



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 4 November 14, 2019

SUBJECT: Variance Application No. 4071

Allow construction of a 35-foot 8-inch-tall single-family residence (35-foot maximum allowed) with an 18-foot 8-inch front-yard setback (20-foot minimum required), 8-foot 8-inch rear-yard setback (20-foot minimum required), and total lot coverage of 48% (35% maximum allowed) on a 0.21-acre parcel in the R-1-B(c) (Single-Family Residential, 12,500 square-foot minimum parcel size, Conditional) Zone District.

LOCATION: The subject parcel is located on the west side of Sunset Rock Road, approximately 254 feet northwest of its nearest intersection with Weldon Corral, located within the unincorporated community of Shaver Lake (39492 Sunset Rock Road) (Sup. Dist. 5) (APN 136-390-09).

OWNER: Levon Zekian

APPLICANT: Tim Hall

STAFF CONTACT: Thomas Kobayashi, Planner
(559) 600-4224

Marianne Mollring, Senior Planner
(559) 600-4569

RECOMMENDATION:

- Deny Variance No. 4071; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plans, Floor Plans, and Elevations
6. Applicant's Variance Findings
7. Mitigation Measures, Conditions of Approval, and Project Notes for Tract Map No. 5990 and Conditional Use Permit Application No. 3325

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	County-Adopted Shaver Lake Community Plan: Mountain Residential	No change
Zoning	R-1-B(c) (Single-Family Residential, 12,500 square-foot minimum parcel size, Conditional)	No change
Parcel Size	0.21 acres	No change
Project Site	N/A	N/A
Structural Improvements	None	Single-family residence
Nearest Residence	N/A	N/A
Surrounding Development	Residential and Vacant	No change
Operational Features	N/A	N/A
Employees	N/A	N/A
Customers	N/A	N/A
Traffic Trips	Residential	No change
Lighting	Residential	No change
Hours of Operation	N/A	N/A

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

It has been determined pursuant to Section 15305 of the California Environmental Quality Act (CEQA) guidelines, that the proposed project will not have a significant effect on the environment and is not subject to CEQA.

PUBLIC NOTICE:

Notices were sent to 157 property owners within 1320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

A Variance (VA) may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 877-A are made by the Planning Commission.

The decision of the Planning Commission on a VA Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission's action.

BACKGROUND INFORMATION:

The project proposes to construct a single-family residence with an attached garage that will exceed the maximum building height and lot coverage, and encroach into the front-yard and rear-yard setbacks on a 0.21-acre parcel in the R-1-B(c) (Single-Family Residential, 12,500 square-foot minimum parcel size, Conditional) Zone District. Based on the provided site plans, floor plans, and elevations for the proposed single-family residence, the residence will have a maximum building height of 35 feet 8 inches (35-foot maximum allowed), an 18-foot 8-inch front-yard setback (20-foot minimum required), an 8-foot 8-inch rear-yard setback (20-foot minimum required), and will have a lot coverage of 48% (35% maximum allowed).

The subject parcel is recognized as a legal parcel through the approval of Tract Map No. 5990. Tract Map No. 5990 was approved by the Board of Supervisors on December 6, 2013 and later recorded on December 18, 2013, and the subject parcel is identified as Lot 9 of Tract Map No. 5990.

By approval of Tract Map (TT) No. 5990 and Conditional Use Permit (CUP) No. 3325, certain deviations from the development standards for the R-1-B(c) Zone District are in effect for the lots created from TT No. 5990 and CUP No. 3325 which include the subject property. Deviations from the development standards that are pertinent to the project location can be found in Exhibit 7 and are listed as Condition of Approval No. 44 of the Mitigation Measures, Conditions of Approval, and Project Notes of approved Tract Map No. 5990 and Conditional Use Permit No. 3325.

There have been 17 variance requests that have been applied for within a one half-mile radius of the project site. Of those 17 variance requests, 10 are related to the subject application and have been summarized below.

Application/Request	Date of Action	Staff Recommendation	Final Action
VA No. 3817: Allow an 11-foot front-yard setback (35-foot minimum required)	June 9, 2005	Denial	PC Approved
VA No. 3821: Allow a 40-foot-high residence (35-foot maximum allowed)	September 1, 2005	Approval	PC Approved
VA No. 3496: Allow a 20-foot rear-yard setback (30-foot minimum required)	August 10, 1995	Denial	PC Approved
VA No. 3559: Allow a 20-foot street side-yard setback (25 feet required) and a five-foot rear-yard setback (20 feet required) for a proposed residence	January 23, 1997	Denial	PC Approved
VA No. 3408: Allow a 28-foot front-yard setback (35 feet required)	March 25, 1993	Denial	PC Approved
VA No. 2740: Allow a building height maximum of 35 feet (25-foot maximum allowed) and waive requirement for off-street covered parking for 82 lots	November 18, 1982	Approval	PC Approved
VA No. 2976: Allow building height up to 35 feet and 2.5 stories (25-foot and 2-story maximum allowed) on three parcels	January 23, 1986	Approval	PC Approved
VA No. 2733: Reduce the required road frontage to 72 feet (80-foot minimum required) for two lots, reduce the front-yard setback to 10 feet for the garage and 30 feet for the rest of the residence for three lots, and reduce the front-yard setback for all other approved lots within the approved subdivision to 20 feet.	September 23, 1982	Partial Denial	PC Approved
VA No. 2958: Allow building heights up to 35 feet and two and a half stories (25 feet and 2 stories maximum allowed) on	October 24, 1985	Approval	PC Approved

Lots 1 through 15 of Tract 3703 and on approved lots of Tract 3080R-2.			
VA No. 3349: Allow a 5-foot side-yard setback (7-foot minimum required) and allow a three-story maximum building height (2.5-story maximum allowed)	September 26, 1991	Denial	PC Approved

Although there is a history of variance requests within proximity of the subject parcel, each variance request must be considered on its own merit, based on unique site conditions and circumstances.

Finding 1: There are exceptional or extraordinary circumstances or conditions applicable to the property involved which do not apply generally to other property in the vicinity having the identical zoning classification.

Finding 2: Such Variance is necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the vicinity having the identical zoning classification.

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	R-1-B(c) Front: 20 feet (per Condition of Approval No. 44 of TT No. 5990 and CUP No. 3325) Side: 5 feet (per Condition of Approval No. 44 of TT No. 5990 and CUP No. 3325) Rear: 20 feet	Front:18 feet 8 inches Side: 5 feet Rear: 8 feet 8 inches	No
Parking	At least one covered parking space for every dwelling unit	2-car attached garage	Yes
Lot Coverage	35%	48%	No
Space Between Buildings	Accessory building must be 6 feet from main building.	No change	Yes
Wall Requirements	No requirement	No change	Yes

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Septic Replacement Area	Community System	N/A	Yes
Water Well Separation	Community System	N/A	Yes

Reviewing Agency/Department Comments Regarding Site Adequacy:

Zoning Section of the Fresno County Department of Public Works and Planning: If the Variance is approved, the proposed residence will be subject to building permits, and a will- serve letter/clearance from the Resources Division for sewer and water connection will be required. **This shall be included as a Condition of Approval.**

Mapping Section of the Fresno County Department of Public Works and Planning: Prior to site development, all survey monumentation – Property Corners, Centerline Monumentation, Section Corners, County Benchmarks, Federal Benchmarks and Triangulation Stations, etc. – within the subject area shall be preserved in accordance with Section 8771 of the Professional Land Surveyors Act of Section 6730.2 of the Professional Engineers Act. **This shall be included as a Project Note.**

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

Analysis:

In support of Finding 1, the Applicant states that the subject parcel is a premium lot due to the western-facing view. The western patio was extended out to provide shade and meet energy code requirements. This extension encroaches into the rear-yard setback and takes them over the maximum lot coverage allowed by the zone district. If the shading did not occur, then the single-family residence would fail energy efficiency requirements due to the heat factor. The Applicant also explains that the shed roof at the front of the garage is an architectural feature meant to provide character to the house. The height of the single-family residence exceeds the maximum by eight inches. This is due to the size of the floor joists, roof pitch, and extra height of the first floor.

In support of Finding 2, the Applicant states that the subject residence will be utilized as a primary residence. The Applicant also states that the proposed residence will be built on granite rock, which provides challenges and difficulties in the design and development of the home that other properties in the vicinity do not have to worry about. Additionally, the Applicant states that the subject parcel does not have trees that can shade the parcel and keep the heat to an acceptable level. Due to this, the proposed residence will depend on the shaded patio to reduce the heat.

A consideration in addressing variance applications is whether there are alternatives available that would avoid the need for the variance. Consideration should be given to redesign of the proposed residence to meet the development standards of the zone district. The reconfiguration of the proposed residence within established development standards will allow the project to avoid the Variance.

In regard to Finding 1, based on the proposed floor plans and elevations of the proposed single-

family residence, the residence will be subject to harsher sunlight on the western-facing elevation. There is no development proposed west of the subject parcel, and based on aerial images of the site, there are little to no trees present on the west side of the proposed residence to provide cover from the sun. Due to the lack of natural shade, the Applicant decided to extend the covered patio further to provide shade for the proposed residence. The Applicant also stated that the single-family residence will be built on top of a granite rock.

Based on aerial images of the project site and photos provided by the Applicant, natural shading that is provided by foliage cover is not observed on the western portion of the subject property. Additionally, evidence of an unconventional ground surface has been provided to staff that can be taken into consideration. Although the Applicant has described a physical circumstance, staff does not consider the circumstance unique because aerial images of the area surrounding the project site suggest other properties are affected by similar circumstances. Additionally, the Applicant failed to provide a unique or extraordinary circumstance for the encroachment into the front-yard setback and waiver of maximum building height, which is proposed for aesthetic purposes. Therefore, staff is unable to make Finding 1.

In regard to Finding 2, the Applicant intends for the proposed residence to be a single-family residence and will not be rented. The approval of the subject Variance will allow them to construct the residence while dealing with site-specific constraints related to underlying ground material and the orientation of the residence. The Applicant described a property right of being able to construct this residence with the underlying design constraints, while other property owners in the vicinity have been able to construct without these constraints.

The approval of this Variance will allow the Applicant to construct the residence while dealing with the unique aspects of the project site. Based on photos of the project site provided by the Applicant, staff can concur that the project site is located on unconventional ground. Staff also concurs that the subject residence will also be subject to more direct sun than other properties due to the western-facing portion of the residence. However, staff disagrees that construction of the single-family residence relies on the Variance. Staff believes that the design of the proposed single-family residence can be configured to manage the unique site conditions while also meeting development standards of the zone district. To further the point, the subject parcel is located in a conditional zone district that has already been approved for relaxed development standards. Therefore, staff is unable to make Finding 2.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 1 and 2 cannot be made.

Finding 3: *The granting of the Variance will not be materially detrimental to the public welfare or injurious to property and improvement in the vicinity in which the property is located.*

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	0.2 acre	Vacant	R-1-B(c)	N/A

Surrounding Parcels				
South	0.95 acre	Vacant	R-1-B(c)	N/A
	0.2 acre	Vacant		
East	0.2 acre	Vacant	R-1-B(c)	N/A
West	N/A	Vacant	R-1-B(c)	N/A

Reviewing Agency/Department Comments:

Fresno County Fire Protection District: The project shall comply with California Code of Regulations Title 24 – Fire Code. Prior to receiving Fresno County Fire Protection District (FCFPD) conditions of approval for the project, the Applicant must submit construction plans to the Fresno County Department of Public Works and Planning for review. It is the Applicant’s responsibility to deliver a minimum of three sets of plans to FCFPD. **This shall be included as a Project Note.**

Project/Development including: Single-Family Residential (SFR) property of three or more lots, Multi-Family Residential (MFR) property, Commercial property, Industrial property, and/or Office property shall annex into Community Facilities District No. 2010-01 of FCFPD. **This shall be included as a Project Note.**

Project/Development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought. **This shall be included as a Project Note.**

The builder must meet the standard in the California Fire Code and California Building Code related to reduced setback, and the wall construction requirements must meet California Building Code Table 602 for fire wall requirements based off zero setback for exterior walls due to reduced minimum setbacks on the subject parcel. **This shall be included as a Project Note.**

No other comments specific to land use compatibility were expressed by reviewing Agencies or Departments.

Analysis:

In support of Finding 3 the Applicant states that the single-family residence will be built with materials and colors that tie into the natural surroundings, no trees will be removed, and there are no future lots behind the proposed house (west of subject property). The Applicant also states that the development will increase property values, which benefits other properties within the area.

In regard to Finding 3, if approved, the Variance will allow the Applicant to proceed with their building permit application to construct a new single-family residence. The single-family residence is planned to have stucco and stone siding along with composite shingle roofing. Based on the provided elevations of the proposed single-family residence, and the Applicant’s statement that the materials and colors of the residence will tie into the natural surroundings, staff believes that the proposed residence will not have an aesthetically detrimental impact on

surrounding properties. Photos of the project site provided by the Applicant show that a scenic view of the surrounding area facing west is present. The construction of the single-family residence may interrupt the view to other property owners, but is not considered a detrimental impact. Front-yard and rear-yard encroachments into the respective setbacks are not expected to adversely affect the surrounding neighborhood. Based on the above analysis, staff believes that the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 3 can be made.

Finding 4: *The granting of such a Variance will not be contrary to the objectives of the General Plan.*

Reviewing Agency Comments:

Policy Planning Section of the Fresno County Department of Public Works and Planning: The subject parcel is designated as Mountain Residential in the Shaver Lake Community Plan.

It has been determined that there are no General Plan and Williamson Act issues regarding the proposed project.

No other comments specific to General Plan Policy were expressed by reviewing Agencies or Departments.

Analysis:

In support of Finding 4, the Applicant states that there are no conflicts with the proposal and any objectives of the Fresno County General Plan. The Applicant also states that the building will be built on a solid granite rock and will not affect existing trees or agriculture. It will also not affect the County's environmental quality such as soils, water, air quality, minerals, and wildlife habitat. The project will not be a hazard or cause a nuisance. Aesthetics of the building will use materials and colors that tie into the natural surroundings and the house will add to population growth which will add to the economy in the area.

In regard to Finding 4, staff has reviewed the subject application and has determined that there are no General Plan or Shaver Lake Community Plan conflicts. Staff believes that the proposal is consistent with the County of Fresno General Plan and County-adopted Shaver Lake Community Plan.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 4 can be made.

PUBLIC COMMENT:

None.

CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings 1 and 2 for granting the Variance cannot be made. Staff therefore recommends denial of Variance No. 4071.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Denial Action)

- Move to determine that the required Findings cannot be made and move to deny Variance No. 4071; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Approval Action)

- Move to determine the required Findings can be made (state basis for making the Findings) and move to approve Variance No. 4071, subject to the Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Mitigation Measures, Recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

TK:ksn

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**Variance Application No. 4071
Conditions of Approval and Project Notes**

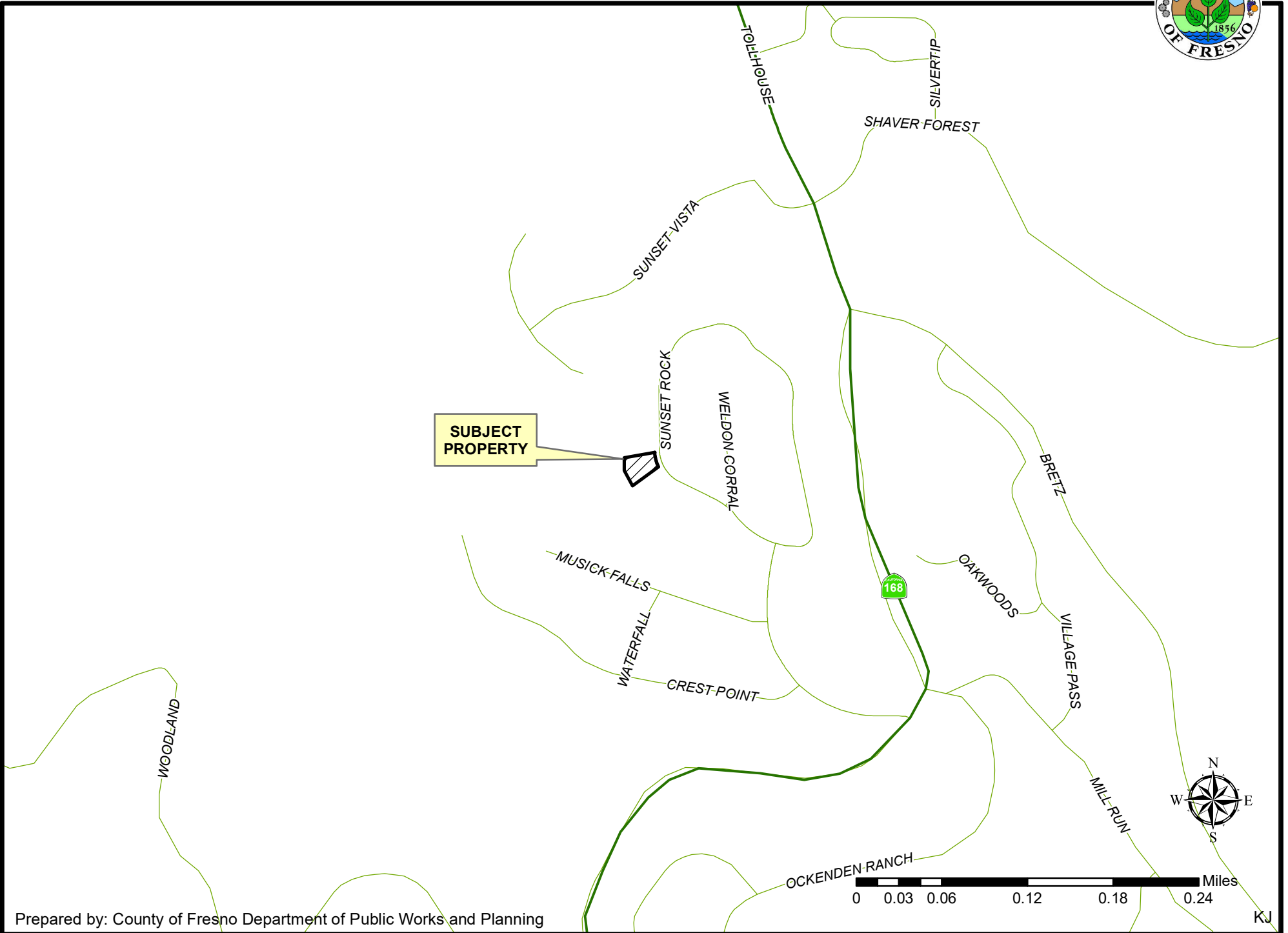
Conditions of Approval	
1.	Development of the property shall be in accordance with the Site Plan approved by the Planning Commission.

Conditions of Approval reference recommended Conditions for the project.

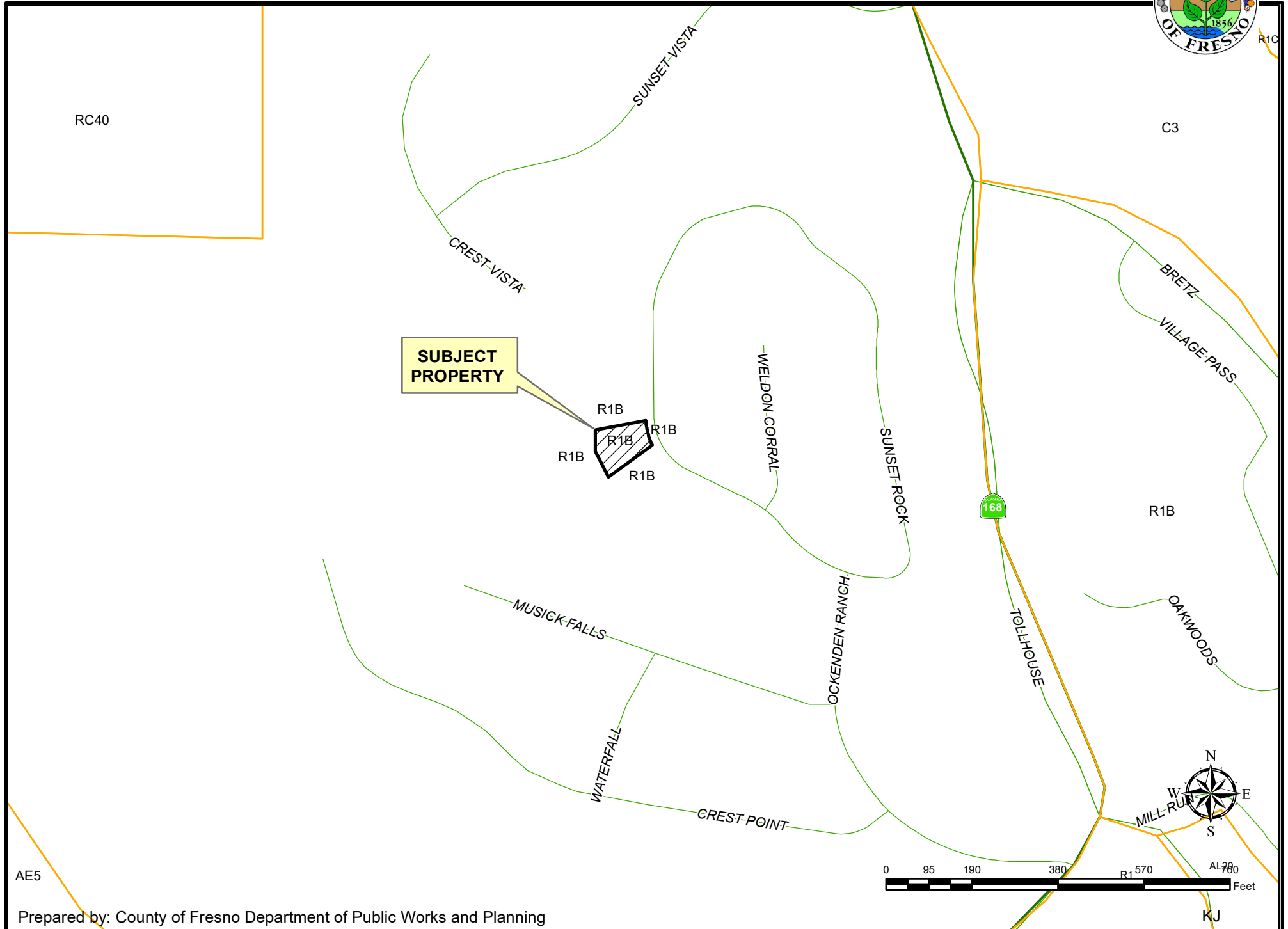
Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	If the Variance is approved, the proposed residence will be subject to building permits. A will-serve letter/clearance from the Public Works and Planning Department, Resources Division will be required for sewer and water service.
2.	Prior to site development, all survey monumentation – Property Corners, Centerline Monumentation, Section Corners, County Benchmarks, Federal Benchmarks, and Triangulation Stations, etc. – within the subject area shall be preserved in accordance with Section 8771 of the Professional Land Surveyors Act of Section 6730.2 of the Professional Engineers Act.
3.	<p>The project shall comply with California Code of Regulations Title 24 – Fire Code. Prior to receiving Fresno County Fire Protection District (FCFPD) conditions of approval for the project, the Applicant must submit construction plans to the Fresno County Department of Public Works and Planning for review. It is the Applicant’s responsibility to deliver a minimum of three sets of plans to FCFPD.</p> <ul style="list-style-type: none"> • Project/Development including: Single-Family Residential (SFR) property of three or more lots, Multi-Family Residential (MFR) property, Commercial property, Industrial property, and/or Office property shall annex into Community Facilities District No. 2010-01 of FCFPD. • Project/Development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.
4.	The builder must meet the standard in the California Fire Code and California Building Code related to reduced setback, and the wall construction requirements must meet California Building Code Table 602 for fire wall requirements based off zero setback for exterior walls due to reduced minimum setbacks on the subject parcel.

TK
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LOCATION MAP



EXISTING ZONING MAP



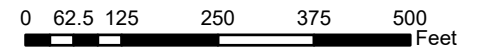
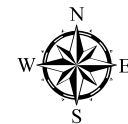
EXISTING LAND USE MAP



LEGEND	
SF#-	SINGLE FAMILY RESIDENC
V -	VACANT

LEGEND:

 Subject Property



Department of Public Works and Planning
Development Services Division

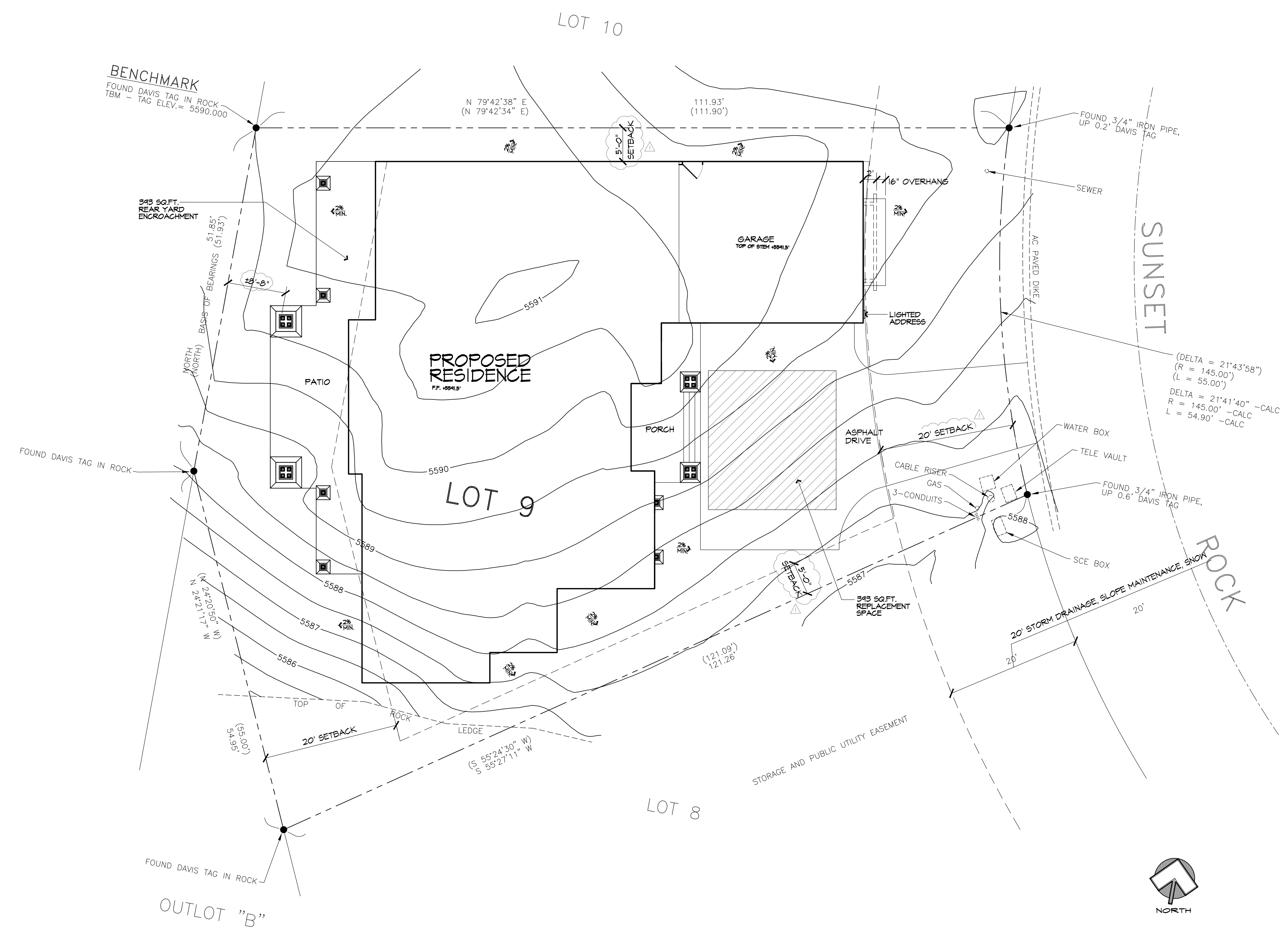
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Tim Hall Custom Home Designs
 8916 N. SHALLOT WAY
 FRESNO, CA 93710
 559-342-0241

ZEKIAN CABIN
 39492 SUNSET ROCK
 SHAYER LAKE, CA.

