



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY ENVIRONMENTAL CHECKLIST FORM

- 1. Project title:**
Initial Study Application No. 7611 and Unclassified Conditional Use Permit Application No. 3648

- 2. Lead agency name and address:**
County of Fresno, Department of Public Works and Planning
2220 Tulare Street, 6th Floor
Fresno, CA 93721

- 3. Contact person and phone number:**
Thomas Kobayashi, Planner
(559)600-4224

- 4. Project location:**
The project site is located on the west side of Elm Avenue approximately 1,764 feet north of its nearest intersection with Elkhorn Avenue and is located approximately 3.36 miles southeast of the nearest unincorporated community of Caruthers (042-200-06S) (16629 S. Elm Avenue, Caruthers, CA)

- 5. Project sponsor's name and address:**
Jason Osborne, Beacon Development
3 Rovina Lane
Petaluma, CA 94952

On behalf of

Crown Castle
4301 Hacienda Drive, Suite 410
Pleasanton, CA 94588

- 6. General Plan designation:**
Agricultural

- 7. Zoning:**
AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

- 8. Description of project: (Describe the whole action involved, including, but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation. Attach additional sheets if necessary.)**
Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

- 9. Surrounding land uses and setting: Briefly describe the project's surroundings:**
The project site is located in a mainly agricultural area with single-family residences supporting the agricultural uses. On the eastern side of Elm Avenue, the Southwest Transportation Agency maintains a facility and on the eastern side of the State Route 41 the County of Fresno owns land related to the Elkhorn Correctional Facility.

10. Other public agencies whose approval is required (g., permits, financing approval, or participation agreement.)

Department of Public Works and Planning, Building and Safety Section
Department of Public Works and Planning, Development Engineering Section

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, is there a plan for consultation that includes, for example, the determination of significance of impacts to tribal cultural resources, procedures regarding confidentiality, etc.?

Per Assembly Bill 52 (AB52), participating California Native American Tribes were notified of the subject application and given the opportunity to enter consultation with the County for the project. No participating California Native American Tribe expressed concerns that would indicate that the subject application could potentially impact tribal cultural resources.

NOTE: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21080.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

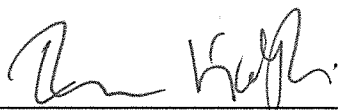
- | | |
|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Biological Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Energy |
| <input type="checkbox"/> Geology/Soils | <input type="checkbox"/> Greenhouse Gas Emissions |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation | <input type="checkbox"/> Tribal Cultural Resources |
| <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Wildfire |
| <input type="checkbox"/> Mandatory Findings of Significance | |

DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT:

On the basis of this initial evaluation:


- I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the Mitigation Measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required
- I find that as a result of the proposed project, no new effects could occur, or new Mitigation Measures would be required that have not been addressed within the scope of a previous Environmental Impact Report.

PERFORMED BY:



Thomas Kobayashi, Planner
Date: 9/6/19

REVIEWED BY:



Marianne Mollring, Senior Planner
Date: 9-6-19

**INITIAL STUDY
ENVIRONMENTAL CHECKLIST FORM**
Initial Study Application No. 7611 and
Unclassified Conditional Use Permit
Application No. 3648

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

- 1 = No Impact
- 2 = Less Than Significant Impact
- 3 = Less Than Significant Impact with Mitigation Incorporated
- 4 = Potentially Significant Impact

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable Air Quality Plan?
- 2 b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?
- 2 c) Expose sensitive receptors to substantial pollutant concentrations?
- 2 d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 1 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 1 c) Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 1 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- 1 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 1 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

V. CULTURAL RESOURCES

Would the project:

- 3 a) Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5?
- 3 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?
- 3 c) Disturb any human remains, including those interred outside of formal cemeteries?

VI. ENERGY

Would the project:

- 3 a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation?
- 3 b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 1 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 2 c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?
- 3 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- 2 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
- 1 b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract?
- 1 c) Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production?
- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 1 e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

VII. GEOLOGY AND SOILS

Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - 1 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 - 1 ii) Strong seismic ground shaking?
 - 1 iii) Seismic-related ground failure, including liquefaction?
 - 1 iv) Landslides?
- 2 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?
- 1 d) Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?
- 1 e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?
- 1 f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- 2 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- 2 b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 2 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 2 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 1 e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?
- 1 f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?
- 2 g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

X. HYDROLOGY AND WATER QUALITY

Would the project:

- 1 a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality?
- 1 b) Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?
- 2 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 2 i) Result in substantial erosion or siltation on- or off-site;
 - 2 ii) Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite;
 - 2 iii) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or
 - 2 iv) Impede or redirect flood flows?
- 2 d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?
- 1 e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

XI. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?
- 2 b) Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

XII. MINERAL RESOURCES

Would the project:

- 2 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 2 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

XIII. NOISE

Would the project result in:

- 2 a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?
- 2 b) Generation of excessive ground-borne vibration or ground-borne noise levels?
- 1 c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?

XIV. POPULATION AND HOUSING

Would the project:

- 1 a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and

businesses) or indirectly (for example, through extension of roads or other infrastructure)?

- 1 b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

XV. PUBLIC SERVICES

Would the project:

- 1 a) Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
- 1 i) Fire protection?
1 ii) Police protection?
1 iii) Schools?
1 iv) Parks?
1 v) Other public facilities?

XVI. RECREATION

Would the project:

- 1 a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
- 1 b) Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

XVII. TRANSPORTATION

Would the project:

- 2 a) Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities?
- 2 b) Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?
- 1 c) Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?
- 1 d) Result in inadequate emergency access?

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- 3 a) Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
- 3 i) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
- 3 ii) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public

Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 2 a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?
- 1 b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?
- 1 c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
- 1 d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals?
- 1 e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- 1 a) Substantially impair an adopted emergency response plan or emergency evacuation plan?
- 1 b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire?
- 1 c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment?
- 1 d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 3 a) Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
- 3 b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)
- 1 c) Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

Documents Referenced:

This Initial Study is referenced by the documents listed below. These documents are available for public review at the County of Fresno, Department of Public Works and Planning, Development Services and Capital Projects Division, 2220 Tulare Street, Suite A, Fresno, California (corner of M & Tulare Streets).

Fresno County General Plan, Policy Document and Final EIR
Fresno County Zoning Ordinance
Important Farmland 2016 Map, State Department of Conservation
Fire Hazard Severity Zones in Local Responsibility Area, State Department of Forestry and Fire Protection

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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

APPLICANT: Jason Osborne, Beacon Development on behalf of Crown Castle

APPLICATION NOS.: Initial Study Application No. 7611 and Unclassified
Conditional Use Permit Application No. 3648

DESCRIPTION: Allow construction of a new unmanned wireless telecommunications facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the west side of Elm Avenue approximately 1,764 feet north of its nearest intersection with Elkhorn Avenue and is located approximately 3.36 miles southeast of the nearest unincorporated community of Caruthers (042-200-06S).

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?

FINDING: NO IMPACT:

According to Figure OS-2 of the Fresno County General Plan, the project site is not located on or near an identified Scenic Roadway. No scenic vista has been identified that would be affected by the proposed project. The project site is located in a mainly agricultural area with the Southwest Transportation Agency being located across Elm Avenue.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to Assessor Parcel Map records, the subject parcel is approximately 390 feet in depth. The project site is located in the rear of the property. Existing residences and accessory buildings along with mature landscaping on the property and orchards surrounding the project site, ground equipment will be effectively screened from the public right-of-way. The lattice tower design has been proposed to resemble other cell towers that have been approved within the vicinity of the project site. The proposed project will have a less than significant impact on the existing visual character or quality of public view of the site and its surroundings.

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The Applicant has indicated that lighting for the tower will be installed per Federal Aviation Administration (FAA) guidelines. In the event that lighting is also installed at ground level, a mitigation measure will be implemented so that all installed lighting will be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Based on the 2016 Fresno County Important Farmland map, the project site is located within land designated as Urban and Built-Up Land and Farmland of Statewide

Importance. Aerial photographs of the project site and site photographs provided by the Applicant show that the subject parcel is utilized for residential use and is not being used for agricultural purposes. Staff believes that although the project site may be located on or near Farmland of Statewide Importance, the proposed project will not convert farmland as there is no indication that farmland is present on the subject parcel.

B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract?

FINDING: NO IMPACT:

The subject parcel is zoned AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) and is not subject to a Williamson Act Contract. According to Policy LU-A.3 of the Fresno County General Plan, certain non-agricultural uses are allowed in areas designated as Agricultural subject to a discretionary permit. Per the Fresno County Zoning Ordinance, the discretionary permit is an Unclassified Conditional Use Permit. Based on the General Plan Policy and use permitted subject to an Unclassified Conditional Use Permit, there will be no conflict with the existing agricultural zoning.

C. Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production; or

D. Result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The project site is not located on or near forest land, timberland, or timberland zoned Timberland Production. Therefore no conflict with forest land, timberland, or timberland zoned Timberland Production is seen and the project will not result in the lost of forest land or conversion of forest land to non-forest use.

E. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

The subject parcel is utilized for residential use and is not being used for farmland or forest land. The project will not result in conversion of farmland to non-agricultural use or conversion of forest land to non-forest use.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or

- B. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- C. Expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Temporary increases in criteria pollutants could occur during project construction. As there are two residences on the subject parcel, they could temporarily be exposed to pollutants during construction of the project. Once construction is complete, the proposed telecommunications facility will not produce criteria pollutants that would expose sensitive receptors. Additionally, operation of the project proposal will not conflict with or obstruct implementation of the applicable Air Quality Plan. Although there will be a temporary increase in criteria pollutants during construction, long-term operation of the facility will not produce pollutants that would have a detrimental effect on sensitive receptors, therefore, staff believes that the project will have a less than significant impact.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Emissions from project construction could have an impact on people in the vicinity of the project site, but construction will be temporary. Ongoing operation of the proposed use will not result in emissions that could adversely affect people in the project vicinity.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?

FINDING: NO IMPACT:

According to the California Natural Diversity Database (CNDDDB), there are no reported occurrences of any special status species on or in the vicinity of the project site. The project site is located on a parcel that has been improved with multiple buildings for human occupation. Additionally, the surrounding land is being utilized for agricultural purposes, which experiences human disturbance on a daily basis. Based on the proposed location of the cell tower and daily human disturbance, no impact is seen on any special status species.

- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- C. Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

FINDING: NO IMPACT:

No riparian habitat or other sensitive natural community has been identified on or near the project site. According to the National Wetlands Inventory, there are no identified wetlands that could be affected by the proposal. Photos provided by the Applicant do not show any wetland characteristics that would suggest the presence of a wetland.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

The project site is located towards the rear of the property that is being utilized for residential purposes. The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native residents. No migratory wildlife corridors or wildlife nursery sites have been identified on or near the project site.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

The project will not conflict with any local policies or ordinances protecting biological resources and will not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or any other approved local, regional, or state Habitat Conservation Plan.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or

- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project site has been improved with two single-family residences and multiple accessory structures. Based on the existing improvements, ground disturbance has already occurred on the project site. In the event that cultural resources are unearthed during project construction, a Mitigation Measure will be implemented to address any cultural resource found during construction or deconstruction of the project.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, videos, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project will be built to current California Building Code standards to meet state energy efficiency plans. The project is not expected to result in potentially significant environmental impacts due to wasteful, inefficient, or unnecessary consumption of energy resources during project operation. A Mitigation Measure will be incorporated with the project to reduce the potential for wasteful or inefficient consumption of energy resources during project construction. The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.

* **Mitigation Measure(s)**

1. *The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.*

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:

1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

FINDING: NO IMPACT:

According to the Earthquake Zone Application administered by the California Department of Conservation and Figure 9-2 of the Fresno County General Plan Background Report (FCGPBR), the project site is not located on a known earthquake fault or rupture of a known earthquake fault.

2. Strong seismic ground shaking?
3. Seismic-related ground failure, including liquefaction?

FINDING: NO IMPACT:

According to Figure 9-5 of the FCGPBR, the project site is not located on or near identified probabilistic seismic hazard areas.

4. Landslides?

FINDING: NO IMPACT:

According to Figure 9-6 of the FCGPBR, the project site is not located near any identified landslide hazard areas. The project site is located in flat agricultural land.

- B. Result in substantial soil erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposes to construct a cell tower and ground related equipment. The ground related equipment will be built on top of a new concrete pad therefore reducing topsoil for the parcel. Planning of the lease area also shows additional space for colocation equipment if pursued reducing topsoil further. Although topsoil is lost from the proposal, the loss of topsoil is not substantial and is only a small portion of the subject parcel which is a less than significant impact.

- C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

FINDING: NO IMPACT:

No geologic unit or soil has been identified to be unstable or would become unstable as a result of the project. Multiple improvements have already been built on the property to suggest that the soil is stable to support the project. The project will be built to current building code standards that can take into account soil conditions.

- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?

FINDING: NO IMPACT:

According to Figure 7-1 of the Fresno County General Plan Background Report (FCGPBR), the project site is not located on any identified expansive soils.

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

FINDING: NO IMPACT:

The project is not proposing the use of septic tanks or alternative waste water disposal systems. The facility will be unmanned and will have a maintenance worker visit the site at least once a month.

- F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

No paleontological resource or unique geologic feature has been identified on the project site. The subject parcels have been improved with single-family residences and accessory buildings. Past ground-disturbing activities indicate that no paleontological or geological resource is present on the project site.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or

- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposal is not expected to generate greenhouse gas emissions that could have a significant impact on the environment. Daily operation of the proposal will not generate greenhouse gas emissions that will have a significant impact. A backup generator is being proposed in case of an emergency to maintain service. Although the generator will produce emissions, the generator is there only to provide backup power and will not run continuously. The project will have a less than significant impact on greenhouse gas emissions.

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Department of Public Health, Environmental Health Division has reviewed the subject application and has provided comments related to hazards and hazardous materials.

Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95.

All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.

- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?

FINDING: NO IMPACT:

The project site is not located within one-quarter mile of an existing or proposed school.

- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?

FINDING: NO IMPACT:

According to a NEPAAssist report produced for the project site, there are no hazardous materials sites on or near the project location.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area?

FINDING: NO IMPACT:

The project site is not located within two miles of a public airport or public use airport.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?

FINDING: NO IMPACT:

The project will not physically interfere with an adopted emergency response plan or emergency evacuation plan. Reviewing agencies did not express concerns to indicate that the project would interfere with an adopted emergency response plan or emergency evacuation plan.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the 2007 Fire Hazard Severity Zones in LRA adopted by the California Department of Forestry and Fire Protection (CalFire), the project site is not located in a fire hazard severity zone. Additionally, the Fresno County Fire Protection District (FCFPD) has provided comments on the subject application that do not indicate a significant risk of wildland fire hazard. The project shall comply with California Code of Regulations Title 24 – Fire Code and project/development will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought. The project proposed for an unmanned wireless telecommunication facility therefore reducing exposure of people at the project site.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or ground water quality; or
- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin?

FINDING: NO IMPACT:

The project proposes an unmanned wireless telecommunications facility and will not utilize water as part of its operation. The project will not violate any water quality standards or waste discharge requirements and will not substantially decrease groundwater supplies or interfere with groundwater recharge.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would result in substantial erosion or siltation on or off site?
 - 1. Result in substantial erosion or siltation on- or off-site;
 - 2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or offsite?
 - 3. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or
 - 4. Impede or redirect flood flows?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to U.S.G.S. Quad Maps, there are no existing natural drainage channels traversing the subject parcel. The project site is also not located in a flood zone, therefore the project will not impeded or redirect flood flows. As new construction is involved, the project may increase surface runoff. The project will be subject to County Standards, which require that drainage of the project not drain across property. The project will not substantially increase the amount of surface runoff in a manner which would result in flooding on- or off-site.

- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is not located in a flood zone, but according to Figure 9-8 of the Fresno County General Plan Background Report (FCGPBR), the project site is located in a dam failure flood inundation area. Although located in a flood inundation area, the project proposes an unmanned facility with minimal hazardous materials onsite. Risk of

release of pollutants is less than significant based on project proposal and storage of materials onsite. The project is not located near a body of water that would indicate tsunami or seiche zone risks.

- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: NO IMPACT:

The project will not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community?

FINDING: NO IMPACT:

The project will not physically divide an established community.

- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Policy PF-J.4 of the Fresno County General Plan requires compliance with the Fresno County Wireless Communications Guidelines for siting of communication towers in unincorporated areas of the County. One key issue of the Wireless Communications Guidelines is for new towers. Applicants are required to submit evidence regarding alternative sites being considered for colocation opportunities and evidence of due diligence on negotiating for colocation. Additional guidelines are related to placement and aesthetics of the tower.

The Applicant has submitted an Alternative Site Analysis and explanation for the new tower. An old tower is set to be decommissioned and the Applicants would like to replace the tower on a different property to ensure coverage throughout the project area. The Alternative Site Analysis also stated that the only other available tower in the vicinity that would meet coverage needs is a guyed wire tower that the Applicant has concerns regarding structural issues when collocating their equipment. The proposed tower will be located on a residential parcel and located at the rear (southwest edge) of the property minimizing aesthetic impacts.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to Figure 7-7 of the Fresno County General Plan Background Report (FCGPBR), the project site may be located on or near identified oil field resources. Based on current conditions of the project site and the footprint of the project site, the proposal is not expected to adversely impact identified mineral resources that may occur on or near the project area.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Department of Public Health, Environmental Health Division (EHD) commented that the proposed construction and operation of the project has the potential to expose nearby residents to short-term elevated noise levels and that consideration should be given to the County of Fresno Noise Ordinance Code. The project is not expected to generate substantial permanent increase in ambient noise levels or generate excessive ground-borne vibration or ground-borne noise levels. A temporary increase from project construction and a slight increase in noise will occur from project construction and operation, but will have a less than significant impact.

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels; or

FINDING: NO IMPACT:

The project site is not located within two miles of a public airport or public use airport.

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?; or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The project will not induce substantial unplanned population growth nor displace substantial numbers of existing people or housing. The project site is located at the rear of the subject parcel and is not requiring the relocation of housing or people on the property.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services?
 - 1. Fire protection;
 - 2. Police protection;
 - 3. Schools;
 - 4. Parks; or
 - 5. Other public facilities?

FINDING: NO IMPACT:

The Fresno County Fire Protection District (FCFPD) has provided comments on the project and did not express concerns with the project to indicate that the proposal will adversely impact their level of service. No other reviewing Agency expressed concerns to indicate that the project will significantly impact the provision of new facilities or level of service.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The project will not result in increased use of existing neighborhood and regional parks such that substantial physical deterioration of the facility would occur or be accelerated. Additionally, the project will not require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment.

XVI. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities; or
- B. Would the project conflict or be inconsistent with CEQA Guidelines section 15064.3, subdivision (b)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project intends to replace an existing tower on a different property. Based on the intention, the project is not likely to increase vehicle miles traveled significantly, as the project will be located approximately 0.30 miles from the existing tower. A less than significant impact is seen as the project will increase vehicle miles traveled minimally and is not conflicting with or being inconsistent with CEQA Guidelines Section 15064.3, subdivision (b). The project does not conflict with a program, plan, ordinance, or policy addressing the circulation system. The project is for an unmanned wireless telecommunications facility and will only require up to two maintenance visits a month. As an existing tower is located in the vicinity of the project site, the change in location of the existing tower to the proposed site will not significantly impact the circulation system or be inconsistent with CEQA Guidelines.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?; or
- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

The project proposes to take access off an existing driveway from Elm Avenue that services the existing residential units on the property. A twelve-foot access easement will be constructed from the existing driveway to the project site. No hazards from the

design of the project's access way has been identified on the project site. The project will not result in inadequate emergency access. No reviewing Agencies/Departments have expressed concerns that indicate that the project design is dangerous or will result in inadequate emergency access.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or
 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Per California Assembly Bill 52 (AB52), participating California Native American Tribes were notified of the project and given the opportunity to enter into consultation with the County of Fresno. No participating California Native American Tribe expressed concerns with the project to indicate that a Tribal Cultural Resource (TCR) was present on or near the project site. In the event that a TCR is identified on the project site, a Mitigation Measure will be implemented so that TCR's are adequately addressed.

* **Mitigation Measure(s)**

1. See Section V.A., B, and C., Mitigation Measure 1.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects?

FINDING: LESS THAN SIGNIFICANT IMPACT:

New electrical connections are being proposed for the subject application, but will not require the relocation or construction of electrical supply facilities. The project will not result in the construction of new or expanded water, wastewater treatment, storm water drainage or natural gas. An existing telecommunications facility is located approximately 0.30 miles south of the proposed site. The project proposes to construct a new tower and decommission the existing tower.

- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years; or
- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

FINDING: NO IMPACT:

The project proposes an unmanned facility and will not require the use of water or construction of wastewater treatment systems. Based on this, the project will not have an impact on water supplies and will not be served by a wastewater treatment system.

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: NO IMPACT:

The project is for an unmanned wireless telecommunications facility and will not generate solid waste in excess of State or local standards. The project will comply with federal, state, and local management and reduction statutes and regulations related to solid waste.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or

- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

According to the 2007 Fire Hazard Severity Zones in Local Responsibility Areas map from the California Department of Forestry and Fire Protection, the project site is located in a Local Responsibility Area (LRA) and is not in lands classified as very high fire hazard severity zones.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Impacts to Cultural Resources and Tribal Cultural Resources will be less than significant with mitigation incorporated. There are no impacts to Biological Resources and reviewing agencies did not express concern to indicate the presence of special status species. The project will not substantially degrade the quality of the environment or substantially reduce the habitat of fish or wildlife species.

- B. Have impacts that are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Cumulative impacts identified in the analysis were related to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources. These impacts will be reduced to a less than significant impact with incorporated Mitigation Measures discussed in Section 1.D., Section V.A., B., and C., Section VI.A and B., and Section XVIII.A.1., and 2.

- C. Have environmental effects, which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No substantial impacts on human beings, either directly or indirectly, were identified in the project analysis.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for 7611 and Unclassified Conditional Use Permit Application No. 3648, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Population and Housing, Public Services, Recreation, and Wildfire.

Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources have determined to be less than significant with compliance with incorporated Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

TK

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Mitigation Monitoring and Reporting Program
Initial Study Application No. 7611 and Unclassified Conditional Use Permit Application No. 3648
(Including Conditions of Approval and Project Notes)

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.	Applicant	Applicant/Department of Public Works and Planning (PW&P)	Ongoing
2.	Cultural Resources/ Tribal Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	During ground-disturbing activities.
3.	Energy	The idling of onsite vehicles and equipment will be avoided to the most possible extent to avoid wasteful or inefficient energy consumption during the construction of the project.	Applicant	Applicant/PW&P	During construction activities



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

FILED
SEP 06 2019 TIME 1:30pm

FRESNO COUNTY CLERK
By *Jessica Munoz* DEPUTY
Jessica Munoz

For County Clerk's Stamp

NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

Notice is hereby given that the County of Fresno has prepared Initial Study Application (IS) No. 7611 pursuant to the requirements of the California Environmental Quality Act for the following proposed project:

INITIAL STUDY APPLICATION NO. 7611 and UNCLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3648 filed by **JASON OSBORNE, BEACON DEVELOPMENT, ON BEHALF OF CROWN CASTLE**, proposing to allow construction of a new unmanned wireless telecommunication facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the west side of Elm Avenue approximately 1,764 feet north of its nearest intersection with Elkhorn Avenue and is located approximately 3.36 miles southeast of the nearest unincorporated community of Caruthers (SUP. DIST. 4) (APN 042-200-06S). Adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7611, and take action on Unclassified Conditional Use Permit Application No. 3648 with Findings and Conditions.

(hereafter, the "Proposed Project")

The County of Fresno has determined that it is appropriate to adopt a Mitigated Negative Declaration for the Proposed Project. The purpose of this Notice is to (1) provide notice of the availability of IS Application No. 7611 and the draft Mitigated Negative Declaration, and request written comments thereon; and (2) provide notice of the public hearing regarding the Proposed Project.

Public Comment Period

The County of Fresno will receive written comments on the Proposed Project and Mitigated Negative Declaration from September 6, 2019 through October 6, 2019.

Email written comments to TKobayash@FresnoCountyCA.gov, or mail comments to:

Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
Attn: Thomas Kobayashi
2220 Tulare Street, Suite A
Fresno, CA 93721

IS Application No. 7611 and the draft Mitigated Negative Declaration may be viewed at the above address Monday through Thursday, 9:00 a.m. to 5:00 p.m., and Friday, 8:30 a.m. to 12:30 p.m. (except holidays), or at www.co.fresno.ca.us/initialstudies An electronic copy of the draft Mitigated Negative Declaration for the Proposed Project may be obtained from Thomas Kobayashi at the addresses above.

Public Hearing

The Planning Commission will hold a public hearing to consider approving the Proposed Project and the Mitigated Negative Declaration on October 10, 2019, at 8:45 a.m., or as soon thereafter as possible, in Room 301, Hall of Records, 2281 Tulare Street, Fresno, California 93721. Interested persons are invited to appear at the hearing and comment on the Proposed Project and draft Mitigated Negative Declaration.

For questions please call Thomas Kobayashi (559) 600-4224.

Published: September 9, 2019

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7611 CUP 3648	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION	County Clerk File No: E-	
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Thomas Kobayashi Planner	Area Code: 559	Telephone Number: 600-4224	Extension: N/A
Project Applicant/Sponsor (Name): Jason Osborne, Beacon Development on behalf of Crown Castle	Project Title: Unclassified Conditional Use Permit Application No. 3648		
Project Description: Allow construction of a new unmanned wireless telecommunication facility consisting of a 150-foot lattice tower with associated antennas and equipment on a 40-foot by 50-foot fenced compound on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.			
Justification for Negative Declaration: Based upon the Initial Study prepared for 7611 and Unclassified Conditional Use Permit Application No. 3648, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Population and Housing, Public Services, Recreation, and Wildfire. Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Transportation, and Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, Energy, and Tribal Cultural Resources have been determined to be less than significant with compliance with incorporated Mitigation Measures. A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – September 9, 2019		Review Date Deadline: Planning Commission – October 10, 2019	
Date:	Type or Print Signature: Marianne Mollring Senior Planner	Submitted by (Signature): Thomas Kobayashi Planner	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

NOTICE OF DETERMINATION

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

County Clerk, County of Fresno
2221 Kern Street
Fresno, CA 93721

From: Fresno County Department of Public Works and Planning, Development Services
and Capital Projects
2220 Tulare Street (corner of Tulare and "M") Suite "A", Fresno, CA 93721

Subject: Filing of Notice of Determination in compliance with Section 21152 of the Public
Resource Code

Project: Initial Study Application No. 7611, Unclassified Conditional Use Permit
Application No. 3648

Location: The subject parcel is located on the west side of Elm Avenue approximately
1,764 feet north of its nearest intersection with Elkhorn Avenue and is located
approximately 3.36 miles southeast of the nearest unincorporated community of
Caruthers (Sup. Dist. 4) (APN 042-200-06S).

Sponsor: Jason Osborne, Beacon Development
On behalf of
Crown Castle

Description: Allow construction of a new unmanned wireless telecommunications facility
consisting of a 150-foot lattice tower with associated antennas and equipment on
a 40-foot by 50-foot fenced area on a 1.45-acre parcel in the AE-20 (Exclusive
Agricultural, 20-acre minimum parcel size) Zone District.

This is to advise that the County of Fresno (Lead Agency Responsible Agency) has
approved the above described project on October 10, 2019, and has made the following
determination:

1. The project **will** **will not** have a significant effect on the environment.
2. An Environmental Impact Report (EIR) **was not** prepared for this project pursuant to the
provisions of CEQA. / A Mitigated Negative Declaration **was** prepared for this project
pursuant to the provisions of CEQA.
3. Mitigation Measures **were** **were not** made a condition of approval for the project.
4. A statement of Overriding Consideration **was** **was not** adopted for this project.

This is to certify that the Initial Study with comments and responses and record of project approval is available to the General Public at Fresno County Department of Public Works and Planning, 2220 Tulare Street, Suite A, Corner of Tulare and "M" Streets, Fresno, California.

Thomas Kobayashi, Planner
(559) 600-4224 / TKobayashi@FresnoCountyCA.gov

Date

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DRAFT



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: May 29, 2019

TO: Development Services and Capital Projects, Attn: William M. Kettler, Division Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: Marianne Mollring, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand
Development Services and Capital Projects, Zoning & Permit Review, Attn: Tawanda Mtunga
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna
Development Services and Capital Projects, Building & Safety/Plan Check, Attn: Chuck Jonas
Development Services and Capital Projects, Building & Safety/Plan Check, CASp, Attn: Dan Mather
Resources Division, Solid Waste, Attn: Amina Flores-Becker/Sally Lopez
Development Engineering, Attn: Kevin Nehring, Senior Engineer
Development Engineering, Attn: Laurie Kennedy
Road Maintenance and Operations, Attn: Frank Daniele/Nadia Lopez
Design Division, Attn: Mohammad Alimi/Dale Siemer
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager
Fresno County Health Officer, Dept. of Public Health, Attn: Ken Bird, M.D.
Department of Public Health, Environmental Health Division, Attn: Deep Sidhu/Steven Rhodes
Agricultural Commissioner, Attn: Melissa Cregan
Sheriff's Office, Attn: Captain John Zanoni, Lt. John Reynolds, Lt. Louie Hernandez, Lt. Kathy Curtice, Lt. Ryan Hushaw
Fresno County Historical Landmarks Commission, Attn: Karen Coletti
NAS Lemoore, NAVFAC, Public Works Lemoore, Attn: John Dirickson
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Sarah Yates
CA Department of Fish and Wildlife, Attn: Craig Bailey, Environmental Scientist & R4CEQA@wildlife.ca.gov
CA Regional Water Quality Control Board, Attn: Matt Scroggins
CALTRANS, Attn: Dave Padilla
State Historic Preservation Office, Attn: Lucinda Woodward
Native American Heritage Commission (NAHC), Attn: Katy Sanchez
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division), Attn: PIC Supervisor
Fresno County Fire Protection District, Attn: Jim McDougald, Division Chief
Kings River Conservation District, Attn: Rick Hoelzel

FROM: Danielle Crider, Planner
Development Services Division

SUBJECT: Unclassified Conditional Use Permit (CUP) Application No. 3648, Initial Study
Application No. 7611

APPLICANT: Crown Castle

DUE DATE: June 13, 2019

The Department of Public Works and Planning, Development Services and Capital Projects Division, is reviewing the subject applications proposing to allow a new wireless communication facility consisting of a 150-foot-tall lattice tower with panel antennas, microwave antennas, and a 50-foot by 40-foot fenced area to contain related ground equipment on a 1.45-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. (16629 S. Elm Avenue) (APN: 042-200-06S) (Sup. Dist. 4).

The Department is also reviewing for environmental effects as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

Please return your comments by **June 13, 2019**. If your agency or department has no comments, please return a "no comments" response. If you need extra time to review the proposed project, please let me know before the comment deadline.

If you have any questions, contact Danielle Crider, Planner, Fresno County Department of Public Works and Planning at (559) 600-9669 or at dacrider@fresnocountyca.gov.

DTC:
G:\4360Devs&PIn\PROJSEC\PROJDOCS\CUP\3600-3699\3648\ROUTING\CUP 3648 Rtg Ltr.doc

Activity Code (Internal Review): 2384

Enclosures



Date Received: 3/25/19

CUP 3048
157611
(Application No.)

Fresno County Department of Public Works and Planning

MAILING ADDRESS:
Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:
Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class)/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

Construct new wireless telecommunications tower

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE, FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: West side of Elm Avenue between Elkhorn Avenue and Swanson Avenue Street address: 16629 S Elm, Caruthers

APN: 042-200-06S Parcel size: 1.446 acres Section(s)-Twp/Rg: S 33 - T 16 S/R 20 E

ADDITIONAL APN(s):

I, [Signature] (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Table with 5 columns: Name, Address, City, Zip, Phone. Rows include Iva M Arthur, Trustee; Jason Osborne on behalf of Crown Castle; Jason Osborne - Beacon Development.

CONTACT EMAIL: jason@beacondev.net

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: CUP 3048 pre-app Credit: \$247 Fee: \$9,123.00
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
PER/Initial Study No.: 157611 Fee: \$5,151.00
Ag Department Review: Fee: \$93.00
Health Department Review: Fee: \$992.00
Received By: Danielle C. Invoice No.: 117522 TOTAL: \$15,112.00

UTILITIES AVAILABLE:

WATER: Yes [X]/ No []
Agency:
SEWER: Yes [X]/ No []
Agency:

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: 33 - T 16 S/R 20 E

Related Application(s): N/A
Zone District: AE-20
Parcel Size: 1.45 acres

APN # 042 - 200 - 06S
APN #
APN #
APN #



Development Services
and
Capital Projects
Division

Mail To:
Jason Osborne/Beacon
Development, LLC
3 Rovina Lane
Petaluma, CA 94952

Email To:
jason@beacondev.net

Pre-Application Review
Department of Public Works and Planning

NUMBER: 39672
APPLICANT: Jason Osborne/Beacon Development, LLC
PHONE: (415) 529-8868

PROPERTY LOCATION: 16629 S. ELM AVE., CARUTHERS, CA 93609
APN: 042 - 200 - 06S ALCC: No Yes # VIOLATION NO. N/A
CNEL: No Yes (level) LOW WATER: No Yes WITHIN 1/2 MILE OF CITY: No Yes
ZONE DISTRICT: AE-20; SRA: No Yes HOMESITE DECLARATION REQ'D.: No Yes
LOT STATUS:

Zoning: () Conforms; (X) Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No Yes ZM# Initiated In process
Map Act: (PM No. 1791) Lot of Rec. Map; () On '72 rolls; () Other ; () Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes DISTRICT: Caruthers Trustee Area 5, State Center CC Trustee Area 3 PERMIT JACKET: No Yes
FMFCD FEE AREA: (X) Outside () District No.: FLOOD PRONE: No Yes
PROPOSAL Unclassified Conditional Use Permit to allow a new cell site & related facilities to include a 150' tall lattice tower; 40'x50' chain-link fence with barbed wire equipment enclosure; electrical 400 meter with fused disconnect, intersect cabinet; install new antennas (3) per sector, (9) total and to install new RRUs (3) per sector, (9) total.

COMMENTS:
ORD. SECTION(S): 853-B-15 BY: O. Ramirez DATE: 03/12/2019

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: Agricultural () JGPA:
COMMUNITY PLAN: - () JAA:
REGIONAL PLAN: - (X) CUP: \$9,123.00
SPECIFIC PLAN: - () JRA:
SPECIAL POLICIES: - () JVA:
SPHERE OF INFLUENCE: - () JAT:
ANNEX REFERRAL (LU-G17/MOU): - () JTT:

PROCEDURES AND FEES:

() MINOR VA:
(X) HD: \$992.00
(X) JAG COMM: \$93.00
() ALCC:
(X) IS/SPER*: \$5,151.00
() Viol. (35%):
() Other:
Filing Fee: \$ \$15,359.00
Pre-Application Fee: -\$247.00
Total County Filing Fee: \$15,112.00

COMMENTS: Lemoore NAs planning area

FILING REQUIREMENTS:

- (X) Land Use Applications and Fees
- (X) This Pre-Application Review form
- (X) Copy of Deed / Legal Description
- (X) Photographs
- () Letter Verifying Deed Review
- (X) IS Application and Fees* ~~*Upon review of project materials, an Initial Study (IS) with fees may be required.~~
- (X) Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- (X) Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- (X) Project Description / Operational Statement (Typed)
- () Statement of Variance Findings
- () Statement of Intended Use (ALCC)
- () Dependency Relationship Statement
- () Resolution/Letter of Release from City of

OTHER FILING FEES:

- () Archaeological Inventory Fee: \$75 at time of filing
(Separate check to Southern San Joaquin Valley Info. Center)
- (X) CA Dept. of Fish & Wildlife (CDFW): \$50 (\$50+\$2,354.75)
(Separate check to Fresno County Clerk for pass-thru to CDFW.
Must be paid prior to IS closure and prior to setting hearing date.)

BY: Danielle Crider DATE: 3-12-19
PHONE NUMBER: (559) 600 - 9109

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

- (X) COVENANT
- () MAP CERTIFICATE
- () PARCEL MAP
- () FINAL MAP
- () FMFCD FEES
- () ALUC or ALCC
- () SITE PLAN REVIEW
- (X) BUILDING PLANS
- (X) BUILDING PERMITS
- () WASTE FACILITIES PERMIT
- (X) SCHOOL FEES
- () OTHER (see reverse side)

PLU # 113 Fee: **\$247.00**
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

OVER.....



3 Rovina Lane
Petaluma, CA 94952
T 415-529-8868
jason@beacondev.net

PROJECT PROPOSED LOCATION

Crown Castle Telecommunication Facility
16629 S. Elm Avenue, Caruthers, CA 93609
Site Name: Iva Arthur (831105)
APN: 042-200-06S

Nature of Request

Crown Castle seeks a Planning Department approval to build a new wireless telecommunication facility with a lattice tower at 16629 S. Elm Avenue, Caruthers, CA. The purpose of this facility would be to maintain coverage.

Property Description

The subject property is zoned AE-30 (Agricultural Exclusive) and is owned by Iva M Arthur, Trustee.

Project Description

This is an unmanned telecommunication facility consisting of the installation of a new 150' lattice tower, a 40' x 50' Crown Castle multi-carrier fenced compound consisting of the installation and operation of antennas and associated equipment. This project is located on private property and will continue to provide wireless coverage in the local community as the existing tower will be decommissioned. The installation will not adversely affect the surrounding area and will have no impact on traffic other than during construction activities, which take less than 30.

The proposal includes the following scope of work:

- New 150'-0" tall lattice tower.
- New 40'-0" x 50'-0" chain-link fence with barbed wire equipment enclosure.
- New electrical 400 meter with fused disconnect, intersect cable.
- 9 new antennas (3 per sector).
- 9 new radio remote radios (3 per sector).

Statement of Operations

This proposed facility will be to replace a currently operating wireless telecommunication facility that we be decommissioned upon construction of a "new" wireless facility to maintain cellular and emergency coverage in the area. This facility will be an unmanned facility operating 24 hours a day, 7 days per week, and 52 weeks per year. There will not be any employees as the facility is unmanned, entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction or breach of security. Upon completion of construction, fine-tuning of the facility may be necessary, meaning the site will be adjusted once or twice a month by a service technician for routine maintenance. Periodic testing and maintenance to keep the facility operational will require a service vehicle to access the property occasionally but no parking spaces will be required. No goods are sold on this facility location, materials to be used for construction are outlined in the zoning drawings included with the zoning package. This facility will



3 Rovina Lane
Petaluma, CA 94952
T 415-529-8868
jason@beacondev.net

not cause unsightly appearance in the area as it will be painted to jurisdictional requirements and will not have any solid or liquid waste as well as no requirement for additional water usage. There will be no advertising of the facility but there will be owner, safety, and required signing as set forth by the FCC and local jurisdiction. Two new small buildings will be added within the 100'x100' compound and fencing to house and protect sensitive equipment, fencing with barbed wire will encompass the 100'x100' lease area and tower as a security measure as well as lighting for the top and sides of the 280' lattice tower as required by the FAA and local jurisdiction.

Zoning Analysis

The site of the proposed facility is currently zoned AE-30 (Exclusive Agricultural District). Based on a Pre-App Meeting with Ms. Danielle Crider, of the Fresno County Planning Department, we have been instructed to submit for a Conditional Use Permit which would be taken into consideration by Fresno County staff.

Alternative Sites Analysis

As requested, Beacon Development has provided a separate document for submission to the County of Fresno which identifies all neighboring telecom facilities within roughly a (10+) mile radius. Please understand, even taking into account the topography in this particular area, most cellular systems can only transmit 3-5 miles, depending on a number of factors. Our analysis reflects a number of adjacent sites, most of which are over (8) miles away and would not provide coverage in our requested area coupled with the fact we are requesting to *replace* the tower on the adjacent property. Please note, during our pre-app meeting we discussed Ms. Danielle Crider and discussed the project and process, namely in our review of colocations, using another property with an existing tower would be preferred, but given there are no immediate towers, we need to reflect them on our supplemental report. With the above being said, please find an attached PowerPoint report which reflects our findings.

Compliance with Federal Regulations

Crown Castle (as the owner of the facility) will not only comply with all FCC rules governing construction requirements, technical standards, interference protection, power and height limitations, and radio frequency standards, but ensure our respective tenants do as well. In addition, the company will comply with all FAA rules on site location and operation. We have also provided an EMF Study which reflects our adherence to FCC guidelines for RF exposure.

Federal Regulations Applicable to This Application

Federal law and the FCC's rules implementing the law require that this permit application be processed to a final decision by this jurisdiction without delay. Specifically, because this application proposes to install new equipment on a new tower outside the public rights of way, this application must be approved or denied within one hundred fifty (150) days from its submission, today.¹

¹ *In re Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7)(B) to Ensure Timely Siting Review*, Declaratory Ruling, 24 FCC Rcd. 13994 ¶¶ 32, 45-46 (2009) (“*FCC Shot Clock Order*”); *In the matter of Acceleration of Broadband Deployment By Improving Wireless Facilities Siting Policies*, Report and Order, FCC 14-153, WT Docket No. 13-238, ¶ 272 (FCC Oct. 21, 2014) (“*Wireless Infrastructure Order*”) (clarifying that DAS nodes that involve installation of new poles trigger the 150 day shot clock).



3 Rovina Lane
Petaluma, CA 94952
T 415-529-8868
jason@beacondev.net

Moreover, pursuant to FCC regulations, this application is deemed complete 30 days after today, unless written notice is provided to the applicant.² If the application is incomplete, within the next 30 days written notice must be provided specifying any items missing to make the application complete.³ For each item missing, the written notice must specify the code provision, ordinance, application instruction, or otherwise publically-stated procedure that requires the submission of the information.⁴

The Telecommunications Act limits the authority of local jurisdictions by, among other restrictions, requiring approval within a reasonable period of time. In submitting this application, Crown Castle expressly reserves all of its Federal and State Rights, including, without limitation, its rights under federal and state law to challenge the requirement for a discretionary permit for its proposed installation. Neither the act of submitting the application nor anything contained therein shall be construed as a waiver of any such rights.

Please send all written requests for additional information regarding this application to:

Jason F. Osborne
Beacon Development, LLC
3 Rovina Lane
Petaluma, CA 94952
(415) 529-8868 mbl
jason@beacondev.net



² *Wireless Infrastructure Order* at ¶¶ 257, 259.

³ *Wireless Infrastructure Order* at ¶¶ 259-260.

⁴ *Id.*



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. 7611

Project
No(s). CUP 3648

Application Rec'd.:
5/29/19

GENERAL INFORMATION

1. Property Owner : Iva M Arthur, Trustee Phone/Fax: _____

Mailing Address: 16629 S Elm Caruthers CA 93609
Street City State/Zip

2. Applicant : Jason Osborne on behalf of Crown Castle Phone/Fax: (415) 529-8868

Mailing Address: 3 Rovina Lane Petaluma CA 94952
Street City State/Zip

3. Representative: Jason Osborne – Beacon Development Phone/Fax: (415) 529-8868

Mailing Address: 3 Rovina Lane Petaluma CA 94952
Street City State/Zip

4. Proposed Project: Construct new wireless telecommunications tower

5. Project Location: The South 150 feet of the North 200 feet of the East 420 feet of the South one-half of said North-east Quarter of the Southeast one-quarter of said Section 33, Township 16 South, Range 20 East, Mount Diablo Base and Meridian, in the City of Fresno, County of Fresno, State of California.

