



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 2 December 6, 2018

SUBJECT: Initial Study Application No. 7347 and Classified Conditional Use Permit Application No. 3588

Allow a personal/recreational vehicle storage facility and a caretaker's residence with office on a 38.03-acre parcel in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the northwest corner of E. Copper Avenue and Auberry Road approximately 2,800 feet east of the nearest city limits of the City of Fresno (Sup. Dist. 5) (APN 580-040-09).

OWNER: WESCLO, LP, a California Limited Partnership
APPLICANT: Derrel's Mini-Storage, Inc.

STAFF CONTACT: Ejaz Ahmad, Planner
(559) 600-4204

Marianne Mollring, Senior Planner
(559) 600-4569

RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7347; and
- Approve Classified Conditional Use Permit (CUP) No. 3588 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Mitigation Monitoring, Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plan/Floor Plans/Elevations
6. Applicant’s Submitted Operational Statement
7. Summary of Initial Study (IS) Application No. 7347
8. Draft Mitigated Negative Declaration

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Agriculture	No change
Zoning	AL-20 (Limited Agricultural, 20-acre minimum parcel size)	No change
Parcel Size	38.03 acres	No change
Project Site	Undeveloped	A personal/recreational vehicle storage facility and a caretaker’s residence with office on a 38.03-acre parcel
Structural Improvements	N/A	<ul style="list-style-type: none"> • 172,825 square-foot storage building (Phase I) • 120,050 square-foot storage building (Phase II) • 97,225 square-foot storage building (Phase III) • 132,405 square-foot RV storage (open) • 197,760 square-foot RV storage (open carport) • 80,210 square-foot RV storage (closed carport) • 1,327 square-foot caretaker’s residence with 391 square-foot garage • 804 square-foot office • Six-foot-high concrete block fence

Criteria	Existing	Proposed
Nearest Residence	N/A	N/A
Surrounding Development	Fallow land, natatorium, produce stand	No change
Operational Features	N/A	<ul style="list-style-type: none"> • The proposed facility would allow the public to store personal property and recreational vehicles by lease agreements. • Personal and light hauling vehicles will be used for the transportation of personal property to storage units. • Recreational vehicles will be either self-propelled or towed to parking spaces. • On-site resident managers residing in the caretaker's residence will operate the office and control the facility entrance during business hours.
Customers/Visitors	N/A	10 (Average per day) 30 (Maximum per day)
Employees	N/A	None (currently) 2 (future)
Traffic Trips	N/A	<p>Per the Traffic Impact Study prepared for the project:</p> <p>Phase 1 Project Trip Generation</p> <ul style="list-style-type: none"> • 17 A.M. peak-hour round trips per day entering and exiting the site • 19 P.M. peak-hour round trips per day entering and exiting the site <p>Full Project Trip Generation (All three Phases)</p> <ul style="list-style-type: none"> • 29 A.M. peak-hour round trips per day entering and exiting the site • 33 P.M. peak-hour round trips per day entering and exiting the site
Lighting	N/A	Hooded motion-activated outdoor security lighting

Criteria	Existing	Proposed
Hours of Operation	N/A	7:00 a.m. to 7:00 p.m.; seven days per week; 12 months per year

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

An Initial Study (IS) was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the IS, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the Initial Study is below and included as Exhibit 7.

Notice of Intent to Adopt a Mitigated Negative Declaration publication date: November 2, 2018

PUBLIC NOTICE:

Notices were sent to 22 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

A Classified Conditional Use Permit (CUP) may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on a Classified CUP application is final, unless appealed to the Board of Supervisors within 15 days of the Commission's action.

BACKGROUND INFORMATION:

The Fresno County Board of Supervisors approved Amendment to Text (AT) No. 370 on September 30, 2014, amending Sections 803.13 and 817.3 of the Fresno County Zoning Ordinance by adding Personal/Recreational Vehicle Storage in the AL (Limited Agriculture) Zone District, and permitted the use by Conditional Use Permit for those unincorporated areas of Fresno County located in an area within one half-mile of the Sphere of Influence (SOI) of the City of Clovis. The subject proposal is within one half-mile of the City of Clovis SOI and would construct a personal/recreational vehicle storage facility on a 38.03-acre parcel.

The project will be constructed in three phases and includes 408,250 square feet of storage buildings; 412,995 square feet for RV storage, which includes open RV, open carport and enclosed carports; and a 2,522 square-foot caretaker's residence/garage/office. Related improvements include landscaping along the Copper Avenue and Auberry Road frontage of the property and a gated site entry at Copper Avenue.

The public will access the site during the business operating hours (7 am to 7 pm). Two on-site resident managers residing in the caretaker's residence will operate the office and control the entrance to the facility during business hours. The public will utilize personal and light hauling vehicles to transport personal properties to storage units. Recreational vehicles will be either self-propelled or towed to parking spaces. The facility will be provided with 24-hour on-site security.

Finding 1: *That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood*

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	Front: 35 feet Side: 20 feet Rear: 20 feet	Front (south property line): 50 feet Street side (east property line): 50 feet; Side (west property line): Zero feet; Rear (east property line): Zero feet	Yes. Per Zoning Ordinance Section 817.3 - L
Parking	One parking space for every two permanent employees, each salesperson, and each company vehicle	<ul style="list-style-type: none"> • Five parking spaces • Two parking spaces within garage for caretaker's residence 	Yes
Lot Coverage	No requirement	No requirement	N/A
Separation Between Buildings	Six-foot minimum	10 feet	Yes
Wall Requirements	No requirement	None	N/A
Septic Replacement Area	100 percent for existing system	Individual sewage disposal system	Yes
Water Well Separation	Building sewer/septic tank: 50 feet; disposal field: 100 feet; seepage pit/cesspool: 150 feet	Building sewer/septic tank: 150 feet to the new well	Yes

Reviewing Agency/Department Comments Regarding Site Adequacy:

Zoning Section of the Fresno County Department of Public Works and Planning: The proposed improvements meet the setback requirements of the AL-20 Zone District. Completion of a Site Plan Review is recommended as a Condition of Approval for the project.

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

Analysis:

Staff review of the Site Plan demonstrates that the proposed improvements satisfy the minimum building setback requirements of the M-1 Zone District pursuant to the County Ordinance Section 817.3-L. The proposed improvements will set back approximately 50 feet from the south property line (no minimum required), 50 feet from the east property line (no minimum required), zero feet from the west property line (no minimum required), and zero feet from the north property line (no minimum required).

Concerning off-street parking for the proposal, the Zoning Ordinance requires parking standards of the AL Zone District, which is one parking space for every two permanent employees, each sales person and each company vehicle. Based on the Operational Statement letter provided by the Applicant, the project requires two parking spaces. However, the project design (Exhibit 5) provides for five on-site parking spaces and two parking spaces in the garage for the caretaker's residence, which meets the requirement.

Based on the above information, staff believes the project site is adequate in size and shape to accommodate the proposed use.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 1 can be made.

Finding 2: That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use

		Existing Conditions	Proposed Operation
Private Road	No	N/A	N/A
Public Road Frontage	Yes	Copper Avenue; good condition Auberry Road; good condition	No change
Direct Access to Public Road	Yes	Copper Avenue; good condition	No change
Road ADT (Average Daily Traffic)		5000 (Copper Avenue) 5400 (Auberry Road)	No change
Road Classification		Super Arterial (Copper Avenue) Arterial (Auberry Road)	No change

		Existing Conditions	Proposed Operation
Road Width		<ul style="list-style-type: none"> 30-foot right-of-way north of section line (Copper Avenue) 30-foot right-of-way west of center line (Auberry Road) 	<p>An additional 48 feet of right-of-way required for Copper Avenue (the ultimate right-of-way width north of section line is 78 feet)</p> <p>An additional 23 feet of right-of-way required for Auberry Road (the ultimate right-of-way width west of center line is 53 feet)</p>
Road Surface		<p>Asphalt concrete; pavement width 30.5 feet (Copper Avenue)</p> <p>Asphalt concrete; pavement width 32 feet (Auberry Road)</p>	No change
Traffic Trips		N/A	<p>Per the Traffic Impact Study prepared for the project:</p> <p>Phase 1 Project Trip Generation</p> <ul style="list-style-type: none"> 17 A.M. peak-hour round trips per day entering and exiting the site 19 P.M. peak-hour round trips per day entering and exiting the site <p>Full Project Trip Generation (all three Phases)</p> <ul style="list-style-type: none"> 29 A.M. peak-hour round trips per day entering and exiting the site 33 P.M. peak-hour round trips per day entering and exiting the site
Traffic Impact Study (TIS) Prepared	Yes	N/A	<p>Per the Design Division of the Fresno County Department of Public Works and Planning review of the TIS prepared for the project by Peters Engineering Group, and dated June 1, 2018, the project will pay its equitable share percentage for future signalization and widening of streets near the project site.</p>

	Existing Conditions	Proposed Operation
Road Improvements Required	<ul style="list-style-type: none"> • Copper Avenue; good condition • Auberry Road; good condition 	No improvements required

Reviewing Agency/Department Comments:

Design Division of the Fresno County Department of Public Works and Planning: The intersections of Copper and Willow Avenues, Copper Avenue and Auberry Road and Copper and Minnewawa Avenues shall require widening and signalization to operate at acceptable levels of service in the future. The project shall pay its equitable share percentage for future signalization and widening of said streets. This requirement has been included as a Mitigation Measure in Exhibit 1 of this report.

Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning: A “worm” left-turn lane into the site shall be provided to preclude outbound site traffic to a right-only movement. The Applicant shall sign a covenant with the County agreeing to this future left-turn restriction out of the site. The site entrance gate and queueing area shall allow traffic that cannot access the site to be able to turn around without encroaching into the road right-of-way. The project shall dedicate additional right-of-way north of Copper Avenue section line and west of Auberry Road centerline. These requirements have been included as Conditions of Approval.

City of Clovis, Traffic Engineering Department: No concerns with the proposal.

No other comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

Analysis:

The project site fronts Copper Avenue and Auberry Road. Copper Avenue is designated as a Super Arterial and Auberry Road is designated as an Arterial in the County General Plan. Both roadways are in good condition and maintained by the County. Access to the site will be from Copper Avenue.

According to the Traffic Impact Study prepared for the project, Phase 1 development will generate 17 A.M. peak-hour round trips per day entering and exiting the site and 19 P.M. peak-hour round trips per day entering and exiting the site. At full project development (all three phases), the proposed facility will generate 29 A.M. peak-hour round trips per day entering and exiting the site and 33 P.M. peak-hour round trips per day entering and exiting the site.

The Traffic Impact Study (TIS) prepared for the project and dated June 1, 2018 evaluated the project impact on County roadways. The TIS indicated that with the construction of Phase 1 of the Project, the study intersections (Willow and Copper Avenues) would continue to operate with delays and levels of service very similar to the existing conditions. Therefore, Phase 1 will not cause a significant traffic impact. However, after development of all three phases of the Project, more than 5.0 seconds of additional delay would be added to the intersection of Willow and Copper Avenues during the a.m. peak hour, which is a significant impact. The TIS also indicated that after full development of the Project and other known pending and approved

projects in the area, Willow Avenue/Copper Avenue and Minnewawa Avenue/Copper Avenue intersections would operate below the target LOS (Level of Service) and would require signalization and road widening.

The Design Division of the Fresno County Department of Public Works and Planning concurred with the TIS findings and stated that to mitigate the cumulative impact of the project on transportation in the project area, the intersections of Copper and Willow Avenues, Copper Avenue and Auberry Road and Copper and Minnewawa Avenues shall require widening and signalization to operate at acceptable levels of service in the future, and that the project shall pay its equitable share percentage for future signalization and widening of the streets. The City of Clovis also reviewed the TIS and concurred with the Design Division on street widening, signalization, and the project paying its fair share. The City of Clovis expressed no concerns with the TIS, and the City of Fresno stated that the project would have no impact on City traffic.

Based on the above information and with adherence to Mitigation Measures and recommended Conditions of Approval, staff believes that Copper Avenue and Auberry Road at the project site can accommodate the proposed use.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 2 can be made

Finding 3: *That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof*

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	39.09 acres	Undeveloped	AE-20	None
South	4.65 acres	Undeveloped	AE-20	None
	14.3 acres	Undeveloped	AE-20	None
East	191.6 acres	Undeveloped	AE-20	None
West	170.5 acres	Natatorium	AE-20	None

Reviewing Agency/Department Comments:

The Fresno County Agricultural Commissioner’s Office: Prior to occupancy, the project proponent shall enter into an agreement with Fresno County incorporating the provisions of the “Right-to-Farm” Notice (Ordinance Code Section 17.40.100) for acknowledgement of the inconveniencies and discomfort associated with normal farm activities in the surroundings of the proposed development.