JOB NO.
 DATE: 6/3/14
 BACK-CHECK CORRECTIONS

DRAWN BY: TIM HALL
 SHEET NO. C



THE PERMIT FOR THIS PROJECT REQUIRES FIRE SPRINKLERS

GROUND SNOW LOAD	WIND DESIGN SPEED TOPOGRAPHIC EFFECTS	SEISMIC DESIGN CAT.	SUBJECT TO DAMAGE FROM WEATHERING	FROST LINE DEPTH	TERMITE	WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP	
150 PSF	85	B	D	15000"MOD	15000"18"	YES	+10 F	15000"YES	NONE	52 d	44.2 d

NOTE:
 NO PROPOSED RAIN GUTTERS

A CONSTRUCTION WASTE MANAGEMENT PLAN MUST BE FINALIZED PRIOR TO OCCUPANCY

VICINITY MAP

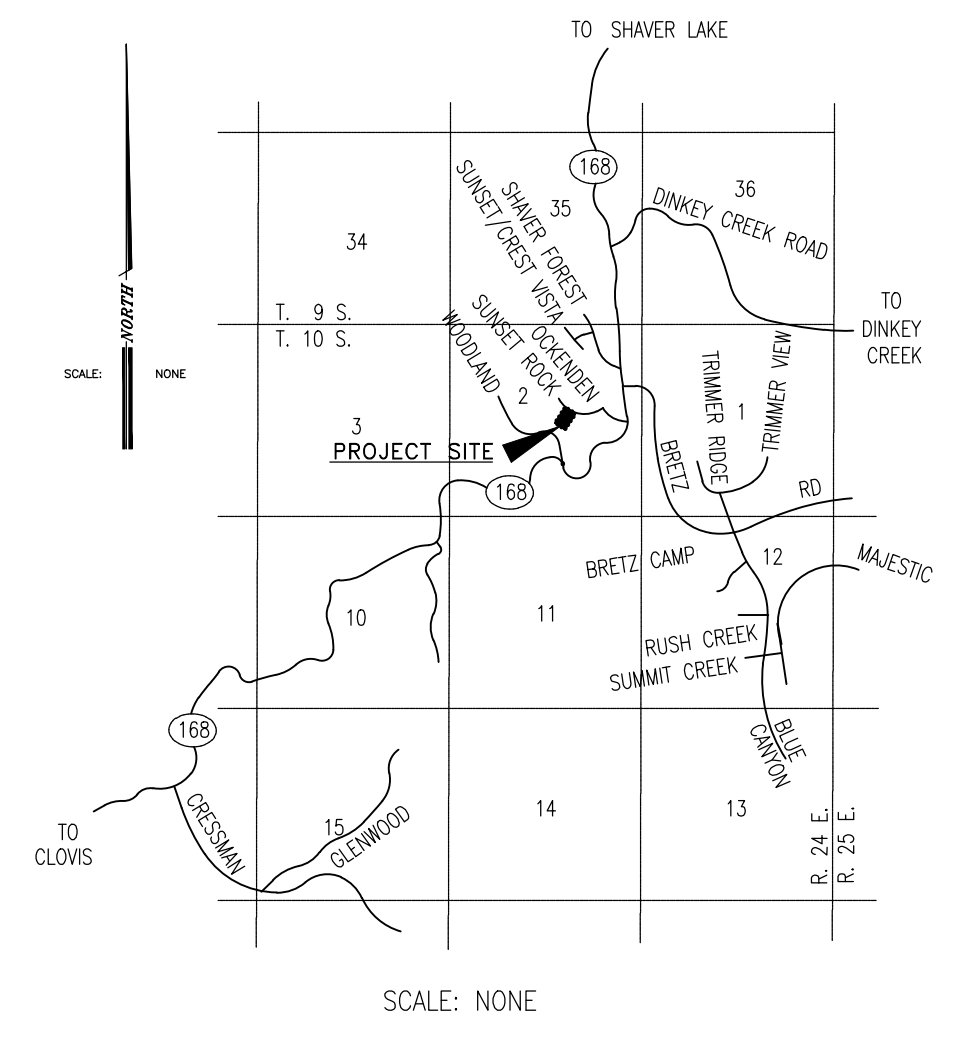


EXHIBIT 5

NOTES

DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAX. SLOPE OF 12% FOR A MIN. DISTANCE OF 20' FROM THE GARAGE TO PORTION OF THE DRIVEWAY THAT EXCEEDS A GRADE OF 18%. NO ON-SITE WATER RETENTION. PROVIDE A 2% SLOPE AWAY FROM THE BUILDING FOR A MIN. OF 5'. NO DRAINAGE INTO ADJACENT PROPERTY. GRADE DIFFERENTIALS GREATER THAN 12" SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL.

FINGER-JOINTED STUDS MUST BE GRADE-STAMPED BY AN APPROVED ICBQ INSPECTION AGENCY AND CLEARLY SPECIFIED ON PLANS.

CONFORM TO REQUIREMENTS FOR HOOD SHEAR WALLS AND DIAPHRAGMS PER CBC SECTION 2314.5:

A) SHEETS USED IN THE CONSTRUCTION OF DIAPHRAGMS AND SHEAR WALLS SHALL BE NOT LESS THAN 4" X 8" IN SIZE.

B) MIN. SIZE SHEET AT BOUNDARIES AND CHANGES IN FRAMING SHALL BE 24" UNLESS BLOCKED.

C) FRAMING MEMBERS OR BLOCKING AT ALL PANEL EDGES IN SHEAR WALLS.

D) MAX. SIZE OF OPENING IN HORIZONTAL DIAPHRAGM NOT TO EXCEED 24" UNLESS BLOCKED.

INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED CEILING MUST BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER (IC) BY UL OR TESTING LAB RECOGNIZED BY I.C.B.O.

FLUORESCENT FIXTURES USED TO MEET GENERAL LIGHTING REQUIREMENTS SHALL NOT CONTAIN MEDIUM-BASED INCANDESCENT LAMP SOCKS. INCANDESCENT AND FLUORESCENT FIXTURES ARE NOT TO BE SWITCHED TOGETHER.

THE ATTIC ACCESS SHALL BE HEATHERSTRIPPED AND INSULATION EQUIVALENT TO THAT OF THE CEILING SHALL BE INSTALLED ON THE ACCESS PANEL.

AFTER INSTALLING HVAC EQUIPMENT AND WATER HEATING SYSTEMS, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION AT THE BUILDING SITE AN "INSTALLATION CERTIFICATE" (OF-OR-FORM) SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED, MANUFACTURER, MODEL, AND EFFICIENCIES AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY CODE.

COMPLY WITH SECURITY CODE ORDINANCE (FMS 13-120.4100):

A) STEEL PLATE AT THE DEAD-BOLT STRIKER, SOLID SHIM 6" ABV. 4 BELON W/ 2-#8 X 2" SCREWS.

B) DEAD-BOLT AT THE EXT. DOORS, HOUSE TO GARAGE, GARAGE TO EXTERIOR.

C) FREE-HOLE OR VISION PANEL.

D) WINDOWS TO MEET THE MIN. STANDARDS AS ESTABLISHED BY THE IBC CODES.

ALL TUB/SINKER OPENINGS SHALL BE ROBERT PROOF, W/ A 1" CEMENT COVERING IN AN APPROVED MANNER.

PROVIDE LISTED WATER HAMMER ARRESTORS TO SERVE THE DISHWASHER, ICE MAKER, WASHING MACHINE AND LANDSCAPE IRRIGATION AUTOMATIC VALVE MANIFOLD. DEVICES SHALL BE CONCEALED WITHIN WALLS OR ATTIC (EXCEPT LANDSCAPE IRRIGATION DEVICE).

AIR CONDITIONING EQUIPMENT DESIGNED TO BE IN A FIXED POSITION SHALL BE SECURELY FASTENED.

ALL HOSE BIBS SHALL BE EQUIPPED W/ NON-REMOVABLE BACK FLOW PREVENTERS

SITE NOTES:

ILLUMINATED ADDRESS SIGN SHALL BE INSTALLED SO AS TO BE SEEN FROM THE STREET PER CALIF. FIRE DEPARTMENT DIV. 104.

PROJECTS LOCATED IN THE FLOOD HAZARD AREA SHALL HAVE A FINISHED FLOOR ELEVATION OF NOT LESS THAN 1' ABV. THE 100 YEAR FLOOD LEVEL.

SHOWER STALLS AND TUB ENCLOSURES SHALL CONFORM TO THE REQUIREMENTS OF UPC 904.1024.50. IN.; THRESHOLD 2" TO 4" DEEP.

NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE REQUIRED ON ALL HOSE BIBS.

STREET AND ADDRESS NUMBER TO BE POSTED ON JOBSITE PRIOR TO FIRST INSPECTION.

THE METHODS OF FLASHING AND GOUNTER FLASHING OF ROOF PENETRATIONS SHALL BE IN COMPLIANCE WITH IBC 905.8.

MANUFACTURER CERTIFICATION OF GULFAM BEAMS MUST BE PROVIDED, IDENTIFYING THE LOCATION AND SPECIFIC JOB TO BE PROVIDED, BEFORE FRAME INSPECTION.

ALL WATER CLOSETS TO BE INSTALLED WILL BE 1/2 FLOOR WATER CLOSETS WITH A MAXIMUM CAPACITY OF 12 GALLONS.

THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT W/ A SHEET OF THE HEATING, COOLING AND VENTILATION (HVAC) SYSTEMS INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.

AFTER INSTALLING WALL, CEILING OR FLOOR INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION HAS BEEN PERFORMED IN ACCORDANCE WITH TITLE 24 REQUIREMENTS.

BLOWN OR POURED TYPE INSULATING MATERIAL SHALL ONLY BE USED IN ATTIC SPACES WHERE THE SLOPE OF THE CEILING DOES NOT EXCEED 25:12 PITCH.

THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.

A CHEMICAL TOILET IS REQUIRED ON SITE DURING CONSTRUCTION.

CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.

FINISH FLOOR ELEVATION IS TO BE ABOVE THE CROWN OF THE STREET.

WATER, USE EITHER PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE. USE A PRESSURE ABSORBING DEVICE AT ALL QUICK ACTING VALVE LOCATIONS. AN ACCESSIBLE AIR CHAMBER OR A MECHANICAL DEVICE MAY BE USED.

VERTICLE CLEARANCE ABV. THE COOKTOP TO COMBUSTIBLES IS 30" UNPROTECTED OR 24" PROTECTED, AND THE HORIZONTAL DIMENSION IS REQUIRED TO BE PER THE PERMANENT MARKING LISTED ON THE UNIT.

LIQUEFIED PETROLEUM GAS FIRED APPLIANCES SHALL NOT BE LOCATED IN ATTICS OR UNDER FLOOR SPACES UNLESS THEY ARE INSTALLED UNDER A 26 GA. SHEET METAL PAN EXTENDING 6" BEYOND EACH SIDE OF APPLIANCE. THE PAN SHALL HAVE 2" HIGH SIDES AND HAVE A 1/2" DRAIN TO THE EXTERIOR OF THE STRUCTURE. THE DRAIN SHALL NOT TERMINATE ABOVE OR WITHIN 5' OF ANY OPENING TO THE STRUCTURE.