6. Project Address: 16629 S Elm, Caruthers, CA 93609

7. Section/Township/Range: 33 / 16 S / 20 E 8. Parcel Size: 1.446 acres

9. Assessor's Parcel No. 042-200-06S OVER.....

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

<u> </u> LAFCo (annexation or extension of services)	<u> </u> SJVUAPCD (Air Pollution Control District)
<u> </u> CALTRANS	<u> </u> Reclamation Board
<u> </u> Division of Aeronautics	<u> </u> Department of Energy
<u> </u> Water Quality Control Board	<u> </u> Airport Land Use Commission
<u> </u> Other <u>N/A</u>	

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes X No

13. Existing Zone District¹: AE-30

14. Existing General Plan Land Use Designation¹: AE

ENVIRONMENTAL INFORMATION

15. Present land use: AGRICULTURE
Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

Describe the major vegetative cover:

Any perennial or intermittent water courses? If so, show on map:

Is property in a flood-prone area? Describe:

NO

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: AGRICULTURE

South: AGRICULTURE

East: COMMERCIAL

West: AGRICULTURE

17. What land use(s) in the area may be impacted by your Project?: N/A

18. What land use(s) in the area may impact your project?: N/A

19. **Transportation:**

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes X No

B. **Daily traffic generation:**

I. Residential - Number of Units	<u>0</u>
Lot Size	<u>0</u>
Single Family	<u>0</u>
Apartments	<u>0</u>

II. Commercial - Number of Employees	<u>0</u>
Number of Salesmen	<u>0</u>
Number of Delivery Trucks	<u>0</u>
Total Square Footage of Building	<u>0</u>

III. Describe and quantify other traffic generation activities: N/A

20. Describe any source(s) of noise from your project that may affect the surrounding area: N/A

21. Describe any source(s) of noise in the area that may affect your project: N/A

22. Describe the probable source(s) of air pollution from your project: N/A


23. Proposed source of water: N/A

() private well

() community system³--name: _____ OVER.....

24. Anticipated volume of water to be used (gallons per day)²: N/A
25. Proposed method of liquid waste disposal: N/A
 () septic system/individual
 () community system³-name _____
26. Estimated volume of liquid waste (gallons per day)²: N/A
27. Anticipated type(s) of liquid waste: N/A
28. Anticipated type(s) of hazardous wastes²: N/A
29. Anticipated volume of hazardous wastes²: N/A
30. Proposed method of hazardous waste disposal²: N/A
31. Anticipated type(s) of solid waste: N/A
32. Anticipated amount of solid waste (tons or cubic yards per day): N/A
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): N/A
34. Proposed method of solid waste disposal: N/A
35. Fire protection district(s) serving this area: FRESNO COUNTY
36. Has a previous application been processed on this site? If so, list title and date: NO
37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No X
38. If yes, are they currently in use? Yes _____ No _____

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.



 SIGNATURE

3-22-19

 DATE

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

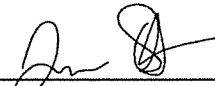
State law requires that specified fees (effective January 1, 2019: \$3,271.00 for an EIR; \$2,354.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).
2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature

4/12/19

Date

CROWN CASTLE



PROJECT INFORMATION:
8311105
FIVE POINTS
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

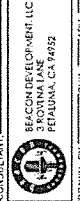
CURRENT ISSUE DATE:
 08/28/19

ISSUED FOR:
100% CONSTRUCTION
DRAWINGS

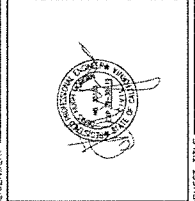
REV. NO.	DATE	DESCRIPTION	BY
A	2/19/17	ISSUE FOR PERMITS	JZ
B	3/15/17	FOR CARUTHERS	JZ
C	4/12/18	ISSUE FOR PERMITS	JZ
D	6/24/17	ISSUE FOR PERMITS	JZ
E	3/29/17	ISSUE FOR PERMITS	JZ

PROJECT ARCHITECT/ENGINEER:

WSD
 Engineering, Inc.
 305 EAST AVENUE
 SAN FRANCISCO, CA 94105



OWNER: BEACON DEVELOPMENT LLC
 3 RONINA LANE
 FERALUNA, CA 94752



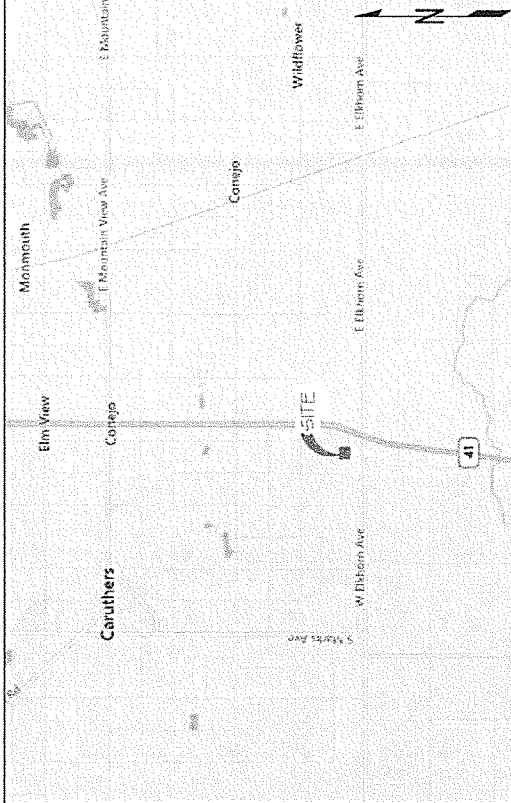
SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

ADDRESS:
 16629 S. ELM AVENUE
 CARUTHERS, CA 93609

COUNTY: FRESNO
JURISDICTION: CITY OF FRESNO

SITE NUMBER: 831105
SITE NAME: FIVE POINTS
SITE TYPE: LATTICE TOWER
TOWER HEIGHT: 150'-0"



APPLICABLE CODES:

ALL CODES SHALL BE APPLIED TO THE PROJECT UNLESS OTHERWISE SPECIFIED WITHIN THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITY, UNLESS IN THESE PLANS IT IS TO BE COMPLIED TO THEIR MOST RECENT EDITION TO THESE CODES.

- 1. INTERNATIONAL BUILDING CODE (IBC)
- 2. IBC 2015 SCHEDULE 2015
- 3. CALIFORNIA ELECTRICAL CODE
- 4. CALIFORNIA FIRE CODE
- 5. CALIFORNIA MECHANICAL CODE
- 6. CALIFORNIA PLUMBING CODE
- 7. CALIFORNIA STRUCTURAL CODE
- 8. CALIFORNIA WELDING CODE
- 9. CALIFORNIA GRAPHIC STANDARDS CODE
- 10. CALIFORNIA SIGNAGE CODE
- 11. CALIFORNIA AIR POLLUTION CONTROL CODE
- 12. CALIFORNIA ENVIRONMENTAL CODE
- 13. CALIFORNIA ANIMAL CARE AND USE ACT
- 14. THE CITY OF FRESNO

SHEET INDEX:

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TOWER DRAWINGS	22996-04-F1
TOWER FOUNDATION	

PROJECT DESCRIPTION:

CROWN CASTLE PROPOSES TO CONSTRUCT A WIRELESS ANTENNA SITE. THE SCOPE SHALL CONSIST OF THE FOLLOWING:

- NEW 150' TALL LATTICE TOWER
- NEW WIRELESS ANTENNA SYSTEM WITH MOUNTING HARDWARE TO FACILITATE FUTURE EXPANSION
- NEW 400' TALL 2" DIA. CONCRETE PILE FOUNDATION
- NEW FOUNDATION FOR WIRELESS ANTENNA
- INSTALLATION AND TESTING OF WIRELESS ANTENNA
- PROVIDING OF ALL MATERIALS AND LABOR FOR THE ABOVE

PROJECT SUMMARY:

SITE ADDRESS: 16629 S. ELM AVENUE, CARUTHERS, CA 93609

PROPERTY OWNER: BEACON DEVELOPMENT LLC, 3 RONINA LANE, FERALUNA, CA 94752

TOWER OWNER: BEACON DEVELOPMENT LLC, 3 RONINA LANE, FERALUNA, CA 94752

CONTRACT NUMBER: 16629 S. ELM AVENUE, CARUTHERS, CA 93609

PROJECT NUMBER: 8311105

DATE: 08/28/19

SCALE: AS SHOWN

PROJECT ARCHITECT/ENGINEER: WSD ENGINEERING, INC., 305 EAST AVENUE, SAN FRANCISCO, CA 94105

REGISTERED ELECTRICAL ENGINEER: JOHN J. ZIMMEL, P.E., 1150 MARKET STREET, SAN FRANCISCO, CA 94102

REGISTERED MECHANICAL ENGINEER: JOHN J. ZIMMEL, P.E., 1150 MARKET STREET, SAN FRANCISCO, CA 94102

REGISTERED CIVIL ENGINEER: JOHN J. ZIMMEL, P.E., 1150 MARKET STREET, SAN FRANCISCO, CA 94102

REGISTERED STRUCTURAL ENGINEER: JOHN J. ZIMMEL, P.E., 1150 MARKET STREET, SAN FRANCISCO, CA 94102

APPROVALS:

NAME	DATE
PROJECT MANAGER	
CROWN CASTLE	
PROJECT ARCHITECT/ENGINEER	
REGISTERED ELECTRICAL ENGINEER	
REGISTERED MECHANICAL ENGINEER	
REGISTERED CIVIL ENGINEER	
REGISTERED STRUCTURAL ENGINEER	

CONSULTING TEAM:

ARCHITECT/ENGINEER: WSD ENGINEERING, INC., 305 EAST AVENUE, SAN FRANCISCO, CA 94105

SITE ACQUISITION: BEACON DEVELOPMENT LLC, 3 RONINA LANE, FERALUNA, CA 94752

ZONING MANAGER: JESSICA GILBERT, 202 WEST GARDEN STREET, SUITE 300, CARUTHERS, CA 93609

REGISTERED ELECTRICAL ENGINEER: JOHN J. ZIMMEL, P.E., 1150 MARKET STREET, SAN FRANCISCO, CA 94102

REGISTERED MECHANICAL ENGINEER: JOHN J. ZIMMEL, P.E., 1150 MARKET STREET, SAN FRANCISCO, CA 94102

REGISTERED CIVIL ENGINEER: JOHN J. ZIMMEL, P.E., 1150 MARKET STREET, SAN FRANCISCO, CA 94102

REGISTERED STRUCTURAL ENGINEER: JOHN J. ZIMMEL, P.E., 1150 MARKET STREET, SAN FRANCISCO, CA 94102

GENERAL CONSTRUCTION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF PALO ALTO SPECIFICATIONS FOR UTILITIES. THE WORK SHALL INCLUDE PERMITS, UTILITIES, AND ALL NECESSARY MATERIALS AND LABOR FOR THE ENTIRE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF PALO ALTO AND THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC).
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC).
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC).
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC).
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC).
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC).
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13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC).
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC).

GENERAL TRENCHING NOTES

1. ALL TRENCHING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
2. ALL TRENCHING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
3. ALL TRENCHING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
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6. ALL TRENCHING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
7. ALL TRENCHING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.

GENERAL GROUNDING NOTES

1. ALL GROUNDING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
2. ALL GROUNDING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
3. ALL GROUNDING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
4. ALL GROUNDING SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.

GENERAL CONDUIT NOTES

1. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
2. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
3. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
4. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.

TYPICAL R.O.W POLE CONSTRUCTION NOTES

1. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
2. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
3. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
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9. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.
10. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.



PROJECT INFORMATION:
8311105
FIVE POINTS
 1825 S. ELM AVENUE
 CARPENTERS, CA 94500

CURRENT ISSUE DATE:
08/28/19

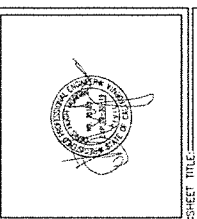
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/14/19	1. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	M
B	3/14/19	2. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
C	4/14/19	3. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
D	5/14/19	4. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
E	6/14/19	5. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
F	7/14/19	6. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
G	8/14/19	7. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
H	9/14/19	8. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
I	10/14/19	9. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
J	11/14/19	10. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
K	12/14/19	11. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
L	1/14/20	12. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
M	2/14/20	13. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
N	3/14/20	14. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
O	4/14/20	15. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
P	5/14/20	16. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
Q	6/14/20	17. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
R	7/14/20	18. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
S	8/14/20	19. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
T	9/14/20	20. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
U	10/14/20	21. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
V	11/14/20	22. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
W	12/14/20	23. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
X	1/14/21	24. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
Y	2/14/21	25. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W
Z	3/14/21	26. ALL CONDUIT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PUBLIC UTILITIES COMMISSION (CPUC) REGULATIONS.	W

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 10000 Wilshire Blvd., Suite 1000
 Los Angeles, CA 90024

CONSULTANT:
BEACON DEVELOPMENT, LLC
 3 FONTLANE
 PETAUNGA, CA 94952

DESIGN BY: _____ **CHK:** _____ **APP:** _____
SIS: _____ **MP:** _____ **MP:** _____
LICENSER: _____



SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:
T-2



PROJECT INFORMATION:
8311105
FIVE POINTS
 16923 S. ELM AVENUE
 CARUTHERS, CA 95029

CURRENT ISSUE DATE:
08/28/19

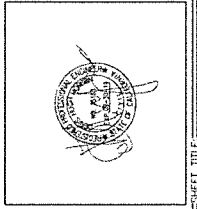
SCALED FOR:
100% CONSTRUCTION
DRAWINGS

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X	8/24/19	ISSUE FOR PERMITS	M
Y	8/24/19	ISSUE FOR PERMITS	M
Z	8/24/19	ISSUE FOR PERMITS	M

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 21555 Central Expressway
 Fremont, CA 94555

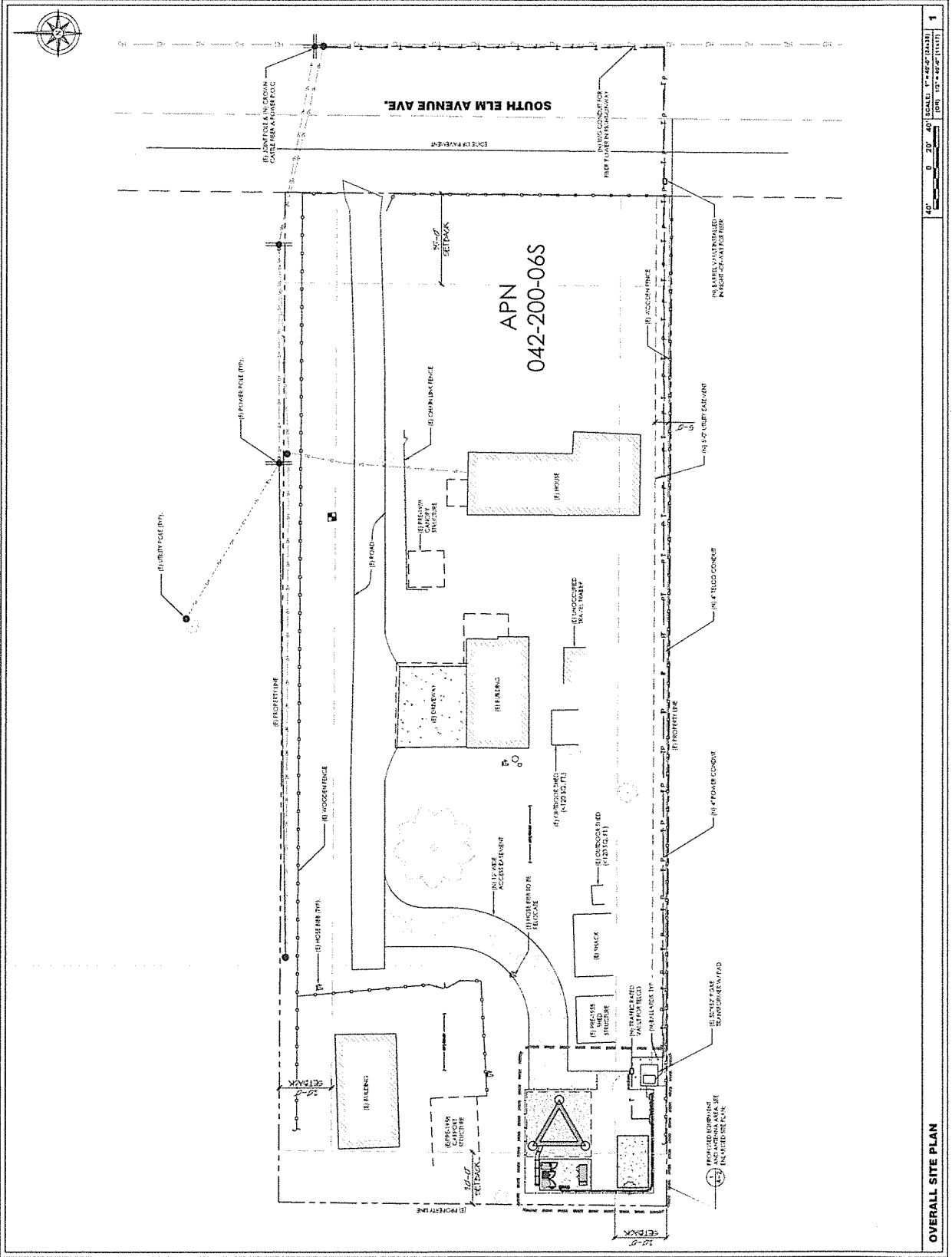
CONSULTANT:
BEACON DEVELOPMENT LLC
 3 FORTUNA LANE
 FORTUNA, CA 94502

DESIGN BY: CHK, MFK, MFK



SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
A-1



OVERALL SITE PLAN
 1
 SCALE: 1" = 40'-0" (SEE NOTES)
 40' 0" 20' 0" 0' 0" 20' 0" 40' 0"



PROJECT INFORMATION:
B311105
FIVE POINTS
 1655 S. ELI AVENUE
 CARUTHERS, CA 95009

CURRENT ISSUE DATE:
08/28/19

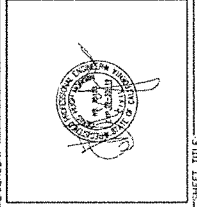
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DRAWINGS

REV.	DATE	DESCRIPTION	BY
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X	08/28/19	ISSUE FOR PERMITS	WSD
Y	08/28/19	ISSUE FOR PERMITS	WSD
Z	08/28/19	ISSUE FOR PERMITS	WSD

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 2150 CALIFORNIA STREET
 JARDINE CA 94531

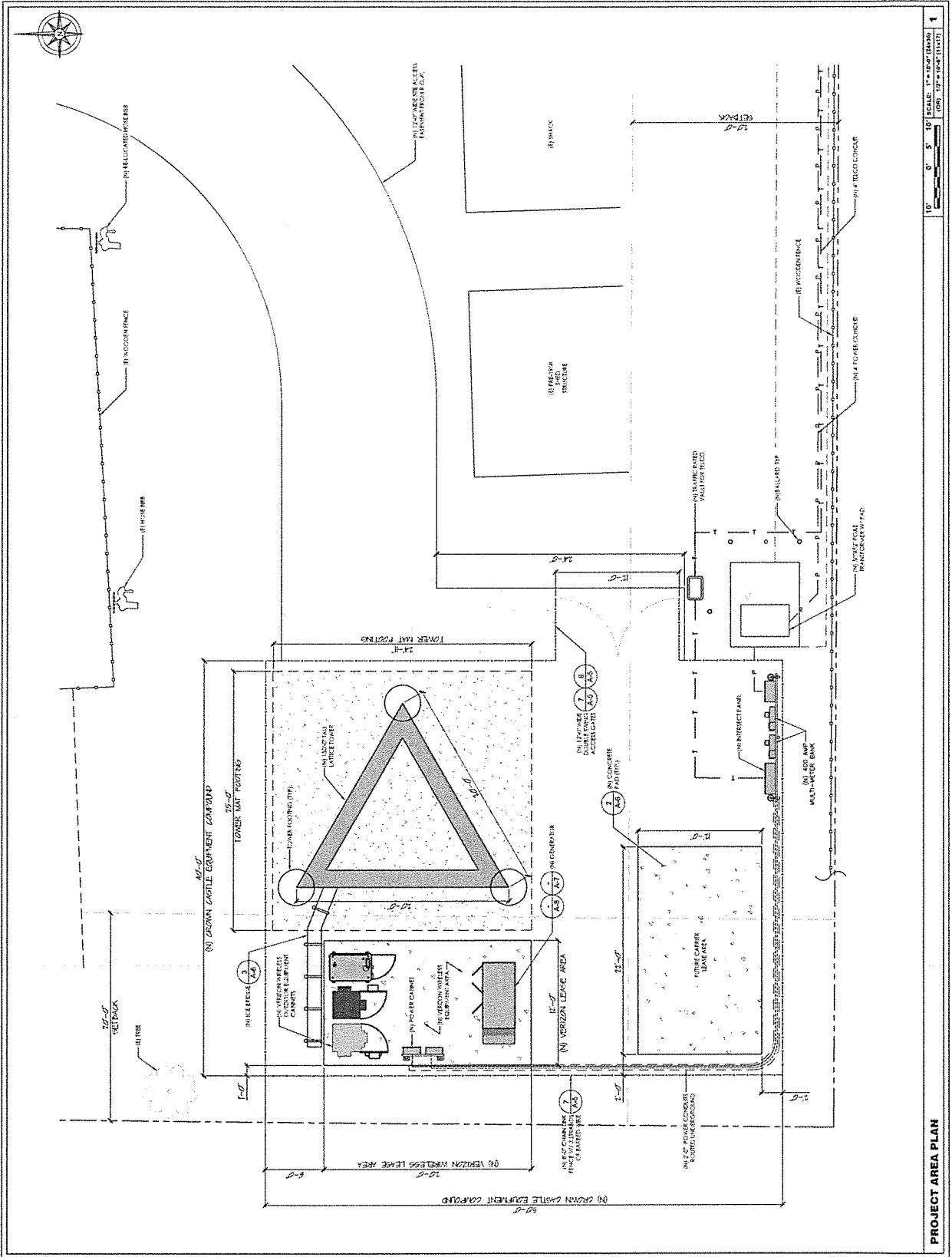
CONTRACTOR:
BEACON DEVELOPMENT LLC
 1307 VINA LANE
 PETAUMA CA 94952

DRAWN BY: JKS
CHECKED BY: MF
DATE: 08/28/19



SHEET TITLE:
PROJECT AREA PLAN

SHEET NUMBER:
A-2



PROJECT AREA PLAN
 10' 0' 5' 10' SCALE: 1" = 10'-0" (HORIZ) 1" = 10'-0" (VERT)
 SHEET NUMBER: 1



PROJECT INFORMATION:
8311105
FIVE POINTS
 1000 S. ELAN BLVD
 CAROLINA, CA 94029

CURRENT ISSUE DATE: **08/28/19**

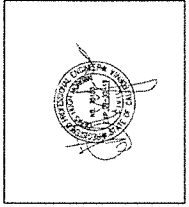
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
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C	07/27/19	100% CONSTRUCTION DRAWINGS	MS
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V	07/27/19	100% CONSTRUCTION DRAWINGS	MS
W	07/27/19	100% CONSTRUCTION DRAWINGS	MS
X	07/27/19	100% CONSTRUCTION DRAWINGS	MS
Y	07/27/19	100% CONSTRUCTION DRAWINGS	MS
Z	07/27/19	100% CONSTRUCTION DRAWINGS	MS