Water and Natural Resources Division of the Fresno County Department of Public Works and Planning. A well yield test shall be required prior to the issuance of building permits.

The aforementioned requirements have been included as Conditions of Approval.

Fresno Metropolitan Flood Control District (FMFCD): FMFCD shall review drainage and grading plans prior to approval by the County. On-site retention of storm water run-off is not required, provided the developer can verify to the County that run-off can be safely conveyed to the Master Plan inlets. A minimum 15-foot-wide storm drainage easement shall be required whenever storm drainage facilities are located on private property.

Fresno County Department of Public Health, Environmental Health Division: Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. All abandoned water wells and septic systems shall be properly destroyed by an appropriately-licensed contractor. Prior to destruction of agricultural wells, a sample of the upper most fluid in the well column shall be checked for lubricating oil and if lubricating oil is found in the well, the oil shall be removed from the well prior to placement of fill material for destruction. The "oily water" removed from the well shall be handled in accordance with federal, state and local government requirements.

Development Engineering Section of the Fresno County Department of Public Works and Planning: An Engineered Grading and Drainage Plan shall be provided to show how additional storm water run-off generated by the proposal will be handled without adversely affecting adjacent properties. A Grading Permit shall be provided for any grading proposed with this application. On-site turnarounds shall be provided for vehicles leaving the site to enter the roads (Copper Avenue and Auberry Road) in a forward motion. Prior to any work done within the County right-of-way, an encroachment permit shall be obtained from the Road Maintenance and Operations Division.

Site Plan Review Section of the Fresno County Department of Public Works and Planning: All parking spaces for the physically disabled shall be placed adjacent to facility access ramps. A proposed improvement area of 500 square feet or more shall require submittal of Landscape and Irrigation plans per the Governor's Drought Executive Order of 2015. The Landscape and irrigation plans shall be submitted to the Department of Public Works and Planning, Site Plan Review (SPR) unit for review and approval prior to the issuance of Building Permits. All proposed signs shall be submitted to the Department of Public Works and Planning permits counter to verify compliance with the Zoning Ordinance.

Fresno County Fire Protection District: The project shall comply with the California Code of Regulations Title 24 – Fire Code and receive approval of County-approved site plans by the Fire District prior to issuance of building permits by the County. The property shall annex to Community Facilities District (CFD) No. 2010-01 of the Fresno County Fire Protection District.

San Joaquin Valley Air Pollution Control District (Air District): The Applicant shall contact the District's Small Business Assistance Office to identify Air District rules or regulations that may apply to the project, or to obtain information about District permit requirements.

Building and Safety Section of the Fresno County Department of Public Works and Planning: Construction plans, permits and inspections shall be required for all proposed improvements on the property. Building and/or facilities providing a Public Use must comply with the accessibility requirements of Chapter 11B of the California Building Code.

The aforementioned requirements have been included as Project Notes.

State Water Resources Control Board, Division of Drinking Water; California Department of Fish and Wildlife; U.S. Fish and Wildlife Service; Local Agency Formation Commission; Santa Rosa Rancheria Tachi Yokut Tribe; Picayune Rancheria of the Chukchansi Indians; Dumna Wo Wah Tribal Government; and Table Mountain Rancheria: No concerns with the proposal.

Analysis:

The project entails establishment of a personal/recreational vehicle storage facility with office and a caretaker residence on a 38.03-acre parcel. The project will be constructed in three phases and includes 408,250 square feet of storage buildings; 412,995 square feet for RV storage, which includes open RV, open carport and enclosed carports; and a 2,522 square-foot caretaker's residence/garage/office. Related improvements include paved circulation areas, landscaping along Copper Avenue and Auberry Road frontage of the property, and a gated access drive into the property off Copper Avenue.

The surrounding land uses include fallow land and a natatorium on the westerly parcel. The adjacent southeasterly parcel at the corner of Copper Avenue and Auberry Road contains a produce stand. The proposed storage buildings and caretaker's residence will range from 8.5 feet to 16.5 feet in height so as not to exceed the 35-foot maximum building height allowed in the AL District. The building height is compatible with other structures near the proposal. With low building height and the proposed landscaping (50 feet in depth) along the property frontages, the project's visual effects would be less than significant.

An Initial Study prepared for the project has identified potential impacts to aesthetics, cultural resources and transportation/traffic. To mitigate aesthetic impact, all outdoor lighting will be hooded and directed downward to avoid glare on adjoining properties. To mitigate cultural impact, any cultural resources or human remains discovered during ground-disturbance activities will require all work to be stopped and findings to be evaluated by an archeologist. To mitigate transportation/traffic impact, the project will pay its equitable share percentage for future signalization and widening of the streets near the project site. These requirements have been included as Mitigation Measures (Exhibit 1).

Potential impacts related to agricultural and forestry resources, air quality, geology and soils, hazard and hazardous materials, hydrology and water quality, and public services, are considered to be less than significant. The project will require signing of a right-to-farm notice; compliance with the San Joaquin Valley Air Pollution Control District rules and regulations relating to air quality; an Engineered Grading and Drainage Plan for additional storm water run-off generated by the proposal and a Grading Permit for any grading proposed with this application; use/storage/handling of hazardous materials and wastes according to the requirements set forth in the California Health and Safety Code; all abandoned water wells and septic systems properly destroyed by a licensed contractor; and require Fresno County Fire Protection District's approval on the Site Plan for the proposed facility. A Biological Habitat Assessment prepared for the project found no impact on California tiger salamander and the U.S. Fish and Wildlife Service and California Department of Fish and Wildlife review of the Assessment resulted in no concerns with the project.

The property is located two miles north of the city limits of the City of Clovis and outside of the City’s Sphere of Influence. The City of Clovis Planning and Development review of the proposal requires that the proposed development shall conform to the City’s property development standards. As the property is located within the County, the proposed development will adhere to the County development standards and be implemented through Site Plan Review which has been included as a Condition of Approval for the project. Conditions of the SPR may include, but not be limited to, design of parking and circulation, access, grading and drainage, fire protection, dedication of right-of-way and control of light.

The project site is not within any area designated as moderately or highly sensitive to archeological finds. Pursuant to AB (Assembly Bill) 52, County staff routed the project to the Santa Rosa Rancheria Tachi Yokut Tribe, Picayune Rancheria of the Chukchansi Indians, Dumna Wo Wah Tribal Government, and Table Mountain Rancheria offering them an opportunity to consult under Public Resources Code (PRC) Section 21080.3(b) with a 30-day window to formally respond to the County letter. No tribe requested consultation, which resulted in no further action on the part of the County.

Based on the above information and with adherence to the Mitigation Measures, recommended Conditions of Approval, and Project Notes identified in the Initial Study (IS) prepared for this project and discussed in this Staff Report, staff believes the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

See Mitigation Measures and recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 3 can be made.

Finding 4: That the proposed development is consistent with the General Plan

Relevant Policies:	Consistency/Considerations:
<p>Policy LU-A.3 allows agriculturally-related uses by discretionary permit subject to meeting a number of specific criteria. Criteria LU-A.3.a states that the use shall provide a needed service to the surrounding area, which requires location in a non-urban area because of unusual site requirements or operational characteristics. Criteria LU-A.3.b states that the use shall not be sited on productive agricultural land if less productive land is available in the vicinity. Criteria LU-A.3.c states that the use shall not have a detrimental impact on water resources. Criteria LU-A.3.d states that a probable workforce should be located nearby or readily available.</p>	<p>The project will serve the personal property storage needs of the surrounding rural areas and urban development in the city of Clovis. The project site is not a prime farmland and is classified as “Farmland of Local Importance” on the 2014 Fresno County Important Farmland Map. The project will use limited groundwater (400 gallons per day), and can be provided with adequate workforce from the nearby City of Fresno and City of Clovis. The project is consistent with Policy LU-A. 3.</p>

Relevant Policies:	Consistency/Considerations:
<p>General Plan Policy LU-A.12: In adopting land use policies, the County shall seek to protect agricultural activities from encroachment of incompatible land uses.</p> <p>General Plan Policy LU-A.13: The County shall protect agricultural operations from conflicts with non-agricultural uses by requiring buffers between proposed non-agricultural uses and adjacent agricultural operations.</p> <p>General Plan Policy LU-A.14: The County shall ensure that the review of discretionary permits includes an assessment of the conversion of productive agriculture land and that mitigation be required where appropriate.</p>	<p>County Ordinance Section 817.3 - L. allows the proposed use in the AL-20 Zone District with discretionary land use approval. The proposed storage building and landscaping along the property boundaries will provide buffer between the project development and the adjacent uses. The subject property is not a productive agricultural land and is designated as "Farmland of Local Importance" on the Fresno County Important Farmland Map. The project is consistent with Policy LU-A.12, 13 & 14.</p>
<p>General Plan Policy OS-L.3.d (Open Space and Conservation): requires maintenance of a natural open space 200 feet in depth parallel to the right-of-way with the exception as identified in item 1-4 of the said Policy.</p>	<p>Strict application of this policy would require 200 feet of scenic setback parallel to Auberry Road and Copper Avenue, in addition to 48 feet and 23 feet of the property needed in ultimate right-of-way for Copper Avenue and Auberry Road. This would result in the loss of approximately 14 acres of the property leaving only 24.03 as developable area. Taking that into consideration and the fact that the project site and surrounding land are either vacant or are in agricultural use with no qualitative scenic resources, the proposed 50-foot scenic setback verses 200-foot required is determined to be adequate and consistent with the flexibility identified in General Plan Policy OS-L.3.</p>
<p>General Plan Policy PF-C.17: County shall undertake a water supply evaluation, including determinations of water supply adequacy, impact on other water users in the County, and water sustainability.</p>	<p>The project site is located in a water-short area of Fresno County. There is no community water system currently available to serve the property. A Condition of Approval from the Water and Natural Resources Division will require a well yield test prior to issuance of a building permit for the use. The project is consistent with Policy PF-C.17.</p>

Relevant Policies:	Consistency/Considerations:
<p>General Plan Policy PF-D.6: County shall permit individual on-site sewage disposal systems on such parcels that have the area, soils, and other characteristics that permit installation of such disposal facilities without threatening surface or groundwater quality or posing any other health hazards and where community sewer service is not available and cannot be provided.</p>	<p>There is no community sewer system currently available to serve the property. The proposed caretaker's residence will require installation of an individual sewage disposal system. The project is consistent with Policy PF-D.6</p>

Reviewing Agency Comments:

Policy Planning Section of the Fresno County Department of Public Works and Planning: The property is designated Agriculture in the County General Plan.

Policy LU-A.3 allows the subject proposal by discretionary permit subject to meeting certain criteria. Policy LU-A.12 requires protection of agricultural activities from encroachment of incompatible uses; Policy LU-A.13 requires buffers between proposed non-agricultural uses and adjacent agricultural operations; Policy LU-A.14 requires an assessment of the conversion of productive agricultural land and mitigation measures where appropriate; Policy OS-L.3.d requires maintenance of a natural open space 200 feet in depth parallel to the right-of-way. Policy PF-C.17 requires evaluation of adequacy and sustainability of water supply for the project. Policy PF-D.6 requires that individual on-site sewage disposal systems cause no harm to surface or groundwater quality.

Analysis:

The project site is designated Agriculture in the Fresno County General Plan and is located outside of the Spheres of Influence of the City of Clovis and City of Fresno. The project is not in conflict with any land use plan, policy plan or regulation of these cities.

The project is consistent with all the applicable General Plan policies. The project meets the intent of Policy LU-A.3 as discussed above. Concerning consistency with Policy LU-A.12, Policy LU-A.13, and Policy LU-A.14, the project is an allowed use in the AL Zone District with discretionary land use approval, will provide adequate buffer between the proposed improvements and the adjacent uses, and will not occupy productive farmland. Concerning consistency with Policy OS-L.3.d, the proposed 50-foot setback is consistent with the flexibility identified in General Plan Policy OS-L.3. Concerning consistency with Policy PF-C.17, the caretaker's residence and landscaping will use limited water and a well yield test will be required prior to issuance of building permits for the use. Concerning consistency with Policy PF-D.6, the caretaker's residence will connect to a new individual septic system with no impact on groundwater quality.

Based on the above information, staff believes the proposal is consistent with the Fresno County General Plan.

Recommended Conditions of Approval:

None

Conclusion:

Finding 4 can be made.