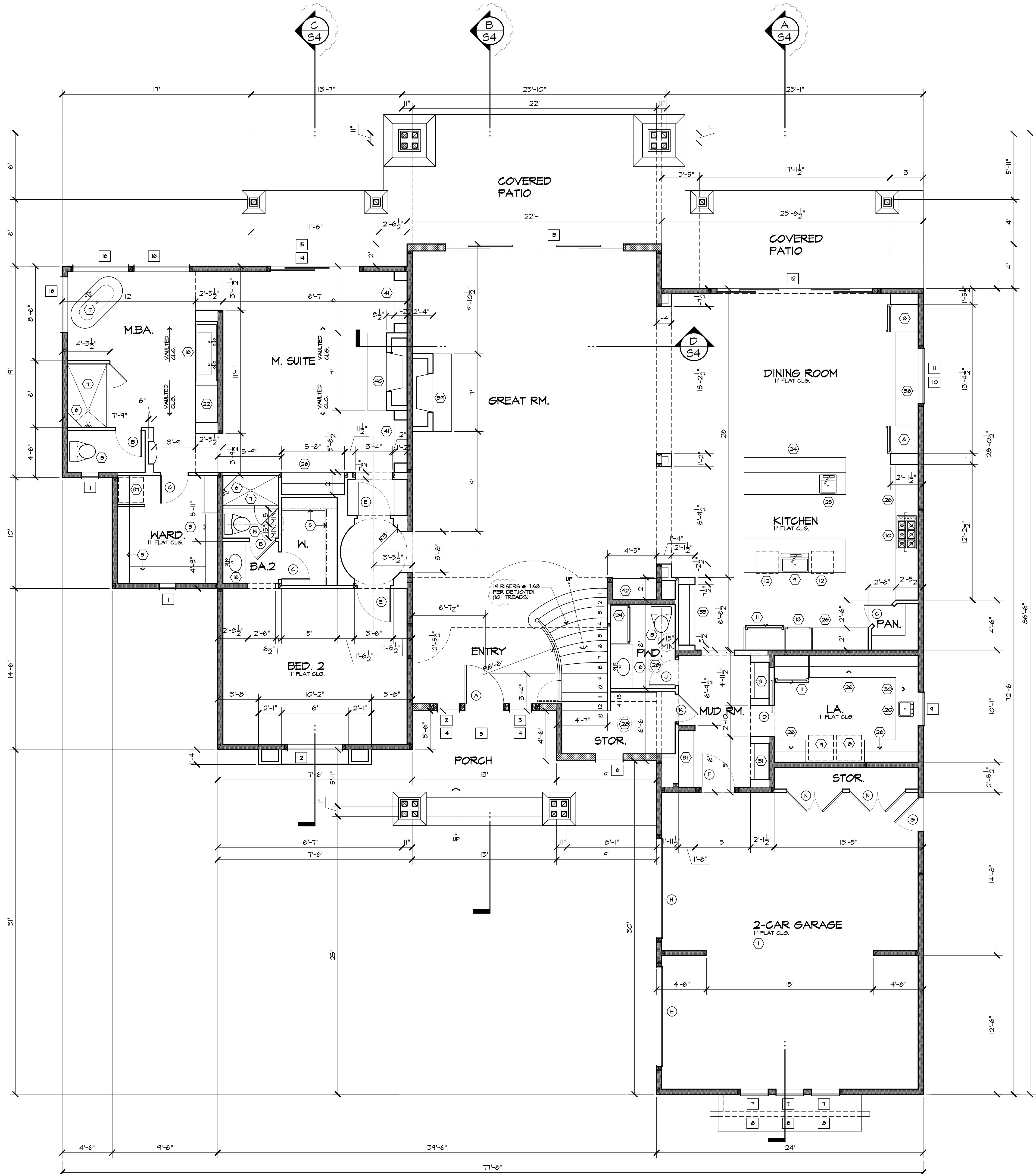
SHEET INDEX

SHEET INDEX	PROJECT DATA
C SITE PLAN, SHEET INDEX	OWNER: LEVON ZEKIAN ADDRESS: 680 P. ST. SHAYER LAKE, CA. 93721 (559)407-6000 CONTRACTOR: OWNER/BUILDER
A1 1ST FLOOR PLAN	PROJECT ADDRESS: 39492 SUNSET ROCK SHAYER LAKE, CA.
A2 2ND FLOOR PLAN	A.P.N.#: 136-340-01
A3 EXTERIOR ELEVATIONS	LEGAL DESCRIPTION: LOT 9, TR. 5490
A4 EXTERIOR ELEVATIONS	NO. OF STORIES: 2
S1 FOUNDATION PLAN	PLANS PREPARED BY: TIM HALL CUSTOM HOME DESIGNS
S2 FLOOR FRAMING PLAN	8916 N. SHALLOT WAY
S3 ROOF FRAMING PLAN	FRESNO, CA. 93720 559-342-0241
S4 SECTIONS	PH. 661-340-4100
S5 1ST FLOOR LATERAL PLAN	ENGINEER: STRONG ENGINEERING & DESIGN, INC.
S6 2ND FLOOR LATERAL PLAN	4805 CENTENNIAL PLAZA WAY, STE. 200 BAKERSFIELD, CA. 93312
SD1 FOUNDATION DETAILS	SQ.FT. BREAKDOWN: LIVING SPACE: MAIN FLOOR 3,143 SQ.FT. 2ND FLOOR 1,841 SQ.FT. TOTAL 5,042 SQ.FT.
SD2 FRAMING DETAILS	GARAGE 685 SQ.FT. PORCH 126 SQ.FT. COVERED PATIO 224 SQ.FT. W. SUITE PATIO 64 SQ.FT. BALCONY 134 SQ.FT.
SD3 FLOOR FRAMING DETAILS	TOTAL: 6,287 SQ.FT.
SD4 FLOOR JOIST DETAILS	
SD5 ROOF FRAMING DETAILS	
TD1 TYPICAL DETAILS	
F1 1ST FL. PLUMBING PLAN	
F2 2ND FL. PLUMBING PLAN	
M1 1ST FLOOR MECHANICAL PLAN	
M2 2ND FLOOR MECHANICAL PLAN	
T24 ENERGY DOCUMENTS	
E1 1ST FLOOR ELECTRICAL PLAN	
E2 2ND FLOOR ELECTRICAL PLAN	

LOAD TABLE

SOIL BEARING CAPACITY:	2000 PSF
CONCRETE DESIGN STRENGTH:	2500 PSF
FLOOR DEAD LOAD:	15 PSF
ROOF DEAD LOAD:	15 PSF
ROOF LIVE LOAD:	20 PSF
FLOOR LIVE LOAD:	40 PSF
WALL DEAD LOAD (EXTERIOR):	25 PSF
WALL DEAD LOAD (INTERIOR):	15 PSF
GROUND SNOW LOAD:	150 PSF
SLOPED ROOF SNOW LOAD:	ALLOWABLE REDUCTION

SITE PLAN
 SCALE: 1/8"=1'-0"



- KEY NOTES:**
- 1 5/8" TYPE 'X' GYP. BD. AT WALLS AND CLG. OF GARAGE ONLY. WRAP ALL EXPOSED BEAMS & COLUMNS 22"x30" ATTG ACCESS
 - 2 ATTIC ACCESS FOR MECH. UNIT (30"x30" MIN)
 - 3 "RINAI" TANKLESS WATER HEATER OR EQUAL (NO RISERS) (CONTAIN) GAS ANSI Z21.0.3 DIRECT VENT. MIN. MAX. GAS INPUT: 15,000 BTU (18,000 BTU (VENT THRU SIDEWALL))
 - 4 SHELF, POLE, CABINET SYSTEM BY OWNER. TYP.
 - 5 SHOWER SEAT
 - 6 SHOWER W/TILE TO 4'-0" W/TEMP. GLASS ENCLOSURE (22" WIDE MIN. DOOR)
 - 7 WINE REFRIGERATOR
 - 8 SINK W/DISPOSAL
 - 9 36" COOKTOP W/HOOD. VENT TO EXTERIOR THRU ROOF
 - 10 3'-2" MIN. REFRIGERATOR SPACE
 - 11 UNDER COUNTER DISHWASHER
 - 12 DOUBLE OVEN
 - 13 PANTRY W/S SHELVES
 - 14 PROVIDE LOW FLOW WATER CLOSETS. MAX. 1.6 GAL. PER FLUSH TYP. W/EXHAUST FAN ABOVE
 - 15 LAVATORY
 - 16 FREE-STANDING TUB
 - 17 WASHER SPACE
 - 18 DRYER SPACE W/EXHAUST FAN. VENT THRU SOFFIT TO WALL
 - 19 LAUNDRY SINK
 - 20 TUB/SHOWER W/TILE TO 4'-0" W/TEMP. GLASS ENCLOSURE (22" WIDE MIN. DOOR)
 - 21 VANITY
 - 22 ARCHED OPENING
 - 23 42" RAISED BAR
 - 24 VEGETABLE SINK
 - 25 UPPER & LOWER CABS.
 - 26 UNDER COUNTER REFRIGERATOR
 - 27 PROVIDE 1/2" MIN. GYP. BD. @ ALL ENCLOSED USABLE SPACE BELOW STAIRS.
 - 28 STORAGE LINEN W/S SHELVES
 - 29 LOWER CABINET
 - 30 BENCH W/STORAGE BELGH
 - 31 CONCRETE LANDING
 - 32 GUARDRAIL PER DET. A1A2
 - 33 GRATED/TEX. WOOD POLYMER FIRE DEFENSE DECK BOARD (BSR-2567) OR EQUAL TO F.J. W/TEX FASTENERS
 - 34 COFFEE BAR
 - 35 HUTCH
 - 36 STACKABLE WASHER/DRYER. VENT THRU WALL
 - 37 PROVIDE FIRE BULK'S. @ MAX. 10' INTERVALS AND FLOOR AND CLG. LEVELS
 - 38 FIREPLACE/EXTROORDINAIR FPX44 DV-XL" GAS FIREPLACE OR EQUAL W/18" RAISED HEARTH OR EQUAL. ANSI Z223.1/NFPA54. VENT THRU ROOF TO EXTERIOR
 - 39 FIREPLACE/EXTROORDINAIR FPX36 DV-XL" GAS FIREPLACE OR EQUAL W/18" RAISED HEARTH OR EQUAL. ANSI Z223.1/NFPA54. VENT THRU ROOF/CHIMNEY
 - 40 NICH
 - 41 SHELVE
 - 42 S SHELVE

NOTE:

PROVIDE FIREPLACE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT JOB SITE FOR INSPECTION.

THE IGNITER OF ALL GAS FIRED EQUIPMENT IN THE GARAGE MUST BE ELEVATED 18" ABOVE THE FLOOR (IF APPLICABLE).

PROPANE LOG LIGHTERS ARE NOT ALLOWED.

GAS FIREPLACE OR DECORATIVE GAS APPLIANCE WITH STANDING PILOT SHALL COMPLY WITH TABLE 4-2 OF THE CBC.

PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT JOB SITE FOR INSPECTION FOR THE FIREPLACE/ HOOD STOVE.

PROVIDE FACTORY-BUILT FIREPLACE/WOOD STOVE MANUFACTURER'S APPROVED CAP FOR CHIMNEY TERMINATION (CBC APP.106.1, 211.1.3) AND PRODUCT LISTINGS

CHIMNEYS SHALL EXTEND 24" MIN. ABOVE ANY PART OF THE STRUCTURE WITHIN 10' OF THE CHIMNEY (CBC 2105.9)

FINGER JOINTED STUDS IN STRUCTURAL WALLS (BEARING OR SHEAR) SHALL BE APPROVED AND ARE NOT ALLOWED AT HOLD-DOWN LOCATIONS

PROVIDE FIRE BLOCKING AT ALL FLOOR AND CEILING LEVELS AND AT 10' INTERVALS (CBC 708.2)

PROVIDE A PAN WITH A MINIMUM 2" LIP AND A MINIMUM 1 1/2" DRAIN TO THE EXTERIOR OF THE BUILDING WHEN LPG FURNACE OR WATER HEATER IS INSTALLED IN THE GARAGE.

THE INSULATION SHALL CONFORM TO FLAME-SPREAD RATINGS AND SMOKE DENSITY REQUIREMENTS OF SECTION 707.3 OF THE 1949 CBC.

PLUMBING:

PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL CIRCULATING-TYPE TUBS ON THE JOB-SITE FOR INSPECTION PURPOSES.

ALL TUB AND SHOWER VALVES ARE TO BE SINGLE CONTROL. PRESSURE BALANCING OR THERMOSTATIC ANTI-SCALD TYPE.

WATER HAMMER ARRESTORS SHALL BE INSTALLED AT THE FOLLOWING QUICK-ACTING SHUT-OFF VALVES (CPC 604.10) AUTO. WASHING MACHINE (HOT AND COLD WATER) DISHWASHER FRONT AND REAR SPRINKLER OUTLETS.

ALL HOSE BIBBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS.

PROVIDE IMPACT PROTECTION FOR ANY GAS FIRED EQUIPMENT LOCATED IN THE GARAGE.

SHOWER DOORS TO BE 22" MIN.

PROVIDE 18" MIN. COVERAGE FOR PIPES IN TRENCHES MECHANICAL.

UPPER CABINETS SHALL BE A MIN. OF 18" ABOVE FINISHED DECK OR THE HOOD IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS W/CLEARANCES AS REQUIRED BY THE RANGE/COOKTOP MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE MINIMUM CLEARANCES TO COMBUSTIBLE MATERIALS PER CMC 105.1 & 508.6.

ALL AIR DUCTS PENETRATING THE SEPARATION WALL, CEILING OR FLOOR SHALL BE CONSTRUCTED OF 0.014 INCH THICK STEEL/26 GAUGE GALVANIZED SHEET METAL ON THE GARAGE SIDE OF THE FIREWALL AND SHALL HAVE NO OPENINGS INTO GARAGE. (CBC R202.5.2)

AIR CONDITIONERS:

A COMPRESSOR OR CONDENSING UNIT SUPPORTED FROM THE GROUND SHALL REST ON A CONCRETE OR OTHER APPROVED BASE EXTENDING NOT LESS THAN 5"(16MM) ABOVE THE ADJOINING GROUND LEVEL.

WINDOW SCHEDULE					
SIZE	QUAN.	TYPE	STYLE	MATERIAL	REMARKS
1 1/2" x 2'0"	1	CASEMENT	DUAL	VINYL	WGRIDS
2 5'0" x 2'0"	2	H.S.	DUAL	VINYL	WGRIDS
3 2'0" x 2'0"	3	FIXED	DUAL	VINYL	TEMP. WGRIDS
4 2'2" x 2'0"	4	FIXED TRANSOM	DUAL	VINYL	TEMP. WGRIDS
5 3'6" x 2'0"	5	FIXED TRANSOM	DUAL	VINYL	TEMP. WGRIDS
6 2'6" x 2'0"	6	FIXED	DUAL	VINYL	WGRIDS
7 2'4" x 2'0"	7	FIXED	DUAL	VINYL	WGRIDS
8 2'6" x 2'0"	8	FIXED TRANSOM	DUAL	VINYL	WGRIDS
9 5'0" x 2'0"	9	S.H.	DUAL	VINYL	WGRIDS
10 5'0" x 2'0"	10	H.S.	DUAL	VINYL	
11 5'0" x 2'0"	11	FIXED TRANSOM	DUAL	VINYL	
12 14'0" x 2'0"	(4) PANEL MULTI-SLIDE	DUAL	VINYL	TEMP.	
13 14'0" x 2'0"	(4) PANEL MULTI-SLIDE	DUAL	VINYL	TEMP.	
14 8'0" x 2'0"	S.G.D.	DUAL	VINYL	TEMP.	
15 8'0" x 2'0"	FIXED TRANSOM	DUAL	VINYL	TEMP.	
16 5'0" x 2'0"	H.S.	DUAL	VINYL	TEMP.	
17 1'6" x 2'0"	FIXED TRANSOM	DUAL	VINYL		
18 2'6" x 2'0"	FIXED	DUAL	VINYL		
19 2'6" x 2'0"	FIXED TRANSOM	DUAL	VINYL		
20 3'0" x 2'0"	H.S.	DUAL	VINYL		
21 3'6" x 2'0"	FIXED TRANSOM	DUAL	VINYL	TEMP.	
22 3'6" x 2'0"	ARCH TOP LEFT FIXED TRANSOM	DUAL	VINYL	TEMP.	SEE ELEVATIONS
23 3'6" x 2'0"	ARCH TOP LEFT FIXED TRANSOM	DUAL	VINYL	TEMP.	SEE ELEVATIONS
24 3'6" x 2'0"	ARCH TOP RIGHT FIXED TRANSOM	DUAL	VINYL	TEMP.	SEE ELEVATIONS
25 3'6" x 2'0"	ARCH TOP RIGHT FIXED TRANSOM	DUAL	VINYL	TEMP.	SEE ELEVATIONS
26 2'6" x 2'0"	S.H.	DUAL	VINYL		
27 2'6" x 2'0"	S.H.	DUAL	VINYL		
28 2'6" x 2'0"	S.H.	DUAL	VINYL		

DOOR SCHEDULE				
SIZE	TYPE	STYLE	REMARKS	
A 3'6" x 6'0"	S.C.	ENTRY		
B 2'4" x 6'0"	S.C.			
C 2'6" x 6'0"	S.C.			
D 2'0" x 6'0"	S.C.	POCKET		
E 3'0" x 6'0"	S.C.			
F 3'0" x 6'0"	S.C.	1 3/8" THICK SELF-CLOSING		
G 3'0" x 6'0"	H.C.	METAL		
H 4'0" x 6'0"	SECTIONAL ROLL-UP	METAL		
I 2'6" x 6'0"	S.C.			
J 2'6" x 6'0"	S.C.			
K 2'6" x 6'0"	S.C.			
L 2'6" x 6'0"	S.C.			
M 3'0" x 6'0"	S.C.			
N PAIR 2'6" x 6'0"	H.C.			
P PAIR 3'6" x 6'0"	S.C.	BARN DOOR		

WALL LEGEND

*SEE SHT. S6 & S7 FOR ADDITIONAL STUD REQUIREMENTS

CONT. 2x6 D.F. STD. OR BETTER STUDS @ 16" O.C.