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 2100 CENTRAL EXPWAY, SUITE 200
 SAN JOSE, CA 95128

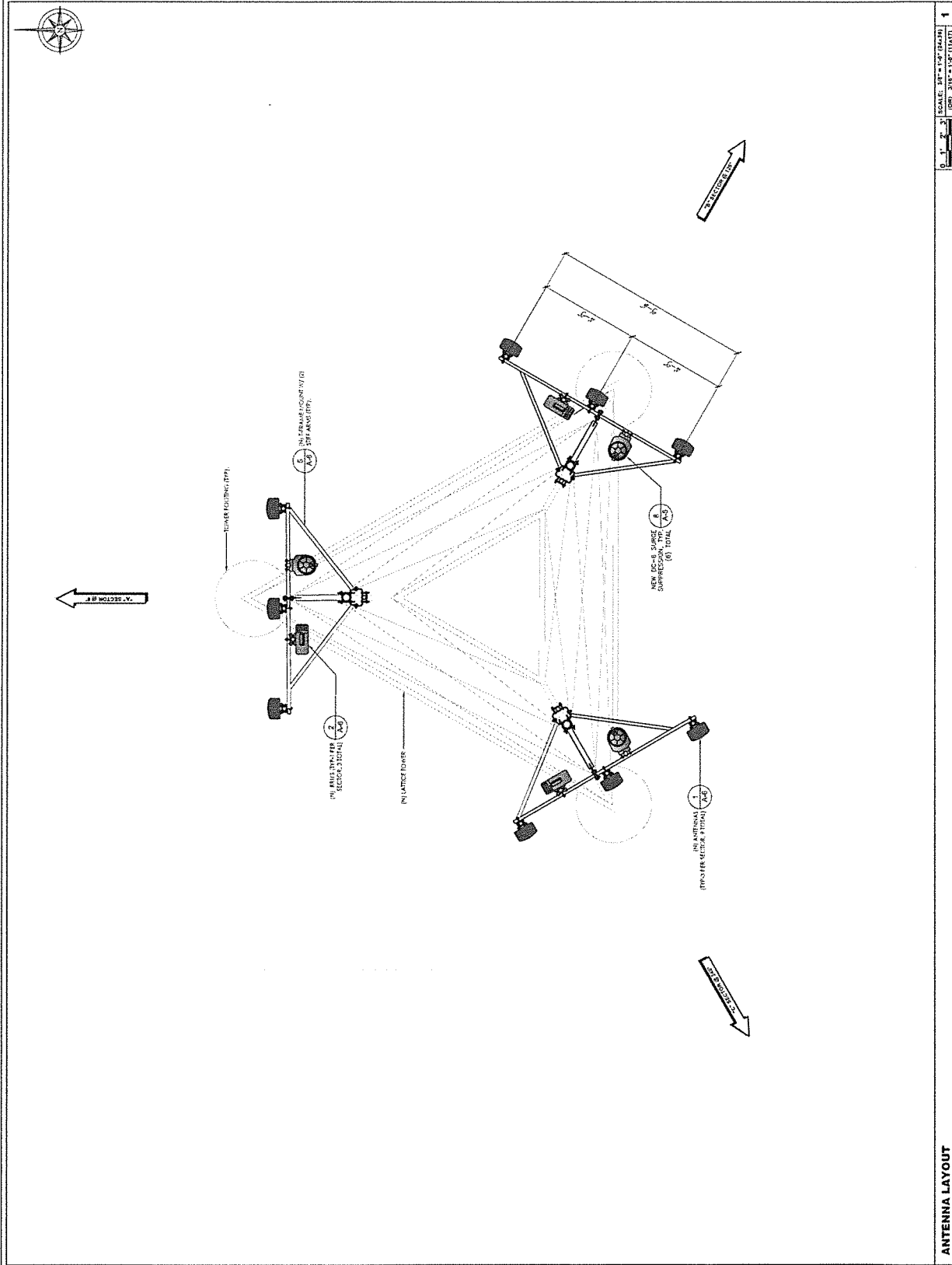
CONSULTANT:
BEACON DEVELOPMENT, LLC
 3 RIVINGTON LANE
 PETAUMA, CA 94852

DRAWN BY: **SJS** CHK: **MS**
 MF MF

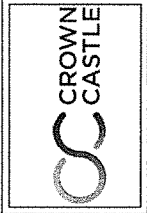


SHEET TITLE:
ANTENNA LAYOUT

SHEET NUMBER:
A-3



ANTENNA LAYOUT 1
 SCALE: 3/8" = 1'-0" (EACH)
 (ON: 3/8" = 1'-0" (EACH))



PROJECT INFORMATION:
8311105
FIVE POINTS
 1628 S. ELVA AVENUE
 CARUTHERS, CA 95020

CURRENT ISSUE DATE:
08/28/19

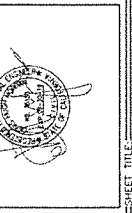
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/18/17	ISSUE FOR PERMITS	SS
B	5/10/17	ISSUE FOR PERMITS	SS
C	6/27/18	ISSUE FOR PERMITS	SS
D	6/27/18	ISSUE FOR PERMITS	SS
E	6/27/18	ISSUE FOR PERMITS	SS
F	6/27/18	ISSUE FOR PERMITS	SS

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 2122 ASAR DRIVE, SUITE 14
 REDWOOD CITY, CA 94061

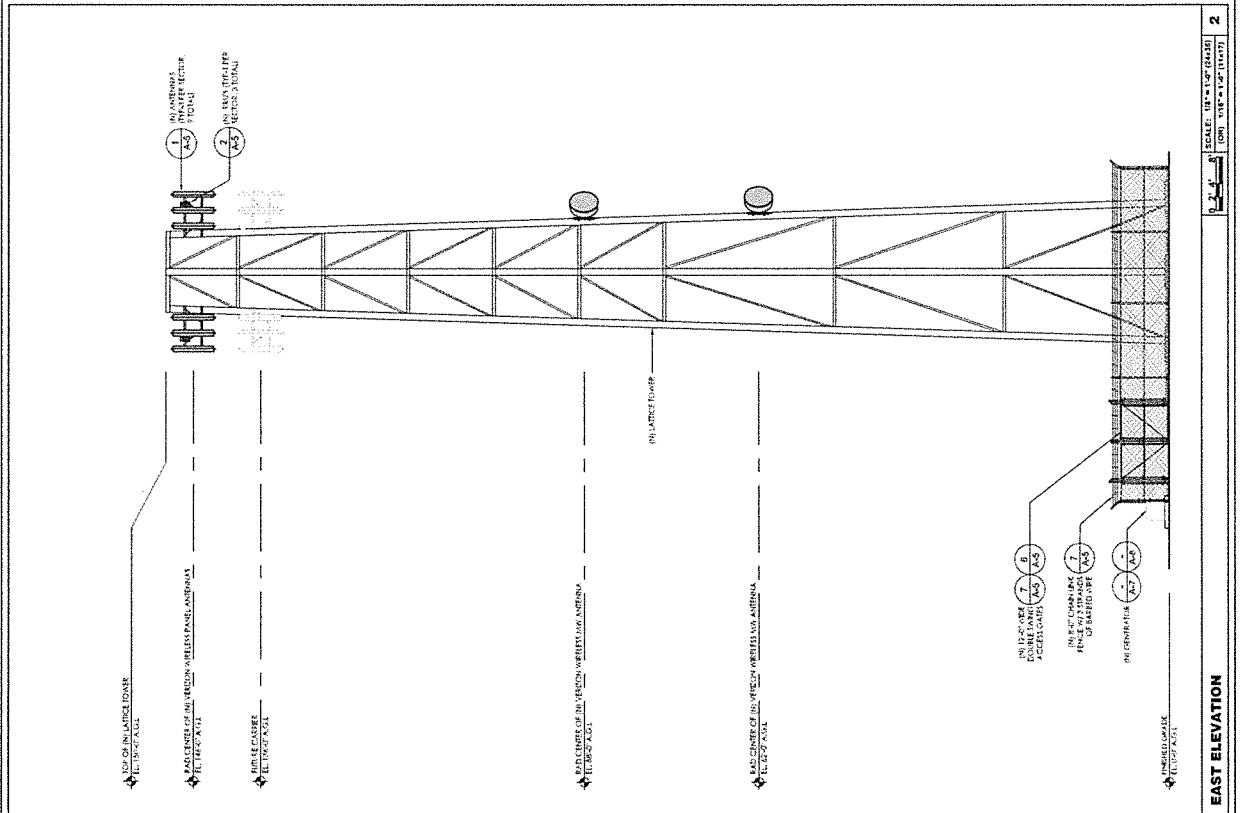
CONSULTANT:
BEACON DEVELOPMENT, LLC
 3 BOWNA LANE
 PLANO, CA 94752

DRAWN BY: _____
CHECKED BY: _____
DATE: _____



SHEET TITLE:
ELEVATIONS

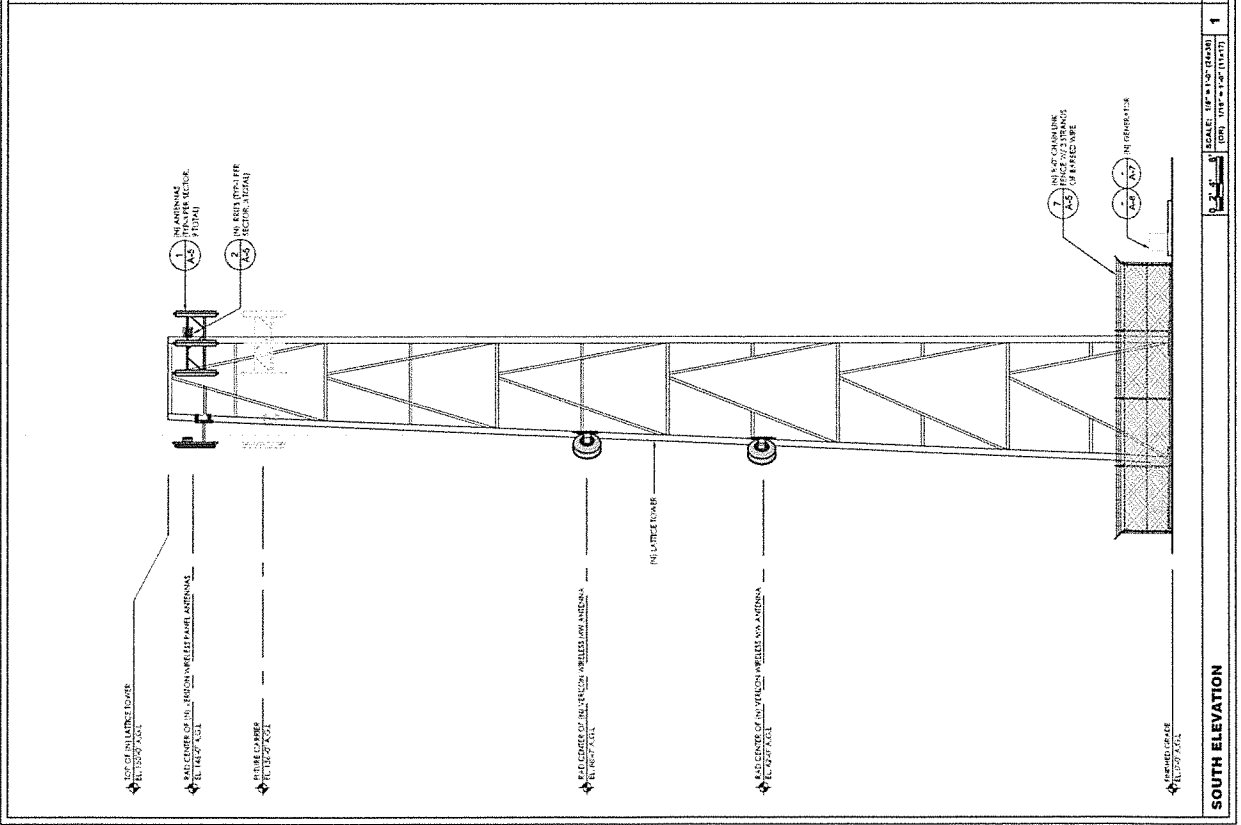
SHEET NUMBER:
A-4



1 EAST ELEVATION

SCALE: 1/4" = 1'-0" (AS SHOWN)
 (DO NOT SCALE DRAWING)

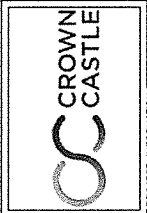
2



1 SOUTH ELEVATION

SCALE: 1/4" = 1'-0" (AS SHOWN)
 (DO NOT SCALE DRAWING)

1



PROJECT INFORMATION:
8311105
FIVE POINTS
 16029 S. ELM AVENUE
 CARUTHERS, CA 95029

CURRENT ISSUE DATE:
08/28/19

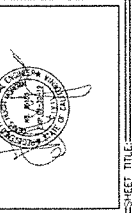
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION
1	08/28/19	ISSUED FOR 100% CONSTRUCTION
2	08/28/19	ISSUED FOR 100% CONSTRUCTION
3	08/28/19	ISSUED FOR 100% CONSTRUCTION
4	08/28/19	ISSUED FOR 100% CONSTRUCTION
5	08/28/19	ISSUED FOR 100% CONSTRUCTION
6	08/28/19	ISSUED FOR 100% CONSTRUCTION
7	08/28/19	ISSUED FOR 100% CONSTRUCTION
8	08/28/19	ISSUED FOR 100% CONSTRUCTION

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 2155 BAYVIEW BLVD
 BERKELEY, CA 94704

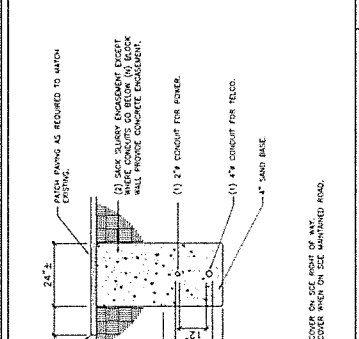
CONSULTANT:
BEACON DEVELOPMENT LLC
 3 ROYAL LANE
 FERRISBURG, CA 94532

SCALE:
 SPS: _____
 SUT: _____
 MF: _____

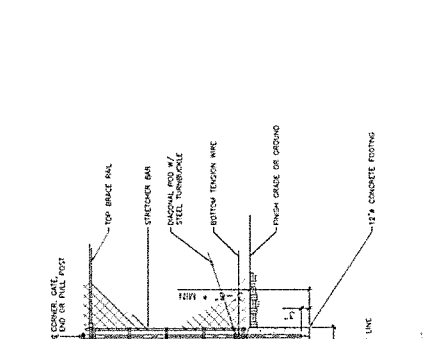


SHEET TITLE:
DETAILS

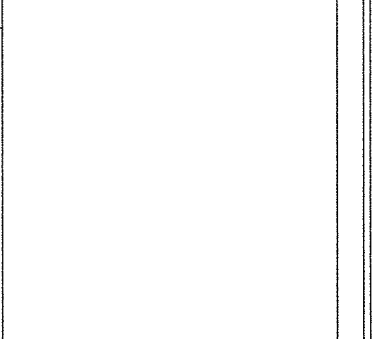
SHEET NUMBER:
A-5



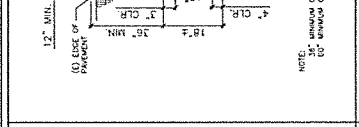
1 ANTENNA MOUNTING DETAIL



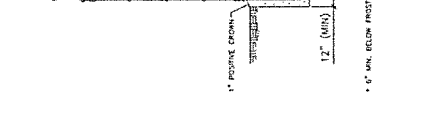
2 RRUS MOUNTING DETAIL



3 CABINET ANCHORAGE DETAIL



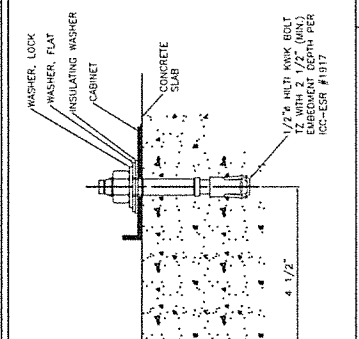
4 UNDERGROUND TRENCH DETAIL



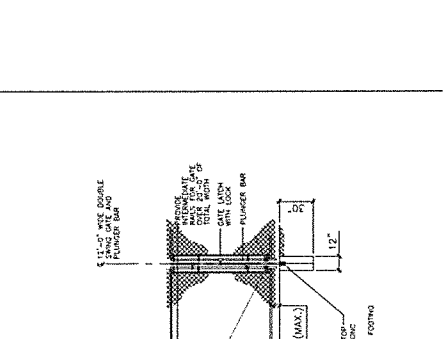
5 DOUBLE SWING ACCESS GATE DETAIL



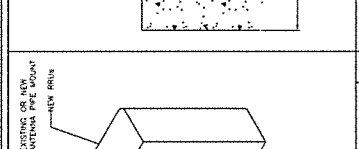
6 FENCE POST DETAIL



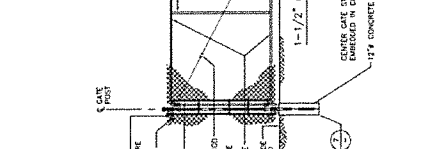
7 ANTENNA SUPPORT FRAME



8 DC6-48-60-18 SURGE SUPPRESSOR



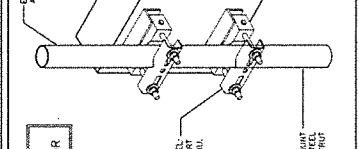
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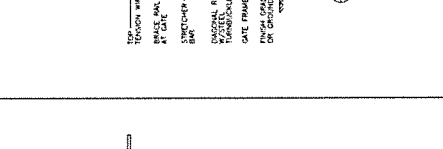
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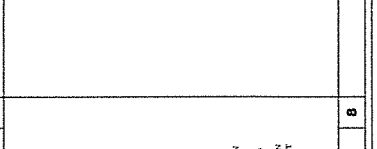
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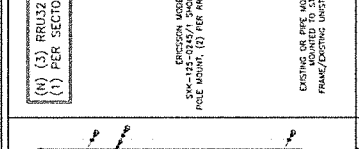
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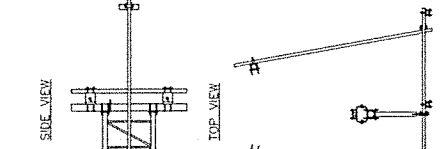
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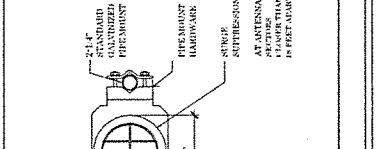
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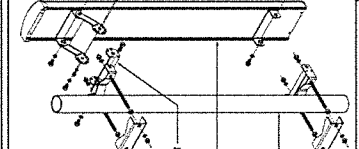
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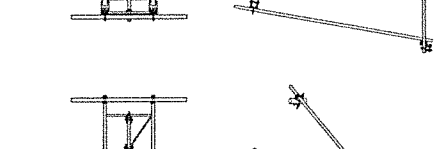
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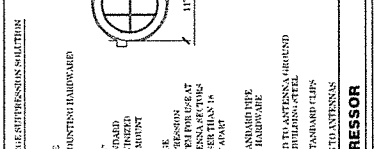
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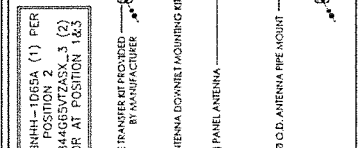
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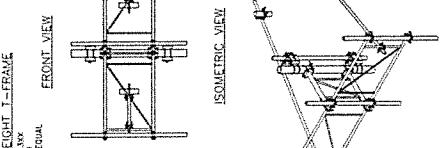
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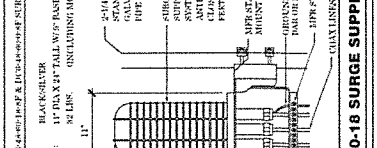
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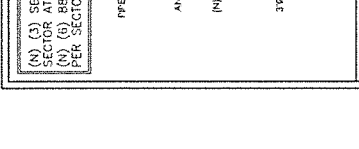
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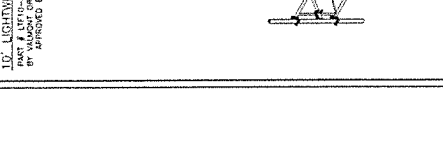
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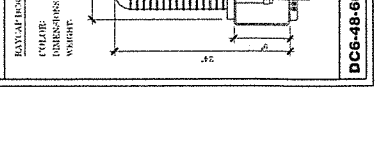
23 DOUBLE SWING ACCESS GATE DETAIL



24 FENCE POST DETAIL

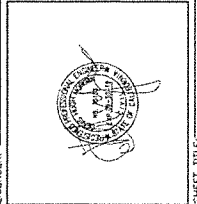


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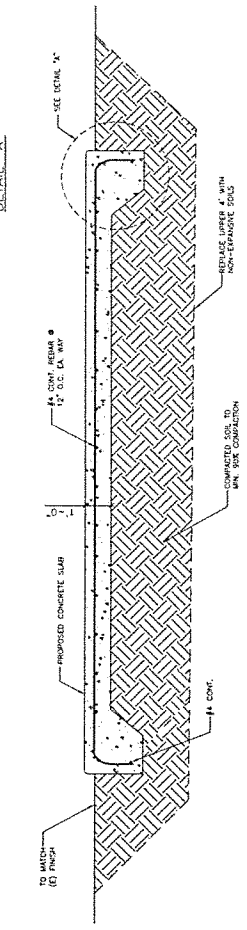
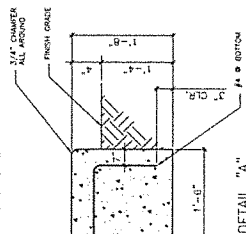


26 DC6-48-60-18 SURGE SUPPRESSOR

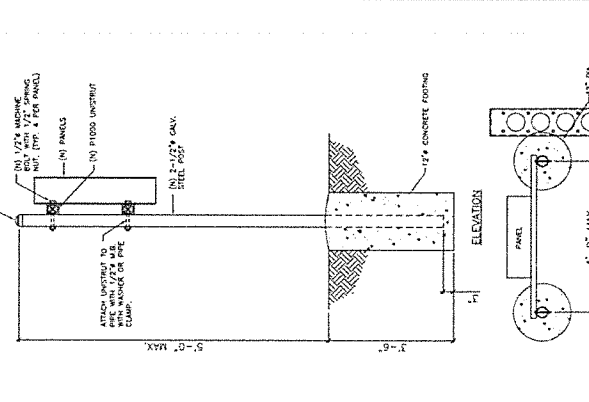
REV.	DATE	DESCRIPTION	BY
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B		REVISIONS	MS
C		REVISIONS	MS
D		REVISIONS	MS
E		REVISIONS	MS
F		REVISIONS	MS
G		REVISIONS	MS
H		REVISIONS	MS
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J		REVISIONS	MS
K		REVISIONS	MS
L		REVISIONS	MS
M		REVISIONS	MS
N		REVISIONS	MS
O		REVISIONS	MS
P		REVISIONS	MS
Q		REVISIONS	MS
R		REVISIONS	MS
S		REVISIONS	MS
T		REVISIONS	MS
U		REVISIONS	MS
V		REVISIONS	MS
W		REVISIONS	MS
X		REVISIONS	MS
Y		REVISIONS	MS </td
Z		REVISIONS	MS



ADDITIONAL NOTES:
 1. CONTRACTOR TO PROVIDE SLAB SLOPE OF 1/4" PER FOOT FOR DRAINAGE AWAY FROM CURB. FINISH GRAD SHALL BE 1/4" BELOW FINISH GRADE OF SUBGRADE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
 3. AS REQUIRED TO BRING SIZE UP TO NEXT CONNECTION.



