



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 4 April 11, 2019

SUBJECT: Director Review and Approval Application No. 4564

Allow the construction of a 1,068 square-foot conventional home as a permanent second residence, with a 2,486 square-foot conventional dwelling to remain as a primary residence on a 2.00-acre parcel in the R-R (Rural Residential, two-acre minimum parcel size) Zone District.

LOCATION: The subject parcel is located on the south side of West Fairmont Avenue at its intersection with North Tisha Avenue, approximately one quarter-mile north of the nearest city limits and within the Sphere of Influence of the City of Fresno (7317 West Fairmont Avenue) (Sup. Dist. 1) (APN 512-060-14).

**OWNER/
APPLICANT:** Gail Zack

STAFF CONTACT: Jeremy Shaw, Planner
(559) 600-4207

Marianne Mollring, Senior Planner
(559) 600-4569

RECOMMENDATION:

- Approve Director Review and Approval No. 4564 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plan, Floor Plans, and Elevations
6. Public Correspondence: Letters in Opposition

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Rural Residential	No change
Zoning	R-R (Rural Residential, two-acre minimum parcel size)	No change
Parcel Size	2.00 acres	No change
Project Site	N/A	N/A
Structural Improvements	2,486 square-foot single-family dwelling 1,352 square-foot detached garage	The addition of a 1,068 square-foot conventional dwelling as a permanent second residence
Nearest Residence	Approximately 105 feet west of the existing primary residence	The nearest residence to the proposed second dwelling would be approximately 165 feet west
Surrounding Development	Primarily Rural Residential development and some agricultural parcels	No change
Traffic Trips	Residential - one dwelling unit	Residential - two dwelling units; ten additional trips per day
Lighting	Residential	No change
Hours of Operation	N/A	N/A

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

It has been determined pursuant to Section 15303(a) of the California Environmental Quality Act (CEQA) guidelines that the proposed project will not have a significant effect on the environment and is not subject to CEQA.

PUBLIC NOTICE:

Notices were sent to 72 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

A Director Review and Approval (DRA) may be approved only if four Findings specified in Section 872-C of the Fresno County Zoning Ordinance are made by the Director. The Director has referred this application to the Planning Commission per Ordinance Section 872-A.

The decision of the Planning Commission on a DRA Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission's action.

BACKGROUND INFORMATION:

The subject parcel was originally created as Lot No. 14 of Tract No. 2931 Garfield Acres, recorded on February 28, 1979. Permits were issued for the existing single-family residence on January 28, 1983, and permits for the existing detached garage were issued March 15, 2014.

This current application is proposing to allow the construction of a 1,068 square-foot conventional dwelling as a permanent second residence, with an existing 2,486 square-foot conventional dwelling to remain as a primary residence on the 2.00-acre subject property.

Finding 1: That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	Front: 35 feet Rear: 20 feet Sides: 20 feet	Front (north): 175 feet +/- Rear(south): 135 feet +/- Side (west): 100 feet +/- Side (east): 81 feet +/-	Yes
Parking	One space per dwelling unit	No change	Yes
Lot Coverage	No requirements	N/A	N/A

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Space Between Buildings	Six feet	No change	Yes
Wall Requirements	No requirements	No change	N/A
Septic Replacement Area	100 percent for existing system	No change	Yes
Water Well Separation	Building sewer/septic tank: 50 feet; disposal field: 100 feet; seepage pit/cesspool: 150 feet	Proposed septic system is located approximately 150 feet from the existing domestic well	Yes

Reviewing Agency/Department Comments Regarding Site Adequacy:

Zoning Section of the Fresno County Department of Public Works and Planning: Septic system density will be limited to one system per two acres. Any new development of less than two acres or second dwelling, will require a nitrogen loading analysis by a qualified professional, demonstrating to the Department that the regional characteristics are such that an exception to the septic system density limit can be accommodated. The Department will refer any analysis to the Regional Water Quality Control Board (RWQCB) for their concurrence and input. Note: A nitrogen loading analysis was completed and approved by this Department on January 29, 2019, in accordance with the Fresno County Local Area Management Program and State law.

Fresno County Department of Public Health, Environmental Health Division: In the case of this application, it appears that the parcel size can accommodate the proposed sewage disposal system and expansion area, meeting the mandatory setbacks and policy requirements as established with the implementation of the Fresno County Tier 2 Local Area Management Plan (LAMP), onsite wastewater treatment system (OWTS) policy and California Plumbing Code.

The project is located within the sphere of influence of the City of Fresno. Any new construction on the parcel should be required to connect to public water and sewer service.

The Applicant is proposing to expand the existing sewage disposal system to serve both dwellings on the subject parcel. It is recommended that the Applicant consider having the septic tanks pumped, and have the tank and leach fields evaluated by an appropriately-licensed contractor. The evaluation may indicate possible repairs, additions, or require the proper destruction of the system.

The new expanded sewage disposal system shall be installed under permit and inspection by the Fresno County Department of Public Works and Planning Building and Safety Section.

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

Analysis:

Review of the site plan shows that the proposed second residence is located approximately 135 feet from the rear (southerly) property line, approximately 81 feet from the eastern property line, approximately 100 feet from the western property line, approximately 175 feet from the northern property line and approximately 76 feet from the existing primary residence. The proposed second residence meets all setback requirements of the Rural Residential Zone District.

The project was reviewed by the Fresno County Department of Public Health, Environmental Health Division, which determined that the subject parcel could accommodate the proposed septic system, meeting setback requirements as established in the California Plumbing Code and California Well Standards Ordinance. This proposal entails the expansion of an existing septic system to serve both the existing primary and the proposed second residence. Due to the relatively small parcel size, the proposed septic system is subject to new septic system density restrictions per the Local Area Management Program (LAMP) effective May 13, 2018, which regulates the design, installation, and operation of on-site wastewater treatment systems (OWTS). LAMP limits OWTS to one septic system per two acres, and that applicants provide a nitrogen loading analysis, performed by a qualified professional, to the Fresno County Department of Public Works and Planning, which will determine, based on regional characteristics, if an exception can be made.

Recommended Conditions of Approval:

See recommended Conditions of Approval and Project Notes attached as Exhibit 1.

Conclusion:

Finding 1 can be made.

Finding 2: That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use

		Existing Conditions	Proposed Operation
Private Road	No	N/A	No change
Public Road Frontage	Yes	Public frontage	No change
Direct Access to Public Road	Yes	The subject parcel has frontage on East Fairmont Avenue	No change
Road ADT		200 vehicles	No change
Road Classification		Local	No change
Road Width		East Fairmont Avenue has an existing right-of-way of 30 feet on either side of the centerline	No change
Road Surface		Paved	No change

		Existing Conditions	Proposed Operation
Traffic Trips		Residential - one dwelling unit/10 traffic trips per day	Residential - two dwelling units/10 additional traffic trips per day
Traffic Impact Study (TIS) Prepared	No	N/A	N/A
Road Improvements Required		No	N/A

Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:

Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning: No comment.

Development Engineering Section of the Fresno County Department of Public Works and Planning: Fairmont Avenue is a Local road with an existing 30-foot right-of-way south of the centerline. The minimum width for a Local road right-of-way south of the centerline is 30 feet. Fairmont Avenue is a County-maintained road and records indicate that this section of Fairmont Avenue, from Garfield Avenue to the end of the cul-de-sac, has an Average Daily Traffic (ADT) of 200, a paved width of 24 feet, an unknown structural section and is in good condition.

According to FEMA FIRM Panel 1545H, the parcel is not subject to flooding from the 100-year storm.

The subject parcel is located within the Fresno Metropolitan Flood Control District (FMFCD) Boundary.

Typically, any additional runoff generated by the proposed development of this site cannot be drained across property lines, and must be retained on site per County Standards.

A grading permit or voucher may be required for any grading that has been done without a permit and any grading proposed with this application.

Design Division of the Fresno County Department of Public Works and Planning: The proposed project does not generate enough additional traffic trips to warrant the preparation of a Traffic Impact Study, however, as the proposed construction has the potential to block the access point to properties at the east end of Fairmont Avenue, a Traffic Management Plan will be required for the construction phase of the project. Prior to the issuance of building permits, a Traffic Management Plan shall be submitted to the Design Division of the Fresno County Department of Public Works and Planning.

No other comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

Analysis:

The subject application is proposing the construction of a 1,068 square-foot conventional home as a permanent second residence, with the existing 2,486 square-foot dwelling to remain as a primary residence. Access to the subject property is via an existing driveway off East Fairmont Avenue.

Based on the above information, and with adherence to the required Traffic Management Plan, staff believes East Fairmont Avenue is adequate to accommodate the proposed use.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 2 can be made.