CONT. 2x6 D.F. STD. OR BETTER STUDS @ 16" O.C.

CONT. 2x4 D.F. STD. OR BETTER STUDS @ 16" O.C.

1ST FLOOR HEADERS TO BE AT 8'-0" U.N.O.
2ND FLOOR HEADERS TO BE AT 6'-8" U.N.O.
SEE EXTERIOR ELEVATIONS FOR WINDOW PATTERNS

DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS BEFORE STARTING WORK. HE SHALL NOTIFY THE DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.

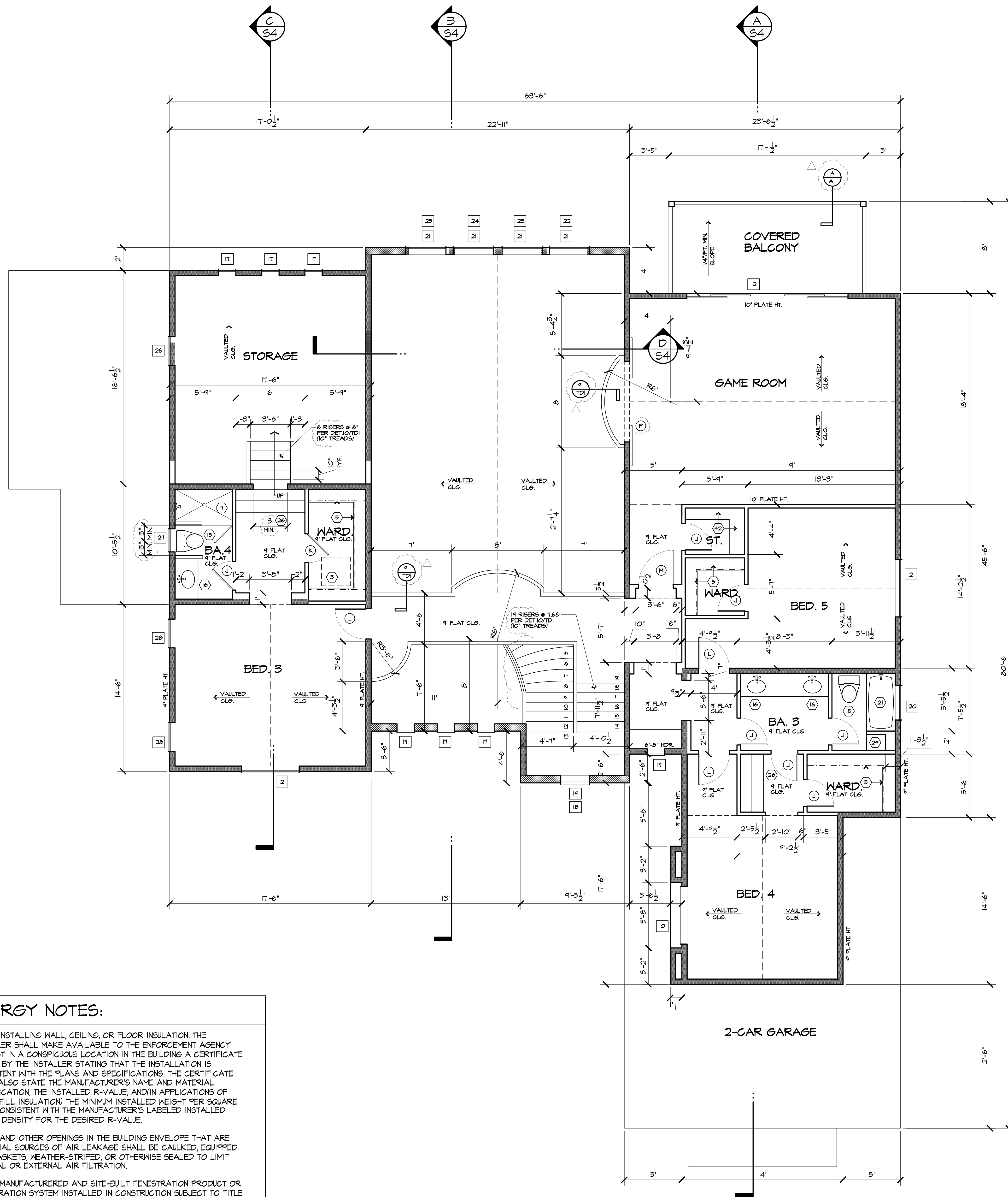
3143 sf
1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

Tim Hall Custom Home Designs
8316 N. SHALLNOT WAY
FRESNO, CA. 93720
554-342-0241

ZEKIAN CABIN
39492 SUNSET ROCK
SHAYER LAKE, CA.

JOB NO.
DATE: 2/12/14
BACKCHECK CORRECTIONS
DRAWN BY: TIM HALL

SHEET NO.
A1



EXTERIOR NOTES:

EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-TA-A [CBC 1041.2.3].

EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2" NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE [CBC 104A.1.1].

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING GLASS UNITS WITH A MIN. OF ONE TEMPERED PANE, OR GLASS BLOCK UNITS, OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINS., WHEN TESTED ACCORDING TO ASTM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-TA-2 [CRC R321.8.2.1].

EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF STANDARD SFM 12-TA-1 OR SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THK. W/ INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 1/4" THK., OR SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINS., WHEN TESTED ACCORDING TO ASTM E 2014 [CRC R321.8.3].

EXTERIOR WALL OPENINGS SHALL BE IN ACCORDANCE WITH SECTION [CRC R321.7.3.1].

UNLESS OTHERWISE PROHIBITED BY OTHER PROVISIONS OF THIS CODE, VENT OPENINGS IN EXTERIOR WALLS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE OR VENTS SHALL BE SCREENED WITH A CORROSION-RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" OPENINGS OR ITS EQUIVALENT SECTION [CRC R321.6.2].

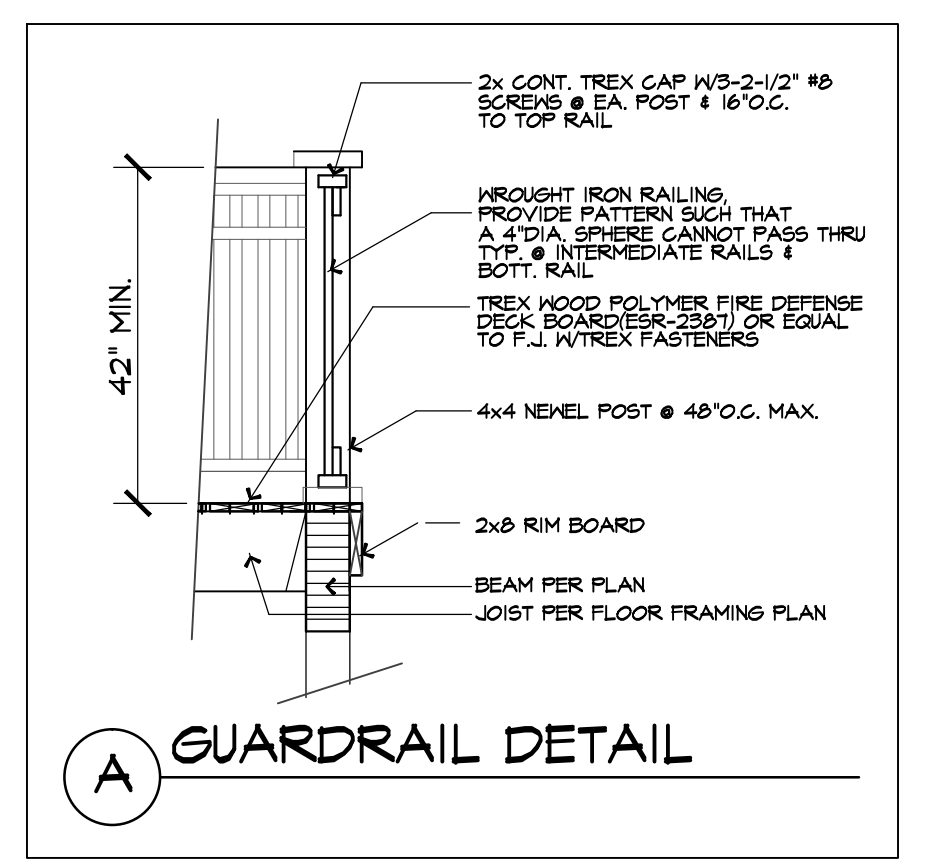
KEY NOTES:

- 1) 5/8" TYPE 'X' GYP. BD. AT WALLS AND CLG. OF GARAGE ONLY. WEAP. ALL BEAMS.
- 2) 22"x30" ATTIC ACCESS.
- 3) ATTIC ACCESS FOR MECH. UNIT (30"x30" MIN).
- 4) RINNAI TANKLESS WATER HEATER OR EQUAL. MO#2500FJ (CONTINUUM), CSA# ANSI 221.0.3 DIRECT VENT. MIN. MAX. GAS INPUT: 15,000 BTU/H. (80,000 BTU VENT THRU SIDEWALL).
- 5) SHELF, POLE, CABINET SYSTEM BY OWNER, TYP.
- 6) SHOWER SEAT.
- 7) SHOWER W/ TILE TO 4'-0" W/TEMP. GLASS ENCLOSURE (22" WIDE MIN. DOOR).
- 8) WINE REFRIGERATOR.
- 9) SINK W/DISPOSAL.
- 10) 36" COOKTOP W/ HOOD, VENT TO EXTERIOR THRU ROOF.
- 11) 5'-2" MIN. REFRIGERATOR SPACE.
- 12) UNDER COUNTER DISHWASHER.
- 13) DOUBLE OVEN.
- 14) PANTRY W/5 SHELVES.
- 15) PROVIDE LOW FLOW WATER CLOSETS, MAX. 1.6 GAL. PER FLUSH, TYP. W/ EXHAUST FAN ABOVE.
- 16) LAVATORY.
- 17) FREE-STANDING TUB.
- 18) WASHER SPACE.
- 19) DRYER SPACE W/ EXHAUST FAN VENT THRU SOFFIT TO WALL.
- 20) LAUNDRY SINK.
- 21) SUB-SHOWER W/ TILE TO 4'-0" W/TEMP. GLASS ENCLOSURE (22" WIDE MIN. DOOR).
- 22) VANITY.
- 23) ARCHED OPENING.
- 24) 1/2" RAISED BAR.
- 25) VEGETABLE SINK.
- 26) UPPER & LOWER CABS.
- 27) UNDER COUNTER REFRIGERATOR.
- 28) PROVIDE 5/8" TYPE 'X' GYP. BD. # ALL ENCLOSED USABLE SPACE BELOW STAIRS.
- 29) STORAGE/LINEN W/5 SHELVES.
- 30) LOWER CABINET.
- 31) BENCH W/ STORAGE BELOW.
- 32) CONCRETE LANDING.
- 33) GUARDRAIL PER DET. A/A2.
- 34) (SPACED) TREX WOOD POLYMER FIRE DEFENSE DECK BOARD (E98-2581) OR EQUAL TO P.L. W/ TREX FASTENERS.
- 35) COFFEE BAR.
- 36) HUTCH.
- 37) STACKABLE WASHER/DRYER, VENT THRU WALL.
- 38) PROVIDE FIRE BLDG. # MAX. 10' INTERVALS AND FLOOR AND CLG. LEVELS.
- 39) FIREPLACE/TREX WOOD POLYMER FIRE DEFENSE PPX44 DV-XL. GAS FIREPLACE OR EQUAL W/ 18" RAISED HEARTH OR EQUAL, ANSI Z225/NFPA 54, VENT THRU ROOF TO EXTERIOR.
- 40) FIREPLACE/TREX WOOD POLYMER FIRE DEFENSE PPX36 DV-XL. GAS FIREPLACE OR EQUAL W/ 18" RAISED HEARTH OR EQUAL, ANSI Z225/NFPA 54, VENT THRU ROOF/CHIMNEY TO EXTERIOR.
- 41) NICHE.
- 42) 5 SHELVES.

WINDOW SCHEDULE						
NO.	SIZE	QUAN.	TYPE	STYLE	MATERIAL	REMARKS
1	6'-0"		CASEMENT	DUAL	VINYL	W/GRIDS
2	5'-0"		H.S.	DUAL	VINYL	W/GRIDS
3	2'-0"		FIXED	DUAL	VINYL	TEMP. W/GRIDS
4	2'-0"		FIXED TRANSOM	DUAL	VINYL	TEMP. W/GRIDS
5	3'-6"		FIXED TRANSOM	DUAL	VINYL	TEMP. W/GRIDS
6	2'-0"		FIXED	DUAL	VINYL	W/GRIDS
7	2'-0"		FIXED	DUAL	VINYL	W/GRIDS
8	2'-0"		FIXED TRANSOM	DUAL	VINYL	W/GRIDS
9	5'-0"		S.H.	DUAL	VINYL	W/GRIDS
10	5'-0"		H.S.	DUAL	VINYL	W/GRIDS
11	5'-0"		FIXED TRANSOM	DUAL	VINYL	W/GRIDS
12	14'-0"		(4) PANEL MULTI-SLIDE	DUAL	VINYL	TEMP.
13	16'-0"		(4) PANEL MULTI-SLIDE	DUAL	VINYL	TEMP.
14	6'-0"		S.S.D.	DUAL	VINYL	TEMP.
15	6'-0"		FIXED TRANSOM	DUAL	VINYL	TEMP.
16	5'-0"		H.S.	DUAL	VINYL	TEMP.
17	1'-0"		FIXED TRANSOM	DUAL	VINYL	TEMP.
18	2'-0"		FIXED	DUAL	VINYL	TEMP.
19	2'-0"		FIXED TRANSOM	DUAL	VINYL	TEMP.
20	5'-0"		H.S.	DUAL	VINYL	TEMP.
21	3'-6"		FIXED TRANSOM	DUAL	VINYL	TEMP.
22	5'-6"		ARCH TOP LEFT FIXED TRANSOM	DUAL	VINYL	TEMP. SEE ELEVATIONS
23	5'-6"		ARCH TOP LEFT FIXED TRANSOM	DUAL	VINYL	TEMP. SEE ELEVATIONS
24	5'-6"		ARCH TOP RIGHT FIXED TRANSOM	DUAL	VINYL	TEMP. SEE ELEVATIONS
25	5'-6"		ARCH TOP RIGHT FIXED TRANSOM	DUAL	VINYL	TEMP. SEE ELEVATIONS
26	2'-6"		S.H.	DUAL	VINYL	TEMP. SEE ELEVATIONS
27	2'-6"		S.H.	DUAL	VINYL	TEMP. SEE ELEVATIONS
28	2'-0"		S.H.	DUAL	VINYL	TEMP. SEE ELEVATIONS

1ST FLOOR HEADERS TO BE AT 8'-0" U.N.O.
2ND FLOOR HEADERS TO BE AT 6'-8" U.N.O.
SEE EXTERIOR ELEVATIONS FOR WINDOW PATTERNS

DOOR SCHEDULE			
NO.	SIZE	TYPE	REMARKS
A	3'-0"	S.C.	ENTRY
B	2'-6"	S.C.	
C	2'-6"	S.C.	
D	2'-0"	S.C.	POCKET
E	3'-0"	S.C.	
F	3'-0"	S.C.	1 3/8" THK. W/ SELF-CLOSER
G	3'-0"	H.C.	METAL
H	4'-0"	SECTIONAL ROLL-UP	METAL
I	2'-6"	S.C.	
J	2'-6"	S.C.	
K	2'-6"	S.C.	
L	2'-6"	S.C.	
M	3'-0"	S.C.	
N	FAIR 2'-6"	H.C.	
P	FAIR 3'-6"	S.C.	BARN DOOR



ENERGY NOTES:

AFTER INSTALLING WALL, CEILING, OR FLOOR INSULATION, THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECIFICATIONS. THE CERTIFICATE SHALL ALSO STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE.

JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, EQUIPPED WITH GASKETS, WEATHER-STRIPED, OR OTHERWISE SEALED TO LIMIT INTERNAL OR EXTERNAL AIR FILTRATION.

EVERY MANUFACTURED AND SITE-BUILT FENESTRATION PRODUCT OR FENESTRATION SYSTEM INSTALLED IN CONSTRUCTION SUBJECT TO TITLE 24, PART 6 SHALL HAVE ATTACHED TO IT A CLEARLY VISIBLE TEMPORARY LABEL OR HAVE AN ASSOCIATED LABEL CERTIFICATE THAT LISTS THE U-FACTOR, THE SOLAR HEAT GAIN COEFFICIENT (SHGC) OF THAT PRODUCT AND THE METHOD USED TO DERIVE THOSE VALUES, AND CERTIFIES COMPLIANCE WITH AIR LEAKAGE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE, SEC. 116(a) 1. THE LABEL SHALL NOT BE REMOVED UNTIL APPROVED BY THE BUILDING INSPECTOR.

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Tim Hall Custom Home Designs
 8316 N. SHALLOT WAY
 FRESNO, CA. 93720
 554-342-0241

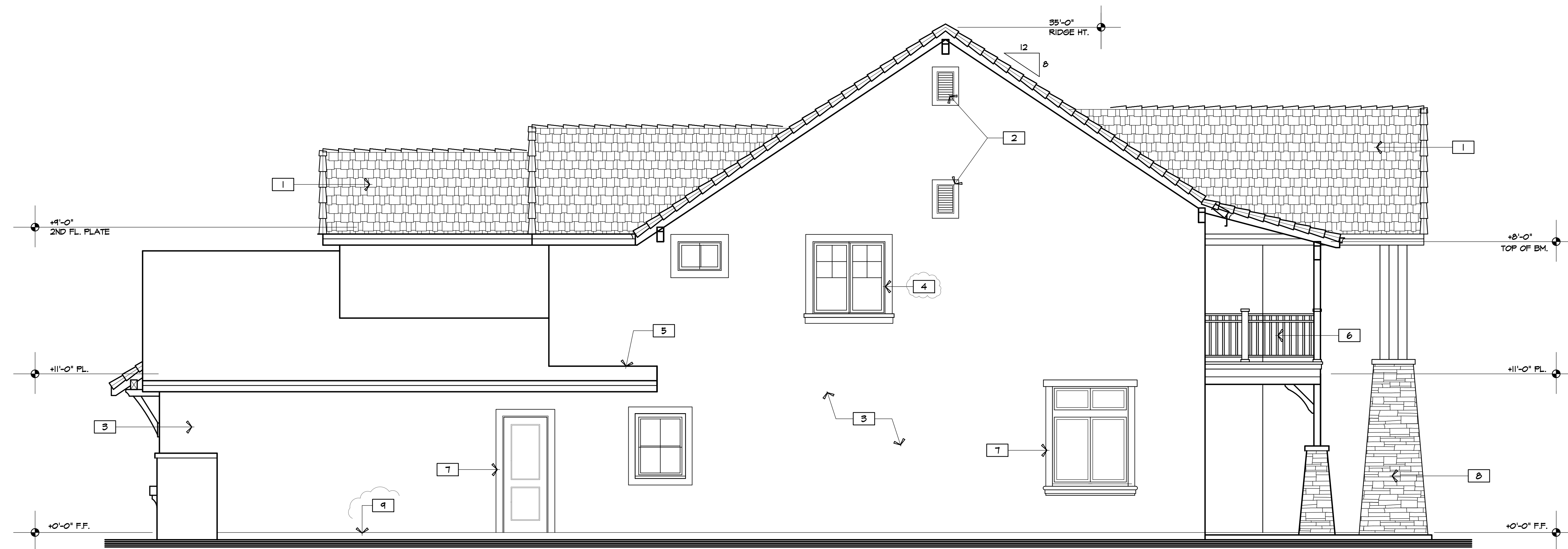
ZEKIAN CABIN
 39492 SUNSET ROCK
 SHAYER LAKE, CA.

JOB NO. _____
 DATE: 2/8/18
 BACKCHECK CORRECTIONS

DRAWN BY: TIM HALL
 SHEET NO. **A3**



FRONT ELEVATION
(EAST FACING)



RIGHT ELEVATION
(NORTH FACING)

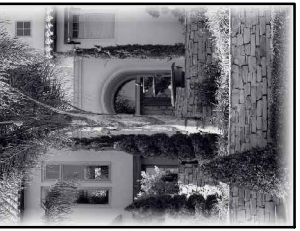
ELEVATION LEGEND:

- 1 CLASS 'A' 40 YR. COMP. SHINGLE ROOFING 0/30° FELT 0/ROOF SHEATHING PER ROOF FRAMING PLAN. UNDERLAYMENT AT OVERHANGS SHALL BE INSTALLED PER THE REQUIREMENTS FOR SEVERE CLIMATE (ICE DAM) CONDITIONS (TABLE 15-B-1 CBC) 40# FELT FROM EAVES TO MIN. 12" INSIDE THE EXT. WALL LINES (WALL LAPS CEMENTED TOGETHER)
- 2 GABLE END VENTS PER ROOF FRAMING PLAN
- 3 PROVIDE 2-COAT ONESA DIAMOND MALL PM INSULATING EXTERIOR STUCCO SYSTEM W/RE LATH AT EAVES AND HORIZONTAL SURFACES. ESR-1184 OR EQUAL. PROVIDE 2 LAYERS OF TYPE 17 PAPER UNDERLAYMENT WHERE LATH IS TO BE APPLIED OVER WOOD SHEATHING. (CBC 2506.4)
- 4 FLASHING PER DET. 12/7D, TYP. @ ALL WINDOWS AND DOORS
- 5 PROVIDE 26 GA. 0.5M. FLASHING & COUNTER FLASHING @ ROOF JUNCTIONS TO VERTICAL SURFACES (WALLS SKYLIGHTS) & TRICE JAGES. STEP FLASHING IS REQD. FOR COMPOSITION & WOOD SHINGLES.
- 6 WROUGHT IRON RAILING
- 7 PROVIDE BITUTHANE @ ALL WINDOW TRIMS, COURTYARD WALLS, AND EXTERIOR SILLS. (TYP.)
- 8 EL DORADO CULTURED STONE OR EQUAL. (BY OWNER)
- 9 PROVIDE CONTINUOUS KEEL SCREED AT BOTTOM OF STUCCO PER DET. 11/7D.

PROVIDE 3/8" O.S.B. BD. @ ALL EXTERIOR WALLS

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Tim Hall Custom Home Designs
 9316 N. SHALLOT WAY
 FRESNO, CA 93710
 559-542-0241



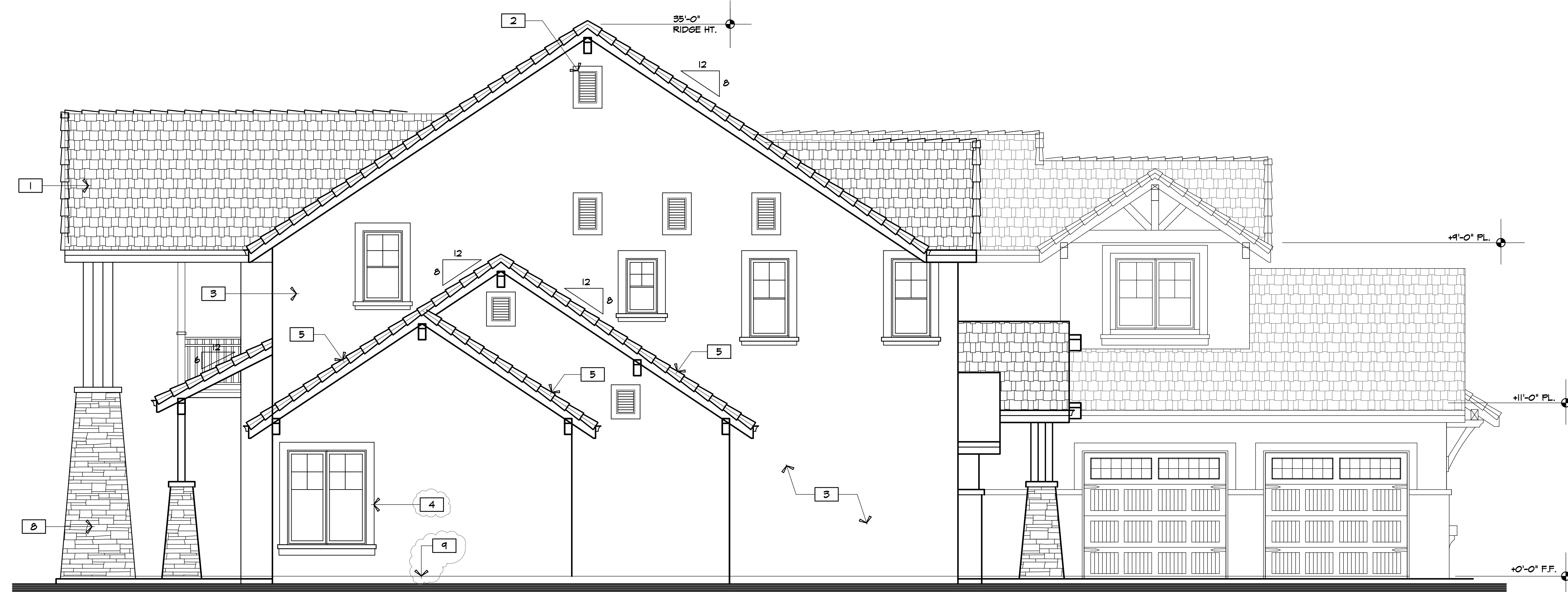
ZEKIAN CABIN
 39492 SUNSET ROCK
 SHAVER LAKE, CA.

JOB NO.
 DATE: 6/3/14
 DRAWN BY: TIM HALL

SHEET NO.
A3



REAR ELEVATION
(WEST FACING)



LEFT ELEVATION
(SOUTH FACING)

ELEVATION LEGEND:

- 1 CLASS 'A' 40 YR. COMP. SHINGLE ROOFING 0/30# FELT O/ROOF SHEATHING PER ROOF FRAMING PLAN. UNDERLAYMENT AT OVERHANGS SHALL BE INSTALLED PER THE REQUIREMENTS FOR SEVERE CLIMATE (ICE DAM) CONDITIONS (TABLE 15-b-1 CBC). 40# FELT FROM EAVES TO MIN. 12" INSIDE THE EXT. WALL LINES (WALL LAPS CEMENTED TOGETHER).
- 2 GABLE END VENTS PER ROOF FRAMING PLAN
- 3 PROVIDE 2-COAT ONESA DIAMOND MALL PM INSULATING EXTERIOR STUCCO SYSTEM WITH LATH AT EAVES AND HORIZONTAL SURFACES, ESR 1144 OR EQUAL. PROVIDE 2 LAYERS OF TYPE 12 PAPER UNDERLAYMENT WHERE LATH IS TO BE APPLIED OVER HOOD SHEATHING. (CBC 2506-4).
- 4 FLASHING PER DET. (I/T/D). TYP. @ ALL WINDOWS AND DOORS
- 5 PROVIDE 26 GA. G.S.M. FLASHING & COUNTER FLASHING @ ROOF JOINTS TO VERTICAL SURFACES, WALLS, SKYLIGHTS & FIREPLACES. STEEP FLASHING IS REQ'D. FOR CORROSION & HOOD SHINGLES.
- 6 WROUGHT IRON RAILING
- 7 PROVIDE BITUMANE @ ALL WINDOW TRIMS, COURTYARD WALLS, AND EXTERIOR SILLS. (TYP.)
- 8 EL. DORADO CULTURED STONE OR EQUAL. (BY OWNER)
- 9 PROVIDE CONTINUOUS KEEL SCREED AT BOTTOM OF STUCCO PER DET. (I/T/D).

PROVIDE 3/8" O.S.B. BD. @ ALL EXTERIOR WALLS

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Tim Hall Custom Home Designs
 8376 N. SHALLOT WAY
 FRESNO, CA. 93720
 554-342-0241



ZEKIAN CABIN
 39492 SUNSET ROCK
 SHAYER LAKE, CA.

JOB NO.
DATE: 5/12/14

DRAWN BY: TIM HALL

SHEET NO.

A4

EXTERIOR ELEVATIONS

SCALE: 1/4"=1'-0"

Levon Zekian

Representative: Tim Hall
680 P. Street, Suite B
Fresno, Ca. 93721
(559) 907-6000
levon@zblinds.com

May 24, 2019

Fresno County Department of Public Works and Planning

Re: Variance Findings
Pre-Application Review No. 39702
Subject Assessor's Parcel No. 136-390-09

Project Location: 39492 Sunset Rock, Shaver Lake

Proposal:

Allow a single-family residence to be built, which will exceed the maximum building height (35 feet) and lot coverage allowance (35%), and which will encroach into the front and rear-yard setbacks (20 feet each), on a 0.21 acre parcel in the R-1-B(c) (Single-Family Residential, 12,500 square-foot minimum parcel size, Conditional) Zone District, where the standards established by Conditional Use Permit No. 3325 and Tentative Tract Map No. 5990 apply.