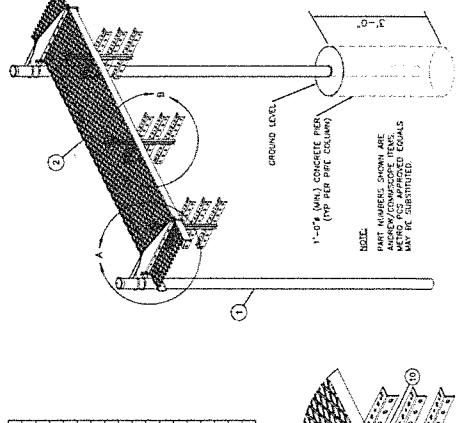
REINFORCING CONCRETE NOTES:
 1. ALL REINFORCEMENT SHALL BE AC 308-48, A615-48, A615-48, AND 318-48.
 2. ALL REINFORCEMENT SHALL BE EPOXY-Coated CONCRETE.
 3. ALL REINFORCEMENT SHALL BE EPOXY-Coated CONCRETE.
 4. ALL REINFORCEMENT SHALL BE EPOXY-Coated CONCRETE.
 5. ALL REINFORCEMENT SHALL BE EPOXY-Coated CONCRETE.
 6. ALL REINFORCEMENT SHALL BE EPOXY-Coated CONCRETE.
 7. ALL REINFORCEMENT SHALL BE EPOXY-Coated CONCRETE.
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 18. ALL REINFORCEMENT SHALL BE EPOXY-Coated CONCRETE.
 19. ALL REINFORCEMENT SHALL BE EPOXY-Coated CONCRETE.
 20. ALL REINFORCEMENT SHALL BE EPOXY-Coated CONCRETE.



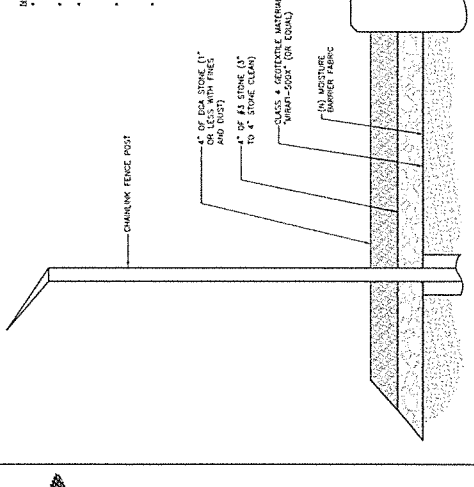
1 CONCRETE PAD DETAIL

ITEM	PARTS LIST - ANDREW/DAN/SCORRE	QTY.	WEIGHT
1	PIPE CAP	2	1.00 LB
2	PIPE CAP	2	1.00 LB
3	PIPE CAP	2	1.00 LB
4	PIPE CAP	2	1.00 LB
5	PIPE CAP	2	1.00 LB
6	PIPE CAP	2	1.00 LB
7	PIPE CAP	2	1.00 LB
8	PIPE CAP	2	1.00 LB
9	PIPE CAP	2	1.00 LB
10	PIPE CAP	2	1.00 LB
11	PIPE CAP	2	1.00 LB
12	PIPE CAP	2	1.00 LB
13	PIPE CAP	2	1.00 LB
14	PIPE CAP	2	1.00 LB
15	PIPE CAP	2	1.00 LB
16	PIPE CAP	2	1.00 LB

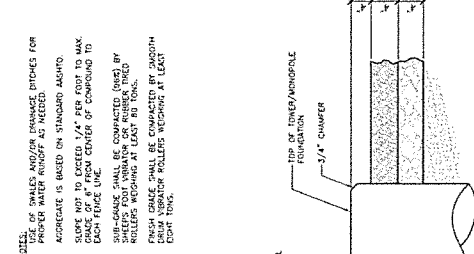
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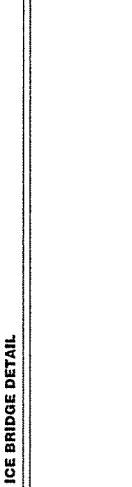
3 COMPOUND GRAVEL COVER DETAIL



4 COMPOUND GRAVEL COVER DETAIL



ICE BRIDGE DETAIL





PROJECT INFORMATION:
8311105
FIVE POINTS
 16825 S. ELI AVENUE
 CAROLINA, CA 95008

CURRENT ISSUE DATE:
08/28/19

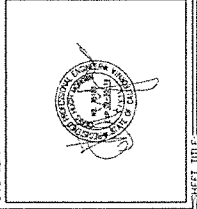
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	2/1/17	ISSUE FOR CONSTRUCTION	SM
B	3/1/19	ISSUE FOR CONSTRUCTION	SM
C	6/21/19	ISSUE FOR CONSTRUCTION	SM
D	6/27/19	ISSUE FOR CONSTRUCTION	SM
E	8/28/19	ISSUE FOR CONSTRUCTION	SM

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 2150 S. ELI AVENUE
 CAROLINA, CA 95008

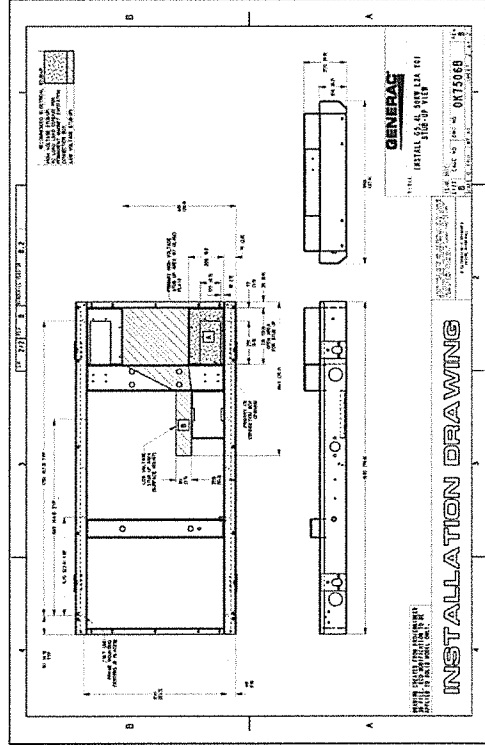
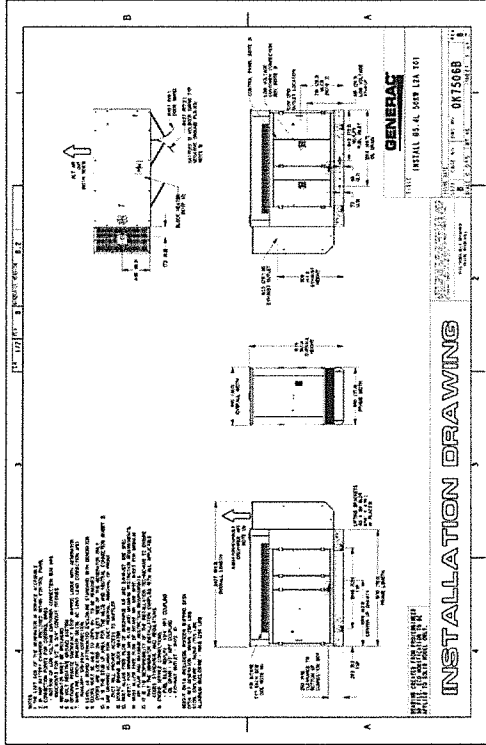
CONTRACTOR:
BEACON DEVELOPMENT LLC
 3 RIVINGTON LANE
 FETTERDALE, CA 94732

DRAWN BY:
 JJS
 CHECKED BY:
 MIF



SHEET TITLE:
DETAILS

SHEET NUMBER:
A-7





PROJECT INFORMATION:

8311105
FIVE POINTS
1626 S. ELI AVENUE
CARUTHERS, CA 95009

CURRENT ISSUE DATE: 08/28/19
ISSUED FOR:

100% CONSTRUCTION
DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	7/18/19	ISSUE FOR CONSTRUCTION	WJ
B	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
C	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
D	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
E	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
F	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
G	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
H	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
I	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
J	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
K	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
L	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
M	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
N	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
O	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
P	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
Q	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
R	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
S	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
T	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
U	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
V	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
W	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
X	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
Y	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ
Z	8/1/2019	REVISED CONSTRUCTION DRAWINGS	WJ

PROJECT ARCHITECT/ENGINEER:



WSD
Engineering, Inc.
215 EAST CALIFORNIA STREET
DANFORTH, CA 94519



BEACON DEVELOPMENT LLC
3 BORNHALL LANE
Petaluma, CA 94952

DRAWN BY: JPS
CHECKED BY: JPS
DATE: 08/28/19

PROJECT: 8311105
SHEET: MF
TOTAL SHEETS: MF

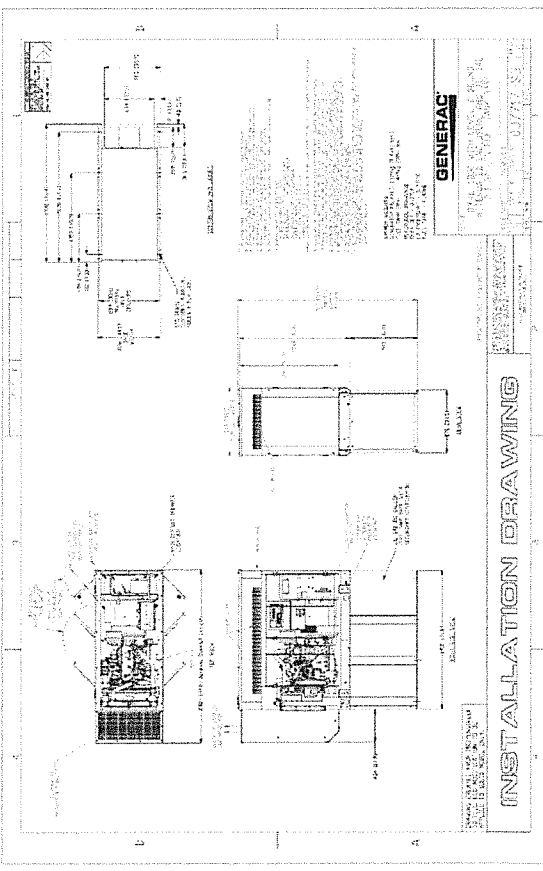
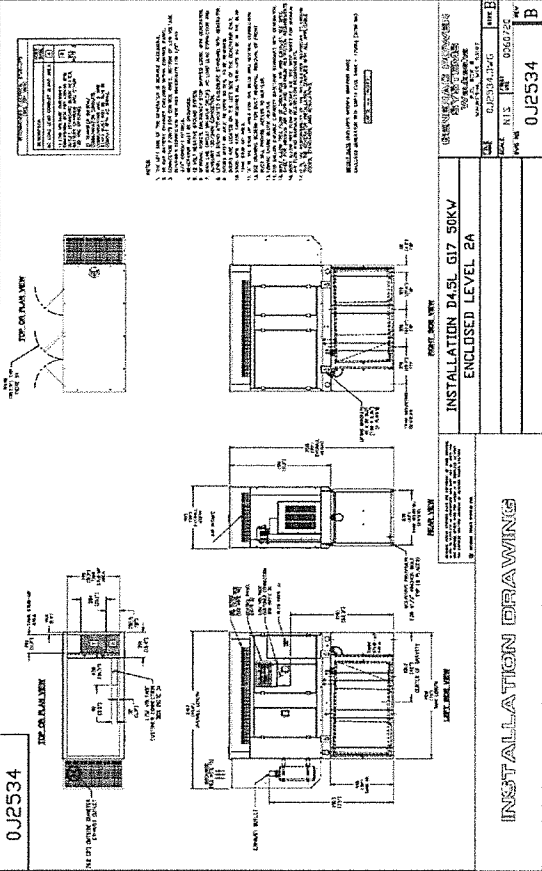


PROJECT TITLE:

DETAILS

SHEET NUMBER:

A-8





PROJECT INFORMATION:

8311105
FIVE POINTS
14225 ELM AVENUE
CARUTHERS, CA 94509

CURRENT ISSUE DATE: 08/28/19
ISSUED FOR:

100% CONSTRUCTION
DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	7/25/19	PER CONSTRUCTION	SS
B	7/25/19	PER CONSTRUCTION	SS
C	6/24/19	PER CONSTRUCTION	SS
D	6/24/19	PER CONSTRUCTION	SS
E	7/25/19	PER CONSTRUCTION	SS

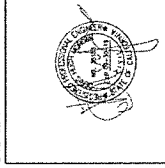
PROJECT ARCHITECT/ENGINEER:



CONSULTANT:



DRAWN BY: JIS
CHECKED BY: MIF
DATE: 8/28/19

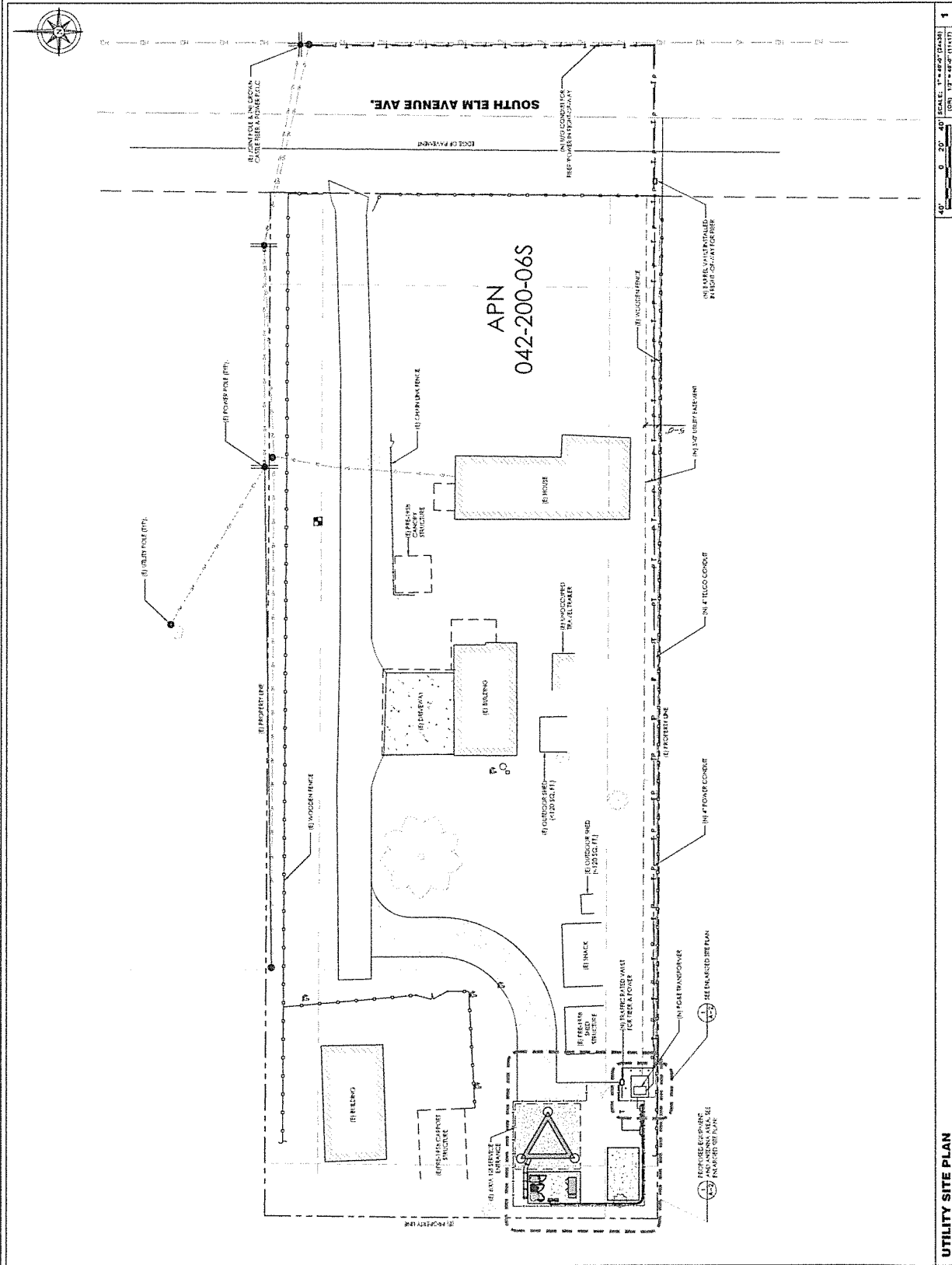


SHEET TITLE:

UTILITY SITE PLAN

SHEET NUMBER:

E-1



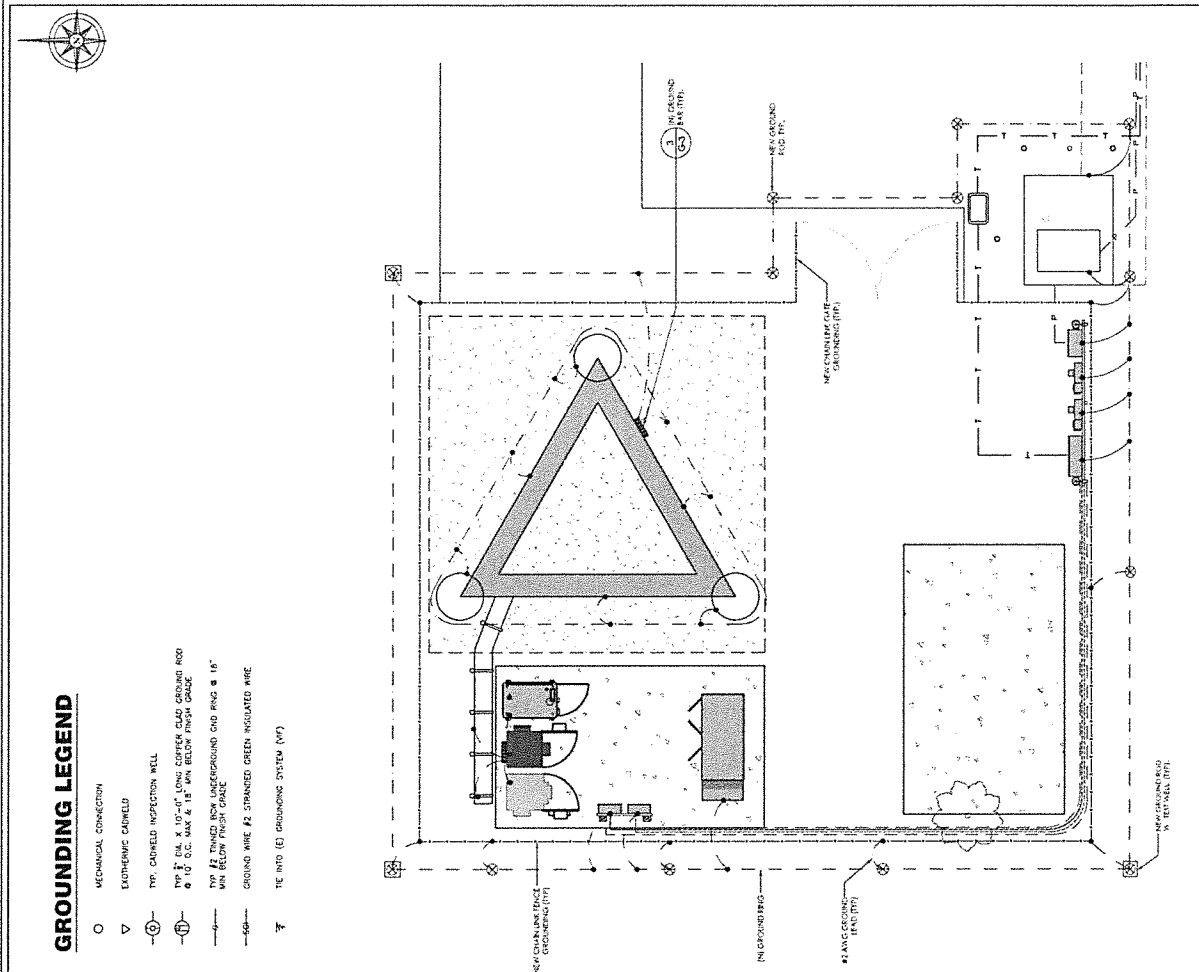
40' 20' 0' SCALE: 1"=40'-0" (HORIZ) 1"=20'-0" (VERT)

