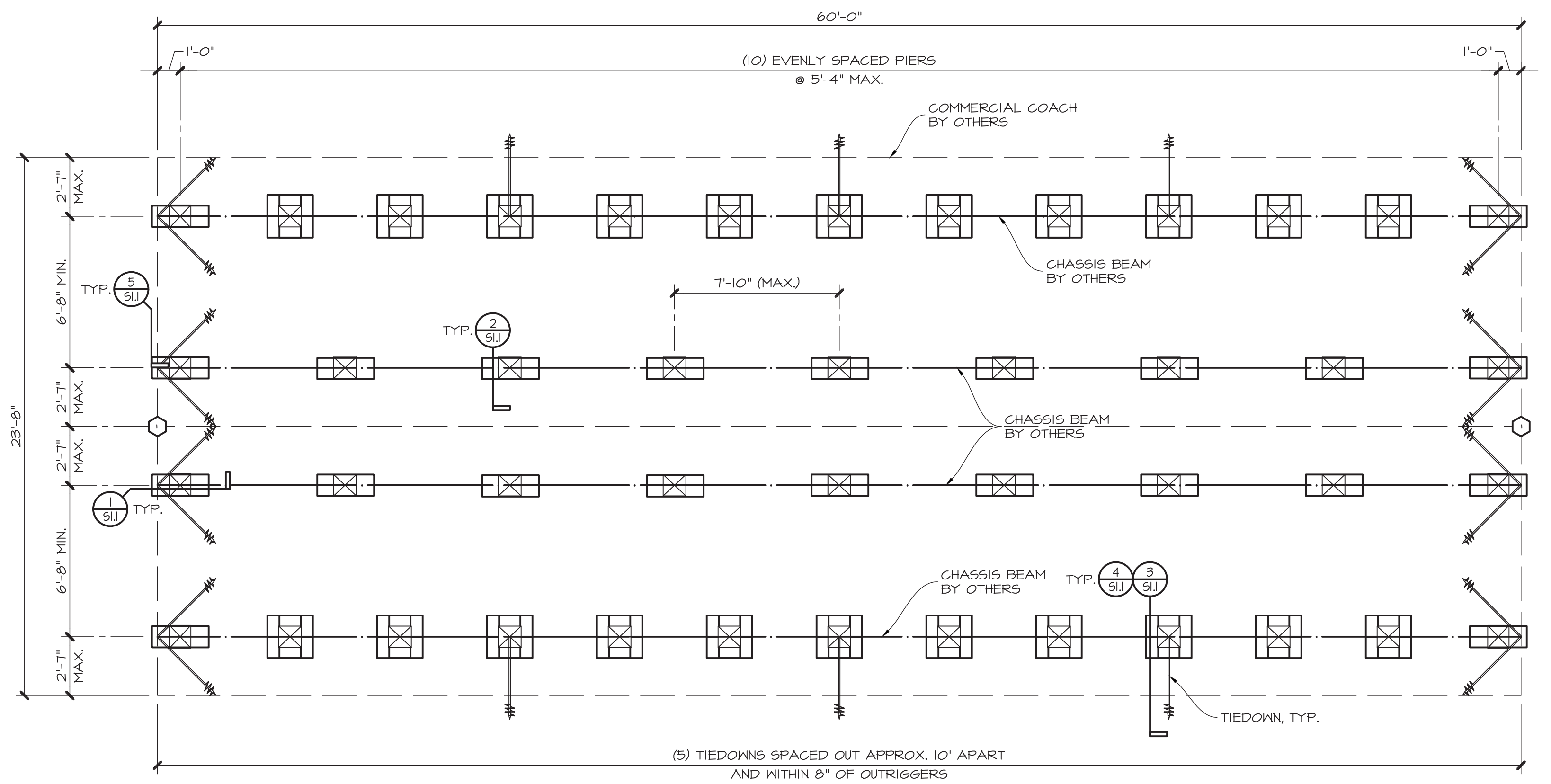
3/4" = 1'-0"

- STRAP TO BE TYPE I, GRADE I, FINISH B w/ A MINIMUM TOTAL CAPACITY OF 4,125 LBS. AND A WORKING CAPACITY OF 3,500 LBS. MARKED EVERY 5 FEET.



**6 9600 POUND PIER DETAIL**

3/4" = 1'-0"



**COMMERCIAL COACH FOUNDATION PLAN**

⊠ = 3200 LB. MINUTE MAN PIER (MMP) OR APPROVED EQUAL.

⊙ = 9600 LB. MINUTE MAN PIER (MMP) OR APPROVED EQUAL - SEE DETAIL 6

1/4" = 1'-0"

**FOUNDATION GENERAL NOTES ONLY**

CALIFORNIA CODE OF REGULATIONS TITLE 25 AND 2016 CALIFORNIA BUILDING CODE GOVERNS DESIGN AND CONSTRUCTION.

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET OF PLANS.

**SAFETY REGULATIONS** - CALIF. ADMIN. CODE, TITLE 8, GENERAL SAFETY ORDERS ("CAL OSHA") IS APPLICABLE TO THE CONSTRUCTION OF THIS PROJECT AND PROVISIONS THEREOF MUST BE FOLLOWED. ENGEL & COMPANY ENGINEERS IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR FOR SAFETY ON THE JOBSITE. THESE RESPONSIBILITIES ARE INTENDED TO BE AND TO REMAIN SOLELY THOSE OF THE BUILDER.

**ALL DIMENSIONS** WHICH ARE DEPENDENT ON EXISTING CONDITIONS SHALL BE FIELD VERIFIED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

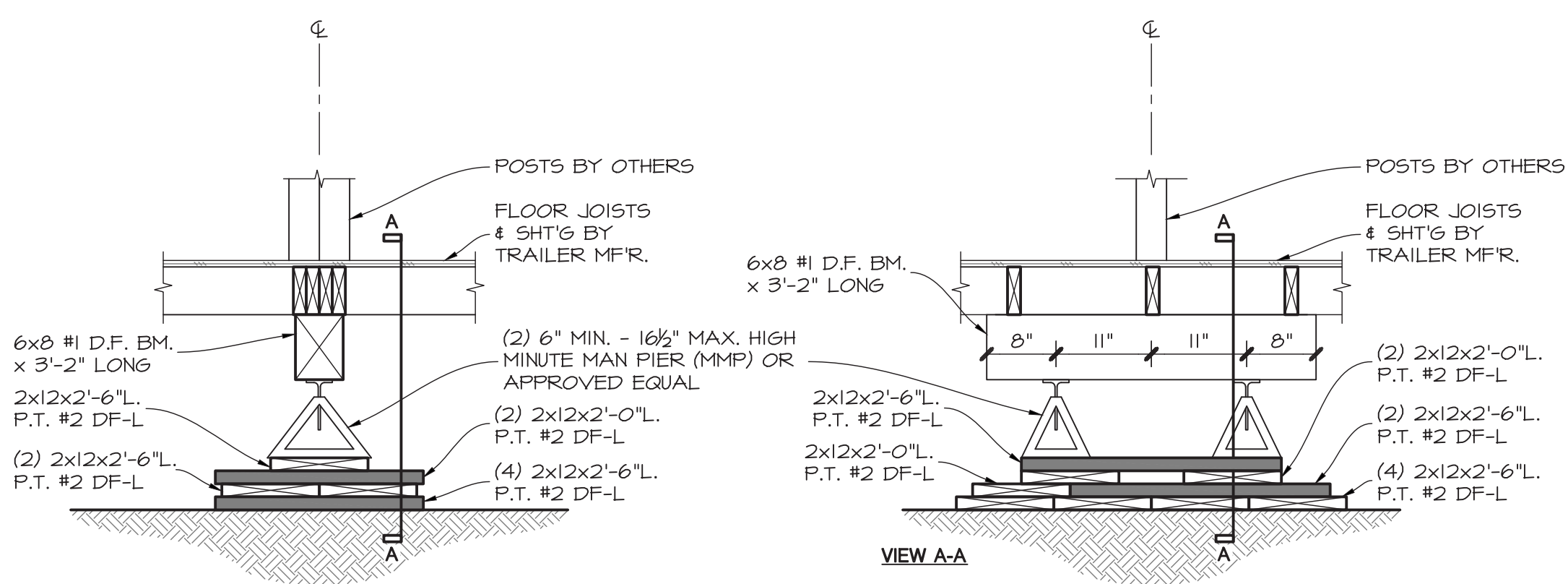
**SPECIAL INSPECTIONS** IS NOT REQUIRED FOR THE WORK DEPICTED ON THESE DRAWINGS.

**FOUNDATION DESIGN** IS BASED ON CBC TABLE NO. 1806.2, CLASS 5 MATERIAL. BEARING FOUNDATIONS SHALL BE PLACED AT A DEPTH OF AT LEAST 12" INTO NATURAL UNDISTURBED SOIL OR COMPACTED (90% MIN.) FILL.

**STRUCTURAL STEEL** - ALL PLATES AND SHAPES SHALL CONFORM TO REQUIREMENTS OF ASTM A36 OR ASTM A992. BOLTS SHALL BE ASTM A307 UNLESS THE PLANS SHOW OTHERWISE. BOLT HOLES SHALL BE 1/16" LARGER IN DIAMETER THAN THE BOLT.

**LUMBER** - BEAMS, HEADERS, AND POSTS ARE TO BE NO. 1 (OR BETTER) D.F.. ALL OTHER WOOD FRAMING IS TO BE NO. 2 (OR BETTER) D.F.. WOOD PADS ON SOIL SHALL BE PRESSURE TREATED D.F..

THE PROVIDED ENGINEERING APPLIES ONLY TO THE NEW CONSTRUCTION. THE EXISTING STRUCTURE IS ASSUMED TO BE WELL CONSTRUCTED WITH NO EVIDENCE OF ANY STRUCTURAL DETERIORATION. IT IS ALSO ASSUMED THAT THE EXISTING STRUCTURE WAS CONSTRUCTED USING MATERIALS AND CONSTRUCTION PRACTICES THAT WERE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ACCEPTABLE TO ALL GOVERNING AGENCIES AND LICENSED PERSONS HAVING JURISDICTION AT THE TIME OF CONSTRUCTION. HOWEVER, NO STATEMENT CONCERNING THE STRUCTURAL ADEQUACY OR INTEGRITY OF THE EXISTING STRUCTURE IS MADE OR IMPLIED.



**6 9600 POUND PIER DETAIL**

3/4" = 1'-0"

File: P:\Pac-Van\21343 - Foundation for commercial coach drawings\21343.dwg, commercial, ccoch\Drawings\21343.dwg, layout, 21343.dwg, scale: 1, by: 2017.BT, date: 5/10/2017 4:59 PM