Finding 3: That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	1.92 acres 2.90 acres	Single-Family Residence Single-Family Residence	Rural Residential	Primary: 220 Secondary: 390 feet
South	2.38 acres	Single-Family Residential	Rural Residential	Primary: 700 feet Secondary: 575 feet
East	2.22 acres	Single-Family Residential	Rural Residential	Primary: 150 feet Secondary: 175 feet
West	2.00 acres	Single-Family Residential	Rural Residential	Primary: 105 feet Secondary: 165 feet

Note: Distances are approximate.

Reviewing Agency/Department Comments:

Zoning and Permit Review Section of the Fresno County Department of Public Works and Planning: Any new development of less than two acres or a secondary dwelling will require a nitrogen loading analysis by a qualified professional, demonstrating to the Fresno County Department of Public Works and Planning, that the regional characteristics are such that an exception to the septic system density limit can be accommodated. A nitrogen loading analysis of the subject property was completed and approved by the Fresno County Department of Public Works and Planning on January 29, 2019

Building and Safety/Plan Check Section of the Fresno County Department of Public Works and Planning: Plans, permits and inspections will be required for all on-site improvements.

No other comments specific to land use compatibility were expressed by reviewing Agencies or Departments.

Analysis:

Staff analysis of the proposal did not indicate any privacy or visibility concerns with the placement of the proposed second residence. The proposed second dwelling would be located to the rear of the existing primary dwelling and therefore will be screened from view of East Fairmont Avenue which is located approximately 175 feet to the north and partially screened from neighboring properties to the east, west and south by existing landscaping along the perimeter of the property. However, additional landscaping that is substantially similar to the existing landscaping will be required around the proposed secondary dwelling, and submission of an approved landscaping plan will also be required prior to the issuance of building permits for the proposed second residence. Landscaping will be required to comply with Title 13, Chapter 12, Section 060 of the Fresno County Ordinance Code, pertaining to water-efficient landscaping.

Based on the above information, and compliance with the included Conditions of Approval, staff believes the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Public Comment:

Staff received ten letters in opposition to this application. The concerns addressed by those in opposition included possible adverse impacts due to a potential increase in traffic resulting from the additional dwelling, increased residential density, impacts to neighboring water supply wells, negative impacts on property values in the vicinity, increase in crime, trespassing, quality of architecture consistent with the character of the neighborhood, increased light and noise, overall quality of life in the neighborhood, and restrictions on the addition of second residences within the community covenants, conditions and restrictions (CC&Rs).

The CC&Rs were not considered in the evaluation of Finding 3, as CC&Rs are a civil matter between and concerning the property owners, and not typically subject to County Ordinance. Additionally, the effect on surrounding property values resulting from the addition of the proposed second residence is unknown and speculative, and was not considered in the evaluation of Finding 3.

Concerns related to traffic impacts will be addressed through performance of the required Traffic Management Plan. Regarding concerns related to a potential increase in residential density, other property owners in the vicinity would be allowed to apply for the addition of a second residence through the same discretionary approval process. Each application is considered on its own merits, and approval of this project should not be considered precedent to the approval of future projects of this type. Section 822.5.A of the Zoning Ordinance establishes the minimum allowable lot size in the Rural Residential Zone District as two net acres, thus no divisions that would create substandard lots would be allowed without the appropriate land use application, public notice and discretionary approval by the Planning Commission. Additionally, the two-acre minimum parcel size for Rural Residential development is established in General Plan policy,

and any request to further subdivide a Rural Residential parcel would be inconsistent with this policy.

Conclusion:

Finding 3 can be made.

Finding 4: *That the proposed development is consistent with the General Plan*

Relevant Policies:	Consistency/Considerations:
<p>Policy LU-H.4 The County shall allow second dwellings, not to be sold as a separate unit, subject to a discretionary permit in areas designated for low-, medium- and medium-high-density residential use, rural residential use, and agricultural or rangeland use. The second dwelling shall be clearly subordinate in size to the primary dwelling.</p>	<p>In this case, the subject parcel is designated Rural Residential in the Fresno County General Plan, which allows by discretionary review the possibility of a permanent second residence. Regarding the size requirement, the new second residence will be 1,418 square feet smaller than the existing primary residence, therefore the project is consistent with this policy.</p>
<p>Policy PF-C.17 The County shall, prior to consideration of any discretionary project related to land use, undertake a water supply evaluation.</p>	<p>The project was reviewed by the Water and Natural Resources Division, which determined that the subject property is not within a water-short area, and will therefore not require a water supply evaluation.</p>
<p>Policy PF-D.6 The County shall permit individual on-site sewage disposal systems on parcels that have the area, soils, and other characteristics that permit installation of such disposal facilities without threatening surface or groundwater quality or posing any other health hazards and where community sewer service is not available and cannot be provided.</p>	<p>The Fresno County Department of Public Health, Environmental Health Division determined that the subject property is adequate to accommodate the proposed sewage disposal system. The sewage disposal system is subject to the requirements of the Local Area Management Program (LAMP). A nitrogen loading analysis was completed and approved by the Fresno County Department of Public Works and Planning on January 29, 2019, demonstrating that the subject property could accommodate the proposed expansion of the existing septic system.</p>

Reviewing Agency Comments:

Policy Planning Section of the Fresno County Department of Public Works and Planning: The subject parcel is designated Rural Residential in the Fresno County General Plan, which allows for a second dwelling unit provided it meets the requirements set forth in Policy LU-H.4.

Analysis:

Based on these factors, the proposed second residence is consistent with the above-cited policies and therefore consistent with the General Plan.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 4 can be made.

CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings for granting the Director Review and Approval can be made. Staff therefore recommends approval of Director Review and Approval No. 4564, subject to the recommended Conditions of Approval and Project Notes.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Move to determine the required Findings can be made and move to approve Director Review and Approval No. 4564, subject to the Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission’s action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Director Review and Approval No. 4564; and
- Direct the Secretary to prepare a Resolution documenting the Commission’s action.

Conditions of Approval and Project Notes:

See attached Exhibit 1.

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**Director Review and Approval Application No. 4564
Conditions of Approval and Project Notes**

Conditions of Approval	
1.	Development shall be in substantial compliance with the approved site plan, floor plans, and elevations.
2.	The proposed residence shall be landscaped in such a manner that is substantially similar to the existing landscaping. The required landscaping, including trees and shrubs, shall be provided on all sides of the proposed second residence to enhance its appearance from adjacent properties. A landscape plan shall be submitted to the Department of Public Works and Planning for approval, prior to issuance of building permits. The landscaping shall be completed prior to occupancy, and shall comply with Title 13, Chapter 12, Section 060 of the Fresno County Ordinance Code, pertaining to water-efficient landscaping. If the proposed landscape area exceeds 500 square feet in area, the landscaping will be subject to the Model Water Efficient Landscape Ordinance (MWELO) requirements currently in effect.
3.	Prior to the issuance of building permits, a Traffic Management Plan shall be submitted to and approved by the Design Division of the Fresno County Department of Public Works and Planning, and will be required for the construction phase of the proposed development.

Conditions of Approval reference recommended Conditions for the project.

In addition to the above-cited conditions, this application is subject to the following mandatory standards of the Fresno County Zoning Ordinance, Section 855-N-28:

Special Standards	
1.	One parking space, either covered or uncovered, shall be provided for each dwelling unit, as shown on the approved site plan. Each parking space shall be a minimum size of 8-1/2 feet by 20 feet. The parking spaces and the driveway providing access to said parking spaces shall be improved.
2.	Prior to issuance of a building permit, a covenant running with the land between the County and the owner shall be recorded with the County Recorder requiring that one of the dwelling units shall be occupied by an owner of record. Note: The Department of Public Works and Planning will prepare the Covenant upon receipt of the standard processing fee, which is currently \$243.50.

The following Notes reference mandatory requirements of Fresno County of other agencies and are provided as information to the project applicant

Notes	
1.	This permit shall become void unless there has been substantial development within two years of the effective date of this approval.
2.	The proposed expanded sewage and disposal system shall be installed under permit and inspection by the Department of Public Works and Planning, Building and Safety Section.