UTILITY SITE PLAN 1

GROUNDING LEGEND

- MECHANICAL CONNECTION
- ▽ ELECTROMAGNETIC CABLED
- ② TYP. CATHODE PROTECTION WELL
- ① TYP. 2" DIA. x 10'-0" LONG COPPER CLAD GROUND ROD
- ① 1/2" O.C. MAX. x 18" MIN. BELOW FINISH GRADE
- ① TYP. 1/2" THICK 304 LASSER BACKING GND BRG. x 18" MIN. BELOW FINISH GRADE
- ① GROUND WIRE AS STRANDED GREEN INSULATED WIRE
- ① TE INTO (E) GROUNDING SYSTEM (M/F)

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
2. GROUND ALL ANTIENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #2 GROUND WIRES AND CONNECT TO SURFACE MOUNTED GROUND BUS BARS AS SHOWN, FOLLOW ANTERNA AND HIS MANUFACTURER'S PRACTICES. ALL UNLESS OTHERWISE SPECIFIED, GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRACTICES. ALL UNLESS OTHERWISE SPECIFIED, METAL CONDUITS AND GROUNDING WIRE SHALL BE GALVANNEAL.
3. ALL GROUND CONNECTIONS SHALL BE TO AN UNLTD. ALL WIRE SHALL BE COPPER THIN/WITHIN. ALL GROUND WIRES SHALL BE SOLID THIN COATED OR STRANDED GREEN INSULATED WIRE.
4. CONDUITS TO MESH AND TRY GROUNDING TO SERVICE. BARS SHALL BE GALVANNEAL. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRACTICES. ALL UNLESS OTHERWISE SPECIFIED, GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRACTICES. ALL UNLESS OTHERWISE SPECIFIED, METAL CONDUITS AND GROUNDING WIRE SHALL BE GALVANNEAL.
5. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUND SYSTEM DUE TO SITE SOIL CONDITIONS.
6. MAKE GROUNDING CONDUCTOR SHALL BE HARD DRAWN THIN COATED COPPER WIRE AS NOTED ON PLANS.
7. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED MINIMUM 30" BELOW GRADE/ROOF LINE IN TRENCH, U.N.C., AND BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT.
8. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT, AND SHOWN AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
9. ALL ANTIENNA BASES, CABLE CHAMBER, WAYS, OR WIRE CHAMBERS SHALL BE TIED TO GROUND SYSTEM AT A POINT NEAREST THE MAIN GROUNDING BUS/ROD (OR EQUIVALENT TO GROUNDING).
10. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEMS SHALL BE:
 - a. CATHODE PROTECTION (ALONG BARREN) FITTINGS (BUS BAR CONNECTIONS).
 - b. TYP. 1/2" THICK COPPER CONVERSION (ALONG BARREN) FITTINGS (BUS BAR CONNECTIONS).
 - c. TYP. 1/2" THICK COPPER CONVERSION (ALONG BARREN) FITTINGS (BUS BAR CONNECTIONS).
11. ALL CRIMPED CONNECTIONS SHALL HAVE BRASS COATED MANUFACTURER'S DEWAX TABLE AT THE CRIMP (RESULTING FROM USE OF FRISCH CRIMPING DEVICES).
12. PRIOR TO ANY BUS BAR CONNECTIONS, THE WIRE SHALL BE CLEANED BY USE OF "SCOTCH-BRITE" OR SIMILAR, WOOD AS TO REMOVE ALL SURFACE OXIDATION AND CONTAMINANTS. A COATING OF "ZINC OXIDE" SHALL BE APPLIED TO THE CONNECTION SURFACES.
13. ALL CONNECTION HARDWARE SHALL BE TYPE 316 SS (NOT ATTRACTED TO MAGNETS).
14. THE GROUND WIRE SHALL BE INSTALLED 24" MINIMUM BEYOND ANY BUILDING DRIP LINE.
15. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-52 AND SHALL BOND ALL EXISTING AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODES SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS, CONDUITS, AND METAL STRUCTURES. ALL GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRACTICES. ALL UNLESS OTHERWISE SPECIFIED, GROUNDING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S PRACTICES. ALL UNLESS OTHERWISE SPECIFIED, METAL CONDUITS AND GROUNDING WIRE SHALL BE GALVANNEAL.



1 GROUNDING PLAN 2

PROJECT INFORMATION:
8311105
FIVE POINTS
 10225 S. BILM AVENUE
 CARUTHERS, CA 95009

CURRENT ISSUE DATE:
08/28/19

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	7/23/19	ISS CONSTRUCTION	NT
B	8/1/19	ISS CONSTRUCTION	NT
C	8/27/19	ISS CONSTRUCTION	NT
D	8/27/19	ISS CONSTRUCTION	NT
E	8/27/19	ISS CONSTRUCTION	NT

PROJECT ARCHITECT/ENGINEER:

 WSD Engineering, Inc.
 2150 EAST AVENUE # 4
 SAN JOSE, CA 95131

CONSULTANT:


 BEACON DEVELOPMENT LLC
 3 ROMANA LANE
 PETAUNIA, CA 94952

DESIGNER: CHM. / M/F
SEAL: M/F
LICENSE: M/F

SHEET TITLE:
GROUNDING PLANS

SHEET NUMBER:
G-1

1 GROUNDING NOTES 2



CROWN CASTLE

PROJECT INFORMATION:

8311105
FIVE POINTS
1625 S. BLA AVENUE
CARPENTERS, CA 95009

CURRENT ISSUE DATE: **08/28/19**

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV. DATE DESCRIPTION BY:

A	7/18/17	ISSUE FOR PERMITS	SK
B	5/18/17	ISSUE FOR PERMITS	SK
C	6/14/17	ISSUE FOR PERMITS	SK
D	6/14/17	ISSUE FOR PERMITS	SK
E	4/28/17	ISSUE FOR PERMITS	SK

PROJECT ARCHITECT/FENDER:

WSD
Engineering, Inc.
1599 S. 18th Street, Suite 200
FREMONT, CA 94536

PROJECT ENGINEER:

BEACON DEVELOPMENT, LLC
3 FORTNA LANE
FREMONT, CA 94539

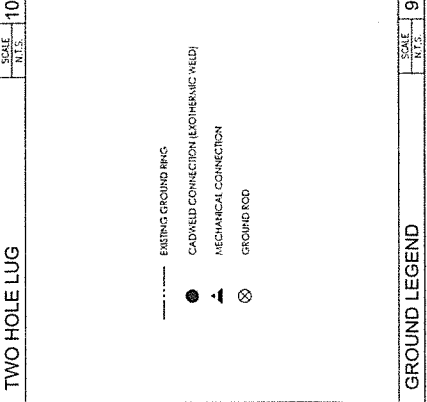
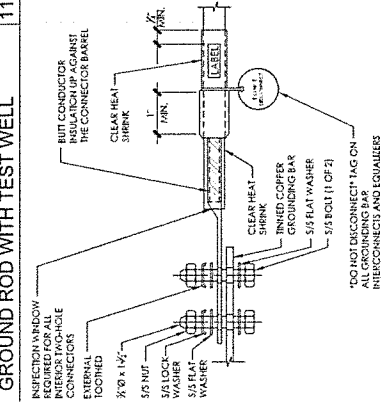
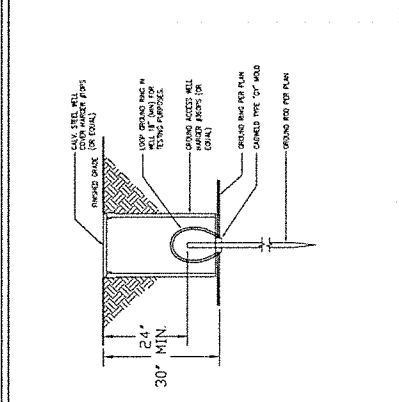
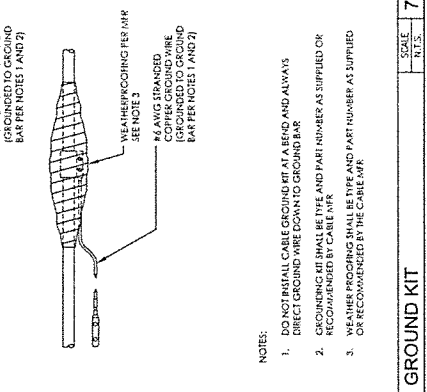
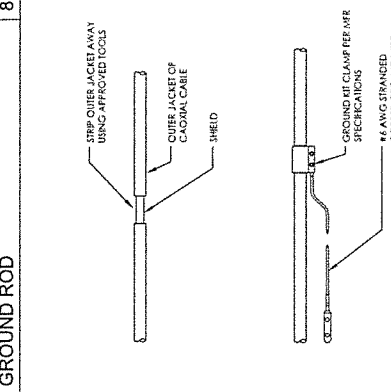
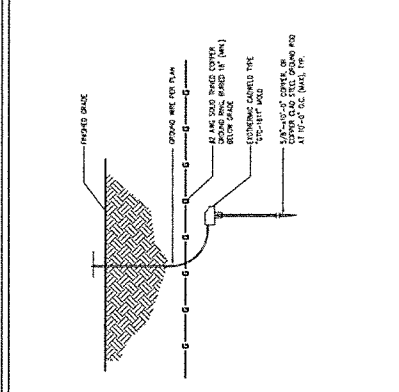
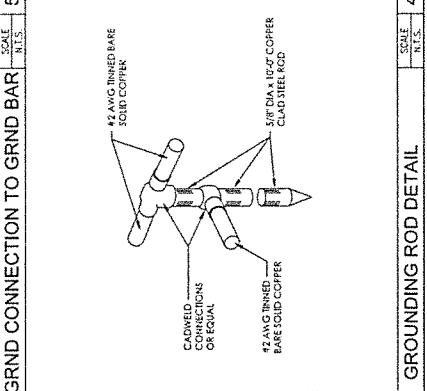
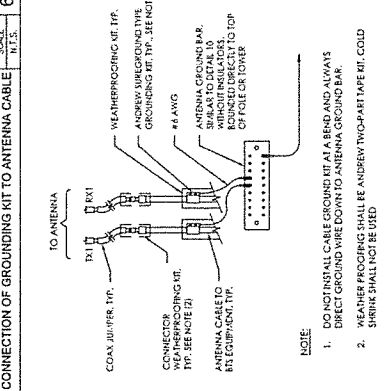
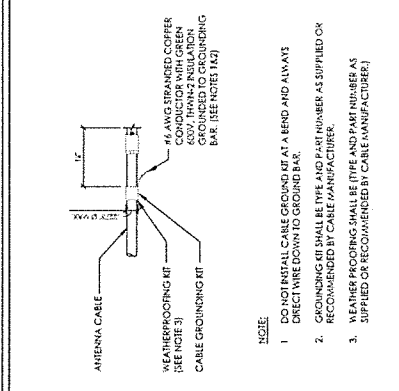
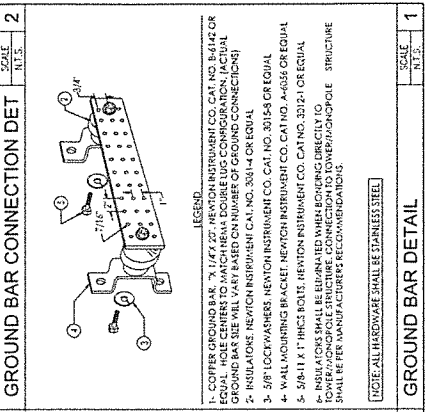
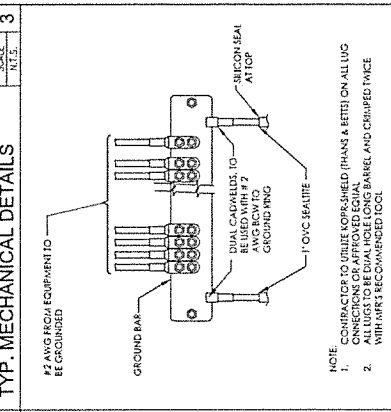
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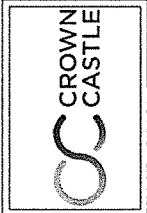
DATE **08/28/19**

BY **MF**

TYP. MECHANICAL DETAILS

	CROSS BRACE
	2" DIA. FLEXIBLE PIPE
	2" DIA. FLEXIBLE PIPE
	2" DIA. FLEXIBLE PIPE
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	2" DIA. FLEXIBLE PIPE





PROJECT INFORMATION:
8311105
FIVE POINTS
 10625 S. ELMAVINE
 CARUBUTHERS, CA 95029

CURRENT ISSUE DATE:
08/28/19

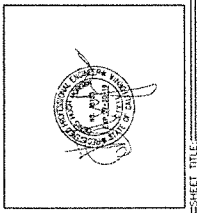
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	7/27/19	ISSUE FOR CONSTRUCTION	WA
B	8/12/19	REVISED FOR CONSTRUCTION	ST
C	8/12/19	REVISED FOR CONSTRUCTION	ST
D	8/24/19	REVISED FOR CONSTRUCTION	ST
E	8/27/19	REVISED FOR CONSTRUCTION	ST

SUBJECT: ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 2155 MARIN AVENUE, SUITE 104
 SAN ANTONIO, CA 78228

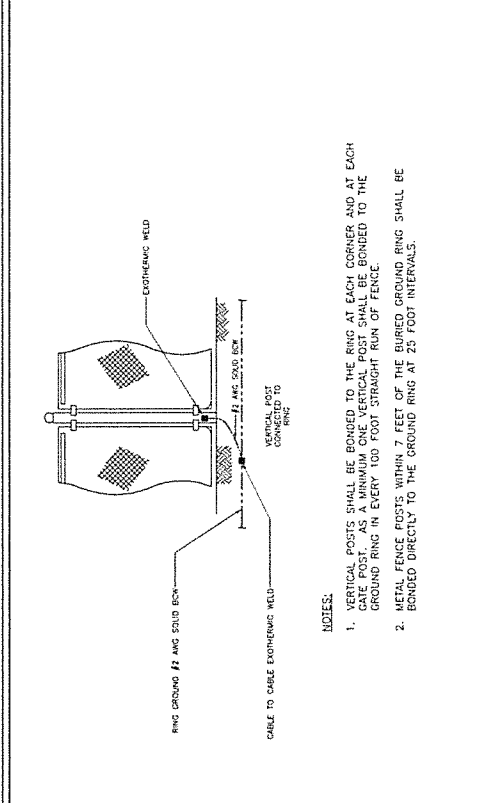
CONSULTANT:
BEACON DEVELOPMENT, LLC
 3 ROVINA LANE
 FERRANDA, CA 94932

OWNER: **CCM**
 DATE: **08/28/19**
 SHEET NO: **MF**
 OF: **MF**



SHEET TITLE:
GROUNDING DETAILS

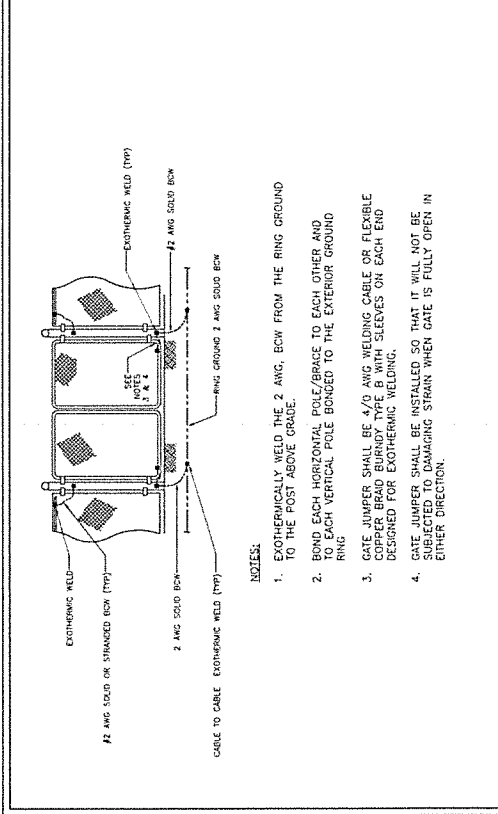
SHEET NUMBER:
G-3



NOTES:

1. VERTICAL POSTS SHALL BE BONDED TO THE RING AT EACH CORNER AND AT EACH GATE POST. AS A MINIMUM ONE VERTICAL POST SHALL BE BONDED TO THE GROUND RING IN EVERY 100 FOOT STRAIGHT RUN OF FENCE.
2. METAL FENCE POSTS WITHIN 7 FEET OF THE BURIED GROUND RING SHALL BE BONDED DIRECTLY TO THE GROUND RING AT 25 FOOT INTERVALS.

1 FENCE GROUNDING DETAILS SCALE: N.T.S.



NOTES:

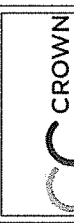
1. EXOTHERMICALLY WELD THE #2 AWG, BOW FROM THE RING GROUND TO THE POST ABOVE GRADE.
2. BOND EACH HORIZONTAL POLE/BRAZE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING.
3. GATE JUMPER SHALL BE 4/0 AWG WELDING CABLE OR FLEXIBLE COPPER BRAID BURNIDY TYPE B WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
4. GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.

2 GATE GROUND DETAILS SCALE: N.T.S.



1. ALL CONNECTING WELDS BE DOUBLE WLG

3 GROUND BAR DETAILS SCALE: N.T.S.



PROJECT INFORMATION:
8311405
FIVE POINTS
 1829 S. ELM AVENUE
 CARLSHERS, CA 95009

ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	01/19	ISSUE FOR PERMITS	SP
B	01/24/19	ISSUE FOR PERMITS	SP
C	01/24/19	ISSUE FOR PERMITS	SP
D	01/24/19	ISSUE FOR PERMITS	SP
E	01/24/19	ISSUE FOR PERMITS	SP

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 2050 UNIVERSITY AVENUE, SUITE 400
 SAN CARLOS, CA 95050

CONSULTANT:
BEACON DEVELOPER, LLC
 1829 S. ELM AVENUE
 FALCON, CA 95025

DESIGNED BY: SP MF MF
CHECKED BY: SP MF MF



SHEET TITLE:
GENERAL NOTES

SHEET NUMBER:
GN-1

ABBREVIATIONS

ACB	ANTENNA CABLE BOX	ACB	ANTENNA CABLE COVER ASSEMBLY
AD	ANTENNA DIAL	AD	ANTENNA DIAL
AF	ANTENNA FLOOR	AF	ANTENNA FLOOR ABOVE FINISHED GRADE
AG	ANTENNA GROUND	AG	ANTENNA GROUND
AH	ANTENNA HEAD	AH	ANTENNA HEAD
AI	ANTENNA IDENTIFICATION	AI	ANTENNA IDENTIFICATION
AL	ANTENNA LEAD	AL	ANTENNA LEAD
AM	ANTENNA MOUNT	AM	ANTENNA MOUNT
AN	ANTENNA NETWORK	AN	ANTENNA NETWORK
AO	ANTENNA OFFSET	AO	ANTENNA OFFSET
AP	ANTENNA POSITION	AP	ANTENNA POSITION
AQ	ANTENNA QUANTITY	AQ	ANTENNA QUANTITY
AR	ANTENNA RADIUS	AR	ANTENNA RADIUS
AS	ANTENNA SIZE	AS	ANTENNA SIZE
AT	ANTENNA TYPE	AT	ANTENNA TYPE
AU	ANTENNA UTILITY	AU	ANTENNA UTILITY
AV	ANTENNA VERTICAL	AV	ANTENNA VERTICAL
AW	ANTENNA WEIGHT	AW	ANTENNA WEIGHT
AX	ANTENNA X-DIRECTION	AX	ANTENNA X-DIRECTION
AY	ANTENNA Y-DIRECTION	AY	ANTENNA Y-DIRECTION
AZ	ANTENNA Z-DIRECTION	AZ	ANTENNA Z-DIRECTION
BA	BALANCE	BA	BALANCE
BB	BALANCE BOX	BB	BALANCE BOX
BC	BALANCE CABLE	BC	BALANCE CABLE
BD	BALANCE DIAMETER	BD	BALANCE DIAMETER
BE	BALANCE END	BE	BALANCE END
BF	BALANCE FEED	BF	BALANCE FEED
BG	BALANCE GROUND	BG	BALANCE GROUND
BH	BALANCE HEIGHT	BH	BALANCE HEIGHT
BI	BALANCE IDENTIFICATION	BI	BALANCE IDENTIFICATION
BJ	BALANCE JUNCTION	BJ	BALANCE JUNCTION
BK	BALANCE LEAD	BK	BALANCE LEAD
BL	BALANCE LENGTH	BL	BALANCE LENGTH
BM	BALANCE MOUNT	BM	BALANCE MOUNT
BN	BALANCE NETWORK	BN	BALANCE NETWORK
BO	BALANCE OFFSET	BO	BALANCE OFFSET
BP	BALANCE POSITION	BP	BALANCE POSITION
BQ	BALANCE QUANTITY	BQ	BALANCE QUANTITY
BR	BALANCE RADIUS	BR	BALANCE RADIUS
BS	BALANCE SIZE	BS	BALANCE SIZE
BT	BALANCE TYPE	BT	BALANCE TYPE
BV	BALANCE VERTICAL	BV	BALANCE VERTICAL
BW	BALANCE WEIGHT	BW	BALANCE WEIGHT
BX	BALANCE X-DIRECTION	BX	BALANCE X-DIRECTION
BY	BALANCE Y-DIRECTION	BY	BALANCE Y-DIRECTION
BZ	BALANCE Z-DIRECTION	BZ	BALANCE Z-DIRECTION
CA	CABLE	CA	CABLE
CB	CABLE BOX	CB	CABLE BOX
CC	CABLE COVER	CC	CABLE COVER
CD	CABLE DIAMETER	CD	CABLE DIAMETER
CE	CABLE END	CE	CABLE END
CF	CABLE FEED	CF	CABLE FEED
CG	CABLE GROUND	CG	CABLE GROUND
CH	CABLE HEIGHT	CH	CABLE HEIGHT
CI	CABLE IDENTIFICATION	CI	CABLE IDENTIFICATION
CJ	CABLE JUNCTION	CJ	CABLE JUNCTION
CK	CABLE LEAD	CK	CABLE LEAD
CL	CABLE LENGTH	CL	CABLE LENGTH
CM	CABLE MOUNT	CM	CABLE MOUNT
CN	CABLE NETWORK	CN	CABLE NETWORK
CO	CABLE OFFSET	CO	CABLE OFFSET
CP	CABLE POSITION	CP	CABLE POSITION
CQ	CABLE QUANTITY	CQ	CABLE QUANTITY
CR	CABLE RADIUS	CR	CABLE RADIUS
CS	CABLE SIZE	CS	CABLE SIZE
CT	CABLE TYPE	CT	CABLE TYPE
CV	CABLE VERTICAL	CV	CABLE VERTICAL
CW	CABLE WEIGHT	CW	CABLE WEIGHT
CX	CABLE X-DIRECTION	CX	CABLE X-DIRECTION
CY	CABLE Y-DIRECTION	CY	CABLE Y-DIRECTION
CZ	CABLE Z-DIRECTION	CZ	CABLE Z-DIRECTION