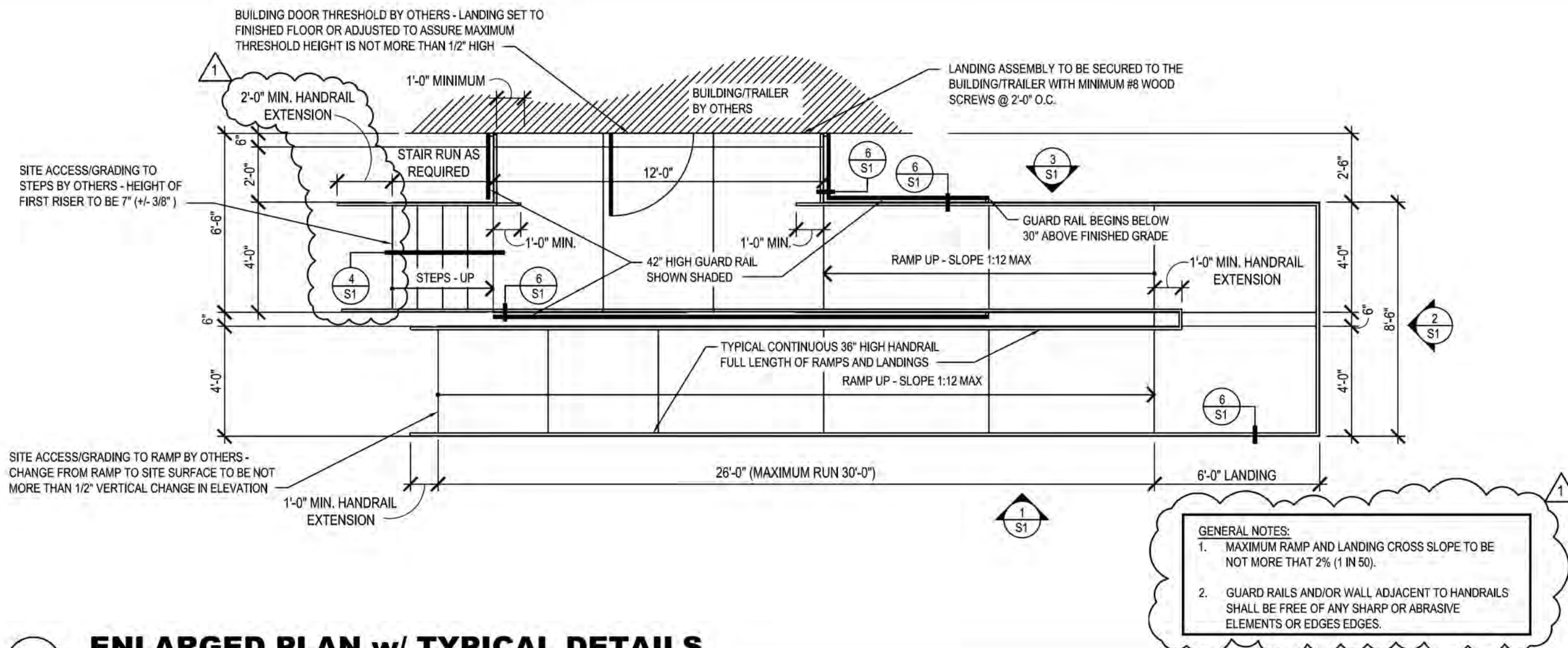
<b>ENGEL &amp; COMPANY</b> <i>Engineers</i> <b>4009 UNION AVENUE</b> <b>BAKERSFIELD, CA 93305</b> www.engelengineers.com (661) 327-7025		DRAWN AJK DATE 5/10/2017 CHECKED BY APPROVED	<b>Foundation Plan, Details &amp; Notes</b> 24x60 Commercial Coach Foundations <b>Pac - Van</b> 2801 E. Brundage Lane Bakersfield, California 93307	SHEET NO. <b>S11</b> 1 of 1 2/343
DATE	ISSUED FOR			

**TABLE OF CONTENTS**

- S-0 TABLE OF CONTENTS - GENERAL NOTES - TYPICAL LAYOUTS - ENLARGED PLAN
- S-1 ELEVATIONS AND DETAILS
- S-2 FOUNDATION BASE, OPTIONS, STRUCTURAL NOTES AND MATERIAL LIST

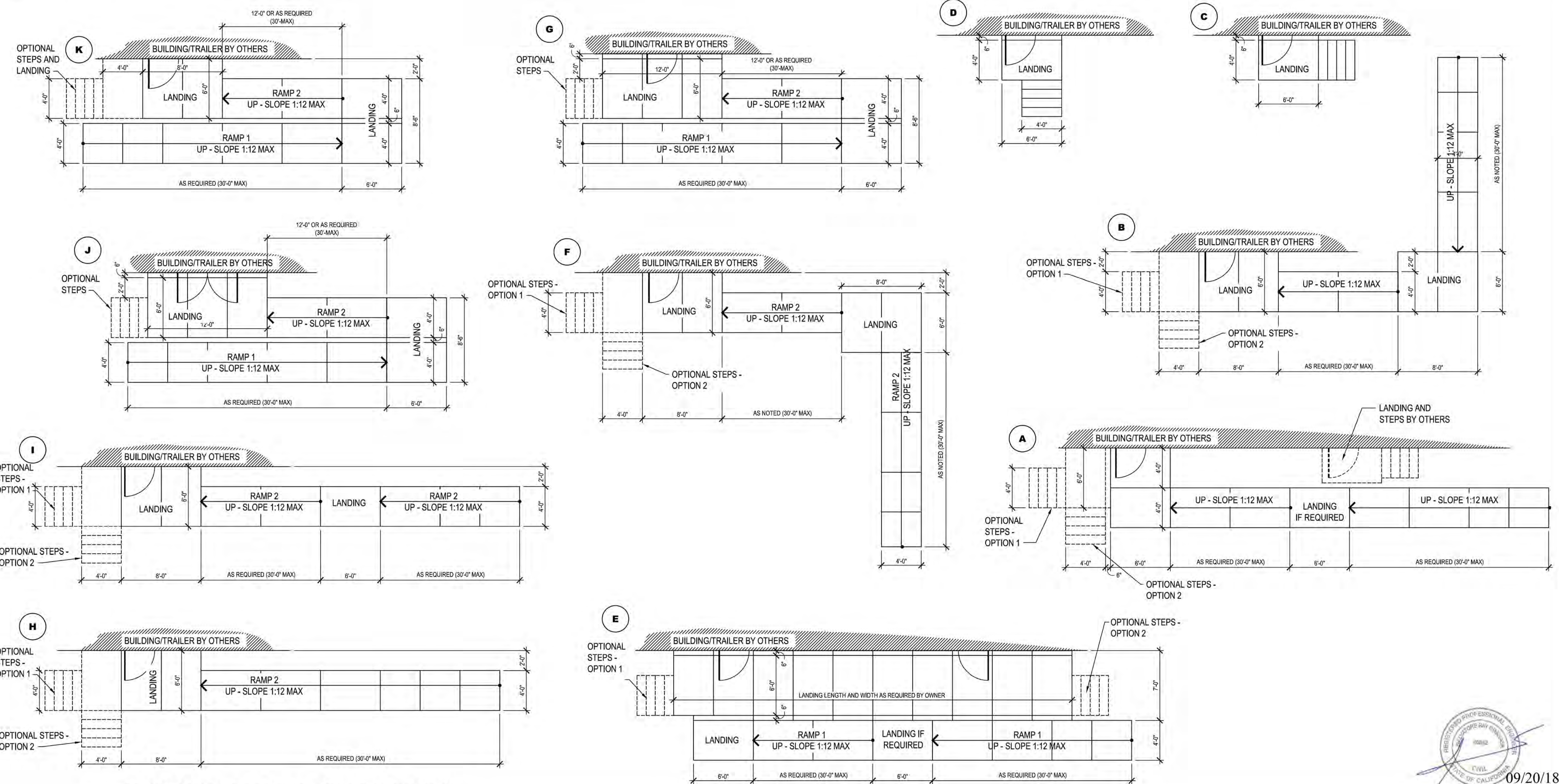
**GENERAL NOTES**

1. APPLICABLE CODES ARE AS FOLLOWS:
  - 1.1. INTERNATIONAL BUILDING CODE (IBC) DATED 2015
  - 1.2. IBC/ANSI A117.1 DATED 2017
  - 1.3. ADAAG 2010 STANDARDS, TITLE II AND III
  - 1.4. NFPA 101 DATED 2012
  - 1.5. CALIFORNIA BUILDING CODE DATED 2016
  - 1.6. LOS ANGELES BUILDING CODE DATED 2014
2. THE DRAWINGS SUBMITTED ARE REPRESENTATIVE OF THE "QUICK-DECK" TEMPORARY MODULAR PLATFORM SYSTEM. THE SYSTEM PROVIDES ACCESS TO TEMPORARY CONSTRUCTION TRAILERS AND/OR TEMPORARY MODULAR BUILDINGS. QUICK-DECK IS A PATENTED (4898510), PRE-ENGINEERED SYSTEM OF DECKING, RAMPS, STAIRS AND RAILINGS. QUICK-DECK IS DESIGNED TO BOLT TOGETHER IN THE FIELD WITH NO ELECTRICAL POWER OR CONCRETE POURING.
3. ALL STRUCTURAL, RAIL AND DECK COMPONENTS WILL BE GALVANIZED STEEL.
4. STRUCTURAL LOADS
  - 4.1. LIVE LOAD MINIMUM 100 PSF.
  - 4.2. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OR 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE. THIS LOAD NEED NOT TO BE ASSUMED TO ACT CONCURRENTLY WITH THE OTHER LOADS SPECIFIED.
  - 4.3. INTERMEDIATE RAILS (ALL THOSE EXCEPT HANDRAIL), BALLUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQUARE FOOT, INCLUDING OPENINGS AND SPACE BETWEEN RAILS. THIS LOAD NEED NOT TO BE ASSUMED TO ACT CONCURRENTLY WITH THE OTHER LOADS SPECIFIED.
5. ELECTRICAL GROUNDING - BY OTHERS AS REQUIRED BY CODE OR LOCAL REQUIREMENTS
6. STAIR TREADS - ALL STAIR TREADS TO HAVE A CONTRASTING NOSING MAXIMUM 1" FROM TREAD EDGE AND 2" WIDE.
7. HANDRAILS
  - 7.1. 5/8" BALLUSTERS @ 4" OC AND 1-1/4" SQUARE NEWEL POSTS RESULT IN THE HANDRAIL OBSTRUCTION BEING LESS THAN 17%, LESS THAN THE 20% MAXIMUM OBSTRUCTION REQUIRED BY ANSI A117.1.
  - 7.2. THE 1-1/4" X 1-1/4" SQUARE HANDRAIL COMPLIES WITH THE CODE MINIMUM 1-1/4" DIMENSION AND HAS A PERIMETER OF 5" WHICH IS LESS WITHIN THE CODE REQUIRED PERIMETER RANGE OF 4" TO 6-1/4".
  - 7.3. HANDRAIL EXTENSIONS FOR RAMPS AND STAIRS TO BE 12" MINIMUM AT TOP AND BOTTOM OF RUNS. EXTENSION ANGLE AT BOTTOM OF STAIRS AND LANDING TO FOLLOW THE SLOPE PER CODE REQUIREMENTS.



**2 ENLARGED PLAN w/ TYPICAL DETAILS**  
 SCALE: 1/4"=1'-0" PLAN OPTION B AS EXAMPLE

**GENERAL NOTES:**  
 1. MAXIMUM RAMP AND LANDING CROSS SLOPE TO BE NOT MORE THAN 2% (1 IN 50).  
 2. GUARD RAILS AND/OR WALL ADJACENT TO HANDRAILS SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS OR EDGES EDGES.