There are exceptional or extraordinary circumstances or conditions applicable to the property involved which do not apply generally to other properties in the vicinity having the identical zoning classification:

This is a premium lot due to the view. We had to increase the patio sizes to help shade the windows in order for the house to pass the energy requirements due to facing to the west. There's no trees on this lot to shade any of the house like the other lots in this tract. The sun is harsh on that side of the house and will overheat the inside of the house. The patio cover will help shade those areas which will knock down the heat factor. If we don't cover the windows somehow, then the energy calcs would fail due to the heat factor. So this made us encroach into the rear setback and also put us over the 35% lot coverage. The typical lot usually allows a 40% lot coverage so with a 10% minor variance would have put us much closer. There is no lots behind this property so other properties in the vicinity will not be affected. The shed roof at the front of the garage is just an architectural projection to help give the house some character and more curb appeal. The height of the house only exceeds the maximum 35 feet by 8". The extra height of the first floor, size of the floor joists and roof pitch just put us over.

Such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the vicinity having the identical zoning classification:

This will be my primary residence in which will not be rented out, therefore there will be minimal noise. The architectural style will tie in with the existing community therefore it would benefit the other homes in that development. Due to the home being built on a granite rock, there were challenges and difficulties making everything work functionally which the other lots in the development did not have to contend with. Also this specific lot has direct sun coming into the house since there is no trees to shade this area. The other homes in the development have trees to help shade to keep the heat down. In turn, the house on this lot really depends on shaded patio's to help knock the heat to a minimum.

The granting of the variance will not be materially detrimental to the public welfare or injurious to property and improvement in the vicinity in which the property is located:

The house is going to be on a solid granite rock. All the materials and colors will tie in to the natural surroundings. No trees will have to be removed. There is nothing behind the property including no future lots. It can only help increase the value in that development which helps benefit the other properties within the area.

The granting of such variance will not be contrary to the objectives of the Fresno County General Plan:

The house will not conflict with any objectives of the Fresno County General Plan. It's going to be on a solid granite rock which will not affect any existing trees or agriculture. It will also not affect County's environmental quality, such as soils, water, air quality, minerals, and wildlife and it's habitat. For Health and Safety Protection there will be no hazards and/or nuisances. All the materials and colors will tie in to the natural surroundings. There is nothing behind the property including no future lots. This will add to the population growth which will add to the economy in that area.

Please let me know if you have any recommendations that would help with the granting of this variance. It is so important to me and our family.

Thank you!

Sincerely,

Levon Zekian

**Mitigation Monitoring and Reporting Program
(Including Conditions of Approval and Project Notes)**

Initial Study Application No. 6404, Classified Conditional Use Permit Application No. 3325,
Tentative Tract Map Application No. 5990

Mitigation Measures					
Mitigation Measure No.	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
*1.	Aesthetics	All outdoor lighting shall be hooded and directed as to not shine towards adjacent properties and public streets.	Applicant	Applicant/Fresno County	Once; during Construction Phase
*2.	Biological	<p>The following shall be implemented by the Applicant/subdivider and shall be recorded as a Covenant and Agreement, subject to a \$243.50 Document Preparation Fee, running with the land prior to recordation of any subsequent Parcel Map associated with the subject property and included on an additional map sheet of any subsequent Parcel Map to address potential impacts to sensitive species:</p> <p>a. Removal of existing trees and snags shall be avoided to the extent possible with consideration given to necessary hazard and fire protection fuel reduction.</p> <p>b. The use of impenetrable fencing on individual parcels, excluding home yard areas, shall be avoided to not unduly restrict wildlife movement across the properties. Any fencing, excluding home yard fencing, shall comply with the "wildlife friendly" specifications of the California Department of Fish and Game (CDFG) which generally means no fences greater than 42 inches in height. The bottom of the fence shall be no less than 18 inches from the ground (if using wire, it shall be smooth), and if using wire, the distance between the top two wires shall be no less than 14 inches to prevent deer entanglement. Fence height and spacing will need to be</p>	Applicant	Applicant/CA Dept. of Fish and Game/US Fish and Wildlife	Once; during specified Mitigation Phase

EXHIBIT B, PAGE 1

Mitigation Measures

Mitigation Measure No.	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
		<p>adjusted depending on the slope of the ground.</p> <ul style="list-style-type: none"> c. All outdoor lighting shall be hooded to reduce glare and the frightening of wildlife. Such hooding shall comply with the CDFG recommended standards. d. To the extent feasible, landscaping shall consist of native plant varieties. e. An informational brochure developed for purchasers and potential purchasers of property shall be distributed by the developer/Applicant containing the following information: <ul style="list-style-type: none"> i. Suggested suitable native plant varieties for landscaping. ii. Potential conflicts between domesticated canine and feline species and sensitive wildlife and steps property owners may consider to avoid such conflicts. iii. Appropriate fencing type for wildlife friendly fencing. <p>The brochure shall be submitted to and approved by the Mapping Section of the Fresno County Department of Public Works and Planning, Development Services Division, prior to recordation of the Final Map.</p> <p>If project-related activities occur during the bird breeding season (February through September 15), prior to starting such activities each year, a qualified Biologist shall conduct surveys to determine the location of bird nests. Active bird nests shall be protected with a no-disturbance buffer that is clearly delineated on the ground until the young have fledged and are no longer reliant on the nest or parental care for survival. No-disturbance buffers shall be one half-mile around nests of listed species, 500 feet around nests of non-listed raptor species,</p>			

Mitigation Measures

Mitigation Measure No.	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
		250 feet around nests of migratory birds, and 150 feet around other bird species.			
*3.	Cultural Resources	In the event that cultural resources are unearthed during grading or construction activity, all work shall be halted in the area of the find, and an Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during construction, no further disturbance is to occur until the Fresno County Coroner has made the necessary findings as to origin and disposition. If such remains are Native American, the Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/Fresno County Coroner/Native American Commission	Once; during specified Mitigation Phase
*4.	Hydrology and Water Quality	Water facilities to serve the proposed community water system shall be designed and installed in accordance with County Improvement Standards and meet all state and federal regulations for a community water system. An Engineer's evaluation must demonstrate acceptable operations parameters and capacity based upon the proposed development. Two copies of Engineered Plans for these facilities shall be submitted to the Development Engineering Section of the Fresno County Department of Public Works and Planning, Development Services Division, for review and approval.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*5.	Hydrology and Water Quality	All water facilities and associated property shall be deeded to Fresno County Water Works District (WWD) No. 41. All well sites shall meet a 50-foot radius control zone as required in Title 22 California Code of Regulations (CCR) 64560.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*6.	Hydrology and Water Quality	All irrigation shall comply with State and County water conservation regulations and efficient landscape requirements. This	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase

Mitigation Measures

Mitigation Measure No.	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
		requirement shall be recorded as a Covenant running with the land and shall be noted on the Final Map.			
*7.	Hydrology and Water Quality	All rights to groundwater beneath the proposed tract shall be dedicated to the County of Fresno.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*8.	Hydrology and Water Quality	All on-site wells serving the development shall be equipped with supervisory control and data acquisition (SCADA) controls as required by the County, or funding for the SCADA controls may be deposited with the County for future installation.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*9.	Hydrology and Water Quality	The developer shall construct well sites in such a manner as to minimize noise from equipment and aesthetically minimize the impact to residents within the vicinity of the well sites.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*10.	Hydrology and Water Quality	Fifty-one Equivalent Dwelling Units (EDUs) of water are being transferred from Site Plan Review (SPR) No. 7175 which was previously counted towards the 2,000 EDU limit in Township 10. As such, this proposal is not required to acquire its EDUs upon recordation of the Final Map. As SPR No. 7175 will transfer entitlement of 119 EDUs to this proposal and Tentative Tract (TT) Map Application No. 5991, SPR No. 7175 cannot develop until an alternative water source is provided.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*11.	Hydrology and Water Quality	Based upon the Hydrology Report dated July 2010, Timberwine (T) wells T-18 (4.25 EDUs) and T-24 (12.25 EDUs) are being considered for use with this proposed subdivision. Further, based upon a Hydrology Report dated January 2006, T wells T-31 (14.25 EDUs) and T-33 (20.25 EDUs) are also being considered for use with this proposed	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase

Mitigation Measures

Mitigation Measure No.	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
		subdivision. The Fresno County Department of Public Works and Planning has been in contact with the California Department of Public Health (CDPH) regarding a revision of the CDPH permit issued to Fresno County WWD No. 41 which requires all new developments to have 0.5 gallons per minute per EDU. Should CDPH not change this requirement, the Applicant shall provide an additional water source or re-allocate additional EDUs.			
*12.	Hydrology and Water Quality	Any variation on the allocation of T wells shall require written approval from the Fresno County Department of Public Works and Planning prior to any re-allocation of EDUs to other projects.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*13.	Hydrology and Water Quality	Water quality data must pass State Health requirements referenced within Title 22 or additional tests required by the State Department of Public Health in order for the County of Fresno to accept the wells into the Fresno County WWD No. 41 distribution system. If the State requires any treatment of the water source, the Applicant shall fund the necessary improvements.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*14.	Hydrology and Water Quality	All wells must have a minimum 50-foot seal. The existing water wells have been constructed using the Tubex method which does not meet State requirements. Additional monitoring will be required by the State to ensure the source is not influenced by surface water. The County will require a three-year agreement with the developer to ensure that if the source is influenced by surface water during the term of the agreement that an alternative source or treatment be provided at the developer's cost. Any additional monitoring costs as included in the Project Implementation	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase

Mitigation Measures

Mitigation Measure No.	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
		Agreement, due to the Tubex method being used, will be borne by the developer during the three-year term.			
*15.	Hydrology and Water Quality	Access roads to well sites shall be built to County Standards by the Applicant and must be approved by the County prior to approval of the Final Map.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*16.	Hydrology and Water Quality	A Project Implementation Agreement shall be entered into by the Applicant to fund the review of the Water/Wastewater Facility Plans, coordination of any approvals with the State on the well source, and other coordination activities to process, finalize and approve the proposed water/wastewater connections. The Applicant has executed a Project Implementation Agreement and provided an initial deposit of funds (\$1,000.00). The Applicant shall provide future deposits for all actual costs.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*17.	Hydrology and Water Quality	The Applicant's Engineer shall provide the Design and Improvement Plans for all elements of the sewer system to the County for review and approval.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*18.	Hydrology and Water Quality	All proposed sewer facility improvements shall be constructed in accordance with Fresno County Improvement Standards and the Shaver Lake Sewer and Water Master Plan requirements. If a sewer lift station is required, backup power supply shall be provided with automatic transfer of power in the event of disruption of electrical service.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*19.	Hydrology and Water Quality	Currently there is no permanent sewer capacity available. Accordingly, the Applicant shall expand sewer treatment and disposal capacity for units within TT No. 5990 or by the next reasonable increment. If at some time excess capacity is determined, the	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase

Mitigation Measures

Mitigation Measure No.	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
		Applicant shall pay applicable costs as determined by the County.			
*20.	*20.	Prior to Final Map approval, the Applicant shall provide an Engineering Study evaluating the collection system for capacity issues from additional flows anticipated by this and future developments within this collection area. The potential ultimate loading shall be addressed with consideration of the other planned developments and of the Shaver Lake Sewer and Water Master Plan. Estimated sewer flow shall be calculated at 220 gallons per day per single-family residence.	Applicant	Applicant/Fresno County	Once; during specified Mitigation Phase
*21.	Noise	All noise generating construction activities shall be limited to the hours of 7:00 a.m. to 6:00 p.m. Monday through Friday and 7:00 a.m. to 5:00 p.m. Saturday and Sunday.	Applicant	Applicant/Fresno County Department of Public Health	Once; during specified Mitigation Phase
*22.	Public Services	Prior to recordation of a Final Map, a funding mechanism shall be established through a Community Facilities District or Districts under the Mello-Roos Community Facilities Act of 1982, or other appropriate funding mechanism to be determined by the County, to support cost for Sheriff protection services to achieve a ratio of two sworn officers per 1,000 residents for the affected properties. In addition, the project proponents shall pay for any cost associated with the establishment of the referenced funding mechanism.	Applicant	Applicant/Fresno County Department of Public Works and Planning/Fresno County Sheriff	Prior to Recordation of Final Map
*23.	Traffic	To mitigate potential impacts to the County maintained roads, a pro-rata share of cost in the amount of \$97,432.00 shall be required as defined in items 'a' through 'd' below. This fee shall either be paid prior to recordation of the Final Map or a Covenant shall be recorded on each lot providing notice that issuance of Building Permits is subject to	Applicant	Applicant/Fresno County	Prior to issuance of Building Permit

Mitigation Measures

Mitigation Measure No.	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
		payment of a Public Facilities Fee. If the Applicants opts for the latter, the Fee shall be collected no later than the date of final inspection or the date of issuance of a Certificate of Occupancy, whichever comes first. a. Signalization at the intersection of Auberry and Millerton Roads. The project's maximum share is 0.2% or \$634.00. b. Signalization at the intersection of Auberry Road and Copper Avenue. The project's maximum share is 0.1% or \$251.00. c. Signalization at the intersection of Auberry Road and Winchell Cove/Marina Drive. The project's maximum share is 0.2% or \$494.00. d. Road improvements for the road segment of Auberry Road between Copper Avenue and Millerton Road. The project's maximum share is 0.2% or \$96,053.00.			
*24.	Traffic	The entrance gate on Ockenden Ranch Road shall be setback to where Ockenden Ranch Road currently ends.	Applicant	Applicant/Fresno County	Prior to Issuance of Building Permit
*25.	Traffic	The homeowner's association (HOA) shall enter into a cost sharing agreement with Community Service Area (CSA) No. 35 for the section of Ockenden Ranch Road that will be utilized to access the proposed development. The County will calculate the proportionate share-of-cost to be paid by the HOA.	Applicant	Applicant/Fresno County	Prior to Issuance of Building Permit
*26.	Traffic	The Applicant shall demonstrate to the Development Engineering Section of the Fresno County Department of Public Works and Planning, Development Services Division, that the design of Ockenden Ranch	Applicant	Applicant/Fresno County	Prior to Issuance of Building Permit

Mitigation Measures					
Mitigation Measure No.	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
		Road is adequate to support potential dwelling units resultant of the development.			
*27.	Traffic	The Applicant shall mitigate potential impacts upon CSA No. 35 roads resultant of construction vehicles accessing the project site by maintaining the roads free and clear of debris during construction. The Applicant shall repair and provide maintenance to the section of Ockenden Ranch Road being utilized to access the development. The level of this repair and maintenance will be determined by the County.	Applicant	Applicant/Fresno County	Prior to Issuance of Building Permit
*28.		Extension of Ockenden Ranch Road from its present terminus shall be as a gate-controlled access private road. Twenty-foot by twenty-foot corner cutoffs shall be provided at the proposed interior road intersections with Ockenden Ranch Road.	Applicant	Applicant/Fresno County	Prior to Issuance of Building Permit
*29.	Utilities and Service Systems	The HOA shall provide the County with easements in proposed open space areas for the drilling of additional wells for use by a community water system.	Applicant	Applicant/Fresno County	Prior to Issuance of Building Permit
*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document, Conditions reference recommended Conditions for the project, and project Notes reference mandatory requirements of Fresno County for the project.					