CONCLUSION:

Staff believes the required Findings for granting the Classified Conditional Use Permit can be made, based on the factors cited in the analysis and the recommended Conditions of Approval and Project Notes regarding mandatory requirements. Staff therefore recommends adoption of the Mitigated Negative Declaration prepared for the project and approval of Classified Conditional Use Permit No. 3588, subject to the recommended Conditions.

PLANNING COMMISSION MOTIONS:**Recommended Motion** (Approval Action)

- Move to adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7347; and
- Move to determine the required Findings can be made and move to approve Classified Conditional Use Permit No. 3588, subject to the Conditions of Approval and Project Notes attached as Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Classified Conditional Use Permit No. 3588; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Mitigation Measures, Recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

EA:kns

G:\4360Devs\PIn\PROJSEC\PROJDOCS\CUP\3500-3599\3588\SR\CUP 3588 SR.docx

**Mitigation Monitoring and Reporting Program
Initial Study Application No. 7347/Classified Conditional Use Permit Application No. 3588
(Including Conditions of Approval and Project Notes)**

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as to not shine toward adjacent properties and public streets.	Applicant	Applicant/Fresno County Department of Public Works and Planning (PW&P)	As long as the project lasts
2.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours	Applicant	Applicant/PW&P	As noted
3.	Transportation/ Traffic	<p>Prior to the issuance of building permits for the proposed project, the Applicant shall enter into an agreement with the County of Fresno agreeing to participate in pro-rata shares developed in the funding of future off-site traffic improvement as defined in the items a. b. & c. below.</p> <p>a. The intersection of Copper and Willow Avenues will require widening and signalization with at least the following lane configurations:</p> <p>Eastbound: one left-turn lane, two through lanes, and one right-turn lane Westbound: one left-turn lane, two through lanes, and one right-turn lane Northbound: one left-turn lane, two through lanes, and one right-turn lane</p>	Applicant	Applicant/PW&P	As noted

EXHIBIT 1

		<p>Southbound: one left-turn lane, two through lanes, and one right-turn lane Applicant's total share cost is \$7,796.</p> <p>b. The intersection of Copper Avenue and Auberry Road will require widening and signalization with at least the following lane configurations:</p> <p>Eastbound: one left-turn lane and two through lanes Westbound: two through lanes and one right-turn lane Southbound: one left-turn lane and one right-turn lane Applicant's total share cost is \$5,574.</p> <p>c. The intersection of Copper and Minnewawa Avenues will require widening and signalization with at least the following lane configurations:</p> <p>Eastbound: two through lanes and one right-turn lane Westbound: one left-turn lane and two through lanes Northbound: one left-turn lane and one right-turn lane Applicant's total share cost is \$12,914.</p> <p>The County shall update cost estimates for the above-specified improvements prior to execution of the agreement. The Board of Supervisors pursuant to Ordinance Code Section 17.88 shall adopt a Public Facilities Fee addressing the updated pro-rata costs. The Public Facilities Fee shall be related to off-site road improvements, plus costs required for inflation based on the Engineering New Record (ENR) 20 Cities Construction Cost Index.</p>			
Conditions of Approval					
1.	Development of the property shall be in accordance with the Site Plan, Floor Plans, Elevations and Operational Statement approved by the Planning Commission.				
2.	Prior to occupancy, a Site Plan Review shall be submitted to and approved by the Department of Public Works and Planning in accordance with Section 874 of the Fresno County Zoning Ordinance. Conditions of the Site Plan Review may include: design of parking and circulation areas, access, on-site grading and drainage, dedication of right-of-way, fire protection, landscaping, signage and lighting.				

3.	Prior to occupancy, the project proponent shall enter into an agreement with Fresno County incorporating the provisions of the “Right-to-Farm” Notice (Ordinance Code Section 17.40.100) for acknowledgement of the inconveniences and discomfort associated with normal farm activities in the surroundings of the proposed development.
4.	A well yield test shall be required prior to the issuance of building permits.
5.	A “worm” left-turn lane into the site shall be provided to preclude outbound site traffic to a right-only movement. The Applicant shall sign a covenant with Fresno County agreeing to this future left-turn restriction out of the site. Note: This Department will prepare the Covenant upon receipt of the standard processing fee, which is currently \$243.50.
6.	The site entrance gate and queueing area shall allow traffic that cannot access the site to be able to turn around without encroaching into the road right-of-way.
7.	Copper Avenue is classified as a Super Arterial requiring an ultimate road right of way of 78 feet north of the section line. The owner of the subject property shall record a document irrevocably offering the southerly 48 feet of the subject property to the County of Fresno as future right-of-way for Copper Avenue. Note: A preliminary title report or lot book guarantee is required before the irrevocable offer of dedication can be processed. The owner is advised that where deeds of trust or any other type of monetary liens exist on the property, the cost of obtaining a partial re-conveyance, or any other document required to clear title to the property, shall be borne by the owner or developer.
8.	Auberry Road is classified as an Arterial requiring an ultimate road right of way of 53 feet west of the centerline. The owner of the subject property shall record a document irrevocably offering the easterly 23 feet of the subject property to the County of Fresno as future right-of-way for Auberry Road. Note: A preliminary title report or lot book guarantee is required before the irrevocable offer of dedication can be processed. The owner is advised that where deeds of trust or any other type of monetary liens exist on the property, the cost of obtaining a partial re-conveyance, or any other document required to clear title to the property, shall be borne by the owner or developer.

*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document. Conditions of Approval reference recommended Conditions for the project.

Project Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	This Use Permit will become void unless there has been substantial development within two years of the effective date of approval.
2.	Construction plans, building permits and inspections will be required for all proposed improvements on the property. Building and/or facilities providing a ‘Public Use’ must comply with the accessibility requirements of Chapter 11B of the California Building Code. Contact the Building and Safety Section of the Fresno County Department of Public Works and Planning at (559) 600-4540 for permits and inspections.

Project Notes

3.	<p>To address site development impacts resulting from the project, the Site Plan Review Section of the Fresno County Department of Public Works and Planning requires the following:</p> <ul style="list-style-type: none">• All parking spaces for the physically disabled shall be placed adjacent to facility access ramps or in strategic areas where the disabled shall not have to travel behind parking spaces other than to pass behind the parking space in which they parked.• A proposed improvement area of 500 square feet or more shall require submittal of Landscape and Irrigation plans per the Governor's Drought Executive Order of 2015. The Landscape and Irrigation plans shall be submitted to the Department of Public Works and Planning, Site Plan Review (SPR) unit for review and approval prior to the issuance of Building Permits.• All proposed signs shall be submitted to the Department of Public Works and Planning permits counter to verify compliance with the Zoning Ordinance. <p>Note: These requirements will be addressed through Site Plan Review.</p>
4.	<p>To address site drainage impacts resulting from the project, the Fresno Metropolitan Flood Control District (The District) requires the following:</p> <ul style="list-style-type: none">• The District shall review drainage and grading plans prior to approval by the County.• On-site retention of storm water run-off is not required, provided the developer can verify to the County that run-off can be safely conveyed to the Master Plan inlets.• A minimum 15-foot-wide storm drainage easement shall be required whenever storm drainage facilities are located on private property.
5.	<p>To address health impacts resulting from the project, the Fresno County Department of Public Health, Environmental Health Division requires the following:</p> <ul style="list-style-type: none">• Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5.• Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95.• All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5.• All abandoned water wells and septic systems shall be properly destroyed by an appropriately-licensed contractor. Prior to destruction of agricultural wells, a sample of the upper most fluid in the well column shall be checked for lubricating oil. If lubricating oil is found in the well, the oil shall be removed from the well prior to placement of fill material for destruction, and the "oily water" removed from the well shall be handled in accordance with federal, state and local government requirements..
6.	<p>To address site development impacts resulting from the project, the Development Engineering Section of the Development Services and Capital Projects Division requires the following:</p> <ul style="list-style-type: none">• An Engineered Grading and Drainage Plan shall be required to show how additional storm water run-off generated by the proposal will be handled without adversely affecting adjacent properties.• A Grading Permit shall be obtained for any grading proposed with this application

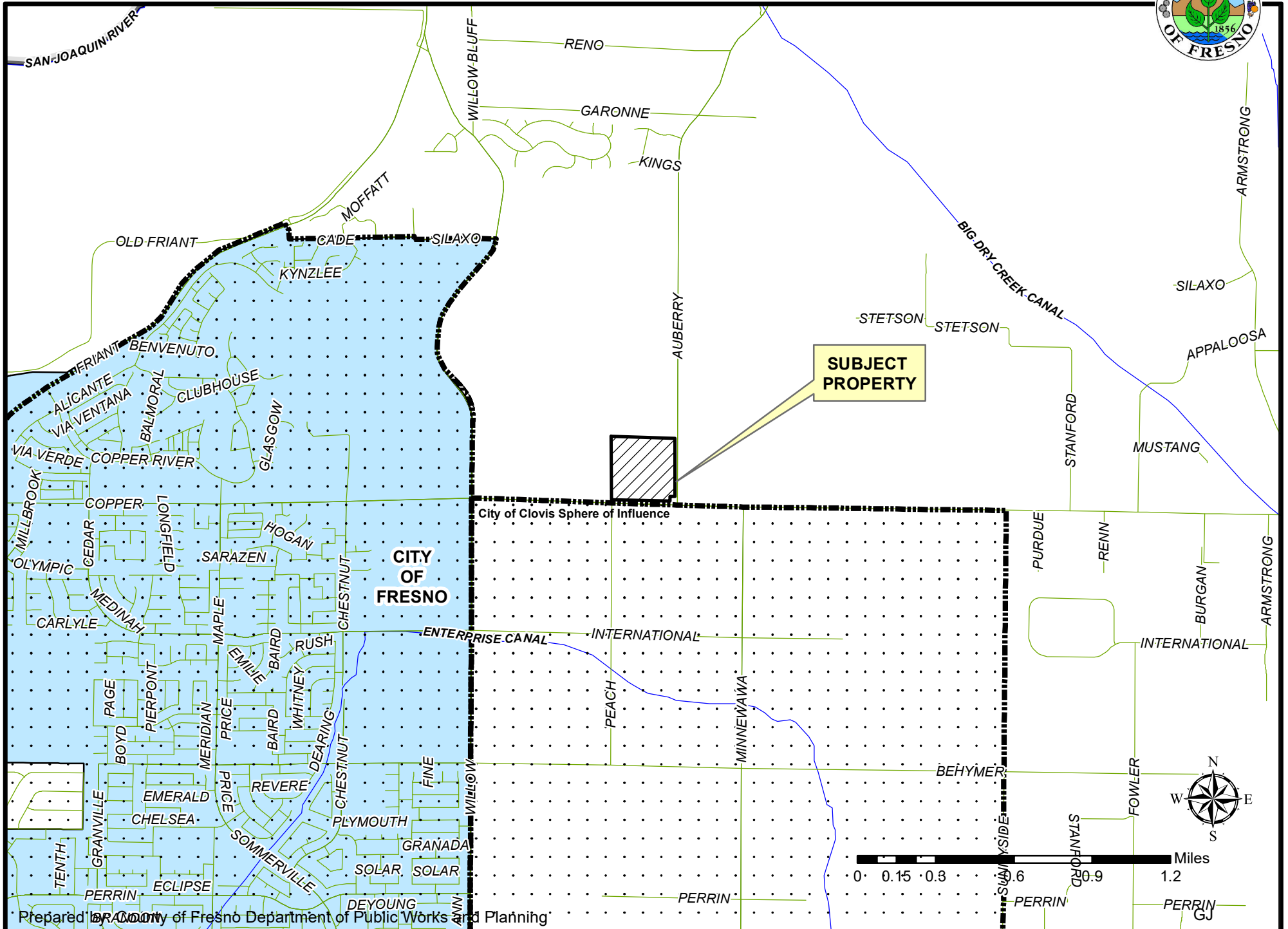
Project Notes

	<ul style="list-style-type: none">• On-site turnarounds shall be provided for vehicles leaving the site to enter the road in a forward motion so that vehicles do not back out onto the roadway.• Prior to any work done within the County right-of-way, an encroachment permit shall be obtained from the Road Maintenance and Operations Division.
7.	The project shall comply with California Code of Regulations Title 24 - Fire Code. Prior to receiving Fresno County Fire Protection District (FCFPD) conditions of approval for the subject application, plans must be submitted to the County of Fresno Department of Public Works and Planning for review. It is the Applicant's responsibility to deliver a minimum of three sets of plans to FCFPD. Further, the property shall annex to Community Facilities District (CFD) No. 2010-01 of FCFPD.
8.	The Applicant shall contact San Joaquin Valley Air Pollution Control District's Small Business Assistance Office to identify Air District rules or regulations that may apply to this project or to obtain information about District permit requirements.