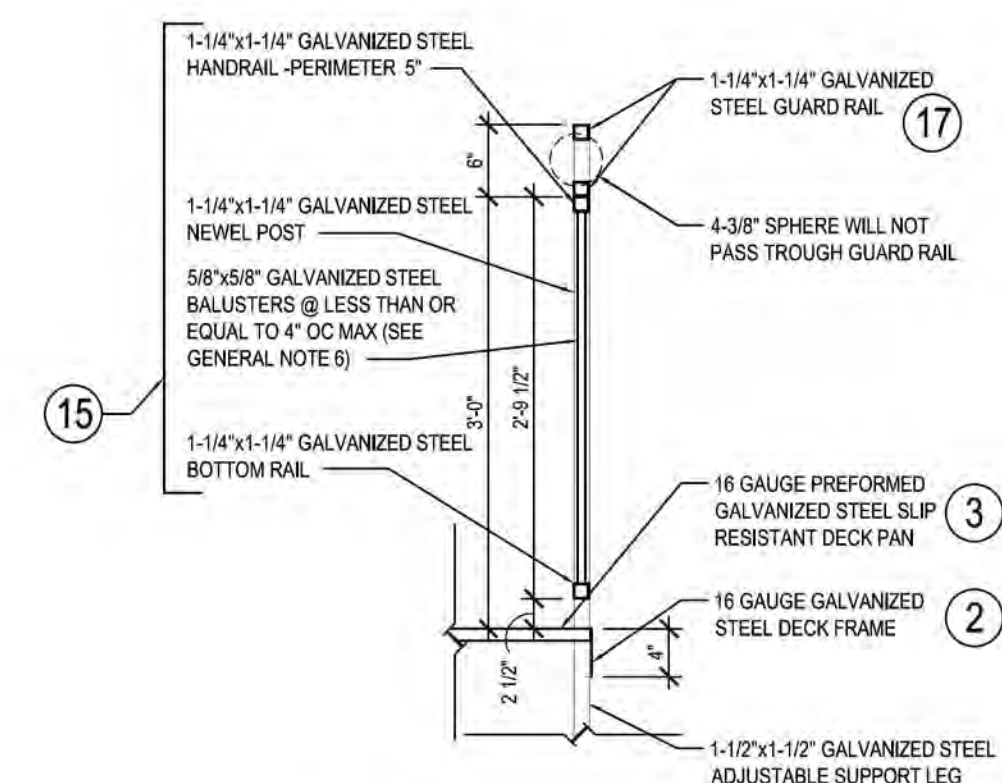


**10 TYPICAL RAMP/LANDING CONFIGURATIONS**  
 SCALE: 3/16"=1'-0"

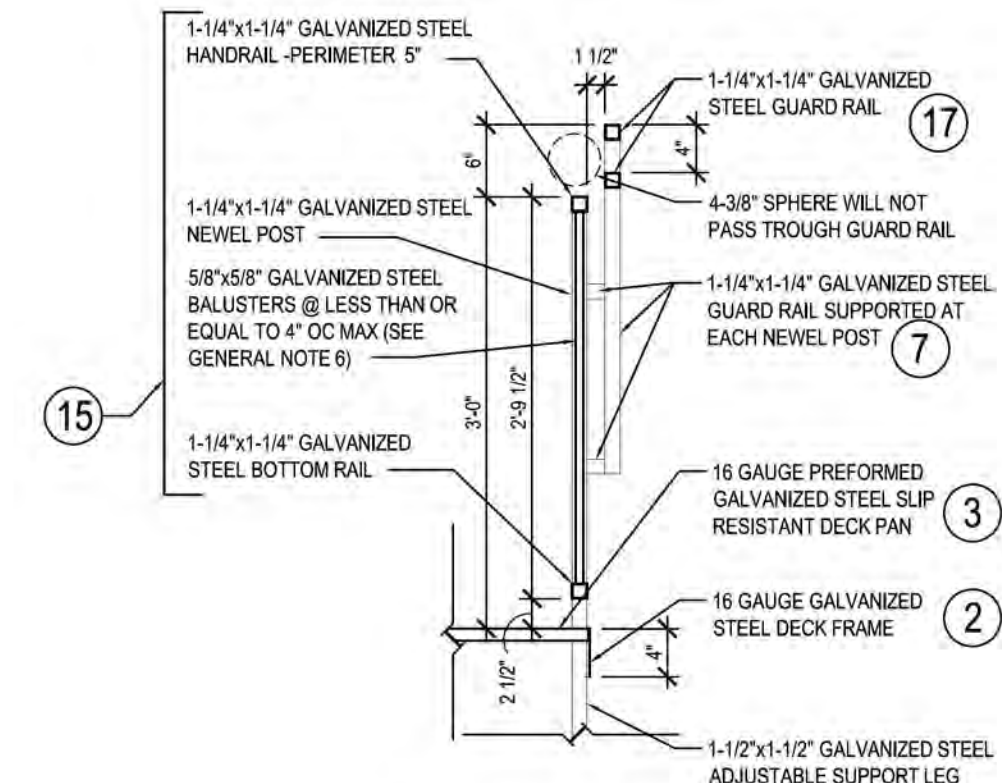


**NOTE: CODE 2016 CBC**  
 ALL STAIR TREADS TO HAVE SMOOTH, ROUNDED OR CHAMFERED EXPOSED EDGES AT NOSING. THE RADIUS CURVATURE AT THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 1/2" (PER CBC 11B-504.5). THE NOSING SHALL NOT PROJECT MORE THAN 1-1/4" PAST THE FACE OF THE RISER BELOW (PER CBC 11B-504.5). RISERS SHALL BE SLOPED OR THE UNDERSIDE OF THE NOSING SHALL HAVE AN ANGLE NOT LESS THAN 30 DEGREES FROM THE VERTICAL (PER CBC 11B-504.5)

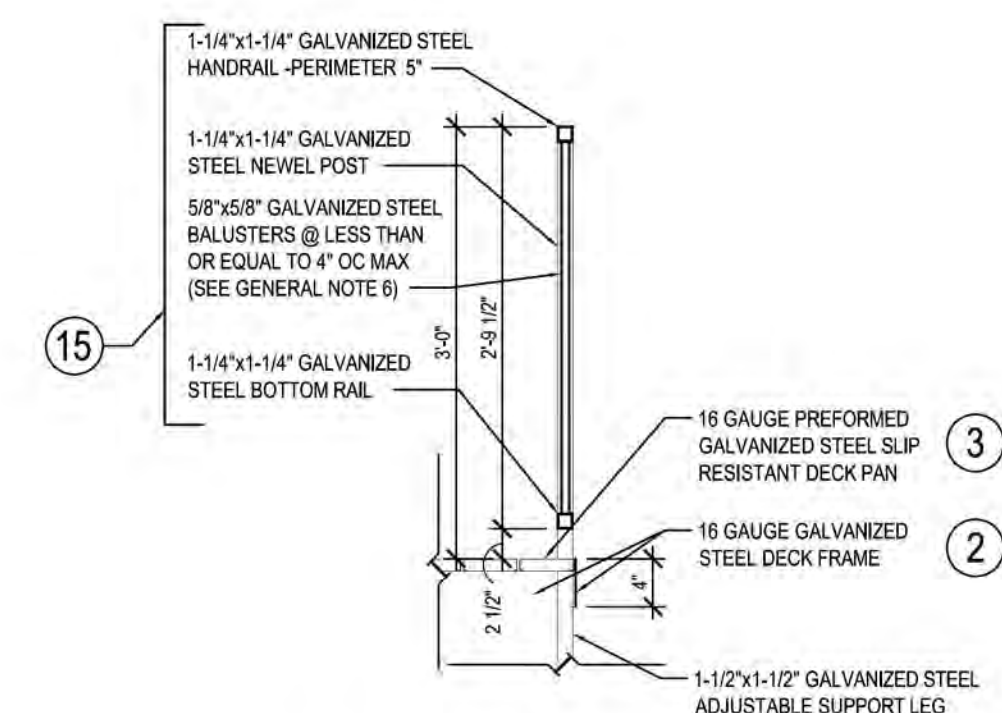
**BASIS OF DESIGN**  
 1. PLATFORM DESIGNED FOR 200 MPH WIND  
 2. PLATFORM DESIGNED FOR SEISMIC 330%, S1=100%G MAXIMUM  
 3. HANDRAIL DESIGNED FOR 50 P/LF OR 200 LBS LATERAL LIVE LOAD AT ANY POINT  
 4. HANDRAIL DESIGNED FOR 100 PSF LIVE LOAD