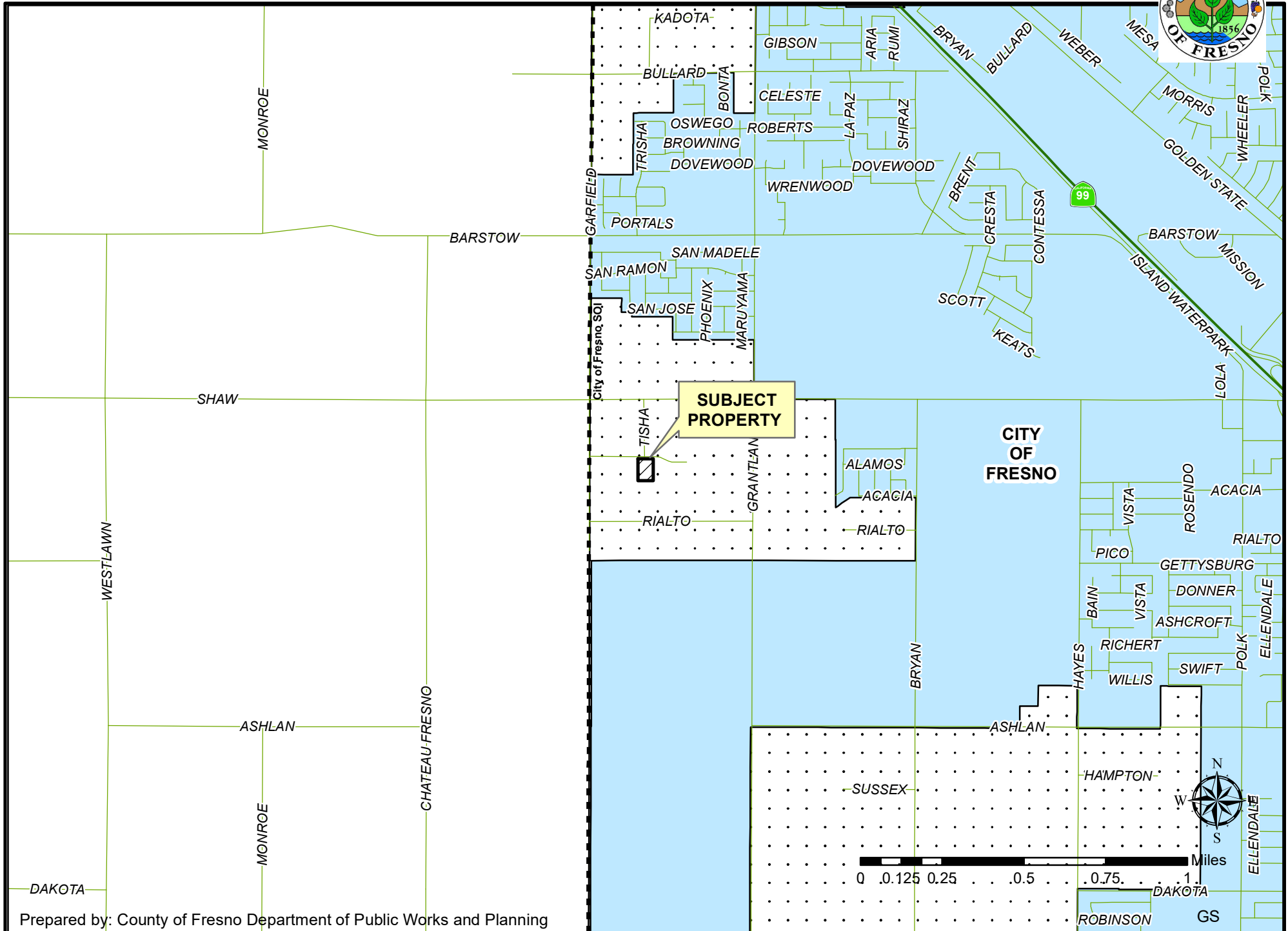
EXHIBIT 1

Notes	
3.	Any runoff generated by the proposed development of this site cannot be drained across property lines, and must be retained or disposed of per County Standards.
4.	The project will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.
5.	The subject parcel is located within the Sphere of Influence of the City of Fresno. Accordingly, any new development shall be required to connect to public water and sewer service, when available.
6.	The Central Unified District, in which the subject property is located, is authorized by State Law to adopt a resolution requiring the payment of construction fees. The Department of Public Works and Planning, Development Services and Capital Projects Division requires certifications from the school district that the fees have been paid. An official certification form will be provided by the County when an application is made for a building permit.
7.	A grading permit or voucher may be required for any grading that has been done without a permit and any grading proposed with this application.
8.	Plans, permits, and inspections will be required for all on-site improvements.

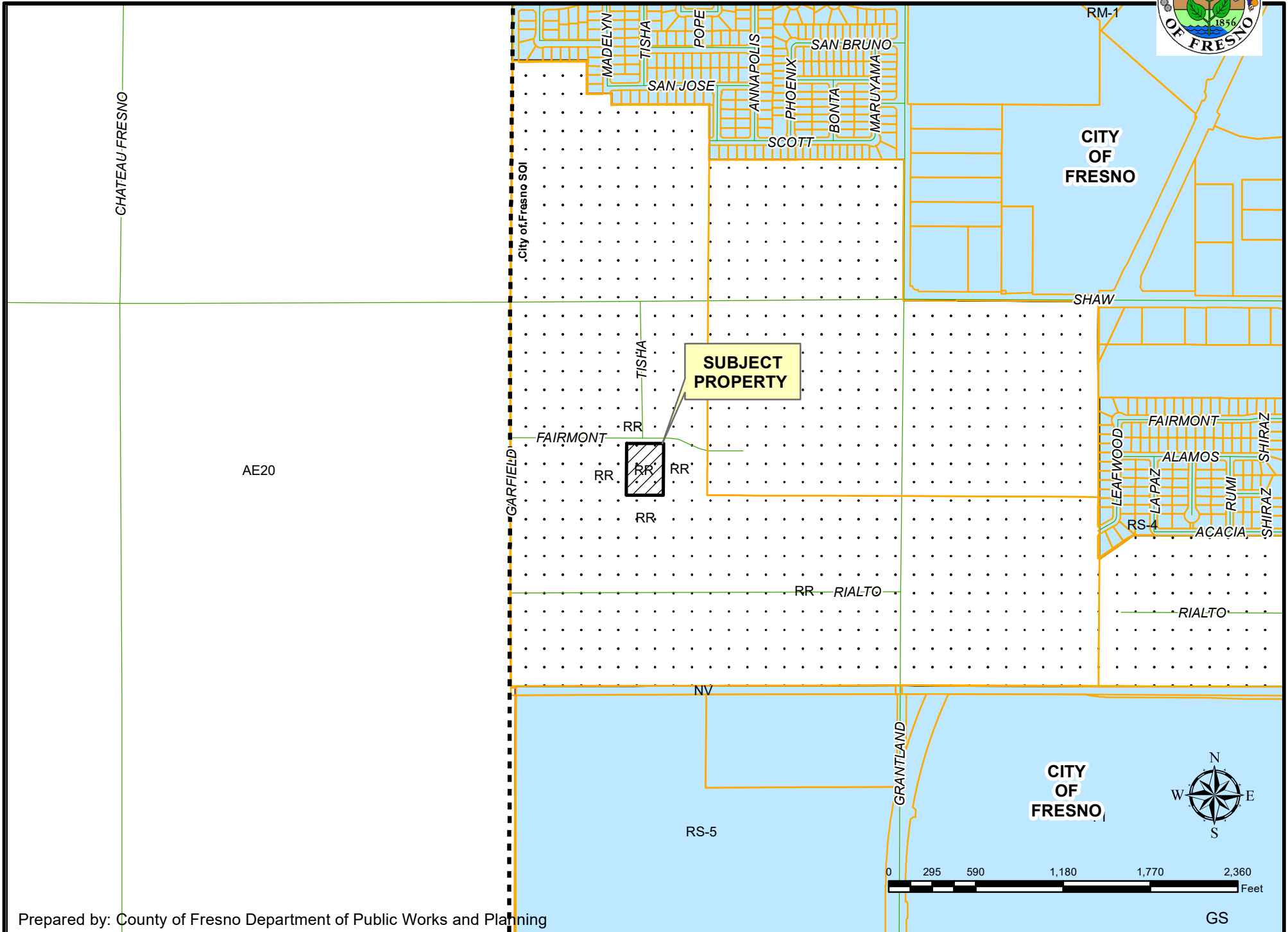
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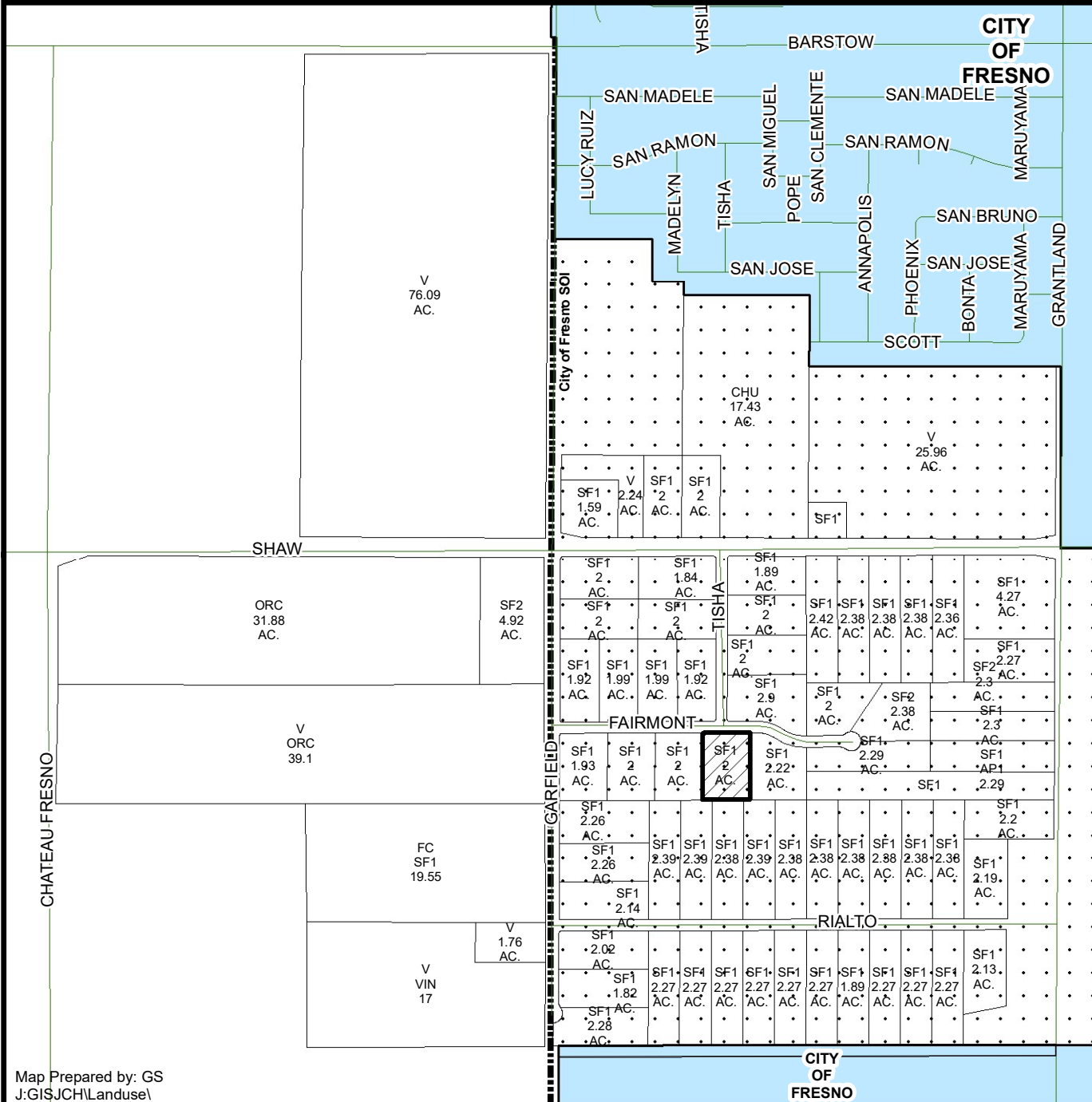
LOCATION MAP