EA:ksn

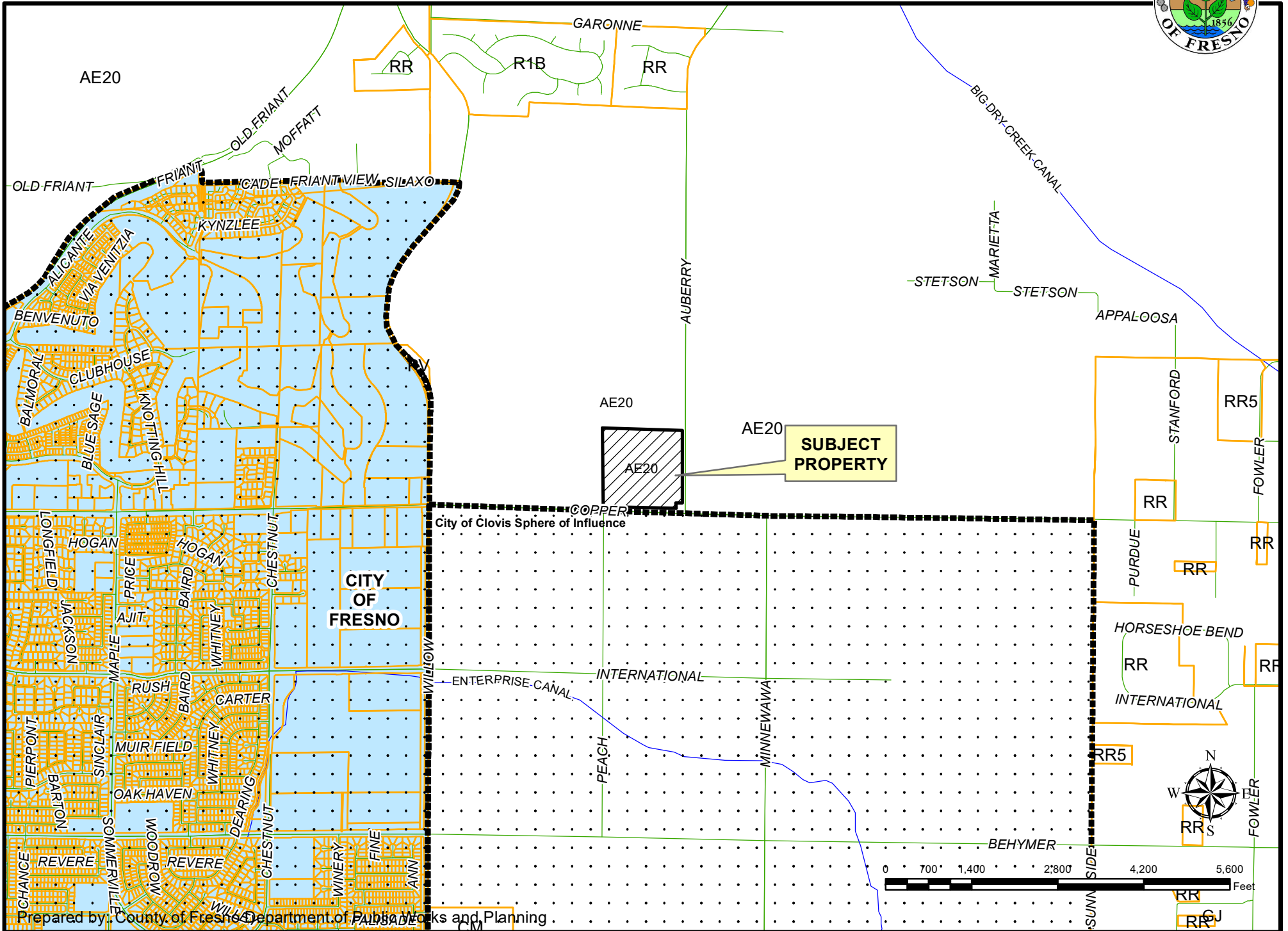
G:\4360Devs&PIn\PROJSEC\PROJDOCS\CUP\3500-3599\3588\SR\CUP 3588 MMRP (Ex 1).docx

LOCATION MAP

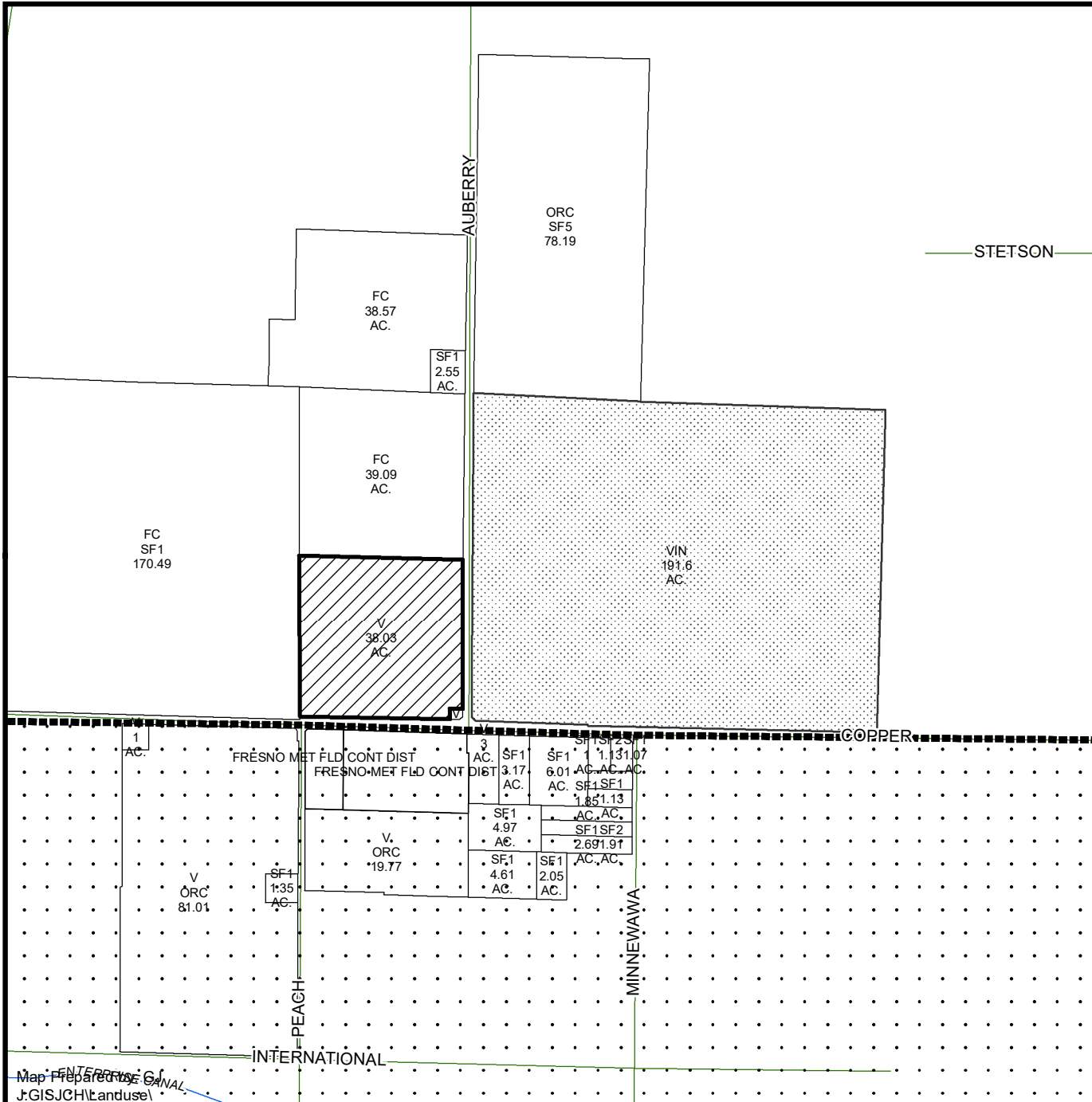


Prepared by the County of Fresno Department of Public Works and Planning

EXISTING ZONING MAP



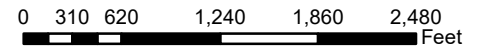
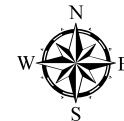
EXISTING LAND USE MAP



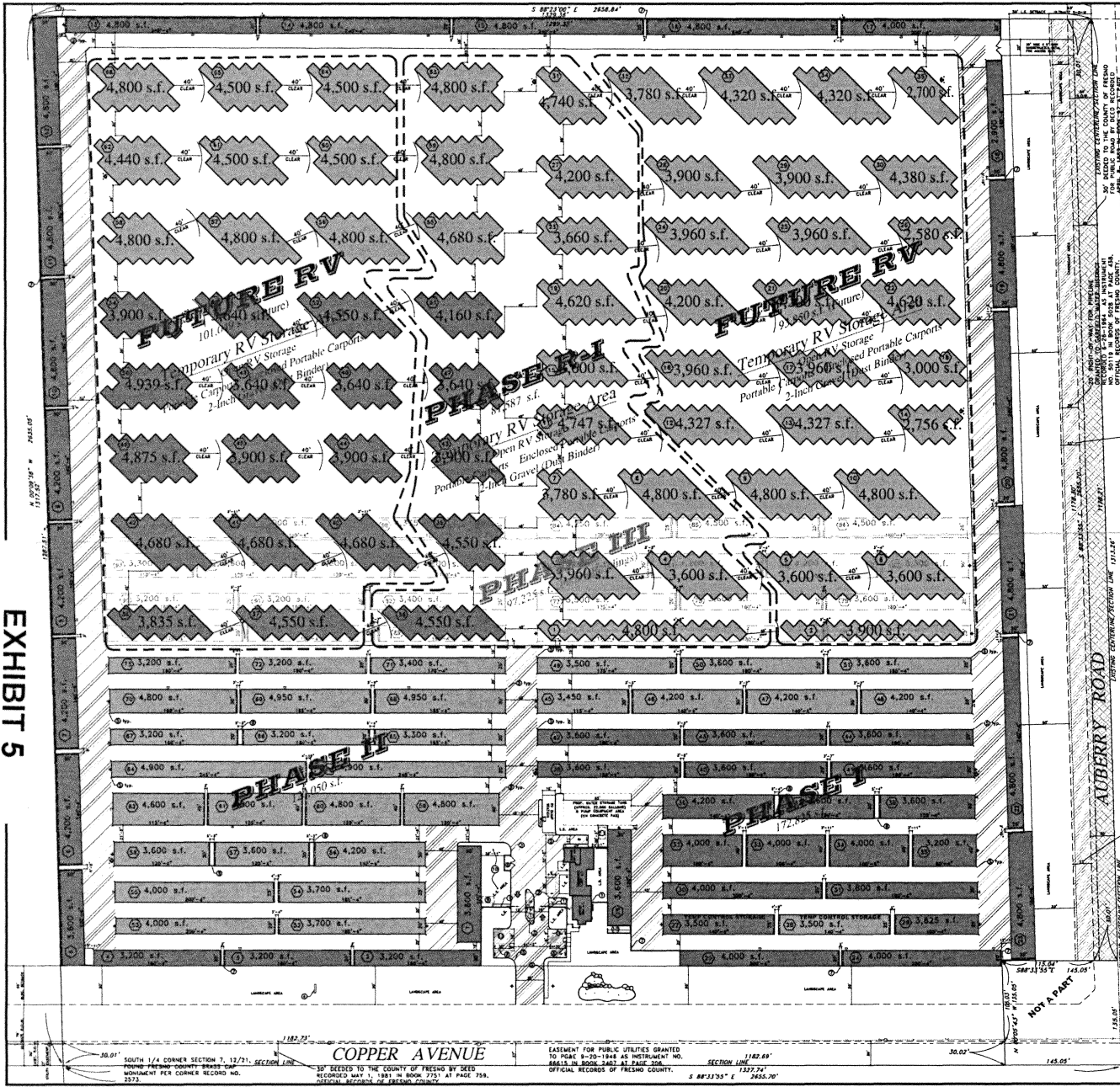
LEGEND	
VIN - VINEYARD	
V - VACANT	
SF# - SINGLE FAMILY RESIDENCE	
ORC - ORCHARD	
FC - FIELD CROP	

Legend

- City of Clovis Sphere of Influence
- Subject Property
- Ag Contract Land



Department of Public Works and Planning
Development Services Division



LEGEND

- ADMISSIBLE PARKING SPACE 4'x8' - SEE DETAIL ON SHEET 3-0
- BUILDING NUMBER
- 24 HOUR FIRE EXTINGUISHER AS REQUIRED
- 100 WWT HIGH PRESSURE BOLLARD LIGHT AS 17'-4"
- STANDARD DECORATIVE LIGHT FIXTURE
- 8'-0" HIGH CONCRETE BLOCK FENCE
- 8'-0" HIGH CONCRETE BLOCK FENCE
- 8' HIGH CONCRETE CURB
- PROPOSED MONUMENT SIGN - (NOT PART OF THIS REVIEW)
- 3" DIA. STEEL BOLLARD POST (TYP. IN BOLL. CORNERS)
- COUNTY OF FRESNO STANDARD RETIRED CONTAINER ENCLOSURE
- BUILDING HEIGHT WALL BTWL BUILDING ALONG PERIMETER (TYPICAL)
- 34% CONCRETE WHEEL STOPS (TYP. BOLL BREAKS 4' OR MORE)
- PROPOSED LOCATION OF SEPTIC TANK
- PROPOSED SEPTIC LEACH AREA
- PROPOSED WELL LOCATION
- PROPOSED VEHICLE TURNING AREA SATISFIES PER #1 FROM BEAN WHITEHOUSE CONSULTING ENGRS., 2018
- INDICATES TWO-HOUR FIRE WALL
- 4" CONCRETE DRIVES 4/8" COMPACT NATIVE SOIL
- PHASE I BUILDING CONSTRUCTION
- PHASE II BUILDING CONSTRUCTION
- PHASE III BUILDING CONSTRUCTION
- PROPOSED CARPORTS
- PROPOSED ENCLOSED CARPORTS
- EXISTING 30' RIGHT-OF-WAY DESIGNATION
- PROPOSED ADDITIONAL 23' RIGHT-OF-WAY DESIGNATION

VICINITY MAP

ALLOWABLE SQUARE FOOTAGE
STORAGE: 5,000 S.F.
OFFICE: 5,000 S.F.
RESIDENCE: UNLIMITED S.F.