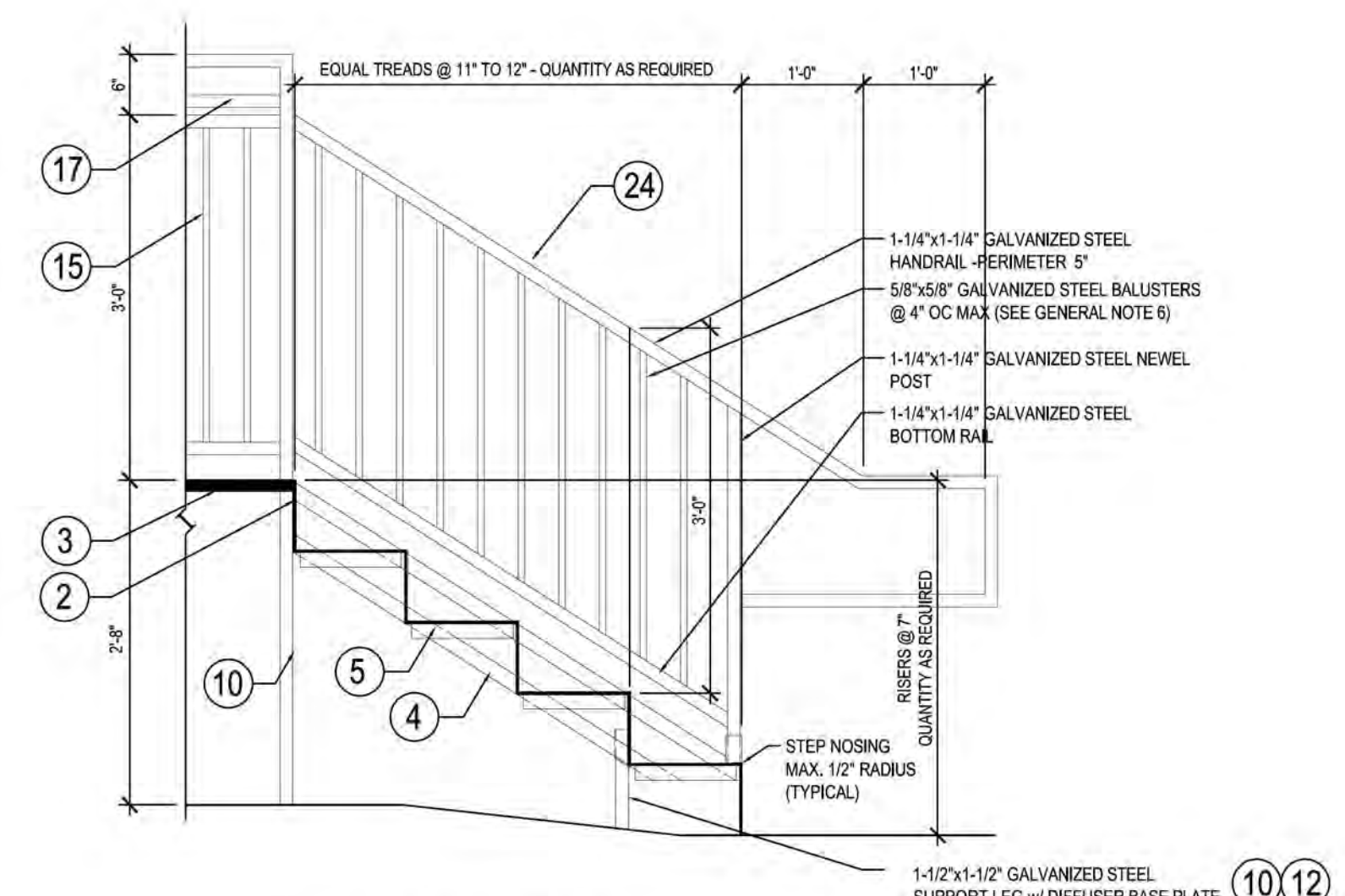
**7 TYPICAL RAIL SECTION**  
 SCALE: 3/4"=1'-0" **● GUARDRAIL**



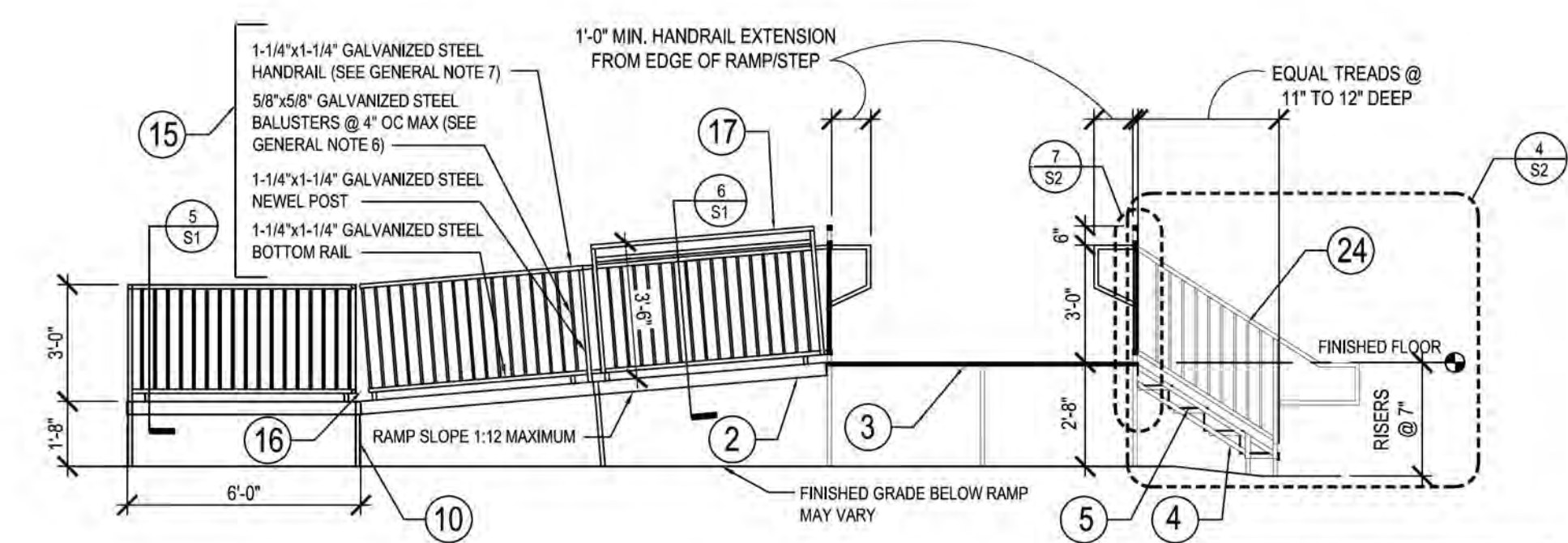
**6 TYPICAL RAIL SECTION**  
 SCALE: 3/4"=1'-0" **● HANDRAIL/GUARDRAIL**



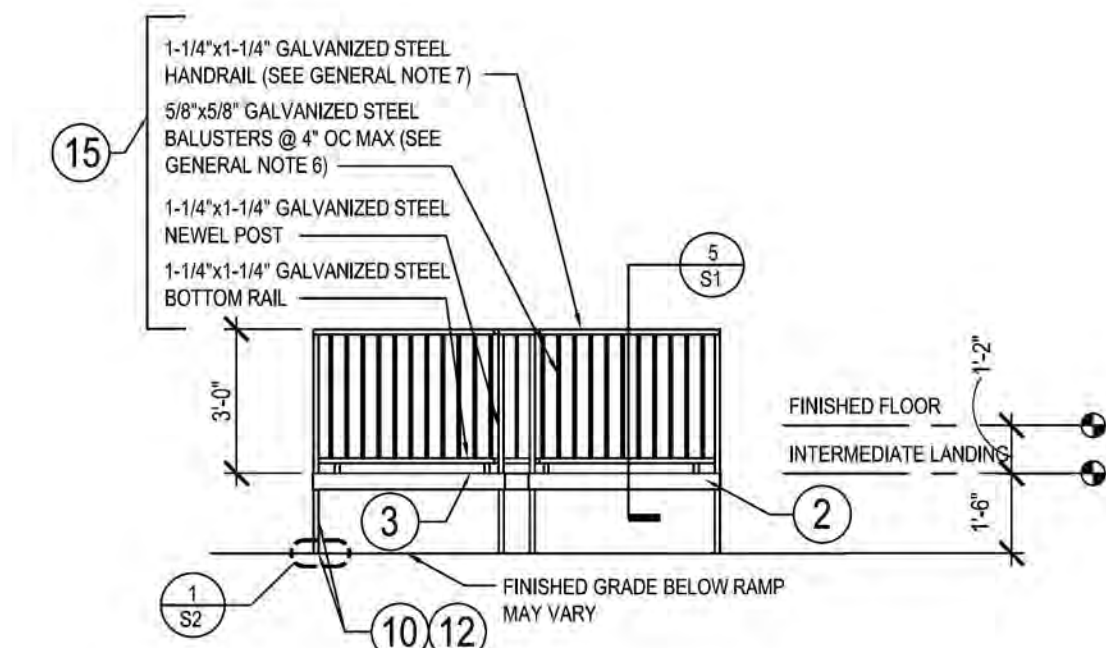
**5 TYPICAL RAIL SECTION**  
 SCALE: 3/4"=1'-0" **● HANDRAIL**



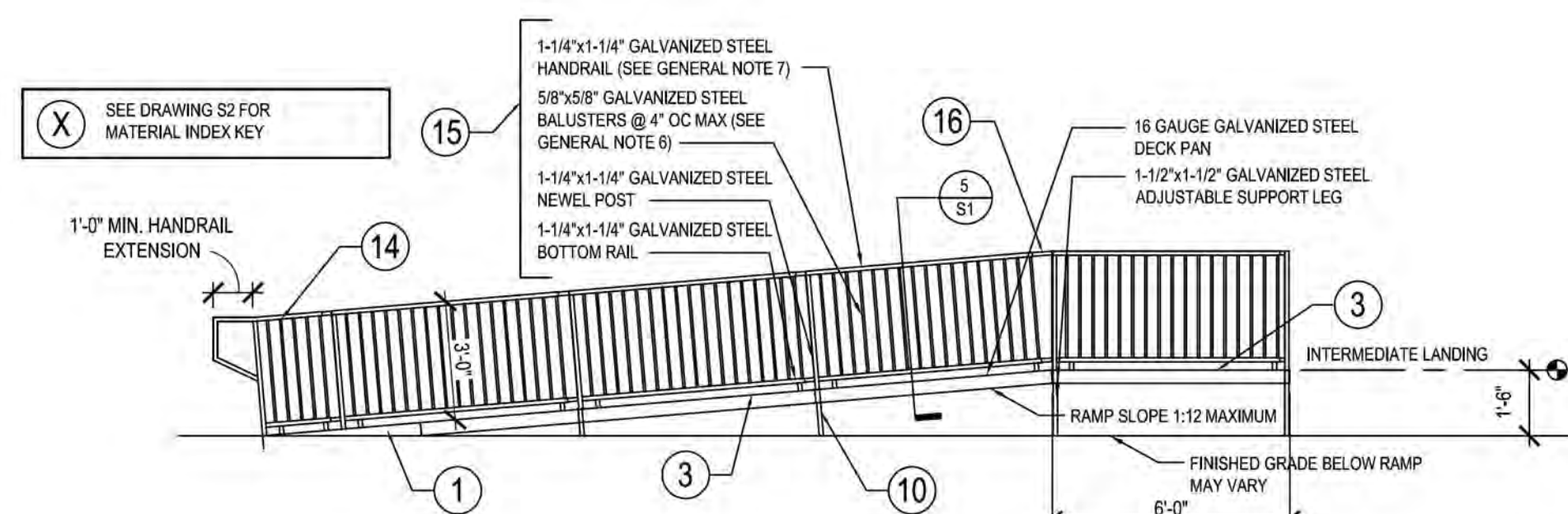
**4 TYP. STAIR SECTION**  
 SCALE: 3/4"=1'-0"



**3 TYPICAL ELEVATION**  
 SCALE: 1/4"=1'-0"



**2 TYPICAL ELEVATION**  
 SCALE: 1/4"=1'-0"



**1 TYPICAL ELEVATION**  
 SCALE: 1/4"=1'-0"

Quick-Deck, Inc.  
**California State Standard**  
 Model Number: QD-2018-01

Revisions:

Proj. No.:  
 Date: March 7, 2018

Sheet Name:  
 Elevations and  
 Details





Revisions:

Proj. No.:  
 Date: March 7, 2018

Sheet Name:  
 Foundation Base Options  
 Structural Notes and  
 Material List



**STRUCTURAL STEEL**

- ALL STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM TO: SPECIFICATION FOR STRUCTURAL STEEL BUILDING - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN OF A.I.S.C. LATEST EDITION.
- ALL FABRICATION SHALL COMPLY WITH CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, LATEST EDITION, AS PUBLISHED BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
- UNLESS NOTED OTHERWISE, STRUCTURAL STEEL SHALL CONFORM TO ASTM A992/A572-50 OR ASTM A500 GRADE B. MIN Fy = 50 ksi
- STEEL BASE PLATES SHALL CONFORM TO ASTM A36, MIN Fy = 36 ksi
- BEAMS WITHOUT SPECIFIED CAMBER ARE TO BE FABRICATED SUCH THAT AFTER ERECTION ANY CAMBER DUE TO ROLLING OR SHOP FABRICATION IS UPWARD AT MID-SPAN.

**STRUCTURAL WELDING**

- ALL STRUCTURAL WELDING MUST BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE AMERICAN WELDING SOCIETY.
- THE FABRICATOR/CONTRACTOR SHALL BE RESPONSIBLE FOR THE QUALIFICATION OF WELDERS, WELDING OPERATORS AND TACK WELDERS.
- EACH WELDER'S QUALIFICATION RECORD SHALL BE KEPT BY THE FABRICATOR/CONTRACTOR AND AVAILABLE FOR IMMEDIATE VERIFICATION.
- WELDING PROCEDURES SHALL BE FORMULATED FOR ALL TYPES OF WELDS.
- ALL WELDING ELECTRODES MUST BE PROPERLY PACKAGED AND STORED PRIOR TO USAGE. UPON REMOVAL FROM PACKAGE/STORAGE, ELECTRODES MUST BE PROPERLY HANDLED AND USED DURING THEIR PERMISSIBLE EXPOSURE TIME.
- WELDING CONDITIONS MUST MEET ALL AWS SPECIFICATIONS FOR EACH WELD PROCEDURE AND WELD TYPE, INCLUDING BUT NOT LIMITED TO: AMBIENT TEMPERATURE, EXPOSED SURFACES, HIGH WIND AREAS AND ALL OTHER INCIDENT CONDITIONS.
- STEEL MUST BE PREPARED AS PER THE WRITTEN WELD PROCEDURES: SMOOTH, UNIFORM, FREE FROM ALL FINES, GREASE, MOISTURE, RUST AND FOREIGN MATERIAL.
- WELDS SHALL CONFORM TO "STRUCTURAL WELDING CODE" OF THE AMERICAN WELDING SOCIETY, AWS D1.1. USE E70XX ELECTRODES. ALL WELDERS TO BE CERTIFIED BY AWS STANDARDS.
- GRIND EXPOSED FULL PENETRATION WELDS SMOOTH TO MATCH AND BLEND WITH ADJOINING SURFACE.

**MATERIAL INDEX: COMPONENTS AND SPECIFICATIONS**

PART	DESCRIPTION	SIZE	MATERIAL	PART	DESCRIPTION	SIZE	MATERIAL
1	WEDGE	1/2" x 1/2" x 1/2"	12 GA Hot Rolled Steel	18	GUARDRAIL RAM	1 1/2" x 1 1/2" x 1/2"	12 GA Hot Rolled Steel, 1/4" x 1/4" x 1/4" Steel Tube
2	MAINFRAME - SEE 4/S2	1/2" x 1/2" x 1/2"	16 GA Hot Rolled Galvanized Steel	19	FRAME SPACER	1/2" x 1/2" x 1/2"	16 GA Hot Rolled Galvanized Steel
3	EMBOSSED SURFACE PANEL - SEE 2/S2	1/2" x 1/2" x 1/2"	16 GA Hot Rolled Galvanized Steel, #16 Standard Expanded Metal	20	BOLT SET	1/2" x 1/2"	1/2" Stainless Steel
4	STRINGER SECTION	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	21	GROUND PAD	10"	Greenwood
5	STAIR TREAD	1/2" x 1/2" x 1/2"	12 GA Hot Rolled Steel	22	GROUND SPIKE	1/2" x 1/2" x 1/2"	1/2" Steel Rebar w/ weather stop added to top end of leg
6	STANCHION	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	23	POST CAP	1/2" x 1/2" x 1/2"	Plastic Polymer
7	GUARDRAIL STANCHION	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	24	STAIR RAIL	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2" Steel Tube, 1/2" x 1/2" x 1/2" Nut
8	STANCHION EXTENSION	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	25	SURFACING CORNER CAP	1/2" x 1/2" x 1/2"	16 GA Hot Rolled Steel, 1/2" x 1/2" x 1/2" Nut
9	SCREW JACK LEG	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	26			
10	SPEED LEG	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"				
11	TUBE LEG	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"				
12	DIFFUSER	1/2" x 1/2" x 1/2"	12 GA Hot Rolled Steel				
13	JACK SCREW	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"				
14	ENTRY RAIL	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"				
15	HANDRAIL	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"				
16	RAIL RAM	1/2" x 1/2" x 1/2"	12 GA Hot Rolled Steel, 1/2" x 1/2" x 1/2" Steel Tube				
17	GUARDRAIL	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"				

**SYSTEM COMPONENTS**

**LEG FOOTINGS**  
 Refer to S-2 for "Foundation Options" and to S-3 for anchoring.

**LEGS**  
 Legs come in increments of 12" up to 8 ft. and have 12" of adjustability. Legs are 1 1/2" x 1/2" tubing with a .063 wall. The legs lock into the frame and adjust to the ground or slope required using a pressure lock system.

**SCREW JACK LEGS**  
 Screw Jack Legs are adjustable and require no safety features. Used for decking under 8" high.

**FRAMES**  
 Frames are welded together. Multiple frames are bolted together to create a ramp segment and/or deck. Frames come in three sizes: 48"x48", 48"x72", and 72"x72". Parts are pre-galvanized 16 gauge. Cross beam centers are 20" or less.