EXISTING ZONING MAP



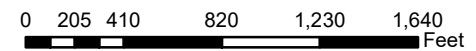
EXISTING LAND USE MAP



P_LEGEND	
CHU	- CHURCH
FC	- FIELD CROP
ORC	- ORCHARD
SF#	- SINGLE FAMILY RESIDENCE
V	- VACANT
VIN	- VINEYARD
AP1	- APARTMENT

LEGEND:

- Subject Property
- Ag Contract Land



Department of Public Works and Planning
Development Services Division

Map Prepared by: GS
J:GIS\JCH\Landuse1

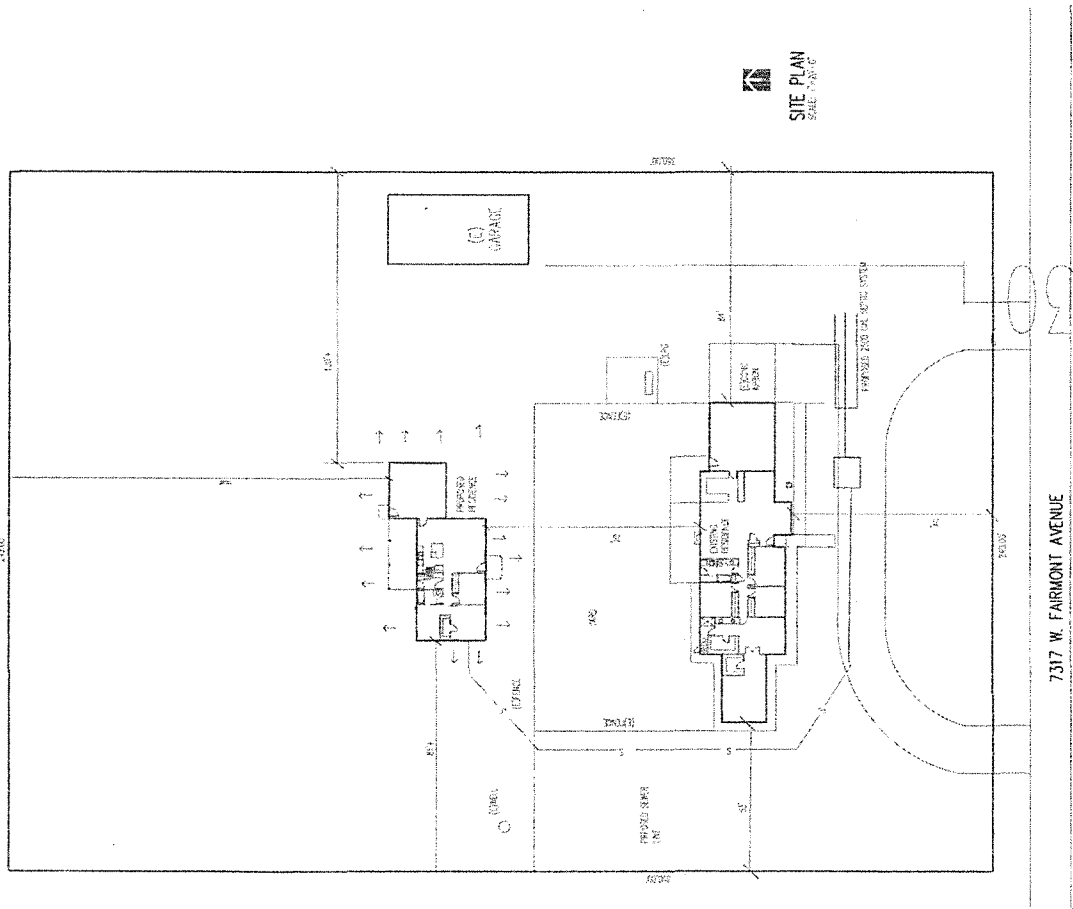


EXHIBIT 5

DOOR SCHEDULE

DOOR TYPE	HARDWARE GROUP	DOOR SIZE
1. SOLID CORE	1	3'-0" x 7'-0"
2. SOLID CORE	2	3'-0" x 7'-0"
3. HOLLOW CORE	3	3'-0" x 7'-0"
4. HOLLOW CORE	4	3'-0" x 7'-0"
5. HOLLOW CORE	5	3'-0" x 7'-0"
6. HOLLOW CORE	6	3'-0" x 7'-0"
7. FULL FRAME	7	3'-0" x 7'-0"
8. FULL FRAME	8	3'-0" x 7'-0"
9. FULL FRAME	9	3'-0" x 7'-0"
10. FULL FRAME	10	3'-0" x 7'-0"
11. SINGLE LITE	11	3'-0" x 7'-0"
12. DOUBLE LITE	12	3'-0" x 7'-0"

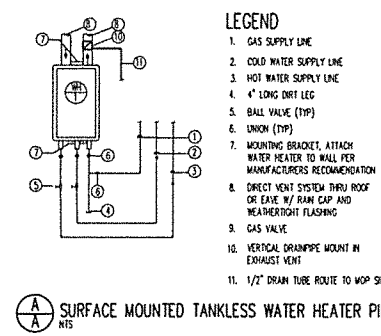
REMARKS:

HARDWARE GROUP

DOOR TYPE	HARDWARE GROUP	DOOR SIZE
A. LOCKSET W/ DEADBOLT, PEEPHOLE AND KNOCKER	A	3'-0" x 7'-0"
B. LOCKSET W/ AUTO CLOSER	B	3'-0" x 7'-0"
C. PASSAGE SET W/ PRIVATE LOCK	C	3'-0" x 7'-0"
D. PASSAGE SET	D	3'-0" x 7'-0"
E. DUMBY KNOB W/ HADSET OR SHARP LATCH	E	3'-0" x 7'-0"
F. RECESSED PULLS - FLOOR GLIDES	F	3'-0" x 7'-0"
G. RECESSED PULLS	G	3'-0" x 7'-0"
H. RECESSED PULLS W/ LATCH	H	3'-0" x 7'-0"
I. DUMBY KNOB	I	3'-0" x 7'-0"
J. LOCKSET	J	3'-0" x 7'-0"
K. LOCKSET W/ KEY OUTSIDE - TRANS LATCH INSIDE	K	3'-0" x 7'-0"
L. AUTO LOCKSET - KEYS OUTSIDE - PASSAGE INSIDE	L	3'-0" x 7'-0"

NOTES:

- ALL SWINGING DOORS SHALL HAVE BASIC BOARDS WALL MOUNTED DOOR STOPS.
- SOLID CORE DOORS SHALL HAVE THREE HINGES HOLLOW CORE DOORS SHALL HAVE TWO HINGES.
- WATER HEATER DOORS THAT HAVE COMBUSTION AIR VENTS MOUNTED IN THE DOOR SHALL BE SOLID CORE.



TITLE 24 REQUIREMENTS

INSPECTOR'S SIGN-OFF REQUIRED

THIS RESIDENCE IS SUBJECT TO THE FOLLOWING MARKED ENERGY RATES MEASURED PER TITLE 24(40701)

ALL **OPERABLE** WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.29 SHGC 0.21

ALL **FIXED** WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.29 SHGC 0.21

ALL **FRENCH** WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.29 SHGC 0.21

MANUFACTURER'S WINDOW IDENTIFICATION STICKERS MUST BE ON AT TIME OF FRAME INSPECTION

INSULATION DUCT U-VALUE R-2.0

WALLS R-13 CEILING R-38 FLOOR R-25

WALLS R-13 CEILING R-13 FLOOR R-25

TANKLESS WATER HEATER INSTALLED

HOT WATER PIPE 3/4" OR LARGER SHALL BE INSULATED FROM HEAT SOURCE TO KITCHEN FIXTURE

PIPE INSULATION R-4 OR GREATER PIPE INSULATION REQUIRED ON ALL 3/4" OR LARGER PIPING FOR NON-RECIRCULATING SYSTEMS. ATTIC OR WALL INSULATION CANNOT BE SUBSTITUTED FOR PIPE INSULATION

INSTALLATION OF RADIANT BARRIER IN THE ATTIC (INCLUDING ALL PERIMETER SURFACES) NAME OF CERTIFIED RADIANT BARRIER SYSTEM TECH-SHIELD

SUPPLY REGISTER SHALL BE NO MORE THAN 24" ABOVE THE FLOOR

HERS VERIFIED REFRIGERANT CHARGE

INSTALLATION OF THERMOSTATIC EXPANSION VALVE, INSTALLER TO COMPLETE INSTALLATION CERTIFICATE OF-OR FIELD VERIFICATION REQUIRED BY A CERTIFIED INDEPENDENT HERS RATER WITH COMPLETED OF-OR FORMS

HERS VERIFIED DEER

TESTED DUCT LEAKAGE (REQUIRED FOR COMPLIANCE PACKAGES C40 UNLESS ALI-USED) MINIMUM AIR LEAKAGE, INSTALLER TO COMPLETE INSTALLATION CERTIFICATE OF-OR FIELD VERIFICATION THEN REQUIRED BY A CERTIFIED INDEPENDENT HERS RATER WITH COMPLETED OF-OR FORMS

HERS FIELD VERIFICATION OF INSULATION INSTALLATION

THE COOLING SYSTEM SHALL HAVE A MINIMUM SEER OF 14.0

THE HEATING SYSTEM (AFCU) SHALL BE CLASS 1

BLOWER DOOR TESTING MINIMUM AIR LEAKAGE ALLOWED FIELD VERIFICATION REQUIRED BY AN INDEPENDENT HERS RATER WITH COMPLETED OF-OR FORMS

COMPLIANCE WITH LIGHTING MANDATORY MEASURES

HOUSE WRAP CREDIT, INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS AND MEETS SIX INSTALLATION GUIDELINES PER CCC RESIDENTIAL MANUAL PAGE 8-27, SEPARATE INSPECTION REQUIRED.

ALL HERS CERTIFICATION MUST BE SUBMITTED AND APPROVED PRIOR TO FINAL

WATER HEATER RATING				
# OF BATHROOMS	LESS THAN 2	LESS THAN 3	LESS THAN 4	LESS THAN 5
# OF BATHROOMS	1	2	3	4
FIRST HOUR RATING IN GALLONS	42	54	67	80

NOTICE TO BUILDER

IT IS THE INTENT OF THIS DESIGNER THAT THESE PLANS ARE ACCURATE AND ARE CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL BUILDER TO CONSTRUCT THIS PROJECT. IN THE EVENT THAT SOMETHING IS UNCLEAR OR NEEDS CLARIFICATION, STOP AND CALL THE DESIGNER LISTED ON THESE SHEETS. IT IS THE RESPONSIBILITY OF THE LICENSED PROFESSIONAL THAT IS CONSTRUCTING THIS PROJECT TO FULLY REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION BEGINS AND ANY AND ALL CORRECTIONS, IF NEEDED TO BE MADE BEFORE ANY WORK BEGINS.

LANDING NOTE

A. FLOOR AND LANDINGS SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF A DOORWAY. FLOOR LEVEL CHANGES GREATER THAN .75" SHALL BE BEVELLED WITH A SLOPE NOT TO EXCEED 2:1 (50% SLOPE)

B. LANDINGS AT EXTERIOR DOORWAYS CAN HAVE A MAXIMUM .75" CHANGE IN ELEVATION MEASURED FROM THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING

C. THRESHOLD HEIGHT SHALL NOT BE MORE THAN .75" AT SLUING DOORS SERVING DRILLING CHITS, AND NOT MORE THAN .50" FOR ALL OTHER DOORS.

D. THRESHOLDS SHALL BE LIMITED TO 7.75" IN HEIGHT PROVIDED THE DOOR IS AN EXTERIOR DOOR AND DOES NOT SWING OVER THE LANDING. (CCC 1008.6.1)

FLOOR PLAN

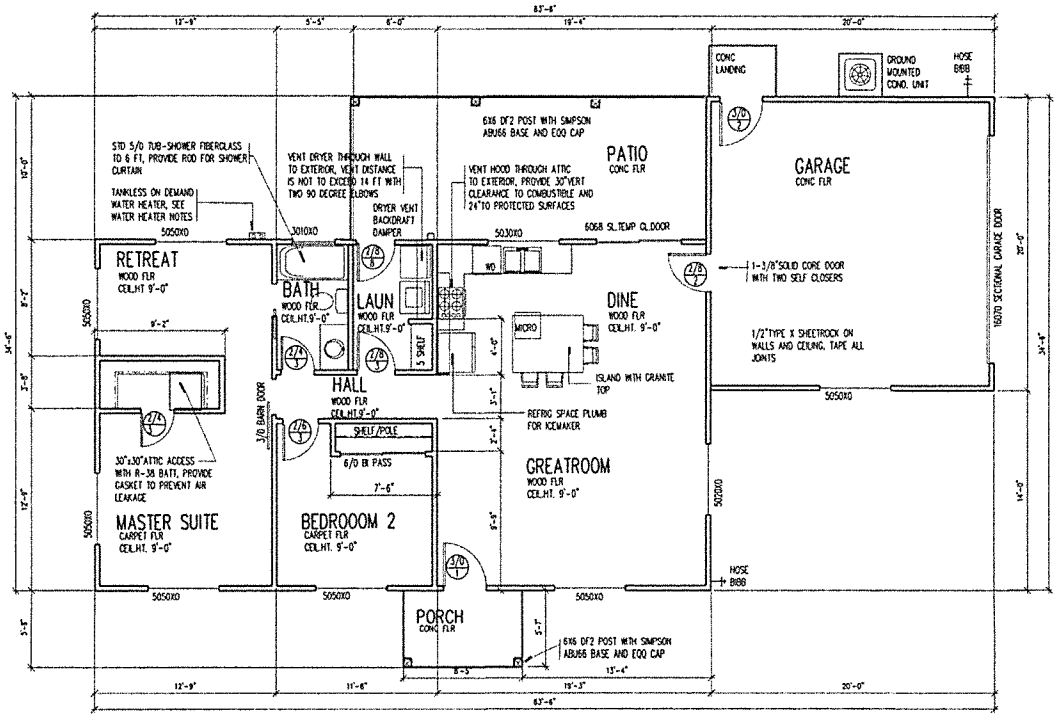
SCALE: 1/4" = 1'-0"

RESIDENCE FOOTAGE = 1008 SF.