OCCUPANCY
OFFICE: S-1
OFFICE: S-2
OFFICE: S-3
OFFICE: S-4

TYPE OF CONSTRUCTION
STORAGE: V-0
OFFICE: V-0
RESIDENCE: V-0

SITE DATA

PROPERTY OWNER	BUILDING SQUARE FOOTAGE
SEEN TO AND AT THE	172,800 S.F.
FRESH CO STORE	120,000 S.F.
(S&P) 25A-FR00	97,200 S.F.
PROPERTY ADDRESS	354,000 S.F.
OFFICE/RESIDENCE	800 S.F.
OFFICE/RESIDENCE	1,237 S.F.
OFFICE/RESIDENCE	1,237 S.F.
TOTAL	392,207 S.F.
RV SQUARE FOOTAGE	
OFFICE	152,400 S.F.
CARPORTS	197,790 S.F.
ENCLOSURE	80,012 S.F.
TOTAL	430,202 S.F.
BY PRASADH	
CONSTRUCTION PHASE	81,287 S.F.
TOTAL	377,915 S.F.

MONUMENT SIGN

CAMERA/LIGHT POLE DETAILS

PROPOSED HANDICAPPED PARKING

NOT A PART

COPPER AVENUE

AUBERRY ROAD

FOUND FRESNO COUNTY BRASS MONUMENT, 1227.04'

REVISIONS:

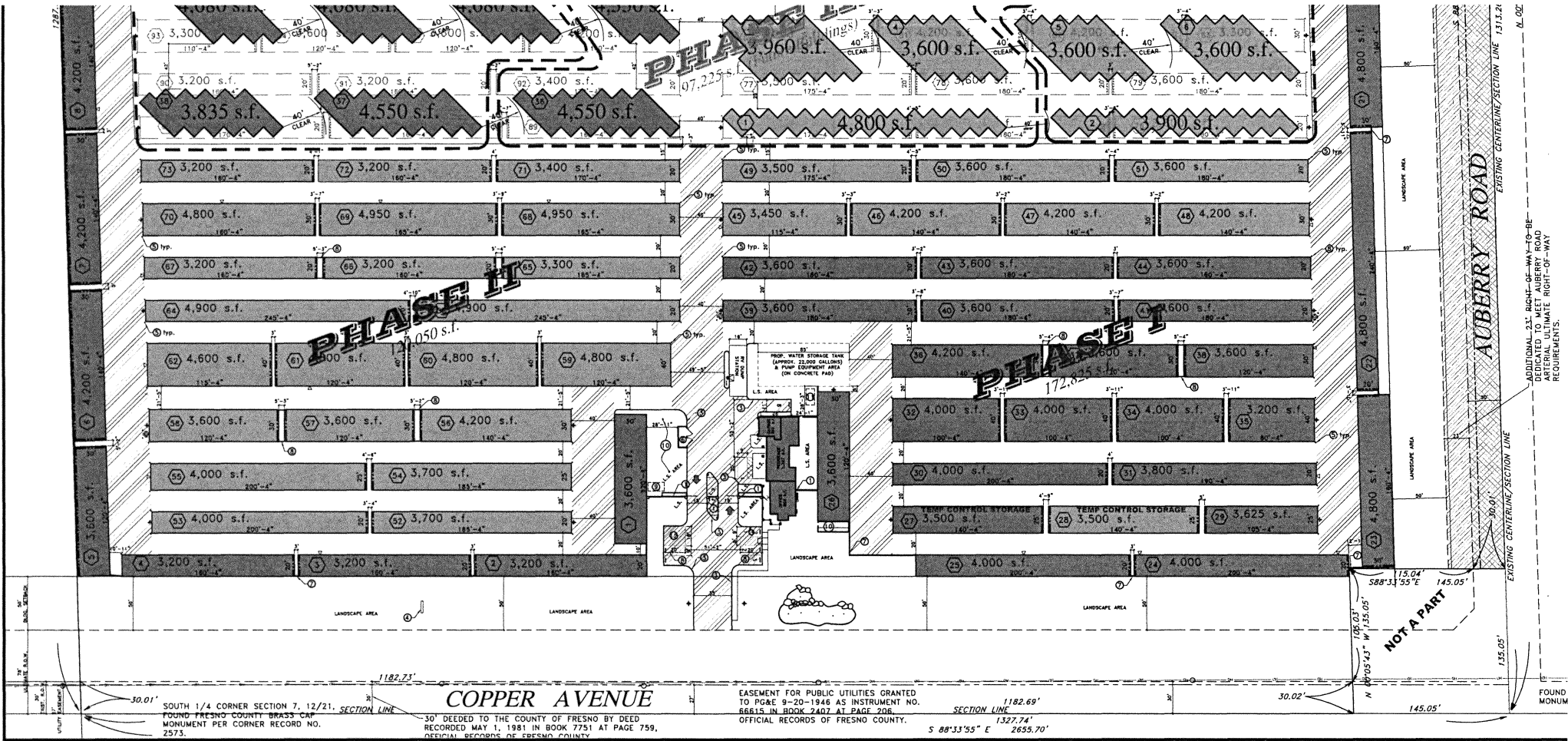
- March 7, 2018
- April 26, 2018
- October 10, 2018
- October 25, 2018
- October 26, 2018
- October 31, 2018

DERRELS Mini STORAGE
3265 W ASHLAN AVE FRESNO CA 93777 (559) 274-9900

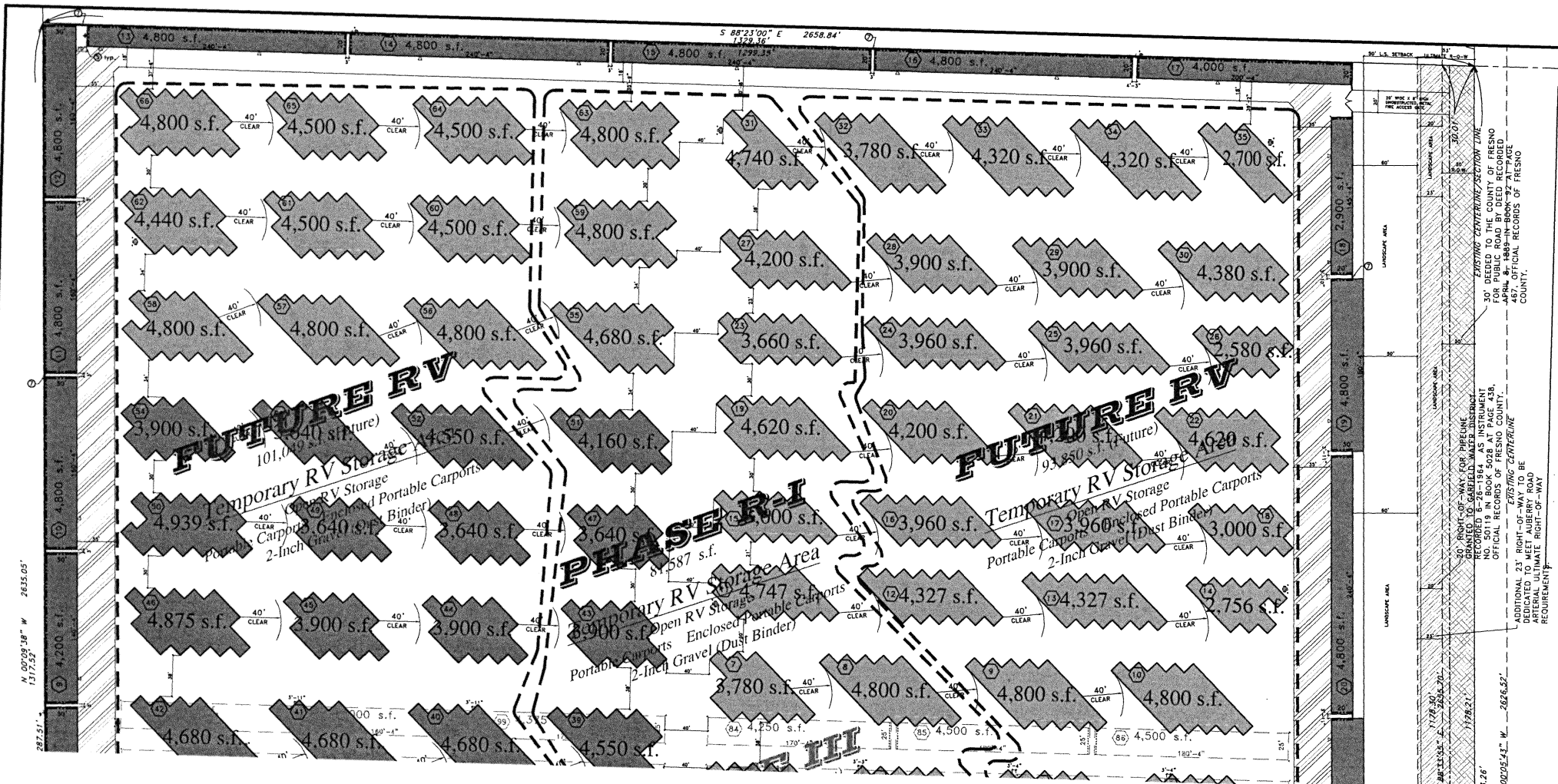
APPROVALS

CAM (Copper/MiniStorage)
Copper/MiniStorage
Date: October 28, 2016
Scale: 1" = 60'-0"
Drawn By: [Signature]
Reviewed By: [Signature]
Project: Site Plan
Fresno Co
Copper/Auberry
Sheet: A-1