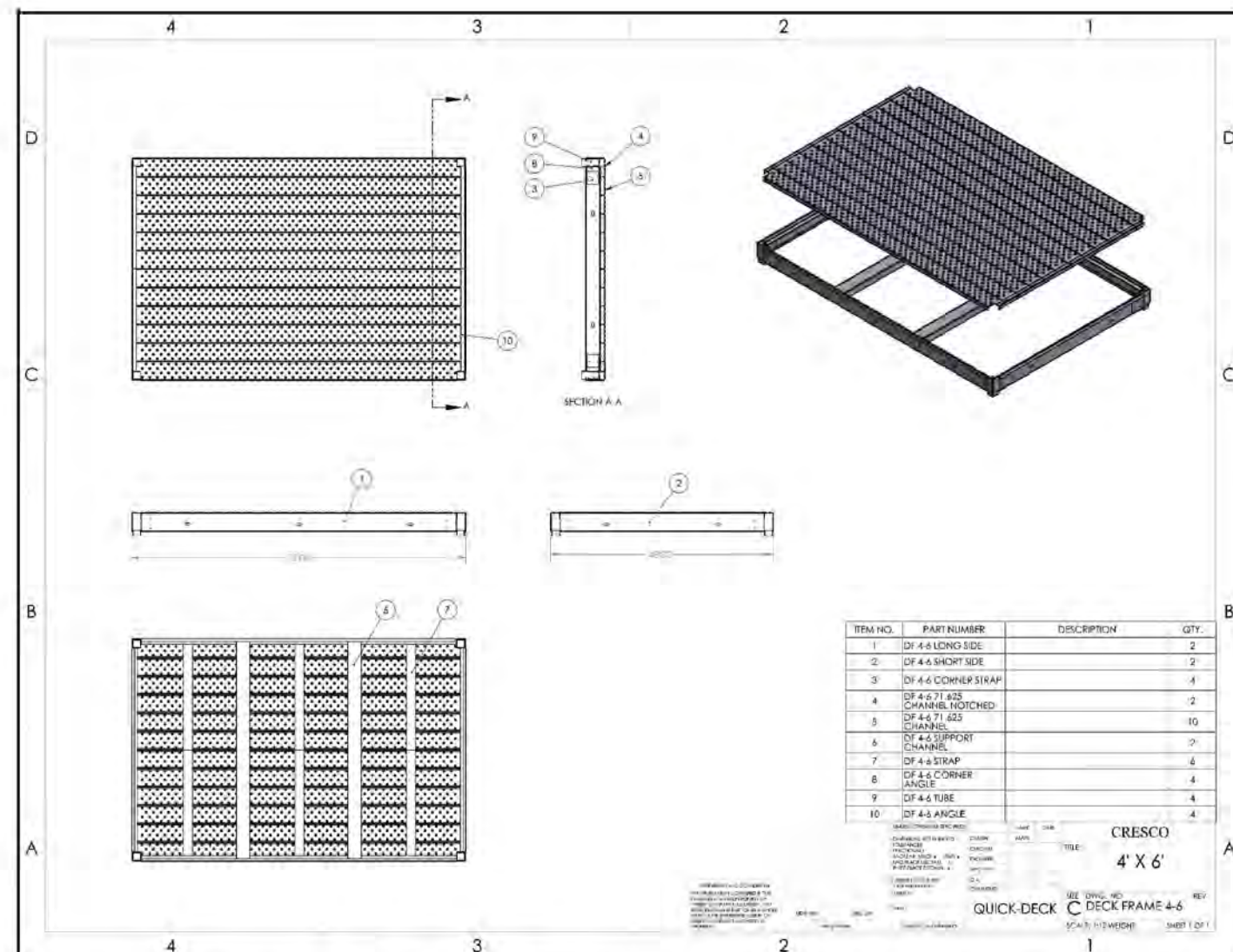
**SPACERS**  
 Spacers bolt to the main frame. Pre-galvanized 16 gauge. Spacers come in two sizes: 6"x48" and 6"x72". Spacers make it possible to separate the leg in a switchback configuration and create odd size landings.

**HANDRAILS & GUARDRAILS**  
 Rails come in 2", 4", and 6" lengths. All railing is designed to take 200 lb. lateral load in any direction. Handrails are fastened 36" above the finished ramp/deck surface. Guardrails are fastened 42" above the finished ramp/deck surface. Guardrails are to be installed at all locations where the ramp, landing, or deck is more than 30" above grade.

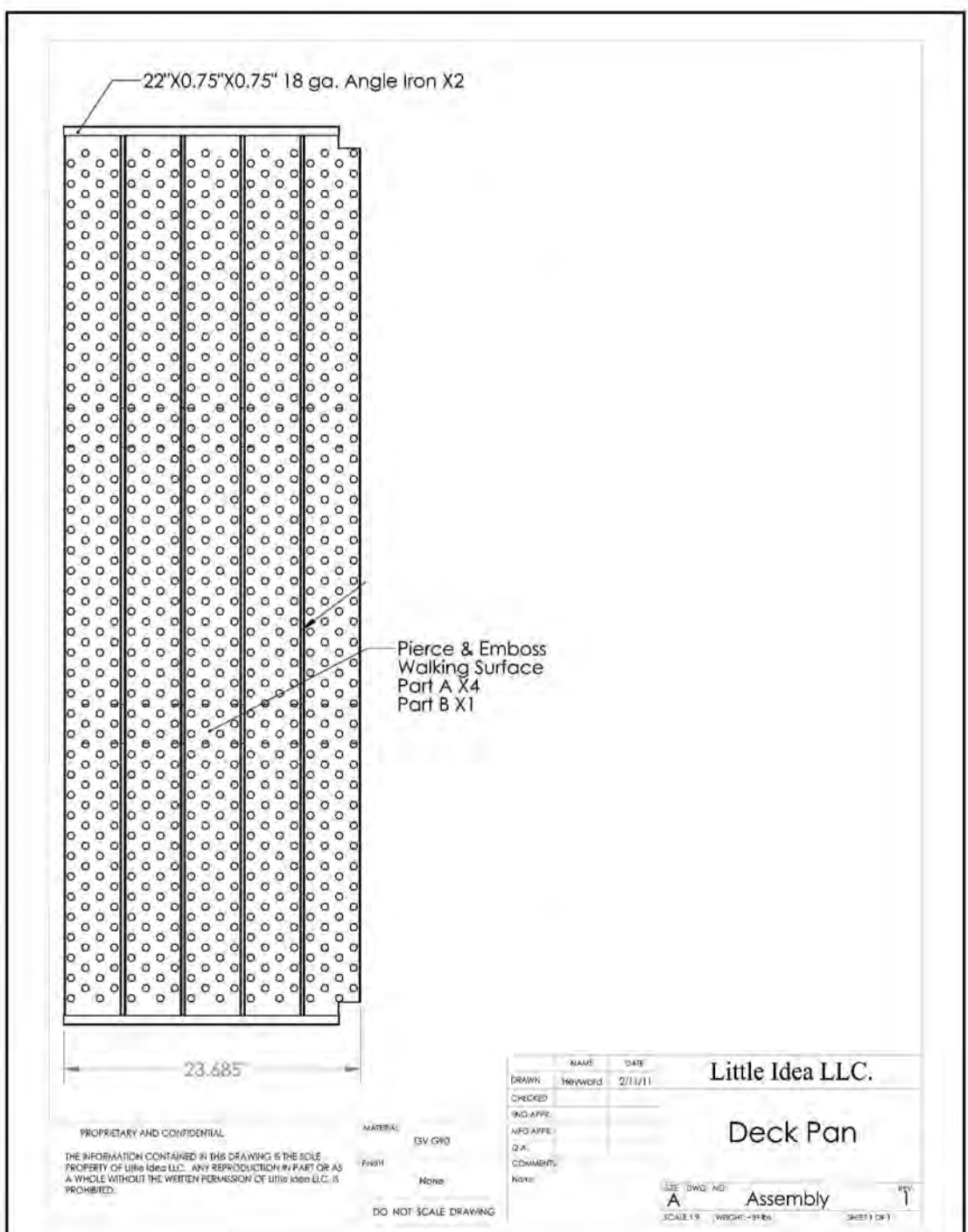
**WELDS**  
 The wedge is a 12 gauge steel transition piece between the ground and the first midframe. It has a non-slip surface composed of a two-part epoxy and .030 silica sand.

**STAIRS**  
 All steel components. Stair sections are 44" wide. Each riser is 7" high. Each tread is 12" deep. 36" high handrails are provided with a lambda-tongue return at the entrance. All treads are surfaced with a non-slip surfacing. The only tread that is adjustable is the bottom tread. If closures for the step are needed, please specify prior to installation. Ideally, the height of the structure would be a multiple of 7". Thus, a platform height of 42"=6 risers & 5 treads.

**BOTTOM RISER**  
 Customer is responsible for the height of the bottom tread of the Quick-Deck stair system. If the height doesn't fall as a multiple of 7" (ex: 14", 21", 28"), you will have to dig away or build up the ground to make the bottom tread 7" high.



**MAIN FRAME SHOP DRAWING - PART 2**  
 SCALE: 1/4"=1'-0"



**TYPICAL SURFACE PANEL SHOP DRAWING - PART 3**  
 SCALE: 1/4"=1'-0"



**TYPICAL SURFACE PANEL PHOTO - PART 3**  
 SCALE: 1/4"=1'-0"

**PLASTIC GROUND PAD CUT SHEET**

California's Largest Manufactured Housing Supplier  
 Ph: 951-674-4011 • Fax: 951-674-5720 • www.sedcopeer.com  
 33320 Mission Trail • Wildomar, CA 92585

**SPECIFICATIONS**

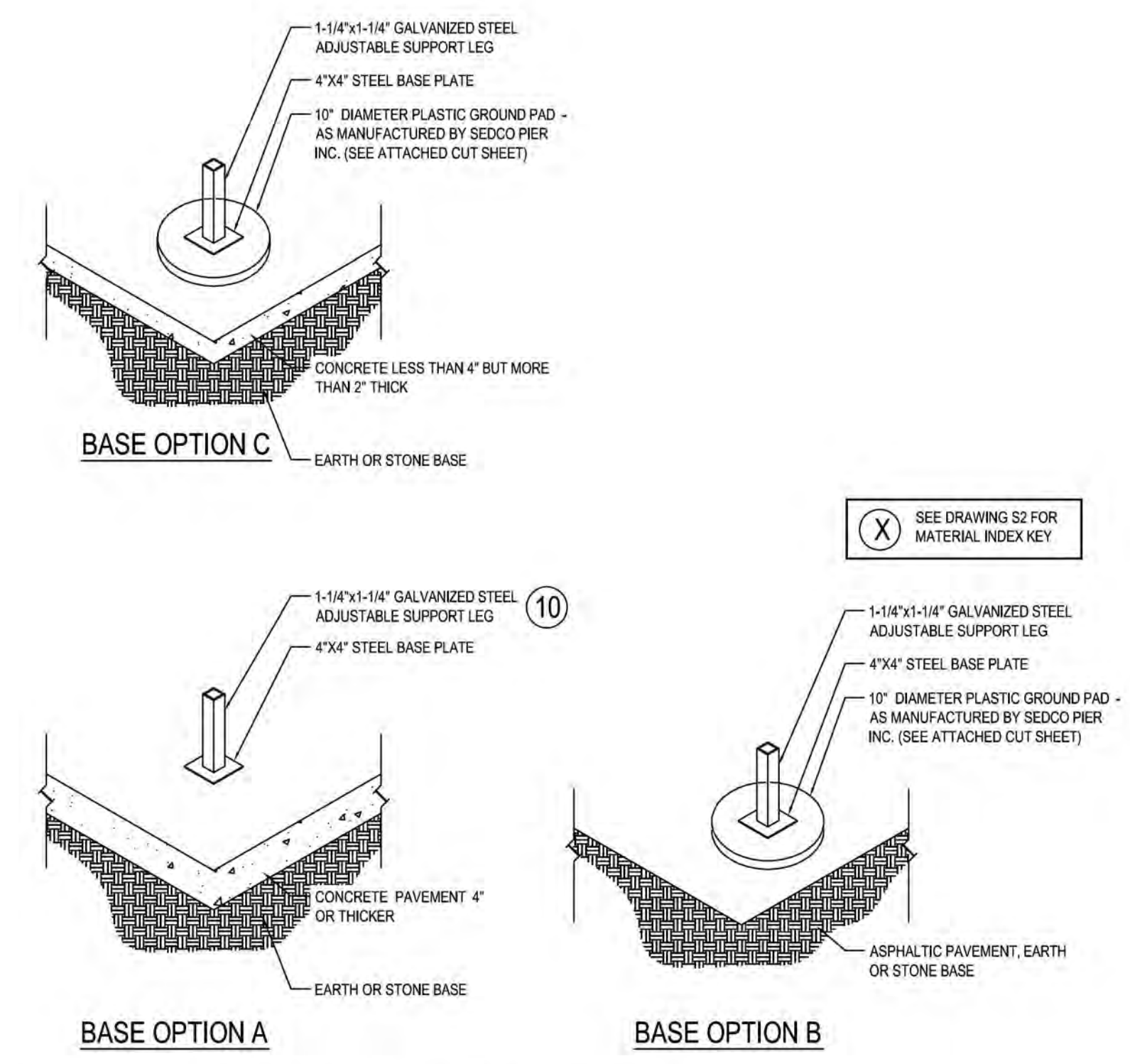
Pad Identification	Nominal Pad Diameter (in.)	Pad Capacity <sup>1</sup> 1500 psf soil (lb)	Pad Capacity <sup>2</sup> 3000 psf soil (lb)
Model #10	10	810*	1620*
Model #16	16	2100*	4200*

<sup>1</sup> Pad capacity is limited by the lesser of the following criteria; the peak load divided by a safety factor of 3, the soil capacity, load at 0.4-in. deflection  
<sup>2</sup> Pad capacity is limited to soil capacity

**Characteristics**  
 Density: 1.13g/cm<sup>3</sup>  
 Stiffness: 535,054 psi  
 Ioad Impact: 0.95 ft.-lb./in.  
 Gardner Impact: 164 in.-lb.