GARAGE FOOTAGE = 413 SF.

PATIO FOOTAGE = 252 SF.

PORCH FOOTAGE = 45 SF.



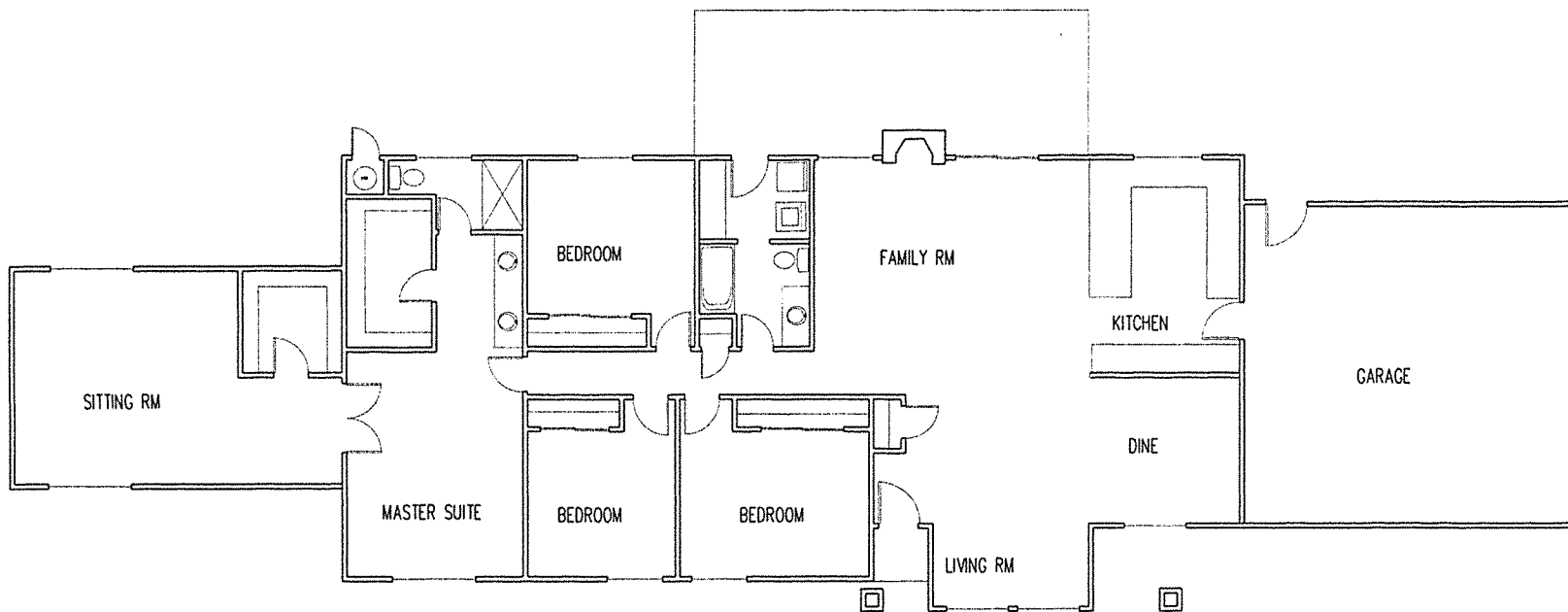
REVISIONS	BY

PROJECT: RESIDENCE FLOOR PLAN

john ford drafting and design
 635 BAYVIEW AVENUE, STE 202, CLOVIS, CA 93612
 PHONE (559) 325-4375 EMAIL JFD@JFDALLO.COM

G.J. Gardner. HOMES

FILE: DWG: DATE: SCALE: AS NOTED SHEET NO: A2



EXISTING FLOOR PLAN
 SCALE: 1/4"=1'-0"
 RESIDENCE FOOTAGE = 2486 SF.

REVISIONS	BY

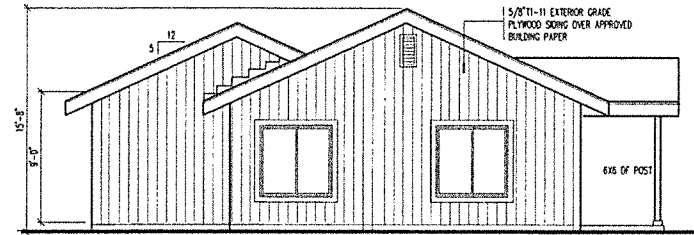
A1 MEMBER OF AMERICAN INSTITUTE OF BUILDING DESIGN
 BD MEMBER OF CALIFORNIA INSTITUTE OF BUILDING DESIGN
 CA11 MEMBER OF CALIFORNIA INSTITUTE OF BUILDING DESIGN
 BD MEMBER OF CALIFORNIA INSTITUTE OF BUILDING DESIGN
 RESIDENTIAL DESIGN
 CAD DRAWING
 TITLE 24 CALCULATIONS
 REMODELS AND ADDITIONS
 TENANT IMPROVEMENTS

PROJECT: ZACK DRA
 DRAWING: EXISTING FLOOR PLAN

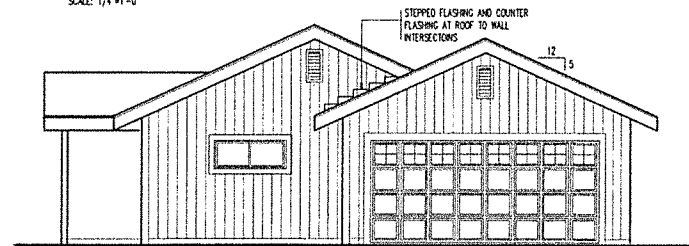
john ford drafting and design
 certified professional building designer american institute of building design
 635 BARSTOW AVENUE, STE 20, CLOVIS, CA 93612
 PHONE (559)323-4375 EMAIL JFDRAW@AOL.COM

FILE
DRAWN
DATE
SCALE
AS SHOWN
SHEET NO

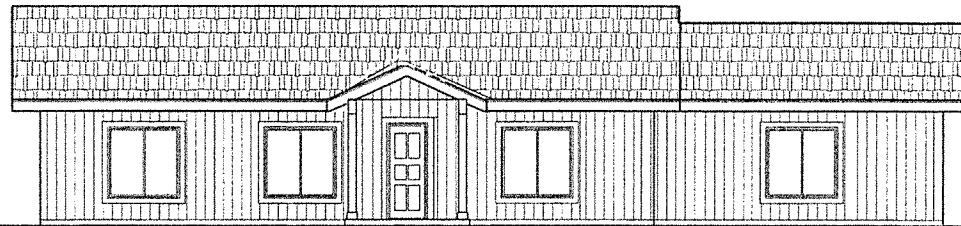
A3



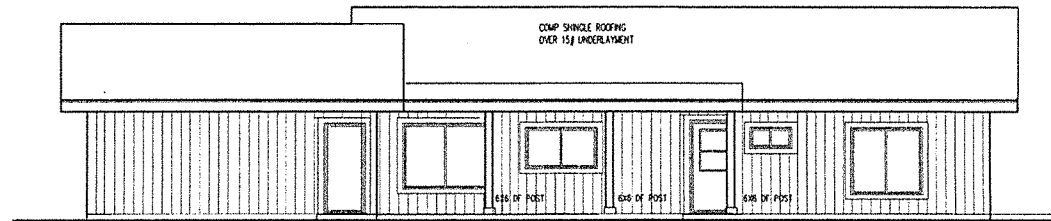
EAST ELEVATION
SCALE: 1/4"=1'-0"



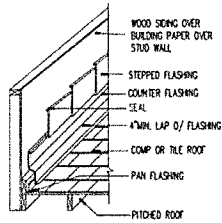
WEST ELEVATION
SCALE: 1/4"=1'-0"



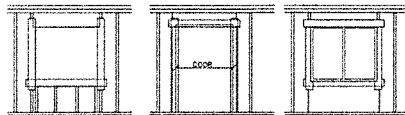
NORTH ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



FLASHING AND COUNTERFLASHING DETAIL
SCALE: 1/2"=1'-0"



WINDOW FLASHING DETAIL
STEP 1 - PRIOR TO INSTALLING PLYWOOD, ATTACH 6" WIDE FORTIFIBER FLASHING ALONG THE BOTTOM OF WINDOW OPENING LONG ENOUGH TO EXTEND PAST VERTICAL PLACES OF FLASHING TO BE ON EACH SIDE.
STEP 2 - ATTACH 6" WIDE FORTIFIBER FLASHING ALONG EACH SIDE FLUSH WITH OPENING AND LONG ENOUGH TO EXTEND PAST TOP AND BOTTOM FLASHING.
STEP 3 - AFTER WINDOW IS IN POSITION WITH FLASHING OVER FLASHING STRIP, ATTACH 3" WIDE SHORTJAKE FLASHING STRIP OVER TOP OF TOP WINDOW FLANGE. FLASHING MUST EXTEND BEYOND EACH SIDE OF FORTIFIBER FLASHING STRIP.
STEP 4 - INSTALL UNDER BOTTOM OF SHEET OF FLASHING, FROM BOTTOM OF WINDOW TO BOTTOM OF PLATE, A FULL SHEET OF FLASHING WIDE ENOUGH TO COVER EACH OUTER SIDE OF FLASHING STRIP.