EXHIBIT 5



SITE PLAN (ENLARGED); SOUTH HALF OF THE SITE



SITE PLAN (ENLARGED); NORTH HALF OF THE SITE

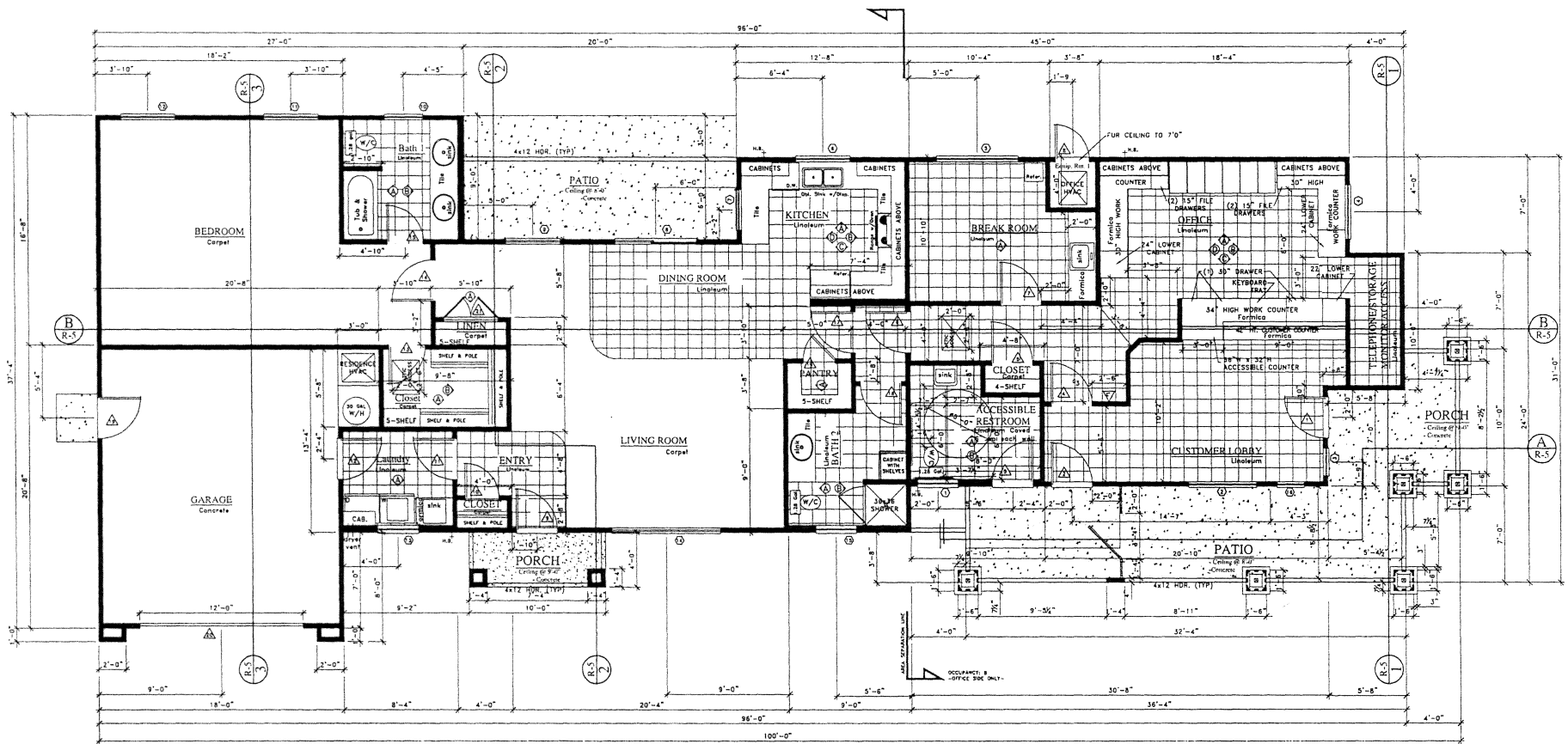
30' R.O.W. FOR PIPELINE EASEMENT GRANTED TO CALPINE ENERGY INC. BY INSTRUMENT NO. 00119 IN BOOK 5028 AT PAGE 438, OFFICIAL RECORDS OF FRESNO COUNTY, CALIFORNIA. EXISTING CENTERLINE

ADDITIONAL 23' RIGHT-OF-WAY BE DEDICATED TO MEET AUBERRY ROAD REQUIREMENT

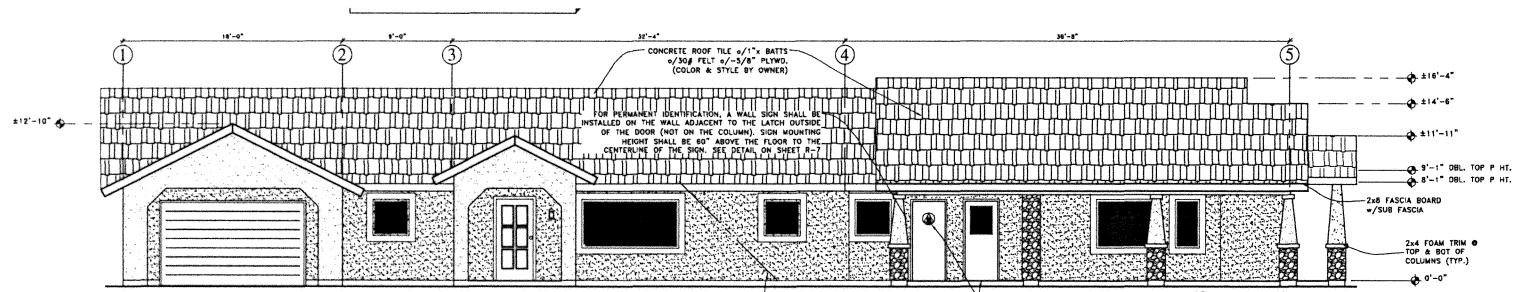
30' DEDICATED TO THE COUNTY OF FRESNO BY INSTRUMENT NO. 1883 IN BOOK 487, OFFICIAL RECORDS OF FRESNO COUNTY.

1178.30' 2855.70' 1178.21'

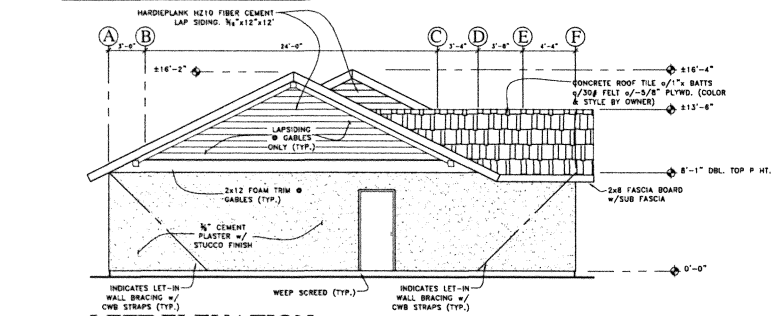
1.00295342' W 6556.57' 13.26'



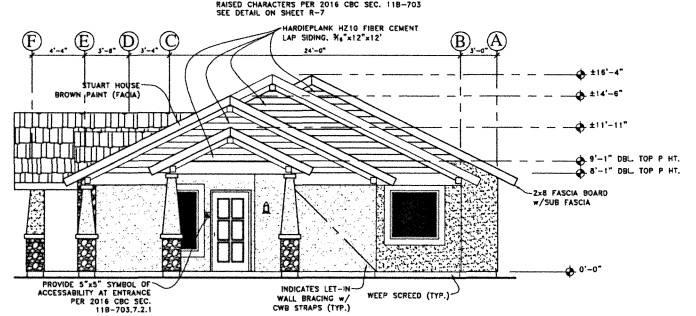
CARETAKER'S RESIDENCE/GARAGE/OFFICE



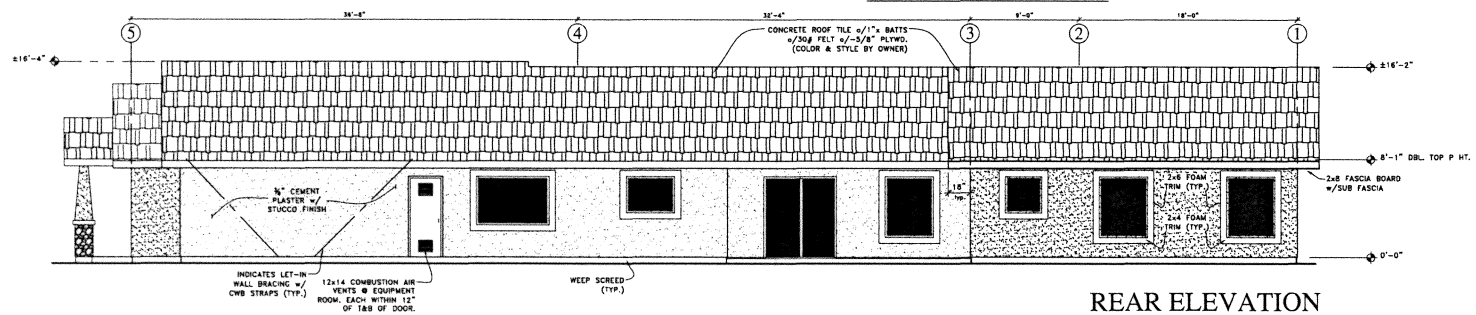
FRONT ELEVATION



LEFT ELEVATION

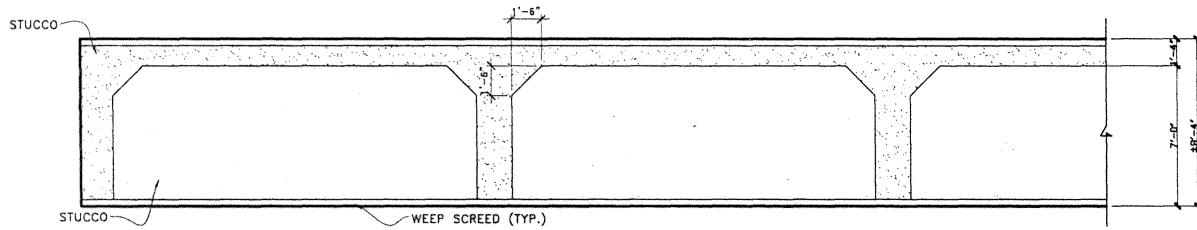


RIGHT ELEVATION



REAR ELEVATION

ELEVATIONS (CARETAKER'S RESIDENCE)

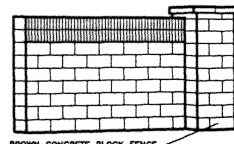


STUCCO NOTES:

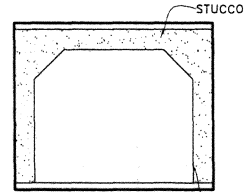
A) PROVIDE ONLY ONE COLOR OF DASH COAT OVER ENTIRE STORAGE WALL, INCLUDING ARCHES, AND COLUMNS. DERREL'S EMPLOYEES WILL PUT ACCENT COLOR COAT OVER ARCHES, AND COLUMNS AFTER ENTIRE WALL IS DASHED ONE COLOR BY STUCCO CONTRACTOR.

B) ALL CORNERS TO HAVE CORNER AID. WEEP SCREED AT BOTTOM OF WALL.

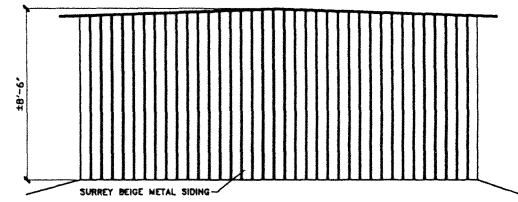
C) COLORS TO BE BLUE EAGLE BRAND E-87 COCOA LATTE w/ ACCENT COLOR DURATEC 2 DOTCOM #2030403F.



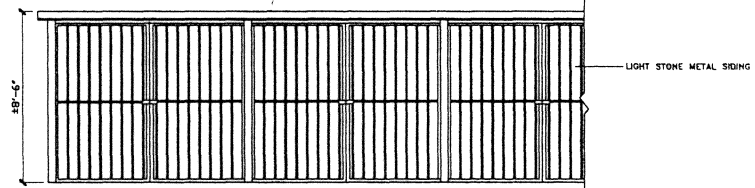
BROWN CONCRETE BLOCK FENCE
TYPICAL FENCE SECTION



STUCCO
STUCCO
TYPICAL END WALL ELEVATION



SURREY BEIGE METAL SIDING
FACILITY INTERIOR - END ELEVATION OF STORAGE (TYP.)



LIGHT STONE METAL SIDING
FACILITY INTERIOR - SIDE ELEVATION OF STORAGE (TYP.)

ELEVATIONS (STORAGE UNITS)

County of Fresno

Conditional Use Permit Application-CUP 3588

DERREL'S MINI STORAGE FACILITY NWC Copper Avenue and Auberry Road

1. Nature of the operation--what do you propose to do? Describe in detail.

The proposed project is a Derrel's Mini Storage facility on a single parcel of approximately 38.03 acres gross. The planned facility is typical of other Derrel's facilities in that it will contain separate storage units along with open and covered spaces for the storage of recreational vehicles for lease by the general public. The facility will include a caretaker's residence and office building adjacent to a gated entrance.

The facility will be accessed by the public during operating hours from Copper Ave at the center of the parcel. A secondary emergency fire access gate will be located on Auberry Road at the northeast corner of the facility.

The facility is planned to contain approximately 390,100 sf of enclosed storage buildings, approximately 2,522 sf caretaker's residence and office building including a garage for the residents. The total building square footage will be 392,622. Additionally, there will be approximately 20 acres of open, covered or enclosed carport spaces for recreational vehicles: 132,404 sf open RV spaces, 197,760 sf carports and 80,210 sf of enclosed carport; total 410,375 sf.