**Benefits:**

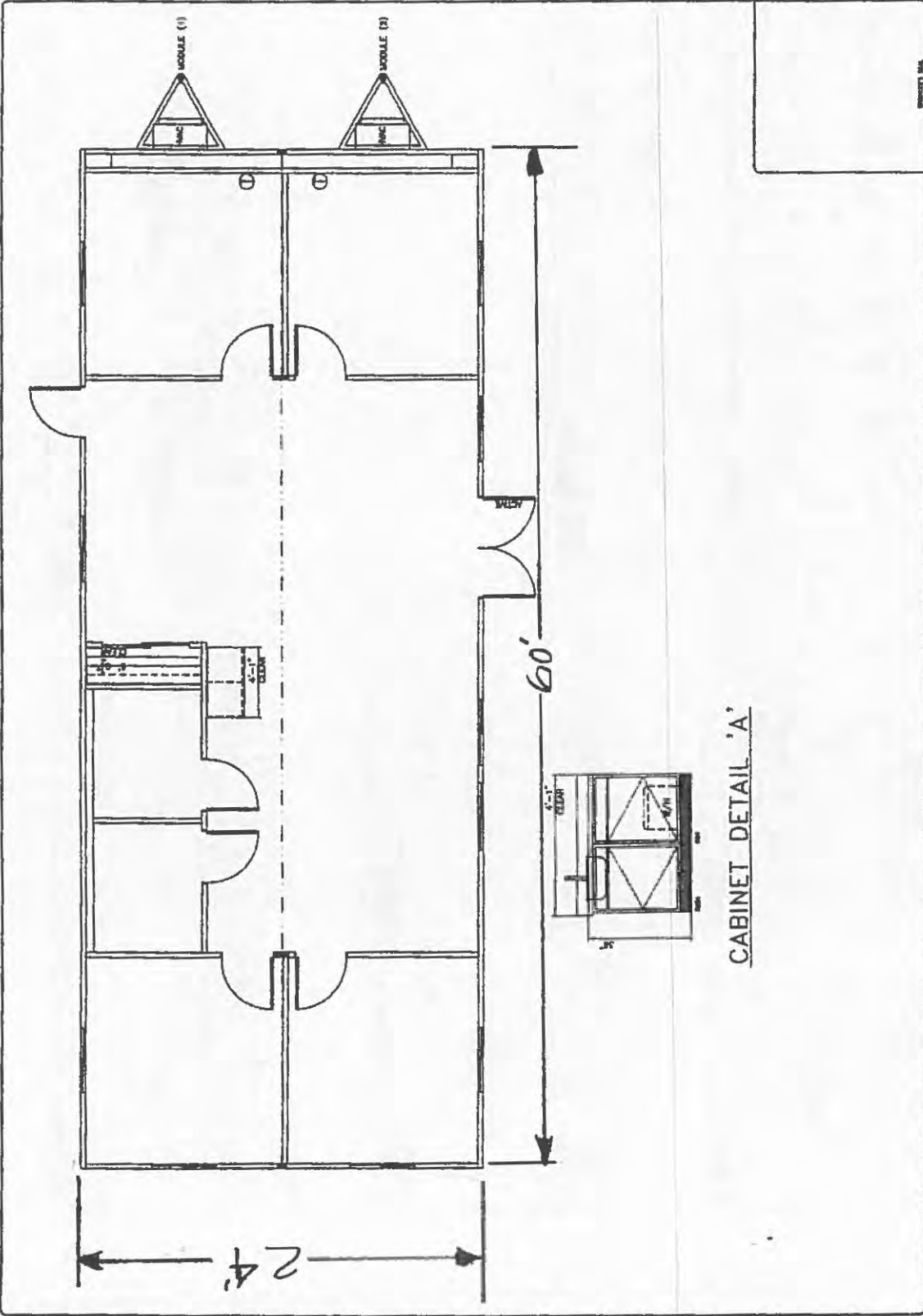
- UV Stable
- Easy installation
- Saves time & labor
- Strong and durable
- Eliminates deflection
- Made from 100% recycled materials
- Restats most herbicides and pesticides
- Replaces concrete
- Light weight saves on shipping & handling



**FOUNDATION BASE OPTIONS**  
 SCALE: 3/4"=1'-0"

<b>PHOENIX MODULAR</b> 2800 E. 130th Ave. #100 Phoenix, AZ 85034 PHONE: (602) 442-8288		PMJ-2712 THRU 2713-2450 04/04/08	PMJ-PV-2450-02 04/04/08
<b>PAC VAN</b> 101 S. GARDEN AVENUE PHOENIX, AZ 85018 PHONE: (602) 252-1111		JAY D.	D. MOORE
<b>REVISIONS</b>		CONFIDENTIAL THIS DRAWING IS THE PROPERTY OF PHOENIX MODULAR. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF PHOENIX MODULAR.	
NO.	DATE	DESCRIPTION	

8 OF 8  
SHEET #



CABINET DETAIL 'A'



Shaver Lake Laydown Yard  
41694 Dinkey Creek Road  
Shaver Lake, CA 93664  
August 14, 2019

Site/Project Information  
Unclassified Conditional Use Permit #3639 (Rev. 1)  
APN #120-260-10U

### Operational Statement for Proposed Laydown Yard

SCE needs to construct a laydown yard to support upcoming and ongoing project work in the Shaver Lake region.

The laydown yard will be adjacent to SCE's existing Service Center, but the Service Center's operations will remain unchanged and unaffected. The laydown yard will operate separately from the existing Service Center.

Currently the existing Service Center consists of one building that houses the floor area for office space, warehouse use, garage use and a small open material storage yard. The existing Service Center operations consist of administrative service activities which include customer service functions and the dispatching of service vehicles involved with the construction and day to day maintenance of SCE's electrical system.

- 1. Nature of the Operation:** Southern California Edison (SCE) would like to operate a laydown yard to support our Transmission Line Rating Remediation (TLRR) program and future corporate operational needs. SCE's operational statement will only address the area on the parcel that we are proposing to use as a laydown yard. The proposed Shaver Lake laydown yard consists of 2.62 acres of enclosed area for use by SCE's Transmission and Distribution organization. The proposed laydown yard will provide the necessary storage area for equipment and material for the construction and maintenance of SCE's electrical system. Construction material will be delivered to this site and redistributed to the ongoing active construction areas. Crews will enter the laydown yard to pick up material and exit the yard after loading material.
- 2. Operational Time Limits:** The proposed laydown yard will operation from 6 a.m. to 6 p.m. during normal operation. The workers will work 12 hours per day up to 6 days a week. However, workers may utilize the yard beyond normal hours if the work is urgent and/or time sensitive.
- 3. Number of Customer Visitors:** No customers will visit the laydown yard. The private road the driveway for the laydown yard will be accessed from also provides access to the

SCE Service Center and Fresno County yard. The SCE Service Center does have approximately 10-15 customer visitors a day during business hours 7am – 4pm, Monday – Friday. The EIR for the SCE Service Center addressed the customer traffic.

4. **Number of employees:** SCE estimates there will be 25 workers on site once the yard is operational. Crews will leave the yard with the line trucks and relate equipment in the morning and return in the afternoon during normal hours of operation. No workers will live on site.
5. **Service and Delivery Vehicles:** Delivery vehicles will deliver packages, pallets, hardware, poles, electrical apparatus, etc. Deliveries are expected 1-2 times per day, approximately 2-4 days per week.
6. **Access to the site:** The site address is located at 41694 Dinkey Creek Road approximately a quarter mile east of Highway 168. The proposed concrete private access road will be located off a paved private road, north of the Shaver Lake SCE Service Center employee entrance.
7. **Number of parking spaces:** The proposed laydown yard will have two ADA compliant parking stalls (one for each office trailer) and open parking spaces on asphalt, concrete and/or gravel for the remaining twenty three workers.
8. **Are any goods to be sold on site?** No.
9. **What equipment is used?** The proposed laydown yard will use one or two all-terrain forklift which will be stored within the laydown yard. Depending on work load, the equipment stored and driven off daily includes one crane truck, four bucket trucks, four F550 trucks and nine  $\frac{3}{4}$  or  $\frac{1}{2}$  ton trucks.
10. **What supplies or materials are used and how are they stored?** SCE will be storing power poles, wire and cable reels, insulators, new transformers, material crates, hardware, material on pallets, two roll-off bins and approximately two conex storage box.
11. **Does the use cause an unsightly appearance?** No. Due to heavy foliage around the site and its distance from the main road, it is not easily seen.
12. **List any solid or liquid waste to be produced:** Liquid waste produced by the laydown yard will come from the portable restroom uses. Solid waste includes wood, metal, cardboard, paper, etc. The produced waste disposal will comply with local county ordinances.
13. **Estimated volume of water to be used:** The proposed laydown yard restroom will use approximately 60 gallons of non-potable water per day.
14. **Describe any proposed advertising including size, appearance, and placement:** The site will have no advertising.
15. **Will existing buildings be used or will new buildings be constructed?** New mobile office trailers will be delivered and set at the site.
16. **Explain which buildings or what portion of buildings will be used in the operation:** The two new mobile office trailer will be used by SCE's Transmission and Distribution organization for construction and maintenance operations.
17. **Will any outdoor lighting or an outdoor sound amplification system be used?** SCE will install yard lighting (approximately a 25 foot tall pole with mounted lights). No outdoor sound amplification system will be used.



- 18. Landscaping or fencing proposed?** There is a proposed 8-foot chain link fence to be installed along the perimeter of the proposed laydown yard.
- 19. Any other information that will provide a clear understanding of the project operation:** SCE needs laydown yard space in the Shaver Lake area to meet our future project demand and O&M needs. For information regarding the construction of the laydown yard please see Construction Description Document.
- 20. Identify all Owners, Officers and/or Board Members for each application submitted:** See attached excerpt from SCE's 2018 annual report noting SCE's Officers and Board of Directors. As a public company all this information is available on our website, [www.edison.com](http://www.edison.com).



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: Pascual Garcia (Southern California Edison)
- APPLICATION NOS.: Initial Study Application No. 7593 and Unclassified Conditional Use Permit Application No. 3639
- DESCRIPTION: Allow the expansion of an existing Southern California Edison Service Center with the construction of a laydown yard, which will provide storage area for equipment and material for the construction and maintenance of Southern California Edison's Transmission and Distribution system on a 2.62-acre portion of a 357.80-acre parcel in the RC-40 (Resource Conservation, 40-acre minimum parcel size) Zone District.
- LOCATION: The project site is located on the north side of Dinkey Creek Road, approximately one quarter-mile east of State Route 168/Tollhouse Road, within the unincorporated community of Shaver Lake (SUP. DIST. 5) (APN 120-260-10U) (41694 Dinkey Creek Road).