SYMBOLS LEGEND

[Symbol]	GROUND	[Symbol]	GROUND SERVICE CONDUCTORS
[Symbol]	(D) BRICK	[Symbol]	TELEPHONE CONDUIT
[Symbol]	(D) MASONRY	[Symbol]	POWER CONDUIT
[Symbol]	CONCRETE	[Symbol]	COAXIAL CABLE
[Symbol]	EARTH	[Symbol]	CHAIN LINK FENCE
[Symbol]	GRAVEL	[Symbol]	WOOD FENCE
[Symbol]	PLYWOOD	[Symbol]	(N) ANTENNA
[Symbol]	SAND	[Symbol]	(N) IS SURVEY SUPPRESSION
[Symbol]	FLYWOOD	[Symbol]	(P) ANTENNA
[Symbol]	SAND	[Symbol]	(P) RFD
[Symbol]	(D) STEEL	[Symbol]	(D) CORNER
[Symbol]	WALL SHEET	[Symbol]	
[Symbol]	GROUND CONSTRUCTION	[Symbol]	
[Symbol]	OVERHEAD SERVICE CONDUCTORS	[Symbol]	
[Symbol]	TELEPHONE CONDUIT	[Symbol]	
[Symbol]	POWER CONDUIT	[Symbol]	
[Symbol]	COAXIAL CABLE	[Symbol]	
[Symbol]	CHAIN LINK FENCE	[Symbol]	
[Symbol]	WOOD FENCE	[Symbol]	
[Symbol]	(N) ANTENNA	[Symbol]	
[Symbol]	(N) IS SURVEY SUPPRESSION	[Symbol]	
[Symbol]	(P) ANTENNA	[Symbol]	
[Symbol]	(P) RFD	[Symbol]	
[Symbol]	(D) CORNER	[Symbol]	

GENERAL CONSTRUCTION NOTES:

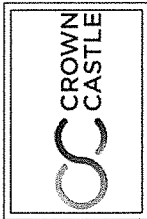
1. PLANS ARE INTENDED TO BE INSTRUMENTED. THE ONLY NOTES NOTED OTHERWISE. THE WORK SHALL INCLUDE FOUNDATIONS, MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS SHOWN AND NOTED OTHERWISE. THE CONTRACTOR SHALL OBTAIN IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICE ALERT) AT (800) 227-2600, FOR UTILITY LOCATIONS, 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. UTILITY COMPANIES SHOULD BE ADVISED IN WRITING, 48 HOURS PRIOR TO CONSTRUCTION, THAT THIS PROJECT WILL BE CONDUCTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CBS / USE'S REQUIREMENTS REGARDING DRAINAGE AND MECHANICAL EQUIPMENT. ALL WORK SHALL COMPLY WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
5. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF A DISCREPANCY OR CONFLICT, THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATION AND DEPTH WITH THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF A DISCREPANCY OR CONFLICT, THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATION AND DEPTH WITH THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF A DISCREPANCY OR CONFLICT, THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATION AND DEPTH WITH THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
6. DO NOT EXCAVATE OR DISTURB BEHIND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
7. ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED AS TO THE LOCATION AND DEPTH. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED AS TO THE LOCATION AND DEPTH. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED AS TO THE LOCATION AND DEPTH. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON THE PLAN HAVE BEEN PLOTTED AS TO THE LOCATION AND DEPTH.
8. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES OR CONFLICTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK. IN THE EVENT OF A DISCREPANCY OR CONFLICT, THE CONTRACTOR SHALL VERIFY THE EXISTING UTILITY LOCATION AND DEPTH WITH THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
9. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC. SHALL BE PROPERLY LINED AND REINFORCED.
10. INCLUDE AS-built, notes per any specifications.

APPLICABLE CODES, REGULATIONS AND STANDARDS:

1. SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
2. THE LOCAL AUTHORITY HAVING JURISDICTION (LAW) FOR THE LOCATION.
3. THE LOCAL, STATE, AND FEDERAL CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.
4. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUFACTURING PRACTICE FOR STRUCTURAL CHANGING.
5. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, ASD, WITH EDITION TO SUPPORTING STRUCTURES.
6. STRUCTURAL STEELWORK DESIGN AND CONSTRUCTION, 4TH EDITION, WELDED CONNECTIONS, AND WELDED CONNECTIONS.
7. ELECTION OF CONNECTIONS OF A GROUND SYSTEM SEE 1109 (1993) RECOMMENDED PRACTICE FOR FOUNDING AND CONNECTIONS OF GROUND SYSTEMS.
8. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS FOR TELECOMMUNICATIONS TELEGRAPHY:
9. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA SUPPORTING STRUCTURES.
10. TIA-222-G, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA SUPPORTING STRUCTURES.
11. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 223-G, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA SUPPORTING STRUCTURES.
12. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 223-G, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA SUPPORTING STRUCTURES.
13. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 223-G, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA SUPPORTING STRUCTURES.
14. TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 223-G, STRUCTURAL STANDARD FOR STRUCTURAL ANTENNA SUPPORTING STRUCTURES.

FOR ANY CONFLICTS BETWEEN SETTING OF LIMITED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION OR A SPECIFIC REQUIREMENT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

FOR ANY CONFLICTS BETWEEN SETTING OF LIMITED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION OR A SPECIFIC REQUIREMENT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.



PROJECT INFORMATION:
8311105
FIVE POINTS
 10025 S. ELA AVENUE
 CAROLINA, CA 95009

CURRENT ISSUE DATE:
08/28/19

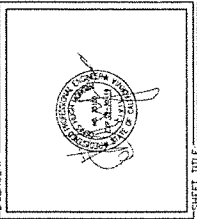
ISSUED FOR:
100% CONSTRUCTION DRAWINGS

REV.	DATE	DESCRIPTION	BY
A	08/28/19	100% CONSTRUCTION DRAWINGS	WSD
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D	08/28/19	100% CONSTRUCTION DRAWINGS	WSD
E	08/28/19	100% CONSTRUCTION DRAWINGS	WSD

PROJECT ARCHITECT/ENGINEER:
WSD
 Engineering, Inc.
 11500 S. ELA AVENUE
 CAROLINA, CA 95009

CONSULTANT:
BEACON DEVELOPMENT, LLC
 380 VINA AVE
 FERRANDA, CA 94552

DRAWN BY: CHM, MCV, MIF
CHECKED BY: MIF



SHEET TITLE:
SITE SIGNAGE

SHEET NUMBER:
GN-2

1. SIGNAGE AND SITE PREPARATION:
 THE SIGNAGE AND SITE PREPARATION SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 1. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 2. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 3. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 4. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 5. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 6. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
 7. THE SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

2. INFORMATION SIGNAGE:

REQUIREMENTS:

INFORMATION:

GENERAL NOTES:

3. GENERAL NOTES:

11. INFORMATION SIGNAGE:

NOTE: CONTRACTOR SHALL INSTALL ALL INFORMATION SIGNAGE IN ACCORDANCE WITH WIRELESS DOCUMENT COMPLIANCE PROGRAM, LATEST EDITION.

1. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

2. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

3. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

4. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

5. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

6. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

7. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

8. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

9. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

10. CONTRACTOR SHALL CONTACT AT&T BEFORE ANY LEVEL AND LOCATION OF SIGNAGE.

15. FCC AIR SIGNAGE:

PROPERTY OF AT&T AUTHORIZED PERSONNEL ONLY

NO TRESPASSING

16. GATE SIGNAGE:

PROPERTY OF AT&T AUTHORIZED PERSONNEL ONLY

17. SHELLER / CABINET DOORS SIGNAGE:

PROPERTY OF AT&T AUTHORIZED PERSONNEL ONLY

18. DOOR / EQUIPMENT SIGN:

NOTICE AUTHORIZED PERSONNEL ONLY

19. FENCED COMPOUND SIGNAGE:

NOTICE AUTHORIZED PERSONNEL ONLY

20. NOT USED:

3. GENERAL NOTES:

1. NOTICE SIGN:

NOTICE

Beyond This Point you are entering an area where RF Emissions may exceed the FCC General Population Exposure Limits

Follow all posted signs and site guidelines for working in an RF environment
 REF. FCC 47CFR 1.1307(b) at&t

9. CAUTION AND WARNING SIGN:

WARNING

Beyond This Point you are entering a controlled area where RF Emissions exceed the FCC Controlled Exposure limits

Failure to obey all posted signs and site guidelines could result in serious injury

REF. FCC 47CFR 1.1307(b) at&t

CAUTION

Beyond This Point you are entering a controlled area where RF Emissions may exceed the FCC Controlled Exposure Limits

Obey all posted signs and site guidelines for working in an RF environment
 REF. FCC 47CFR 1.1307(b) at&t

14. GATE SIGNAGE:

PROPERTY OF AT&T AUTHORIZED PERSONNEL ONLY

13. SHELLER / CABINET DOORS SIGNAGE:

PROPERTY OF AT&T AUTHORIZED PERSONNEL ONLY

In case of emergency, or prior to performing maintenance on this site, call 800-832-6682 and reference cell site number XXXXXXXX

18. DOOR / EQUIPMENT SIGN:

NOTICE AUTHORIZED PERSONNEL ONLY

19. FENCED COMPOUND SIGNAGE:

NOTICE AUTHORIZED PERSONNEL ONLY

20. NOT USED:

FILE NO.	229805
REV.	DESCRIPTION
CHKD	CHK
APP	APP

DESIGN WIND LOAD PER ANSI/TIA-222-G: ASCE 7-10 ULTIMATE WIND SPEED (NO ICE) = 110 MPH
STRUCTURE CLASS = I
TOPOGRAPHIC CATEGORY = C
FACILITY SPECTRAL RESPONSE ACCELERATION: $S_S = 0.787$, $S_I = 0.295$
THIS TOWER IS DESIGNED TO SUPPORT THE FOLLOWING LOADS:
DESIGN PER ANSI/TIA-222-H:
RISK CATEGORY: II
BASIC WIND SPEED (NO ICE): 94 MPH PER ASCE 7-16
GROUND ELEVATION: 25: 242 FT
EXPOSURE CATEGORY: C
TOPOGRAPHIC METHOD: 1, CATEGORY: 1
SEISMIC DESIGN PARAMETERS: $S_S = 0.787$, $S_I = 0.295$, $T_I = 12$, SITE CLASS: D
THIS STRUCTURE HAS BEEN DESIGNED TO SUPPORT THE FOLLOWING

ELEVATION (FT)	ANTENNA TYPE	LINE SIZE (NON)
145	250 SQFT MAX EPA	(18) 1-5/8"
135	250 SQFT MAX EPA	(18) 1-5/8"
60	150 SQFT MAX EPA	(12) 1-5/8"

TOWER DESIGN INCLUDES AN INSIDE CORNER-MOUNTED CLIMBING LADDER

SECTION	LEG	DIAGONAL	HORIZONTALS
RTS04B	PIPE 2.875x0.203	L1 3/4x1 3/4x3/16 (2)	L1 3/4x1 3/4x3/16 (1)
RTS04	PIPE 3.500x0.216	L1 3/4x1 3/4x3/16 (4)	N/A
RTT06	PIPE 4x0.310	L1 3/4x1 3/4x3/16 (4)	L1 3/4x1 3/4x3/16 (1)
RTT08	PIPE 4.500x0.337	L2x3/16 (3)	N/A
RTT10	PIPE 5.563x0.375	L2 1/2x3 1/2x3/16 (3)	N/A
RTT12	PIPE 5.563x0.375	L3 1/2x3 1/2x3/16 (3)	N/A
RTT14	PIPE 6.625x0.432	L3x3/16 (2)	N/A
RTT16	PIPE 6.625x0.432	L3x3/16 (2)	N/A

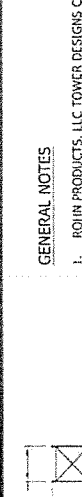
NOTE: SECTION NUMBERS ARE FOR REFERENCE ONLY. FOR NOMINAL FACE WIDTH DIMENSIONS, REFER TO THE STRESS ANALYSIS. THE NUMBERS SHOWN IN PARENTHESES INDICATE THE NUMBER OF BAYS FROM TOP TO BOTTOM.

GENERAL NOTES

- ROHN PRODUCTS, LLC TOWER DESIGNS CONFORM TO ANSI/TIA-222-G/H UNLESS OTHERWISE SPECIFIED UNDER TOWER DESIGN LOADING.
- THE DESIGN LOADING CRITERIA INDICATED HAS BEEN PROVIDED TO ROHN. THE DESIGN LOADING CRITERIA HAS BEEN ASSUMED TO BE BASED ON SITE-SPECIFIC DATA IN ACCORDANCE WITH ANSI/TIA-222-G/H AND MUST BE VERIFIED BY OTHERS PRIOR TO INSTALLATION.
- ANTENNAS AND LINES LISTED IN TOWER DESIGN LOADING TABLE ARE PROVIDED BY OTHERS UNLESS OTHERWISE SPECIFIED.
- STEP BOLTS WITH A SAFETY CLIMB SYSTEM ARE PROVIDED AS A CLIMBING FACILITY FOR THE INSTALLATION OF THE STRUCTURE.
- TOWER MEMBER DESIGN DOES NOT INCLUDE STRESSES DUE TO ERECTION SINCE ERECTION EQUIPMENT AND CONDITIONS ARE UNKNOWN. DESIGN ASSUMES COMPETENT AND QUALIFIED PERSONNEL WILL ERECT THE TOWER.
- WORK SHALL BE IN ACCORDANCE WITH ANSI/TIA-222-G/H. STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND STEEL TOWER STRUCTURES SHALL BE 50 KSI.
- THE MINIMUM STEEL TENSILE STRENGTH OF STRUCTURAL STEEL MEMBERS SHALL BE 50 KSI.
- FIELD CONNECTIONS SHALL BE BOLTED. NO FELD WELDS SHALL BE ALLOWED.
- STRUCTURAL BOLTS SHALL CONFORM TO GRADE A325 PER ASTM F3125, EXCEPT WHERE NOTED.
- PALNUTS ARE PROVIDED FOR ALL TOWER BOLTS.
- STRUCTURAL STEEL AND CONNECTION BOLTS SHALL BE HOT-DIPPED GALVANIZED AFTER FABRICATION IN ACCORDANCE WITH ANSI/TIA-222-G/H.
- ALL HIGH STRENGTH BOLTS ARE TO BE TIGHTENED TO A "SNUG TIGHT" CONDITION AS DEFINED IN THE RCSC "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS". NO OTHER MINIMUM BOLT TENSION OR TORQUE VALUES ARE REQUIRED.
- PURCHASER SHALL VERIFY THE INSTALLATION IS IN CONFORMANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS FOR OBSTRUCTION MARKING AND LIGHTING.
- TOLERANCE ON TOWER STEEL HEIGHT IS EQUAL TO PLUS 1% OR MINUS 1/2%.
- DESIGN ASSUMES THAT, AS A MINIMUM, MAINTENANCE AND INSPECTION WILL BE PERFORMED OVER THE LIFE OF THE STRUCTURE IN ACCORDANCE WITH ANSI/TIA-222-G/H.
- DESIGN ASSUMES LEVEL GRADE AT TOWER SITE.
- DESIGN ASSUMES ALL ANTENNAS ARE MOUNTED SYMMETRICALLY TO MINIMIZE TORQUE, IF APPLICABLE.
- FOUNDATIONS SHALL BE DESIGNED TO SUPPORT THE REACTIONS SHOWN FOR THE CONDITIONS EXISTING AT THE SITE.

MAXIMUM FACTORED REACTIONS
COMPRESSION = 285.3 KIPS
TENSION = 254.2 KIPS
TOTAL SHEAR = 41.2 KIPS
O.T.M. = 4,007.0 FT-KIPS

(8) ANCHOR BOLTS (24 TOTAL)
1" DIA. X 20" LONG
ASTM F1554 Gr. 105



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CROWN CASTLE
DESIGN PROFILE
ELKHORN RD B0814686- CA

DWN: RCS
CHKD: HA
DATE: Apr/08/19

ENGR: HA
SHEET # : 1 OF 1
PRJ. MGR/CR: HA

DRAWING NO: 229805-01-D1

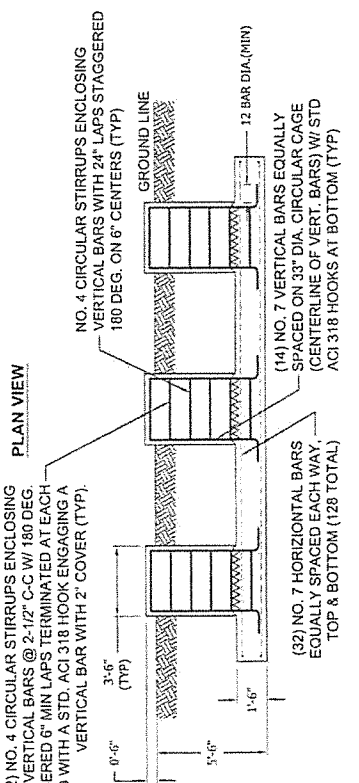
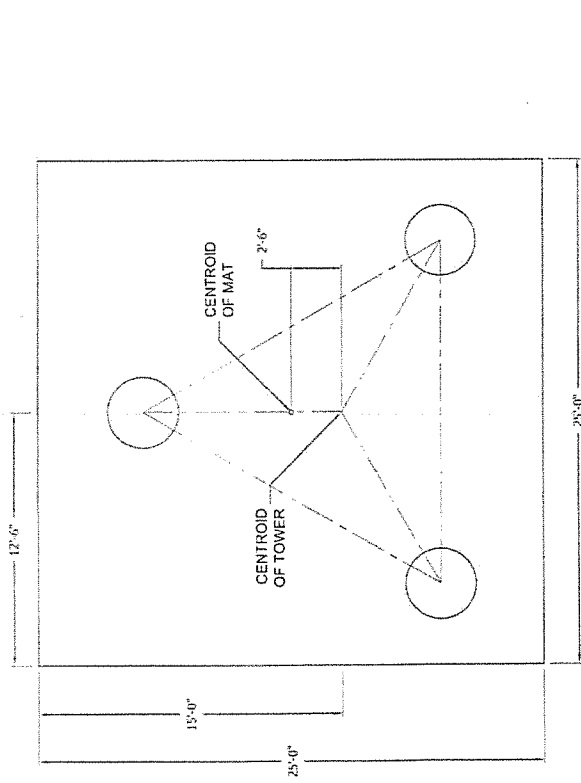
REV: 0

FILE NO.	229805
REVISIONS	
REV.	DESCRIPTION
DRAWN	CHKD
APP.	