EXTERIOR DOOR FLASHING DETAIL
STEP 1 - PRIOR TO INSTALLING PLYWOOD, ATTACH 6" WIDE FORTIFIBER FLASHING 2" INTO OPENING ON EACH SIDE OF DOOR FROM FINISH FLOOR TO A MINIMUM OF 8" ABOVE TOP OF OPENING.
STEP 2 - ATTACH FLASHING ON TOP 2" INTO OPENING AND LONG ENOUGH TO EXTEND PAST FLASHING ON EACH SIDE.
STEP 3 - INSTALL EXTERIOR DOOR JAMB SO THAT FLASHING IS BETWEEN PLYWOOD AND EXTERIOR TRIM.

DOOR AND WINDOW FLASHING

REVISIONS	BY

PROJECT: ZACK RESIDENCE
DESCRIPTION: ELEVATIONS

john ford drafting and design
architectural drafting and design
633 BURBANK AVENUE, STE 201, CLONIS, CA 93812
PHONE: (569)333-4375 EMAIL: JFDRAWING@AOL.COM

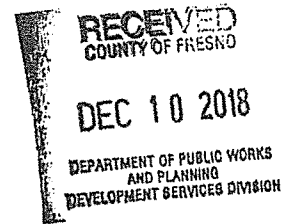
G.J.Gardner. HOMES

FILE
DRAWN
DATE
SCALE
AS NOTED

SHEET NO

A4

David Oliver
4632 N. Garfield Ave.
Fresno, CA 93723



December 9, 2018

Attention: Jeremy Shaw
Planner Department of Public Works and Planning
2220 Tulare Street, Sixth Floor
Fresno, California 93721-2104

This is to inform you that I am opposed to the project at 7317 W Fairmont, the second residence on 2 acre parcel.

A handwritten signature in cursive script, appearing to read "David Oliver".

David Oliver

Phone number: Cell:559-301-1263 or Home: 559-275-0981

County of Fresno

Internal Services Department (ISD) - IT Services

Service Desk 600-5900 (Help Desk)

CAUTION!!!

This email has been flagged as containing one or more attachments from an outside source.
Please check the senders email address carefully.
If you were not expecting to receive an email with attachments, please DO NOT open the file.
Forward the email to SPAM "SPAM@co.fresno.ca.us" and delete it.

Please see attached letter.

--

David Oliver
westcoastchemical@gmail.com

--

David Oliver
westcoastchemical@gmail.com

David Oliver

FAX TRANSMITTAL

DATE:	12/9/2018		
TO:	Attn: Jeremy Shaw Department of Public Works and Planning	FROM:	David Oliver
FAX:	559-600-4200	FAX:	559-275-0122
TEL:	559-600-4207	TEL:	559-275-0981 or Cell 559-301-1263
CC:		PAGES:	2

COMMENTS: ATTACHED IS LETTER IN RESPONSE TO NOTICE OF APPLICATION

Gary F. Kimber
7202 W Rialto Ave
Fresno CA 93723

Dec. 10 2018

RECEIVED
DEC 17 2018

FRESNO COUNTY
DEPT. OF
PUBLIC WORKS & PLANNING

Jeremy Shaw,
Planner at Fresno County

Sir, I am protesting the possible
~~Plan~~ building of a second residence
on property at 7317 W. Fairmont Ave
Fresno Ca 93723.

Our CCRs in this subdivision prohibits
second residence on these properties
also it will increase traffic in
our subdivision and lower property
values. Also we must rely on
private wells for our water and
the water level ~~has~~ lowered consisten-
ly, to the lowest level one can
draw water without drilling a
deeper well. This is expensive!

Thanks for considering
my opinion.

Gary F Kimber

December 12, 2018

County of Fresno
Department of Public Works and Planning
Attn: Jeremy Shaw, Planner
Development Services and Capital Projects Division
2220 Tulare Street, Sixth Floor
Fresno, Ca. 93721

RECEIVED
COUNTY OF FRESNO
DEC 12 2018
DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

Dear Mr. Shaw,

I am writing in regards to the property located at 7317 West Fairmont Ave. Fresno, Ca 93723, APN number 512-060-14. I wish to oppose the proposed second residence.

My name is Diane Anderson. My address is 7378 W. Rialto Ave. , Fresno, CA 93723. My cell phone number is 559 259-6895.

I am happy to discuss this matter with you at your convenience.

Sincerely,

Diane Anderson

Diane Anderson

RECEIVED
COUNTY OF FRESNO

DEC 13 2018

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

12/13/18

To: Jeremy Shaw, Planner
Development Services and Capital Projects Division

Re: 7317 West Fairmont Avenue, Fresno, CA 93723 – APN 512-060-14

We are commenting on the proposed building of a permanent second residence on a 2.0 acre parcel in the R-R Zone District.

We are OPPOSED for the following reasons:

- 1) We feel it is a “slippery slope”, and if it is allowed once, how can you then deny any/all the neighbors who would also like to add an additional residence.
- 2) We are on well water, and the additional density could have an effect on current water levels.
- 3) Our original CC&R’s do not allow for any second residences on the property.
- 4) It will change the nature of the rural designation – which is why we chose to live in this neighborhood.

Thank you for your consideration.

Sincerely,

James B Scarbrough

Gina Edmonds Rodgers

James B Scarbrough III

Gina Edmonds Rodgers

7226 W. Rialto Ave

7226 W. Rialto Ave

Fresno, CA 93723

Fresno, CA 93723

559-275-8565

559-974-7057

j.scarbrough@yahoo.com

ginaerodgers@gmail.com

RECEIVED
COUNTY OF FRESNO

DEC 13 2018

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

From: Jacque Pronovost
To: Shaw, Jeremy
Subject: OPPOSE APPLICATION-APN: 512-060-14
Date: Thursday, December 13, 2018 11:48:49 AM

My husband Gary Pronovost & I, Jacque Pronovost absolutely OPPOSE the application made by resident living at 7314 West Fairmont, Fresno. We do NOT want them to build a second residence on their property. It's also against our CC&R's.

Please reply to confirm you received this. We live at 7199 W. Rialto Avenue, Fresno, 93723. You can also reach my cell: 974-3287.

Sent from my iPhone

RECEIVED
COUNTY OF FRESNO

DEC 14 2018

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

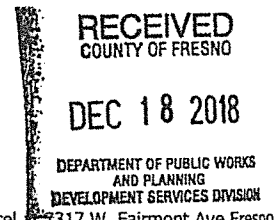
From: Angela Pettit
To: Shaw, Jeremy
Cc: "Anthony & Mary Jo Avila"; "Anthony Avila Jr."; "Anthony McCov"; "anthonya170"; "Bob Enos"; "creature_teacher"; "Dan Spencer"; "Dave Mendrin"; "Debbie & Dave Mendrin"; demery1077@unwiredhb.com; "Diane & Brad Anderson"; "Dick Powell"; "Fran & Don Bergmann"; "Gary Kimber"; "Gary Pronovost"; "Gay Witrado"; "ginaerodgers"; "Gwen & Hugo Rodriguez"; "Grant & Paula Seals"; "Helen Roberson"; "j.scarbrough"; jere@edsel.us; "Jerry & Shelley Wong"; "Jonni Pettit"; "Judy & Domenico Santeufemua"; "karen Ferdinand"; "Larry & Kathy Chicoine"; "Maria Brouwer"; "Marian Shubin"; "Mike Pronovost"; nicoleoliver@aol.com; "Olivers"; "Pat Spencer"; "Steve & Stacia Bolderoff"; "Tim Weaver"
Subject: 2nd residence on Fairmont AVE
Date: Friday, December 14, 2018 8:19:57 AM

Someone on Fairmont Ave. has applied to build a second residence on their property. I am opposed to this application for the following reasons:

1. It's against our CC&R's to build a second residence on our property.
2. If this gets approved, it sets a precedence & many more neighbors will be doing it.
3. It will lower our property value.
4. Added traffic on our streets.
5. Density
6. Added use of our Well Water

Please forbid this application for a second residence.