### I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is located northerly adjacent to Dinkey Creek Road which is designated as a scenic drive in the Open Space and Conservation Element of the Fresno County General Plan. However, the proposed development will not take access directly from Dinkey Creek Road; rather, the project site will be accessed via a private road connecting to Dinkey Creek Road. Additionally, the project area will be partially screened from the roadway by existing trees.

The proposed laydown storage yard will be surrounded by an eight-foot-tall chain-link fence, topped with barbed wire; additionally, the nearest point of the proposed storage yard will be located approximately 93 feet from the nearest right-of-way of Dinkey Creek Road.

Access to the proposed laydown yard will be via a proposed new paved access driveway connecting with the existing paved private road. The construction of the access driveway will involve the removal of some granite outcroppings and trees to allow for the grading and construction of the driveway; however, as the project involves minimal removal of trees and rocks, and grading of the site, there would be less than significant impacts to scenic vistas or scenic resources.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project site encompasses a 2.62-acre portion of the subject parcel, which will be added to the existing Shaver Lake Service Center, which includes an 11,842 square-foot administration main building, within an approximately 2.0-acre fenced area with various accessory buildings, fuel pumps with underground storage tanks, and an above-ground propane storage tank.

The proposed laydown yard will provide for the storage of material and equipment for the construction and maintenance of Southern California Edison's (SCE's) transmission and distribution infrastructure. Construction material will be delivered to the site before it is redistributed to the other construction sites. This proposal also entails the installation of two new 1,440 square-foot mobile office trailers.

Dinkey Creek Road, from which the service center takes access, is designated as a scenic drive in the Fresno County General Plan, Open Space and Conservation Element. The project site would take access from an existing paved private road connecting to Dinkey Creek Road, and no new access drives from Dinkey Creek Road will be added.

The project entails the expansion of an existing facility which is accessed by the public; however, no public view points were identified in the analysis, thus the project will not substantially degrade the existing visual character or quality of public views of the site and its surroundings. The project is not located in an urbanized area.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Review of the applicant's operational statement indicates that there will be one approximately 25-foot-tall pole mounted with security lighting. Accordingly, the following Mitigation Measure will be included to address proposed or existing lighting.

\* **Mitigation Measure**

1. *All outdoor lighting shall be hooded and directed downward to avoid shining on adjacent property or the public roadway.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use; or
- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

FINDING: NO IMPACT:

The subject property is not restricted under Williamson Act contract.

- C. Conflict with existing zoning for forestland, timberland or timberland zoned Timberland Production?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject property is not zoned as Timberland Preserve; however, the growing and harvesting of timber and forest products, as well as uses and facilities appurtenant to timber growing and harvesting, are allowed uses in the Resource Conservation Zone District.

The proposed project entails the minor expansion of an existing facility, which would involve the clearing of trees, and grading and paving of approximately 2.62 acres of the 357.80-acre parcel, to be utilized for the storage of materials and equipment used in the maintenance of existing Public Utilities infrastructure.

The nearest Timberland Preserve-zoned area is located approximately two miles east of the subject parcel; thus, the proposed project will not conflict with land zoned for Timber production or forest land.

- D. Result in the loss of forest land or conversion of forest land to non-forest use; or

- E. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of farmland to non-agricultural use or conversion of forest land to non-forest use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject property is zoned RC-40, Resource Conservation Zone District, which is intended to conserve and protect natural resources and habitats. In accordance with its conservation purposes, the RC-40 Zone District limits lot coverage by permitted buildings and other structures to no more than one percent of the total lot area for all lots ten acres or larger. In this case, the property is approximately 357.80 acres, which would limit development to approximately 3.57 acres of building area. In this case, the existing and proposed improvements would not exceed that lot coverage threshold. The project will entail expansion of the existing service center to add an adjacent equipment storage yard, which will operate separately from the service center. The expansion will involve the removal of an approximately 2.62-acre forested area, clearing and grading of the site and paving. However, the proposed expansion area is less than significant.

### III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposes to construct an approximately 2.62-acre storage yard adjacent to the existing Southern California Edison Service Center. According to the project description, the construction of the storage yard is anticipated to last three months, and will involve grading the site, installation of concrete and gravel surfacing, the installation of two 1,440 square-foot mobile office/utility trailers, electrical equipment, water supply, septic system, an eight-foot-tall gated chain-link fence topped with barbed wire, and post-construction site clean-up.

It is expected that construction operation will involve emissions of criteria pollutants from vehicles, diesel-powered trucks and other construction equipment. However, due to the limited size of the proposed construction site and the short duration of the proposed construction timeline, project-related emissions are not anticipated to exceed any Air District established significance thresholds for criteria pollutants.

- C. Expose sensitive receptors to substantial pollutant concentrations; or

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

There is a residential development located approximately 200 feet west of the proposed storage yard; thus, it is possible that fugitive dust, particulate matter, and other emissions, which could result in odors, could impact sensitive receptors; however, based on the limited scope and time frame of construction activities, and the distance of the project site from residential dwellings, such impacts to sensitive receptors would be less than significant.

#### IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: LESS THAN SIGNIFICANT IMPACT:

This project was routed to the U.S. Fish and Wildlife Service and the California Department of Fish and Wildlife; neither agency expressed concerns that the project would have adverse impacts on any special-status species. No riparian habitat was identified by either reviewing agency.

According to conclusions of the applicant's Biological Habitat Assessment Report, which included a search of the California Department of Fish and Wildlife (CDFW), California Natural Diversity Database (CNDDDB); no current populations of the State Threatened Sierra Red Fox are known to occur in the vicinity of the project.

Additionally, habitat and elevation range preclude the State Threatened Tree Anemone (an evergreen shrub) from occurring in the proposed project area.

The State and Federal Candidate, Pacific Fisher (small carnivorous mammal), is known to occur in the project area; however, the applicant's Habitat Assessment Report indicates that no Pacific Fisher dens are known to occur on or adjacent to the project site, and the high level of anthropogenic activity in the project vicinity creates less than ideal habitat conditions for the Fisher.

State Listed/Threatened and Federally Endangered Sierra Nevada Yellow-Legged Frog is known to occur approximately one and one half-miles east of the project site.

The Bald Eagle is listed as California Endangered, and is known to occur in nesting pairs in the vicinity of Shaver Lake, approximately two miles northeast of the project site. The project site is not considered suitable nesting, roosting or foraging habitat for the Bald Eagle, and the project is not anticipated to result in adverse impacts to this species.

The California Endangered Great Grey Owl is known to occur within one to one and one half-miles of the project site; however, no suitable nesting habitat was observed within the project area.

The State Endangered Willow Flycatcher (migrant bird) is known to occur seasonally (in warmer months) in areas of similar elevation and vegetative cover as are found in the project vicinity; however, no habitat was observed within or adjacent to the project area. The Willow Flycatcher is protected by the Migratory Bird Treaty Act (MBTA).

The State Candidate (threatened) Foothill Yellow-Legged Frog is known to occur in areas similar in characteristics to the project area, typically found near a water source. No habitat was observed within the project area.

The California Spotted Owl (State Species of Special Concern) is known to occur in observed nesting pairs within three quarter-miles west of the project site.

The Northwestern Pond Turtle (State Species of Special Concern) is known to occur in areas with topographic and vegetative characteristics similar to the project site, although the site is at the species' upper elevation limit. The species is typically found near water sources; however, no habitat was observed within the project area.

- C. Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

No state- or federally-protected wetlands were identified in the analysis.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: LESS THAN SIGNIFICANT IMPACT:

None of the reviewing agencies with jurisdictional authority over the protection of biological resources expressed any concerns that this project would result in interference with migratory fish or wildlife species.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or

- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

This proposal will not conflict with any local policies or ordinances protecting biological resources, nor conflict with any provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional or state Habitat Conservation Plan.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or
- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project is in an area of moderate archaeological sensitivity; the project was routed to the Southern San Joaquin Information Center (SSJVIC) for review and comment. The SSJVIC determined the subject parcel was last surveyed in 2011, and recommended that a qualified professional perform a new archeological survey prior to project approval. Based on this recommendation, the applicant was asked to provide an Archaeological Survey for this project. The applicant's consultant evaluated the project site, performed a Cultural Historical Records Search and a pedestrian survey to determine the presence of any known cultural resources or previous cultural resource surveys on or near the subject parcel. The applicant's consultant, Material Culture Consulting, provided an archaeological survey dated June 10, 2019. Based on the results of the archeological survey, there were fifteen (15) previous cultural resource surveys within one quarter-mile of the project area and four (4) which encompassed portions of the project area; two (2) previously-recorded cultural resources were identified within a one quarter-mile radius of the project area. One of the identified resources is historical and the other is prehistoric. To address the possibility that previously-unknown subsurface cultural materials may be discovered during ground-disturbing activities, the following Mitigation Measure has been included, which will reduce potential impacts to cultural or historical resources to a less than significant level.

\* **Mitigation Measure**



1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

## VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposes to remove a number of trees, grade a 2.62-acre area, add gravel surfacing and install two office trailers on concrete pads. It is expected that during the approximately three-month construction time frame, energy resources, electricity for lighting and fuel for vehicles and construction equipment will be utilized; however, it is not expected to be wasteful or unnecessary with adherence to standard construction practices. The project will not conflict with or obstruct a state or local plan for renewable energy.

## VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
  1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault; or
  2. Strong seismic ground shaking; or
  3. Seismic-related ground failure, including liquefaction; or
  4. Landslides?

FINDING: NO IMPACT:

The subject parcel is not located in an area designated as being prone to seismic activity in the Fresno County General Plan Background Report (FCGPBR).

B. Result in substantial soil erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Development of the site would involve grading which could result in some erosion, given the natural topography of the parcel; however, any such development will be required to obtain grading permits, and be subject to the requirements of the Grading and Drainage Sections of the Fresno County Ordinance Code.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse; or
- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

The project site is not located within an area of known risk of landslide, lateral spreading, subsidence, liquefaction, collapse, or within an area of expansive soils.

E. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposes to connect to an existing onsite septic system. This project was reviewed by the Fresno County Department of Public Health, Environmental Health Division, which did not express any concerns with the existing septic system.

F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

No paleontological resources or unique geologic features were identified in the analysis.

### VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will generate greenhouse gas emissions during construction, and during operation; however, once construction is complete, additional vehicle traffic associated with the proposed storage yard is not anticipated to result in a substantial increase in long-term greenhouse gas emissions. The San Joaquin Valley Air Pollution Control District (SJVAPCD) published Guidance for Valley Land Use Agencies in Addressing GHG Emission Impacts for New Projects Under CEQA December 17, 2009.

The Guidance proposes the use of performance-based standards or Best Performance Standards (BPS) as a means of determining the significance of project specific GHG emission impacts by utilizing established design specification or project design elements, which would assist in identifying feasible GHG emission reduction or minimization measures. Emission reduction via implementation of BPS would be pre-quantified, eliminating the need for project-specific quantification of GHG emissions. Under these standards, this project will have a less than significant impact on Greenhouse Gas generation.

#### IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed facility will be required to handle all hazardous waste in accordance with the provisions of California Code of Regulations (CCR), Title 22, Division 4.5.

- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one quarter-mile of an existing or proposed school?

FINDING: NO IMPACT:

The subject parcel is not located within one quarter-mile of an existing or proposed school.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

The subject property is not located on a hazardous materials site as identified by the U.S. Environmental Protection Agency, NEPAAssist mapping tool. The SCE Shaver Lake Service center is classified as a Hazardous Waste Generator under the guidelines of the Resource Conservation and Recovery Act (RCRA). The proposed material storage yard will contain electrical infrastructure materials such as power poles, wire and cable reels, insulators, new transformers, material crates, hardware, other palletized material, roll-off bins and two Conex storage boxes.

If any storage of hazardous materials is proposed, the applicant will be required to update its Hazardous Materials Business Plan within 30 days if there is a 100 percent increase in quantities of a previously-disclosed material, or the facility begins handling a previously-undisclosed material at or above the HMBP thresholds. All hazardous waste is required to be handled in accordance the provisions of the California Code of Regulations (CCR), Title 22, Division 4.5.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

The subject property is not located within an airport land use plan or within two miles of a public airport.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

FINDING: NO IMPACT:

The project will not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed facility is in a State Responsibility Area (SRA) and is subject to all applicable SRA Fire Safe Regulations, which address such things as setbacks for structures, emergency access and vegetation management. The project was reviewed by CalFire, which did not express concerns that the project would result in an increased risk of human or structural exposure to wildfire that may result in loss, injury or death.