No products will be produced by the facility. As is standard at Derrel's facilities, there will be two on-site resident managers residing in the residence/office building near the entrance. They typically operate the office and the controlled entrance to the facility during business hours and provide 24 hour on-site security.

The materials stored in the units are controlled by lease restrictions and monitored by the on-site managers. The vehicles that frequent the facility are typical of personal and light hauling vehicles utilized for the transportation of personal property by lessees of storage units. Recreational vehicles will be either self-propelled or towed to parking spaces. Service vehicles are limited to the business owner's vehicles used for repair and maintenance of the facilities' buildings and equipment.

Personal Storage use is allowed in the A-L Zone District through the approval of Text Amendment Ordinance T-089-370.

2. Operational time limits:

Months: *Twelve months/year*

Days per week: *Seven*

Hours: *(from 7:00 AM to 7:00 PM)*

Total hours per day: *12*

Special activities: *None* Frequency: *N/A*

Hours: *N/A* Are these indoors or outdoors: *N/A*

3. Number of customers or visitors:

Average number per day: *10* Maximum no. per day: *30*

Hours (when they will be there): *Varies throughout operating hours.*

CUP 3588

**RECEIVED
COUNTY OF FRESNO**

NOV 27 2018

**DEPARTMENT OF PUBLIC WORKS
AND PLANNING
DEVELOPMENT SERVICES DIVISION**

(REVISED)

4. **Number of employees:**
 Current: *none* Future: 2 Hours they work: *8 hours per day*
- Do any live on-site as a caretaker? *Yes*
5. **Service and delivery vehicles:**
 Number: *10* Type: *P/U to box vans* Frequency: *Daily trips*
- Delivery vehicles will be those used by customers. Service vehicles will be those typically required for repair and maintenance of the facility and equipment.*
6. **Access to the site:**
 Public Road: *Yes-to be constructed.* Surface: *Paved*
- Access to the facility will be from Copper Ave.*
7. **Number of parking spaces for employees, customers, and service/delivery vehicles.**
 Type of surfacing on parking area: *Paved*
- There will be 5 stalls for the public adjacent to the office building including 1 accessible space. There will be 2 stalls for employees near the office/building.*
- Delivery vehicles will stop in front of the office building and then proceed to assigned storage spaces for unloading.*
- Recreational vehicles will park in designated areas or in assigned carports. Service vehicles will temporarily park closest to the building they are servicing.*
8. **Are any goods to be sold on-site? If so, are these goods grown or produced on-site or at some other location? Supplies for packing and storage not produced on-site.**
9. **What equipment is used?** *Golf cart is used by on-site manager to move about the facility.*
10. **What supplies or materials are used and how are they stored?**
All supplies and materials will be stored in storage units.
11. **Does the use cause an unsightly appearance? No**
 Noise? *Very minor* Glare? *No* Dust? *No* Odor? *No.*
 If so, explain how this will be reduced or eliminated? *N/A*
12. **List any solid or liquid wastes to be produced.**
 Estimated volume of wastes: How and where is it stored? How is it hauled, and where is it disposed? How often?
- Solid waste will be that which is produced by the caretakers and packaging materials left by customers. Liquid waste will be limited to domestic waste water from the residence and a public restroom.*
Domestic solid waste will be removed by contracted carrier from on-site bin.
Domestic liquid waste will go to an on-site septic system.

13. **Estimated volume of water to be used (gallons per day). Source of water?**
Daily water usage is anticipated to be approximately 400 gallons per day.

The source of water will be from an on-site well
14. **Describe any proposed advertising including size, appearance, and placement.**
Signage will be minimal and consist of a +/- 4 foot high monument sign as shown on the Site Plan.
On-site directional sign will be as required for compliance and operations.
15. **Will existing buildings be used or will new buildings be constructed?**
Describe type of construction materials, height, color, etc.
Provide floor plan & elevations, if appropriate.

All buildings will be new. Floor Plans and Elevations are included in the submitted exhibits.
16. **Explain which buildings or what portion of buildings will be used in the operation.**

All buildings will be used for leased storage space except for the caretaker's residence/office.
17. **Will any outdoor lighting or an outdoor sound amplification system be used? Describe and indicate when used.**

Outdoor hooded security lighting will be installed per the Site Plan and there will be no outdoor sound amplification.
18. **Landscaping or fencing proposed? Describe type and location.**

The storage buildings will enclose the entire site except for decorative fencing at the entrance to the site. Landscaping will be installed along the street frontages as required by development code and at the caretaker/office building as shown on the Site Plan.
19. **Any other information that will provide a clear understanding of the project or operation.**

The proposed facility will not have any known adverse effect(s) upon the environment including unusual odor, lighting, noise, traffic, soot, gas emissions, dust or vibration to any degree which might be obnoxious or offensive to persons residing or conducting business in this area.
20. **Identify all Owners, Officers and/or Board Members for each application submitted.**

*General Partner: Ridenour Corporation
President: Derrel A. Ridenour
Vice President: Stephen J. Dalich
Secretary & Treasurer: Dianne J. Dalich*



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: Derrel's Mini-Storage, Inc.
- APPLICATION NOS.: Initial Study Application No. 7347 and Classified Conditional Use Permit Application (CUP) No. 3588
- DESCRIPTION: Allow a personal/recreational vehicle storage facility and a caretaker's residence with office on a 38.03-acre parcel in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District.
- LOCATION: The project site is located on the northwest corner of E. Copper Avenue and Auberry Road approximately 2,800 feet east of the nearest city limits of the City of Fresno (Sup. Dist. 5) (APN 580-040-09).

I. AESTHETICS

- A. Would the project have a substantial adverse effect on a scenic vista; or
- B. Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is located near the City of Fresno urban development and is currently fallow with no improvements. The site is surrounded by fallow and cultivated land with sparse single-family residences. There are no scenic vistas or qualitative scenic resources including trees, rock outcroppings, or historic buildings on or near the site that could be impacted by this proposal.

The project site borders with Auberry Road and Copper Avenue. Fresno County General Plan identifies Auberry Road at Copper Avenue and a small portion of Copper Avenue between Willow Avenue and Auberry Road as Scenic Drives. General Plan Policy OS-L.3, requires that intense land development projects (e.g., commercial developments) adjacent to scenic drives provide for maintenance of a natural open space area 200 feet in depth parallel to the road right-of-way. However, the policy also provides for flexibility if the project dimensions preclude such setback. In this case, the property dimension of the subject property prohibits reasonable application of the 200-foot setback. Strict application of this policy would require 200 feet of scenic setback parallel to Auberry Road and Copper Avenue which would result in consuming approximately 12 acres of the subject 38.03-acre property. This 200-foot setback will be in addition to 48 feet of the property needed in ultimate right-of-way for Copper

Avenue (currently 30 feet) and 23 feet of the property needed in ultimate right-of-way for Auberry Road (currently 30 feet). The property will lose approximately 14 acres out of the 38.03 acres for the scenic setback and road right-of-way.

It is worth noting that Copper Avenue and Auberry Road at the project location do not possess any outstanding scenic qualities. The project site and surrounding land are either vacant or are in agricultural use with no qualitative scenic resources. Based on the above discussion, this project proposes a 50-foot setback versus 200-foot setback along Copper Avenue and Auberry Road outside of the ultimate right-of-way line. This reduced setback is consistent with the flexibility identified in General Plan Policy OS-L.3 and will be developed with drought-tolerant landscaping (e.g., grasses, trees, water features) to enhance street appearance of the property.

- C. Would the project substantially degrade the existing visual character or quality of the site and its surroundings?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is surrounded by farmland with sparse single-family residences. Adjacent land to the north, south and east are fallow with no improvements and the land to the west is fallow with a single-family residence. The adjacent southeasterly parcel at the corner of Copper Avenue and Auberry Road contains a produce stand.

The proposed improvements include 408,250 square feet of storage buildings; 412,995 square feet for RV storage, which includes open RV, open carport and enclosed carports; and a 2,522 square-foot caretaker's residence/garage/office on a 38.03-acre project site.

The tallest structures on the property include 8.6-foot-high storage buildings and a 16.5-foot-high single-family residence. With low building height and the proposed landscaping along Copper and Auberry frontage of the property intended to enhance the look of the property, the project will have a less than significant visual impact on the surrounding area.

- D. Would the project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project will install outdoor security lighting, which has the potential of generating glare in the area. To minimize such impacts, a Mitigation Measure would require that all lighting shall be hooded and directed downward to not shine toward adjacent property and public streets.

* **Mitigation Measure**

1. *All outdoor lighting shall be hooded and directed downward so as to not shine toward adjacent properties and public streets.*

II. AGRICULTURAL AND FORESTRY RESOURCES

- A. Would the project convert prime or unique farmlands or farmland of state-wide importance to non-agricultural use; or
- B. Would the project conflict with existing agricultural zoning or Williamson Act Contracts?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is not in conflict with agricultural zoning and is an allowed use on land designated for agriculture with discretionary approval and adherence to the applicable General Plan Policies. The 2014 Fresno County Important Farmland Map classifies the project site as Farmland of Local Importance and is currently unrestricted by a Williamson Act Land Conservation Contract.

- C. Would the project conflict with existing zoning for or cause rezoning of forest land, timberland, or timberland zoned Timberland Production; or
- D. Would the project result in the loss of forest land or conversion of forest land to non-forest use; or
- E. Would the project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural uses or conversion of forest land to non-forest use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is not in conflict with the existing zoning on the property and the project site is not active forest land nor contains trees. The project site is fallow, zoned AL-20 (Limited Agricultural, 20-acre minimum parcel size) in the County Zoning Ordinance, and designated Agriculture in the County General Plan. The proposed use (personal/recreational vehicle storage facility) that requires the subject discretionary land use approval (CUP No. 3588) was added to the AL-20 Zone District through Amendment to Text (AT) No. 370, approved by the County Board of Supervisors on September 30, 2014. The project is compatible with the uses allowed in the AL-20 Zone District and will have less than significant visual impact on the surrounding area.

The Fresno County Agricultural Commissioner's Office reviewed the proposal and requires that the Applicant shall acknowledge the Fresno County Right-to-Farm Ordinance regarding the inconveniences and discomfort associated with normal farm activities surrounding the proposed development. This requirement will be included as a Condition of Approval.

III. AIR QUALITY

- A. Would the project conflict with or obstruct implementation of the applicable Air Quality Plan; or

- B. Would the project violate any air quality standard or contribute to an existing or projected air quality violation; or
- C. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- D. Would the project expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The San Joaquin Valley Air Pollution Control District (Air District) reviewed the proposal and approved the Air Impact Assessment (AIA) Application filed by the Applicant. In its approval, the Air District stated that the mitigated baseline emissions for construction and operation of the facility will be less than two tons NOx per year and two tons PM10 per year. Additionally, pursuant to District Rule 9510 Section 4.3, the project is exempt from the requirements of Section 6.0 (General Mitigation Requirements) and Section 7.0 (Off-site Emission Reduction Fee Calculations and Fee Schedules) of the rule. As such, the project complies with the emission reduction requirements of District Rule 9510 and is not subject to payment of off-site fees.

The Air District also stated that to identify Air District rules or regulations that may apply to this project or to obtain information about District permit requirements, the Applicant shall contact the District's Small Business Assistance Office. This requirement will be included as a Project Note.

- E. Would the project create objectionable odors affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will not create objectionable odors that could affect people in or around the proposed facility. The San Joaquin Valley Air Pollution Control District expressed no concerns related to odor.

IV. BIOLOGICAL RESOURCES

- A. Would the project have a substantial adverse effect, either directly or through habitat modifications, on any candidate, sensitive, or special-status species; or
- B. Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS)?

FINDING: LESS THAN SIGNIFICANT IMPACT:

This project was routed to the California Department of Fish and Wildlife (CDFW) and U.S. Fish and Wildlife Service (USFWS) for review and comments.

According to CDFW, the project has the potential to impact California tiger salamander (CTS) and recommends that prior to ground-disturbance activities, a qualified biologist assess the project site and the vicinity up to 1.3 miles that contains potentially suitable habitat, to evaluate potential for CTS. The site assessments follow the USFWS *"Interim Guidance on Site Assessment and Field Surveys for Determining Presence or a Negative Finding of the California Tiger Salamander"* (2003). If upland burrow refugia and/or breeding wetland habitat features suitable for use by CTS are within and/or adjacent to the Project construction footprint, a minimum 50-foot no disturbance buffer shall be delineated around all small mammal burrows. If burrow avoidance is not feasible, consultation with CDFW is warranted to determine if the Project can avoid take, and if take cannot be avoided, acquisition of an Incidental Take Permit is necessary prior to any ground-disturbing activities to comply with CESA (California Endanger Species Act).