Angela Pettit
7435 W. Rialto
Fresno, CA



From: Bd Slev
To: Shaw, Jeremy
Subject: Application #4564, allow a permanent second residence on a 2.0 acre parcel at 7317 W. Fairmont Ave Fresno Ca.
Date: Monday, December 17, 2018 10:14:23 PM

Dear Sirs:

Re: Proposed permanent second residence on a 2.0 acre parcel at 7317 W. Fairmont Ave, Fresno, Ca.

I am currently apposed to having a 2nd residence built on our Rural Residential two-acre minimum parcel size.

In 1990 we were looking for a lot to have our home built for us and our children. We bought in this area because of the lot configurations, the spacing of the homes, and the CC&R's. We did not want to be on a crowded city parcel with our neighbors 5' away. Our neighbor is a quite and peaceful neighborhood. We are able to walk with our grand-children down the street without being concerned about many vehicles making it dangerous for our walk. When I look at the lots, I can see a second house put on each site, and If you allow one family to build a second residence on their property we could end up with double the homes, people, and traffic.

This application to change the neighborhood would not be needed if they took out a permit to add-on to the existing house.

Thank You,

Bill Slevkoff

7216 W. Fairmont Ave Fresno, Ca

559-284-9041

7257 W. Rialto Ave.
Fresno CA 93723
December 16, 2018

County of Fresno
Department of Public Works and Planning
Steven E. White, Director
2220 Tulare St.
Fresno CA 93721
ATTN: Jeremy Shaw, planner.

RECEIVED
DEC 19 2018

FRESNO COUNTY
DEPT. OF
PUBLIC WORKS & PLANNING

Dear sirs:

Regarding Director Review and Approval Application No. 4564:

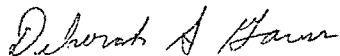
The proposed zoning variance violates the spirit, if not the letter, of the Covenants, Conditions & Restrictions (C, C & R's) attached to the title deed to every property within West Shaw Acres.

The variance, if approved, would be a precedent-setting standard that would deteriorate our neighborhood's quality of life and property values for years to come.

Population density, as a result, would increase, leading to heavier traffic on our neighborhood streets, and the traffic arteries into this area which are already strained. The resulting higher population density would lead to greater environmental pollution, and a general decline in the quality of life in our neighborhood. It would also adversely affect the values of the existing properties in the neighborhood.

Water draw on our residential-level aquifer would increase, possibly leading to many of our existing wells going dry. This would impose a financial hardship on those of us who are living on a fixed income, and can't afford to extend our wells to a deeper level.

Given these realistic projections, we must resolutely oppose the approval of the construction zoning variance requested at 7317 W. Fairmont Ave.



Jere and Deborah Gauss
7257 W. Rialto Ave.
Fresno CA 93723
559-907-3411

RECEIVED
COUNTY OF FRESNO

DEC 17 2018

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

From: David Oliver
To: Shaw, Jeremy
Subject: Re: Letter opposing Application No. 4564 regarding second residence on 2.0 acre parcel at 7317 West Fairmont Ave., Fresno, CA 93723
Date: Sunday, December 16, 2018 1:27:31 PM
Attachments: [image002.png](#)
[image002.png](#)

Please be advised following points regarding disapproval second residence.

- 1 .CCR Restrictions
- 2 Setting a bad precedence for future applications
- 3 Adverse effects on property value
- 4 Increase traffic issues
- 5 Density impact
- 6 Increased consumption of precious well water.

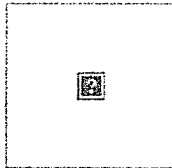
Regards,
David Oliver
4632 N Garfield Fresno Ca 93723

On Wed, Dec 12, 2018 at 11:03 AM Shaw, Jeremy <jshaw@fresnocountyca.gov> wrote:

Mr. Oliver,

Thank you for the follow up email, your letter has been received. Did you have any specific concerns with or questions about the proposal for the second residence?

Regards,



Jeremy Shaw | Planner
Department of Public Works and Planning |
Development Services and Capital Projects Division
2220 Tulare St. 6th Floor Fresno, CA 93721
Main Office: (559) 600-4230 Direct: (559) 600-4207

[Your input matters! Customer Service Survey](#)

From: David Oliver <westcoastchemical@gmail.com>
Sent: Wednesday, December 12, 2018 10:55 AM
To: Shaw, Jeremy <jshaw@fresnocountyca.gov>
Subject: Letter opposing Application No. 4564 regarding second residence on 2.0 acre parcel at 7317 West Fairmont Ave., Fresno, CA 93723

RECEIVED
COUNTY OF FRESNO

DEC 17 2018

DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION

From: [David Efseaff](#)
To: [Shaw, Jeremy](#)
Subject: RE: permanent second residence application on Fairmont Ave
Date: Friday, December 14, 2018 10:13:22 PM

Jeremy Shaw, Planner at Fresno County, by December 20.

Email address: jshaw@co.fresno.ca.us

We received a Notice of Application from the County of Fresno Public Works & Planning Dept. stating that someone in our neighborhood (Fairmont Ave.) has applied to the County to approve the building of a permanent second residence on their 2.0-acre parcel on their property.

We are opposed to this application for the following reasons:

1. Our area has had Restricted Zoning (CC & R's?) since it was developed years ago. It is against our area CC&R's to build a second residence on property in our area. This is a low population density neighborhood. We prefer it remain that way.
2. If this gets approved, it sets a precedent and potentially more area residents may be requesting approval for second residences. This occurred at our previous neighborhood with deleterious effects on crime, trespassing, and quality of the second residences. Trailers were moved in and never removed upon the passing of the person the second residence was intended for. They became rentals.
3. This may adversely affect the property values of homes in the area.
4. Added traffic on our streets endangers playing children, bike riders, pets, etc.
5. Most of us have chosen this neighborhood because it is semi-rural, with less light and noise pollution. We don't want more residences that may create more such pollution.
6. Added use of our Well Water table. Our older private wells are not as deeply dug. We are concerned about any new construction or development in our neighborhood that puts in deeper wells that would dry up our delicious un-chlorinated water.

Please deny this application for a second residence.

Dave and Andrea Efseaff

Maria Brower
7171 W Rialto Ave
Fresno, CA 93723
559-277-1621

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DEC 17 2018

FRESNO COUNTY
DEPT. OF
PUBLIC WORKS & PLANNING

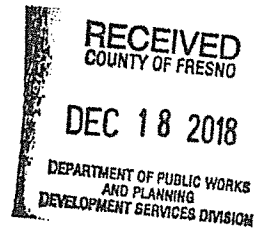
Dear Jeremy Shaw,

I am writing concerning the notice of application for a permanent second residence on 7317 West Fairmont - Application # 4564.

I am very much against allowing a second residence to be built in our neighborhood for a couple of reasons.

1. Rural Residential CCORs state we are only allowed one residence on our 2 acres.
2. We don't want any future "rentals" or subdividing of our neighborhood
3. Other neighbors - one that I know of - also requested this and was turned down. How do you turn me down and OK another?
4. Don't open this door.

Maria Brower
December 12, 2018



December 12, 2018

County of Fresno
Department of Public Works and Planning
Attn: Jeremy Shaw, Planner
Development Services and Capital Projects Division
2220 Tulare Street, Sixth Floor
Fresno, Ca. 93721

Dear Mr. Shaw,

I am writing in regards to the property located at 7317 West Fairmont Ave. Fresno, Ca 93723, APN number 512-060-14. I wish to oppose the proposed second residence. The CC&Rs do not permit a second dwelling. We already have a traffic problem in our area.. Property prices will be affected when comparables are used for a one acre lot vs. a two acre lot. Once property values go down, others will want to recoup their investment by adding a second hose also.

My name is Diane Anderson. My address is 7378 W. Rialto Ave. , Fresno, CA 93723. My cell phone number is 559 259-6895.

I am happy to discuss this matter with you at your convenience.

Sincerely,

Diane Anderson