GENERAL NOTES

- FOUNDATION DESIGN HAS BEEN DEVELOPED IN ACCORDANCE WITH GENERALLY ACCEPTED PROFESSIONAL ENGINEERING PRINCIPLES AND PRACTICES WITHIN THE LIMITS OF THE SUBSURFACE DATA PROVIDED. FOUNDATION DESIGN MODIFICATIONS MAY BE REQUIRED IN THE EVENT THE FOLLOWING DESIGN PARAMETERS ARE NOT APPLICABLE FOR THE SUBSURFACE CONDITIONS ENCOUNTERED.
 - ULTIMATE SOIL BEARING PRESSURE AT 5.5 FT DEPTH = 13,000 PSF.
 - GROUND WATER TABLE IS AT OR BELOW FOUNDATION DEPTH.
 - MAXIMUM FROST PENETRATION DEPTH LESS THAN FOUNDATION DEPTH.
- WORK SHALL BE IN ACCORDANCE WITH THE PROJECT CONSTRUCTION DOCUMENTS, LOCAL CODES, SAFETY REGULATIONS AND UNLESS OTHERWISE NOTED, THE LATEST REVISION OF ACI 318, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.
- CONCRETE MATERIALS SHALL CONFORM TO THE APPROPRIATE STATE REQUIREMENTS FOR EXPOSED STRUCTURAL CONCRETE.
- PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR THE INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI IN 28 DAYS.
- MAXIMUM SIZE OF AGGREGATE SHALL NOT EXCEED SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR 3/4 CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING, WORKABILITY AND METHODS OF CONSOLIDATION SUCH AS VIBRATING SHALL BE UTILIZED TO PREVENT HONEYCOMBS OR VOIDS.
- REINFORCEMENT SHALL BE DEFORMED AND CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60 UNLESS OTHERWISE NOTED. SPLICES IN REINFORCEMENT SHALL NOT BE ALLOWED UNLESS OTHERWISE INDICATED.
- WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES UNLESS OTHERWISE NOTED. APPROVED SPACERS SHALL BE USED TO INSURE A 3 INCH MINIMUM COVER ON REINFORCEMENT.
- CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENT SHALL NOT EXCEED 3 INCHES NOR BE LESS THAN 2 INCHES.
- FOUNDATION DESIGN ASSUMES STRUCTURAL BACKFILL TO BE COMPACTED IN 8 INCH MAXIMUM LAYERS TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. ADDITIONALLY, STRUCTURAL BACKFILL MUST HAVE A MINIMUM COMPACTED UNIT WEIGHT OF 110 POUNDS PER CUBIC FOOT.
- FOUNDATION DESIGN HAS BEEN BASED ON GEOTECHNICAL REPORT NO. GEO19-04180-08 DATED 03/22/19 BY DELTA OAKS GROUP.
- FOUNDATION DEPTH INDICATED IS BASED ON THE GRADE LINE DESCRIBED IN THE REFERENCED GEOTECHNICAL REPORT. FOUNDATION MODIFICATION MAY BE REQUIRED IN THE EVENT CUT OR FILL OPERATIONS HAVE TAKEN PLACE SUBSEQUENT TO THE GEOTECHNICAL INVESTIGATION.
- FOUNDATION DESIGN ASSUMES THE RECOMMENDATIONS IN THE REFERENCED GEOTECHNICAL REPORT CONCERNING VERIFICATION OF SUBSURFACE CONDITIONS ARE IMPLEMENTED PRIOR TO PLACEMENT OF CONCRETE.
- FOUNDATION INSTALLATION SHALL BE SUPERVISED BY PERSONNEL KNOWLEDGEABLE AND EXPERIENCED WITH THE PROPOSED FOUNDATION TYPE. CONSTRUCTION SHALL BE IN ACCORDANCE WITH GENERALLY ACCEPTED INSTALLATION PRACTICES.
- ALL CONSTRUCTION AND SAFETY EQUIPMENT AND TEMPORARY SUPPORTS REQUIRED FOR CONSTRUCTION SHALL BE DETERMINED, FURNISHED AND INSTALLED BY THE CONTRACTOR BASED ON THE MEANS AND METHODS CHOSEN BY THE CONTRACTOR. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED BY COMPETENT, QUALIFIED AND TRAINED PERSONNEL.
- FOUNDATION DESIGN ASSUMES INSTALLATION PROCEDURES WILL INCORPORATE THE PROCEDURES RECOMMENDED IN THE REFERENCED GEOTECHNICAL REPORT.
- FOUNDATION DESIGN ASSUMES FIELD INSPECTIONS WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.
- FOR FOUNDATION AND ANCHOR TOLERANCES SEE ANCHOR ROD LAYOUT DRAWING.
- LOOSE MATERIAL SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. SIDES OF EXCAVATION SHALL BE ROUGH AND FREE OF LOOSE CUTTINGS.
- CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF THE FOUNDATION.
- CONCRETE PREFERABLY SHALL BE PLACED AGAINST UNDISTURBED SOIL. WHEN FORMS ARE NECESSARY, THEY SHALL BE REMOVED PRIOR TO PLACING STRUCTURAL BACKFILL.
- CONSTRUCTION JOINTS, IF REQUIRED AT THE BASE OF THE PIERS, SHALL BE INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF 1/4 INCH. FOUNDATION DESIGN ASSUMES NO OTHER CONSTRUCTION JOINTS.
- TOP OF FOUNDATION SHALL BE SLOPED TO DRAIN WITH A FLOATED FINISH.
- EXPOSED EDGES OF CONCRETE SHALL BE CHAMFERED 3/4" X 3/4" MINIMUM.

NOTE: SEE STRUCTURE ASSEMBLY DRAWING FOR FOUNDATION LAYOUT AND ANCHORAGE EMBEDMENT DRAWING NUMBER.



MAX FACTORED REACTIONS

Maximum O.T.M. =	4,007.0 FT-K
Total Tower Vt =	35.3 KIPS
Total Shear =	41.2 KIPS
Max. Shear/Leg =	25.2 KIPS
Max. Ten./Leg =	264.2 KIPS
Max. Comp./Leg =	285.3 KIPS

CONCRETE VOLUME

ROUND PIER	4.8 CU.YDS
PAD	34.7 CU.YDS
TOTAL	39.5 CU.YDS

PO BOX 5999
PEORIA, IL 61601-5999
TOLL FREE 800-727-ROHN

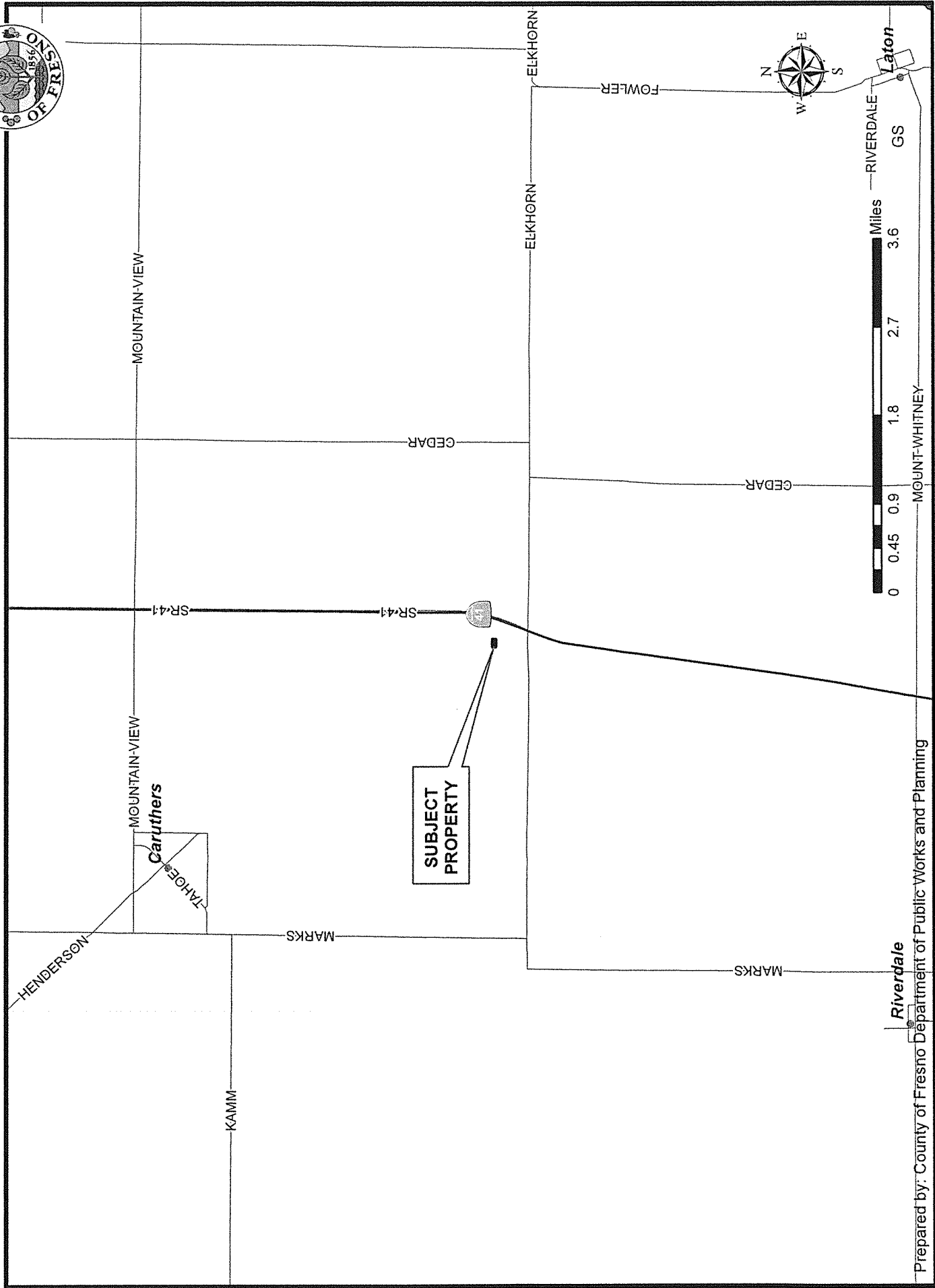
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PROJECT:	CROWN CASTLE
CLIENT:	MAT WIRASED PIERS FOUNDATION DESIGN
ADDRESS:	ELKHORN RD. BUB14686-CA
DRAWN:	RCS
CHKD:	HJH
DATE:	4/9/2019
ENGR:	HJH
SHEET #:	1 OF 1
PRI. ENGR:	RCS
PRI. MGR:	
DRAWING NO.:	229805-01-F1
REV.:	0



LOCATION MAP

CUP 3648



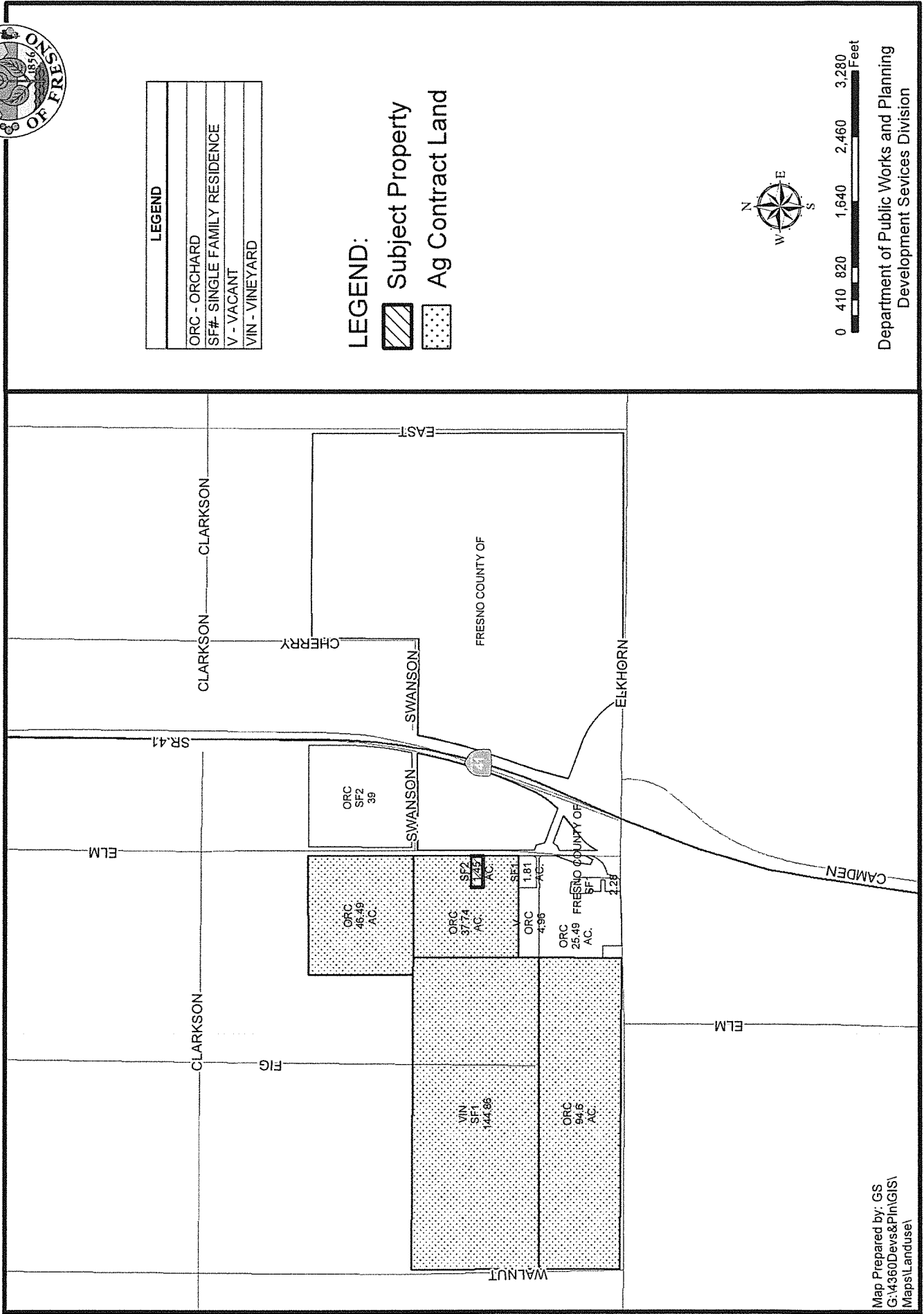
MOUNTAIN-VIEW
Caruthers
TAHOE

Riverdale



EXISTING LAND USE MAP

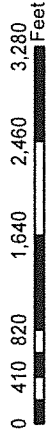
CUP 3648



LEGEND
ORC - ORCHARD
SF# - SINGLE FAMILY RESIDENCE
V - VACANT
VIN - VINEYARD

LEGEND:

- Subject Property
- Ag Contract Land

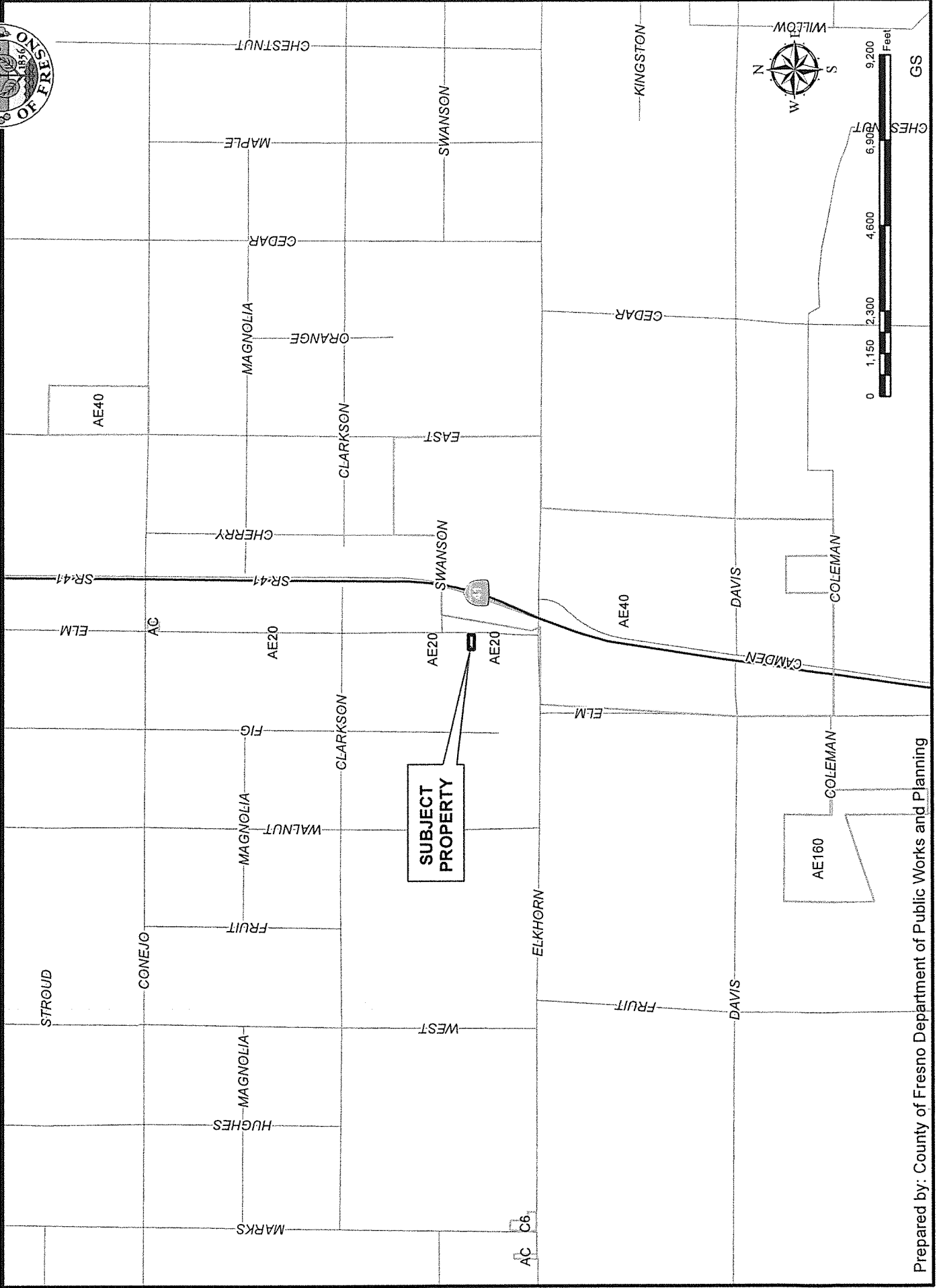


Department of Public Works and Planning
Development Services Division

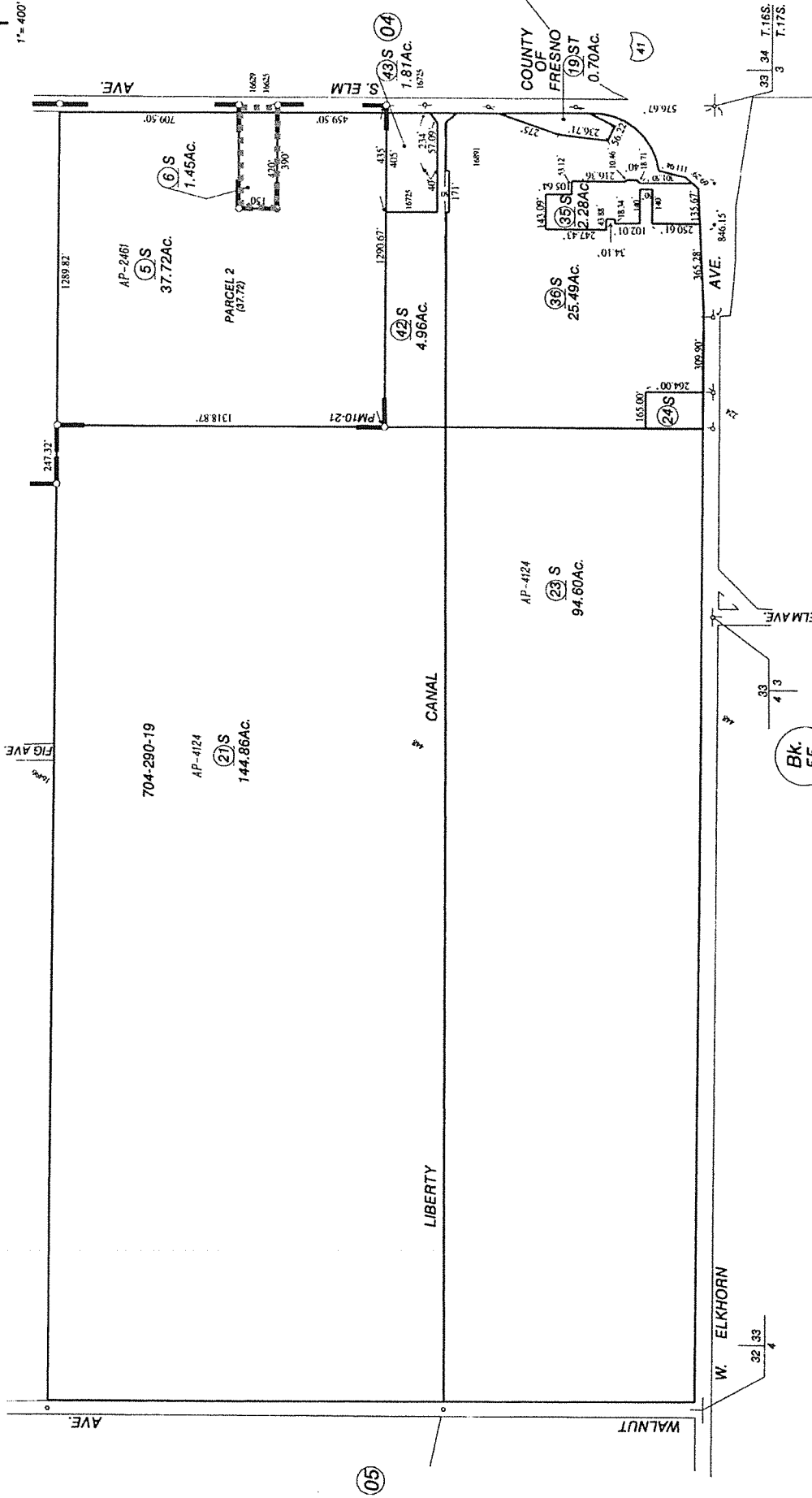
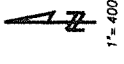
Map Prepared by: GS
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CUP 3648
STR 33-16/20

EXISTING ZONING MAP



... NOTE ...
This map is for Assessment purposes only.
It is not to be construed as portraying
legal ownership or divisions of land for
purposes of zoning or subdivision law.



Agricultural Preserve
Parcel Map No. 1797 - Bk. 10, Pg. 21

Assessor's Map Bk. 042 - Pg. 20
County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.