EXHIBIT B, PAGE 9

Conditions of Approval	
1.	<p>Conditional Use Permit (CUP) No. 3325 shall be tied to Tentative Tract (TT) Map No. 5990; if the Tract is denied or expires, the CUP shall also expire.</p> <p>NOTE: In accordance with Section 873 – 1 of the Zoning Ordinance, a CUP to authorize a Tentative Subdivision Map automatically assumes the life span of the Tract Map.</p>
2.	<p>Extension of Ockenden Ranch Road from its present terminus shall be as a gate-controlled access private road. Twenty-foot by twenty-foot corner cutoffs shall be provided at the proposed interior road intersections with Ockenden Ranch Road.</p>

Conditions of Approval

3.	All roads shall be developed in accordance with the Shaver Lake Forest Specific Plan and shall be constructed to appropriate County of Fresno Improvement Standards with an exception to permit a 40-foot right-of-way and a 20-mile per hour design speed.
4.	The proposed private roadway 32-foot width complies with the Standard for this density of development. The roadway structural section shall be that of public roads for this level of traffic, but shall not be less than two inches of Asphalt Concrete over four inches of Class II Aggregate Base. An Exception to Standards has been applied to enable use of 40-foot wide rights-of-way where 60 feet is required, with an additional 20-foot wide easement to be provided along each side for slope maintenance, utilities, snow storage and drainage facilities.
5.	All roadways shall be constructed to have drainage contained on the paved and diked roadway shoulders and directed to off-road drainage structures. There shall be no run-off flow across the roadways that could result in travel-way ice formation.
6.	The private roadways entrance gate call box shall be set back from Ockenden Ranch Road a distance determined by statistical analysis using the "queuing theory" sufficient to ensure that there is a one percent or less chance of a waiting vehicle extending onto Ockenden Ranch Road. A 25-foot length shall be provided for each such vehicle in determining the required setback.
7.	The gated entry shall be designed so that vehicles denied access are able to exit the entrance in a continuous forward motion.
8.	A Fresno County Improvement Standard B-2 rural residential cul-de-sac turn-around shall be provided at the end of all cul-de-sac roads.
9.	Roadway design speed shall be 25 miles per hour, except for intersections and corner turns. An Exception to Standard has been applied to enable use of 20-mile per hour design speeds.
10.	Twenty-by-twenty-foot corner cutoffs shall be provided for all intersections.
11.	Roadway intersections shall be as near as practicable to a right angle.
12.	Cul-de-sac streets, depending upon length for fire hydrant requirement, shall have either a fire hydrant or a blow off valve at the end.
13.	Street and regulatory signs and markings shall be included in the required work of improvement and shall comply with Fresno County Standards.
14.	Engineered Plans for the subdivision improvements shall be submitted to the County of Fresno for review and approval. The initial submittal shall include a Soils Report, which shall identify the soils R-value, which, together with the development determined Traffic Index, shall be used for the pavement structural section design to public road standard. Upon grading of the roadways, R-value shall be obtained for the verification of the roadway structural section design.
15.	As a gated community with private roads, a homeowner's association (HOA) shall provide maintenance for all interior streets.
16.	Provisions for parking are provided within the employed Roadway Standard (32-foot pavement width) and the Zone District requirement for off-street parking on each lot.
17.	Hydrologic and hydraulic analysis shall be prepared and submitted for approval, in accordance with standard engineering practices, to demonstrate that the proposed Tract will not result in any increase in flood levels or significantly change the existing drainage characteristics of those parcels adjacent to the development. Sizes and locations for culverts and/or relocated drainage facilities shall be based upon this analysis.

Conditions of Approval

18.	<p>Increased storm water runoff generated by the proposed development shall be retained on-site for metered release within drainage ponds to not cause greater stream flow rate than historically experienced (for a like precipitation event), or directed to other facilities acceptable to the Director of the Department of Public Works and Planning. Detention facilities proposed within stream courses will require review and approval of a Streambed Alteration Permit by the California Department of Fish and Game (CDFG).</p> <p>Note: A storm water metered release detention facility is proposed between Lots 17 and 48. The metered release detention basin shall be sized using the formula $V_s = 0.28CA$. Basins with water depth in excess of 18 inches shall be fenced with fencing type to be chain link or other form that would discourage public access.</p>
19.	A Grading and Drainage Plan shall be prepared and submitted to the Development Engineering Section of the Fresno County Department of Public Works and Planning, Development Services Division, for review and approval prior to commencement of the work of improvement. Easements for cut and fill slopes are provided for by the additional 20-foot easement width along each side of the roadways.
20.	Drainage courses (existing and additional) shall be maintained so as to not significantly change the existing drainage characteristics on parcels adjacent to the development.
21.	The centerline of any natural watercourses shall be shown and dimensioned at the lot lines on an additional map sheet.
22.	The Applicant shall obtain an National Pollutant Discharge Elimination System (NPDES) Permit prior to construction or grading activities. A Notice of Intent (NOI) shall be filed with the Regional Water Quality Control Board with a copy of the Notice provided to the County prior to commencement of any grading activity.
23.	The Applicant shall develop a Stormwater Pollution Prevention Plan (SWPPP) and incorporate the Plan into the construction Improvement Plans. The SWPPP shall be submitted to the County prior to commencement of any grading activity.
24.	All cut and fill slopes shall comply with the submitted Soils Report.
25.	Proposed graded pathways (Recreation Trails) must be identified with appropriate signage and appropriately constructed acceptable for pedestrian use (hiking/walking). A trail detail/cross-section shall be shown on the Improvement Plans.
26.	A HOA shall provide maintenance of the interior roadways (with snow removal), common open space, trails and drainage facilities. The HOA shall, proportionate to use, contribute to the maintenance and snow removal costs for Ockenden Ranch Road from Musick Falls Lane to State Route 168.
27.	The subdivider will be required to secure the maintenance of the new roads for two contiguous one-year maintenance periods after acceptance of construction (County inspection at one-year periods for subdivider directed maintenance performance).
28.	The design of the fire protection water system with location and number of fire hydrants, together with the size of the water mains, shall conform to County Standards and shall be approved by the Director of the Department of Public Works and Planning after consideration of the recommendations of the fire district having jurisdiction of the area.
29.	Fire hydrants shall be installed with the bolted flange and break off ring approximately four inches above the top of the adjacent roadway dike. An asphalt concrete or Portland Cement concrete apron five feet wide shall be provided from the roadway dike to one-foot behind the fire hydrant and

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	be at grade and slope to drain over the top of the roadway dike.
30.	Fire hydrants shall be located on the uphill side of the roadway wherever practicable for avoid fill slope stability and access issues. The fire hydrant valve shall be installed on the water main tee serving the fire hydrant for ease of location during snow conditions.
31.	A galvanized steel marker post acceptable to the fire district having jurisdiction for fire hydrant identification shall be installed with a concrete footer approximately one-foot behind the fire hydrant with a height of six feet above the apron slab with attached sign "Fire Hydrant" together with a blue reflector attached three inches below the pole top.
32.	Sewer service is to be provided by the community system of Fresno County Waterworks District (WWD) No. 41. The Applicant's Engineer shall provide the design and Improvement Plans for all elements of the system to the County for review and approval.
33.	All proposed sewer facility improvements shall be constructed in accordance with Fresno County Improvement Standards and the Shaver Lake Sewer and Water Master Plan requirements. If a sewer lift station is required, backup power supply shall be provided with automatic transfer of power in the event of disruption of electrical service.
34.	Currently there is no permanent sewer capacity available. Accordingly, the Applicant shall expand sewer treatment and disposal capacity for units within TT No. 5990 or by the next reasonable increment. If at some time excess capacity is determined, the Applicant shall pay applicable costs as determined by the County.
35.	Prior to Final Map approval, the Applicant shall provide an Engineering Study evaluating the collection system for capacity issues from additional flows anticipated by this and future developments within this collection area. The potential ultimate loading shall be addressed with consideration of the other planned developments and of the Shaver Lake Sewer and Water Master Plan. Estimated sewer flow shall be calculated at 220 gallons per day per single-family residence.
36.	The internal roads within the subdivision shall be named. The subdivider shall obtain approval of names from the Street Names Committee prior to Final Map approval. Street signs shall be paid for by the developer and installed by the County of Fresno.
37.	Emergency Access Roads shall be contained within emergency access easements and improved to a standard to provide traversability for emergency equipment, as determined by the Director of the Department of Public Works and Planning after consideration of the recommendations of the fire district having jurisdiction of the area.
38.	Crash gates shall be provided at both ends of the emergency access easement.
39.	A Soils Investigation Report prepared in accordance with the County's Improvement Standards (Section II-H) shall be required for the subdivision as a Condition of the Final Map.
40.	All utilities shall be placed underground in accordance with the provisions of the Subdivision Ordinance.
41.	All run-off generated from resultant development shall be retained on the subject site or other facility acceptable to the Director of the Department of Public Works and Planning. Areas designated for storm water retention shall be shown on the Final Map.
42.	Development of the subject Planned Residential Development shall be in substantial compliance with TT Map Application No. 5990 and the

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	Operational Statement.
43.	All Conditions of the Subdivision Review Committee Report for TT Map Application No. 5990 shall be complied with.
44.	<p>All existing property Development Standards of the R-1-B (c) (Single-Family Residential, 12,500 square-foot minimum parcel size, Conditional) Zone District listed in the Zoning Ordinance shall apply except for the following deviations:</p> <p><u>Minimum Lot Size:</u> The minimum lot size for any resultant parcel shall be 8,000 square feet (minimum lot size permitted: 12,500 square feet).</p> <p><u>Minimum Corner Lot Width:</u> The minimum corner lot width for any resultant parcel shall be 80 feet (minimum corner lot width permitted: 90 feet).</p> <p><u>Minimum Curve/Cul-De-Sac Lot Width:</u> The minimum curve/cul-de-sac lot width for any resultant parcel shall be 50 feet (minimum curve/cul-de-sac lot width permitted: 60 feet).</p> <p><u>Minimum Lot Depth:</u> The minimum lot depth for any resultant parcel shall be 100 feet (minimum lot depth permitted: 110 feet).</p> <p><u>Minimum Cul-de-Sac Lot Depth:</u> The minimum cul-de-sac lot depth for any resultant parcel shall be 90 feet (minimum cul-de-sac lot depth permitted: 110 feet).</p> <p><u>Minimum Front Yard Setback:</u> The minimum front yard setback for any resultant parcel shall be 20 feet (minimum front yard setback permitted: 35 feet).</p> <p><u>Minimum Curve/Cul-de-Sac Lot Front Yard Setback:</u> The minimum curve/cul-de-sac lot front yard setback for any resultant parcel shall be 20 feet (minimum curve/cul-de-sac lot front yard setback permitted: 25 feet).</p> <p><u>Minimum Side Yard Setback:</u> The minimum side yard setback for any resultant parcel shall be five feet (minimum side yard setback permitted: ten feet).</p> <p><u>Minimum Street Side Yard Setback:</u> The minimum street side yard setback for any resultant parcel shall be 15 feet (minimum street side yard setback permitted: 25 feet).</p>

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Notes

1.	The Sierra Unified School District in which you are proposing construction has adopted a Resolution requiring the payment of a Construction Fee. The County, in accordance with State Law, which authorizes the Fee, may not issue a Building Permit without certification from the School District that the Fee has been paid. The County will provide an official Certification Form when application is made for a Building Permit.
2.	The Applicant shall adhere to the following rules and regulations set by the San Joaquin Air Pollution District:

Notes

	<p>A. Regulation VIII – Fugitive PM10 Prohibitions B. Rule 4102 – Nuisance C. Rule 4601 – Architectural Coatings D. Rule 4641 – Cutback, Slow Cure, and Emulsified Asphalt, Paving and Maintenance Operations E. Rule 4002 – National Emission Standards for Hazardous Air Pollutants</p>
3.	<p>The proposal shall comply with the 2007 California Code of Regulations Title 24 Fire Code. The Applicant shall submit three Site Plans, stamped "reviewed" or "approved" from the Fresno County Department of Public Works and Planning, to the Fresno County Fire Department for their review and approval. The Applicant shall submit evidence that their Plan was approved by the Fire Department, and all fire protection improvements shall be installed, prior to occupancy.</p>
4.	<p>The proposed development is located within Community Facility District (CFD) No. 1 and is listed as a Class 2 sewer participant in accordance with Fresno County Sewer Ordinance 85-020. As such, all development shall be consistent with the Shaver Lake Sewer and Water Master Plan.</p>
5.	<p>If construction associated with this proposal disturbs more than one-acre, compliance with the NPDES General Permit No. CAS000002 for Discharges of Storm Water Associated with Construction Activity shall be required. Before construction begins, the Applicant shall submit to the State Water Resources Control Board a Notice of Intent to comply with said Permit, a SWPPP, a Site Plan, and appropriate fees. The SWPPP shall contain all items listed in Section A of the General Permit, including descriptions of measures taken to prevent or eliminate unauthorized non-storm water discharges, and best management practices (BMP) implemented to prevent pollutants from discharging with storm water into waters of the United States.</p>
6.	<p>The proposed trails shall connect with existing trails located to the northwest and the southwest of the development.</p>
7.	<p>The approval of Classified Conditional Use Permit No. 3325 is tied to Tentative Tract Map No. 5990 and will expire upon expiration of the Tentative Tract Map. A provision is made that the Classified Conditional Use Permit may be extended in conjunction with an extension request of the Tentative Tract Map.</p>
8.	<p>The approval of this project will expire two years from the date of approval unless a Final Map is recorded. When circumstances beyond the control of the Applicant do not permit compliance with this time limit, the Commission may grant an extension. Application for such extension must be filed with the Department of Public Works and Planning before the expiration of the Tentative Tract Map.</p>