Because the subject parcel is located in area that is prone to wildfire risk, the potential remains for such an occurrence; however, the project does not entail a substantial increase in new structures or the addition of a substantial number of additional personnel over that of the existing facility, and with adherence to all applicable fire safe regulations and building and fire codes, such risks would be less than significant.

## X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality?

FINDING: NO IMPACT:

The proposed facility is not anticipated to violate any water quality standards or waste discharge requirements, impacting surface or groundwater. The project site is located approximately one third-mile southwest of the nearest extent of Shaver Lake.

- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: NO IMPACT:

The proposed facility will provide storage for electrical infrastructure materials and equipment, and does not propose to use substantial quantities of groundwater in its operation.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:

1. Result in substantial erosion or siltation on or off site; or
2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site; or
3. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or
4. Impede or redirect flood flows?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will involve the removal of trees and vegetation, grading, leveling and surfacing of the approximately 2.62-acre project site, which will alter the drainage pattern of the site from its previously natural state. However, the majority of the site will be surfaced with gravel over the native soil, with the exception of concrete pads for parking spaces, thus maintaining a predominately pervious surface, minimizing the amount of additional runoff created by development of the site. The project will not alter the course of a stream or river, nor is it anticipated to result in substantial offsite erosion or siltation. Any additional runoff is not anticipated to exceed the capacity of existing or planned storm water drainage systems and must be retained on site in compliance with County standards.

- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: NO IMPACT:

The project site is not located in a flood hazard area or an area at risk of tsunami or seiche.

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

The project is not anticipated to increase the use of groundwater in excess of the existing facility's current water use.

## XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community; or
- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: NO IMPACT:

The project will not physically divide an established community or conflict with any land use plan, policy or regulation adopted for avoiding or mitigating environmental impacts.

## XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or

- B. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: NO IMPACT:

The subject parcel is not located in an area of known mineral resources as identified by Figures 7-7 and 7-8 of the Fresno County General Plan Background Report (FCGPBR).

### XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Project construction activities may generate temporary ambient noise levels including ground-borne vibration; however, as construction activity will be limited to a 2.62-acre area adjacent to the existing SCE Service Center, and with a limited construction timeline, no substantial temporary or permanent increase in noise is anticipated. The project will be required to comply with the Fresno County Ordinance Code.

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: NO IMPACT:

The project site is not located in the vicinity of a private airstrip or within the review area of an airport land use plan.

### XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure); or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The project proposal, once constructed, will employ approximately 25 people in the operation of the storage yard. The proposal is not anticipated to induce substantial population growth, and no new infrastructure other than an access driveway for the storage yard is proposed. No housing or people will be displaced as a result of this project.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:
  - 1. Fire protection;
  - 2. Police protection;
  - 3. Schools;
  - 4. Parks; or
  - 5. Other public facilities?

FINDING: NO IMPACT:

The project will not result in adverse impacts associated with the provision of any government facilities, or result in the need for new governmental facilities, the construction of which would cause adverse impacts to the provision of public services. No reviewing agencies expressed concerns that the project would adversely impact public services.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?



FINDING: NO IMPACT:

The project proposes the expansion of an existing Southern California Service Center, with the addition of an approximately 2.62-acre outdoor storage yard to be constructed adjacent the Service Center. This proposal is not anticipated to increase the use of existing parks or recreational facilities, nor will it involve the construction or expansion of such facilities.

## XVII. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities; or
- B. Be in conflict or be inconsistent with the California Environmental Quality Act (CEQA) Guidelines Section 15064.3, subdivision (b); or
- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment); or
- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

The proposed project will take access via a new driveway, connecting to a private road which provides access from Dinkey Creek Road. The proposed access drive will be subject to all applicable County development standards and State Responsibility Area Fire Safe Regulations as they pertain to emergency access standards. The project was not evaluated using the Vehicle Miles Travelled metric, and no traffic study was required. The project proposes a 2.62-acre addition to an existing facility and will not conflict with any program, plan, ordinance or policy which addresses the County circulation system. No work within the County right-of-way is proposed. No changes with the configuration of the existing private access road from Dinkey Creek Road is proposed with this application.

## XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k); or
2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

**FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:**

Under the provisions of Assembly Bill 52, the County of Fresno was required to provide notice that this Initial Study was being prepared to Native American Tribes who had previously indicated interest in reviewing CEQA projects. Notices were sent on April 30, 2019, to Robert Ledger of the Dumna Wo Wah, Robert Pennell of Table Mountain Rancheria, Ruben Barrios of Santa Rosa Rancheria and to Tara Estes-Harter of the Picayune Rancheria of Chukchansi Indians. None of the Tribal Governments responded to the notice.

The project site is in an area of moderate archeological sensitivity; therefore, the following Mitigation Measure is proposed to ensure that potential impacts to previously-unknown tribal cultural resources can be reduced to less than significant.

\* **Mitigation Measure**

1. See *Mitigation Measure No. 1, Section V above.*

**XIX. UTILITIES AND SERVICE SYSTEMS**

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

**FINDING: NO IMPACT:**

The proposed project will not require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, natural gas, or telecommunications facilities. The proposed laydown storage yard will be constructed and operated by Southern California Edison, a public utility. There is new electrical service proposed to supply the storage yard lighting and portable office/utility trailers with electrical power. Additionally, the project proposes to connect to an existing onsite septic system to serve the portable office/utility trailers.

- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?

FINDING: NO IMPACT:

The project proposes the expansion of an existing Service Center facility with the addition of a paved storage yard with minor improvements for the storage of materials and equipment for the repair and maintenance of its electrical infrastructure. The proposed expansion will involve the addition of two portable utility trailers, which will entail minimal additional water use. The applicant's operational statement anticipates 60 gallons per day. Water is supplied to the existing facility by the Shaver Lake Heights Mutual Water Company. No concerns related to water supply for this project proposal were expressed by any reviewing agencies or departments.

- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: NO IMPACT:

The project proposes to utilize an existing onsite septic system. No expanded capacity is anticipated with this proposal. The existing Service Center is provided sewer services through County Service Area (CSA) 31B.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: NO IMPACT:

The project is not anticipated to generate solid waste in excess of State or local standards, or in excess of local infrastructure capacity; additionally, the project will be subject to the provisions of the Fresno County Ordinance Code, Title 8.20, pertaining to Solid Waste Disposal.

## XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

FINDING: NO IMPACT:

The project will not impair an adopted emergency response or emergency evacuation plan, or impair any existing or planned telecommunication facilities. The project involves the expansion of an existing facility which will take access from a private road which serves the existing facility. The proposal will be subject to all applicable SRA Fire Safe Regulations, Title 15.60 Fresno County Ordinance Code, including design of emergency access, and California Code of Regulations (CCR) Title 24-Fire Code.

- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel is in a forested area where there is substantial risk of wildfire occurrence. The project site is situated in an area of gently to moderately sloping terrain, and adjacent to the intersection of two roads, Dinkey Creek Road and the private road serving the existing facility. The project was reviewed by CalFire, which did not express any specific concerns related to increased wildfire risks due to slope or prevailing winds.

The project proposes the expansion of an existing operation, with the addition of storage area for equipment and materials used for the maintenance of its local electrical infrastructure. It is unknown whether the storage of such materials and equipment creates and increased risk of wildfire, or in such a case result in the exposure of people working or living near the site to pollutant concentrations. The project proponent will be required to submit plans for review and approval by CalFire prior to the issuance of building permits.

- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will be required to comply with all applicable State Responsibility Area (SRA) fire safe regulations, including, but not limited to, setbacks for structures, road improvements, emergency access, flammable vegetation management, and water supply.

- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is in an area where slopes may exceed thirty percent, according to Figure 7-2 of the Fresno County General Plan Background Report; however, the project site and immediate vicinity appear from site photos in an aerial imagery to be gently to moderately sloping. The project site is not in an area at risk of flood inundation due to dam failure, and according to FEMA, FIRM Panel 0725H the project site is in an area of minimal flood hazard. The project will be required to obtain grading permits for any grading proposed with the project, and may require an engineered grading and drainage plan. Additionally, the proposed 2.62-acre storage yard will be surfaced with compacted gravel, and parking areas will be paved with concrete.

## XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project entails the expansion of an existing Southern California Edison Service Center, which entails the construction of an approximately 2.62-acre equipment and materials storage yard, adjacent to the service center. The proposal will add some outdoor security lighting, and as such, Mitigation has been included requiring all outdoor lighting to be hooded and directed so as not to affect adjacent property or the roadway. To address the possibility that previously-undiscovered subsurface paleontological, cultural/historical or tribal/cultural resources are present within the project area, additional Mitigation has been included under Section V, which implements avoidance and reporting measures, which will reduce potential impacts to a less than significant level.

\* **Mitigation Measure(s)**

1. See Section I.
2. See Section V.
3. See Section XVIII.

- B. Have impacts that are individually limited, but cumulatively considerable (“cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: NO IMPACT:

No cumulatively considerable impacts were identified in the analysis that would result from the project.

- C. Have environmental effects which will cause substantial adverse effects on human beings either directly or indirectly?

FINDING: NO IMPACT:

No environmental effects that would result in substantial adverse impacts to human beings were identified in the analysis.

## **CONCLUSION/SUMMARY**

Based upon the Initial Study prepared for Unclassified Conditional Use Permit Application No. 3639, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Land Use and Planning, Mineral Resources, Population and Housing, Public Services, Recreation, and Utilities and Service Systems.

Potential impacts related to Agriculture and Forestry Resources, Air Quality, Biological Resources, Energy, Hazards and Hazardous Materials, Geology and Soils, Hydrology and Water Quality, Noise, Greenhouse Gas Emissions, Transportation, and Wildfire have been determined to be less than significant.

Potential impacts relating to Aesthetics, Cultural Resources, and Tribal Cultural Resources have been determined to be less than significant with compliance with noted Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

JS:ksn

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File original and one copy with: <b>Fresno County Clerk 2221 Kern Street Fresno, California 93721</b>		Space Below For County Clerk Only.  CLK-2046.00 E04-73 R00-00	
Agency File No: <b>IS 7593</b>	<b>LOCAL AGENCY MITIGATED NEGATIVE DECLARATION</b>		County Clerk File No: <b>E-</b>
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Jeremy Shaw, Planner	Area Code: 559	Telephone Number: 600-4207	Extension: N/A
Project Applicant/Sponsor (Name): Pascual Garcia/ Southern California Edison	Project Title: Initial Study Application No. 7593/Unclassified Conditional Use Permit No. 3639		
Project Description: Allow the expansion of an existing Southern California Edison, Service Center with the construction of a laydown yard, which will provide storage area for equipment and material for the construction and maintenance of Southern California Edison's Transmission and Distribution system on a 2.62-acre portion of a 357.80-acre parcel in the RC-40 (Resource Conservation, 40-acre minimum parcel size) Zone District. The subject parcel is located on the north side of Dinkey Creek Road, approximately one quarter-mile east of State Route 168/Tollhouse Road, within the unincorporated community of Shaver Lake (SUP. DIST. 5) (APN 120-260-10U) (41694 Dinkey Creek Road).			
Justification for Negative Declaration: Based upon the Initial Study prepared for Unclassified Conditional Use Permit Application No. 3635, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Land Use and Planning, Mineral Resources, Population and Housing, Public Services, Recreation, Utilities and Service Systems.  Potential impacts related to Agriculture and Forestry Resources, Air Quality, Biological Resources, Energy, Hazards and Hazardous Materials, Geology and Soils, Hydrology and Water Quality, Noise, Greenhouse Gas Emissions, Transportation and Wildfire have been determined to be less than significant.  Potential impacts relating to, Aesthetics, Cultural Resources and Tribal Cultural Resources have determined to be less than significant with compliance with noted Mitigation Measures.  A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – November 29, 2019		Review Date Deadline: Planning Commission – January 9, 2020	
Date:	Type or Print Signature: Marianne Mollring Senior Planner	Submitted by (Signature): Planner	

State 15083, 15085

County Clerk File No.: \_\_\_\_\_

**LOCAL AGENCY  
MITIGATED NEGATIVE DECLARATION**

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