According to the U.S. Fish and Wildlife Service (USFWS), the project could impact CTS and any 'take' resulting from the proposed project would require prior consultation with the Service under Section 7 or Section 10 of the Endangered Species Act in order to avoid violation of the Act. The agency also recommended a habitat assessment of the site to determine suitability for CTS.

A Biological Habitat Assessment (Study) was performed by Argonaut Ecological Consulting, Inc., dated September 4, 2018 and provided to CDFW and USFWS for review and comments.

The Study focused on mapping existing habitat types based on four separate field visits conducted in February, March, April and July of 2018, aerial photographs, and other published reports and available data, and included assessment of the types of habitat present, sensitive biological resources potentially present, such as wetlands, and the likelihood for the Study Area to support species of concern.

As indicated in the Study, during field visits, no underground burrows or surface soil cracks were found on the property, as the Study area has been managed for decades as agricultural land and does not support any wetland features or habitat for sensitive species support because of the lack of suitable habitat, intensive historic and current agricultural production, and the recurring property maintenance. The Study also indicated that there is no suitable breeding habitat for the California tiger salamander (CTS) within 1.3 miles of the Study area. The nearest suitable breeding habitat is located just over 1.32 miles. Although within the migratory radius for CTS, the Study finds it unconceivable that CTS would attempt to use the Study area for aestivation habitat given there is high quality aestivation habitat closer to known breeding areas and the Study area supports no ground-burrowing mammal population nor shows surface cracks.

Additionally, the Study area contains no suitable habitat for burrowing owls or Fresno kangaroo rat. Although suitable foraging habitat is present for Swainson's hawk, there is no nesting habitat on or near the site.

CDFW and USFWS reviewed the Biological Habitat Assessment and offered no additional comments relative to CTS or other species.

- C. Would the project have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act through direct removal, filling, hydrological interruption or other means?

FINDING: NO IMPACT:

According to the Biological Habitat Assessment, a query of the National Wetland Inventory Map shows no wetlands, ponds, or rivers on or adjacent to the Study area. There are no Waters of the State or Waters of the United States on the project site.

- D. Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

FINDING: NO IMPACT:

Developed or highly-disturbed agricultural land that surrounds the property does not constitute a "movement corridor" for native wildlife, including the project site which has also been disturbed by decades of farming activities. The project will have no impact on regional wildlife movements.

- E. Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Would the project Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local regional, or state habitat conservation plan?

FINDING: NO IMPACT:

The project site contains no vegetation. The Biological Habitat Assessment identified no sensitive plant communities on the property. The project will not conflict with any biological resources related to tree preservation policy or any adopted Conservation Plans.

V. CULTURAL RESOURCES

- A. Would the project cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5; or
- B. Would the project cause of substantial adverse change in the significance of an archeological resource pursuant to Section 15064.5; or
- C. Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature; or

- D. Would the project disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFIACNT IMPACT WITH MITIGATION
INCORPORATED:

The project site is not within or near an area sensitive to historical, archeological or paleontological resources.

The Southern San Joaquin Valley Information Center (SSJVIC) reviewed the proposal and indicated that the presence of any cultural resources on site is currently unknown, and recommended that a qualified professional archeologist conduct a field survey of the project area prior to any ground-disturbance activities.

A *Cultural Resources Assessment* (report) prepared for the project by Sierra Valley Cultural Planning, and dated February 6, 2018, was provided to SSJVIC.

The study identified no archaeological or other cultural resources on the property, and suggested no further cultural resources investigation. However, the report suggested that in the unlikely event that buried archaeological deposits are encountered within the project area, a qualified archaeologist evaluate the finds and the County Coroner and the Native American Heritage Commission shall be contacted if the remains are determined to be Native American. This will be included as a Mitigation Measure for the project.

* **Mitigation Measure**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

- E. Would the project cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074?

FINDING: LESS THAN SIGNIFICANT IMPACT:

With adherence to the above-noted Mitigation Measure, the project will have a less than significant impact on tribal cultural resources as defined in Public Resources Code Section 21074.

Pursuant to Assembly Bill (AB) 52, the project was routed to the Table Mountain Rancheria (TMR) Tribal Government Office, Dumna Wo Wah Tribal Government

(DWWTG) and Picayune Rancheria of the Chukchansi Indians (PRCI) for review and comments. Also provided to DWWTG was a copy of *Cultural Resources Assessment* and the results of a Sacred Land Search and Archeological Records Search on the property. No concerns with the project were expressed by DWWTG or any other tribe.

VI. GEOLOGY AND SOILS

A. Would the project expose people or structures to potential substantial adverse effects, including risk of loss, injury or death involving:

1. Rupture of a known earthquake; or
2. Strong seismic ground shaking; or
3. Seismic-related ground failure, including liquefaction; or
4. Landslides?

FINDING: NO IMPACT:

The project is not located within a fault zone or an area of known landslides.

B. Would the project result in substantial erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Potential permanent erosion impacts will be minor in that permanent improvements will not cause significant changes in absorption rates, drainage patterns or the rate and amount of surface run-off, with adherence to the Grading and Drainage Sections of the County Ordinance Code.

The Development Engineering Section of the Fresno County Department of Public Works and Planning reviewed the proposal and requires: 1) an Engineered Grading and Drainage Plan to show how additional storm water run-off generated by the proposal will be handled without adversely affecting adjacent properties; and 2) a Grading Permit for any grading proposed with this application. These requirements will be included as Project Notes.

C. Would the project result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse; or

D. Would the project be located on expansive soils, creating substantial risks to life or property?

FINDING: NO IMPACT:

The project is not located within an area of known risk of landslides, lateral spreading, subsidence, liquefaction, or collapse, or within an area of known expansive soils.

- E. Would the project have soils incapable of adequately supporting the use of septic tanks or alternative disposal systems where sewers are not available for wastewater disposal?

FINDING: NO IMPACT:

The project will install an individual sewage disposal system for the proposed caretaker's residence/office, as no public sewer system is currently available to the property. The use of the restroom by the caretaker or visitors to the proposed facility will generate limited wastewater disposal.

The Fresno County Department of Public Health, Environmental Health Division expressed no concerns with the proposal related to wastewater disposal.

VII. GREENHOUSE GAS EMISSIONS

- A. Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Would the project conflict with any applicable plan, policy or regulation adopted for reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Comments received from the San Joaquin Valley Air Pollution Control District (Air District) expressed no specific project-related concerns, supporting the determination that the project will not generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment. The project will adhere to the Air District Enforced Emission Reduction Measures as defined in the District-approved AIA Application.

VIII. HAZARDS AND HAZARDOUS MATERIALS

- A. Would the project create a significant public hazard through routine transport, use or disposal of hazardous materials; or
- B. Would the project create a significant public hazard involving accidental release of hazardous materials into the environment; or
- C. Would the project create hazardous emissions or utilize hazardous materials, substances or waste within one quarter-mile of a school?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County Department of Public Health, Environmental Health Division (Health Department) reviewed the proposal and requires the following: 1) Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20,

Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5; 2) Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95; and 3) All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. These requirements will be included as Project Notes.

The project site is not within one quarter-mile of a school. The nearest school, Clovis North High School, is approximately 3,344 feet southwest of the subject proposal.

D. Would the project be located on a hazardous materials site?

FINDING: NO IMPACT:

The project site has not been identified as a hazardous materials site. The Fresno County Department of Public Health, Environmental Health Division expressed no concerns regarding suitability of the site for the project.

E. Would a project located within an airport land use plan or, absent such a plan, within two miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area; or

F. Would a project located within the vicinity of a private airstrip result in a safety hazard for people residing or working in the project area?

FINDING: NO IMPACT:

The project site is not located within an Airport Land Use Plan area, within two miles of a public use airport, or near a private airstrip. The nearest airstrip, Arnold Ranch Airport, is approximately 3.7 miles northwest of the site. The project will not be impacted by airstrip activity.

G. Would the project impair implementation of or physically interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan?

FINDING: NO IMPACT:

The project does not include any characteristics (e.g., permanent road closures) that would physically impair or otherwise interfere with emergency response or evacuation in the project vicinity. The project will not conflict with an emergency response or evacuation plan. No impact would occur.

H. Would the project expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

FINDING: NO IMPACT:

The project is not located within or adjacent to a wildland fire area and therefore will not expose persons or structures to wildland fire hazards.

IX. HYDROLOGY AND WATER QUALITY

- A. Would the project violate any water quality standards or waste discharge requirements or otherwise degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section VI. E. Geology and Soils concerning waste discharge requirement.

Concerning impact on groundwater quality, the Fresno County Department of Public Health, Environmental Health Division requires that all abandoned water wells and septic systems be properly destroyed by an appropriately-licensed contractor. Also, prior to destruction of agricultural wells, a sample of the upper most fluid in the well column should be checked for lubricating oil and if lubricating oil is found in the well, the oil should be removed from the well prior to placement of fill material for destruction, and the "oily water" removed from the well shall be handled in accordance with federal, state and local government requirements. These requirements will be included as Project Notes.

- B. Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge so that there would be a net deficit in aquifer volume or a lowering of the local groundwater table?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the Applicant's Operational Statement, the project will use approximately 400 gallons of water per day. The water will be provided by an on-site well and the primary users will be the proposed caretaker's residence and on-site landscaping activity.

The subject property is in a low-water area of Fresno County. The Water and Natural Resources Division of the Fresno County Department of Public Works and Planning reviewed the proposal and requires a well yield test prior to the issuance of building permits. This requirement will be included as a Condition of Approval.

The State Water Resources Control Board - Division of Drinking Water (SWRCB-DDW) and Local Agency Formation Commission (LAFCo) also reviewed the proposal. According to SWRCB-DDW, the proposed facility will not meet the definition of a transient public water system (25 or more visitors on the 60 busiest days of the year), and therefore will not be regulated by SWRCB-DDW. LAFCo expressed no concerns with the project utilizing an individual well and septic system.

- C. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off site; or
- D. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner that would result in flooding on or off site?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno Metropolitan Flood Control District (FMFCD) reviewed the proposal and stated that FMFCD shall review drainage and grading plans; and on-site retention of storm water run-off is not required, provided the developer can verify to the County that run-off can be safely conveyed to the Master Plan inlets. These requirements will be included as Project Notes.

- E. Would the project create or contribute run-off, which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted run-off?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Construction of the proposed facility will not cause significant changes in absorption rates, drainage patterns or the rate and amount of surface run-off with adherence to the mandatory construction practices contained in the Grading and Drainage Sections of the County Ordinance Code. Site drainage requirements will be addressed through subsequent Site Plan Review recommended as a Condition of Approval.

- F. Would the project otherwise substantially degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in IX. A. above.

- G. Would the project place housing within a 100-year floodplain; or
- H. Would the project place structures within a 100-year flood hazard area that would impede or redirect flood flows?

FINDING: NO IMPACT:

According to FEMA (Federal Emergency Management Agency), the project site is not subject to flooding from the 100-year storm. The proposed caretaker's residence will not be impacted by flood hazard.

- I. Would the project expose persons or structures to levee or dam failure; or
- J. Would the project cause inundation by seiche, tsunami or mudflow?

FINDING: NO IMPACT:

The subject site is not prone to seiche, tsunami or mudflow, nor is the project likely to expose persons or structures to potential levee or dam failure. No levee or dam exists near the project site.

X. LAND USE AND PLANNING

A. Will the project physically divide an established community?

FINDING: NO IMPACT:

The project will not physically divide an established community and is located approximately 2,817 feet east of the City of Fresno.

B. Will the project conflict with any Land Use Plan, policy or regulation of an agency with jurisdiction over the project?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is designated Agriculture in the Fresno County General Plan and is located outside of the Spheres of Influence of the City of Fresno and City of Clovis. The project is not in conflict with any land use plan, policy plan or regulation of these cities.

The County General Plan allows a personal/recreational vehicle storage facility in an agriculturally zoned area by discretionary land use approval provided it meets applicable General Plan policies. Regarding Policy LU-A.3 a. b. c. d. g., the project will adequately serve the surrounding rural areas and urban development in the cities of Clovis and Fresno, is not located on a prime farmland, will use limited groundwater (400 gallons per day), and can be provided with adequate workforce from the nearby City of Fresno and City of Clovis. Regarding Policy LU-A.12 and Policy LU-A.13, the project is a compatible use pursuant to Policy LU-A.3, in that the proposed storage building and landscaping along the property boundaries will provide buffer between the project development and the adjacent uses. Regarding Policy PF-C.17 and Policy PF-D.6, the project will drill a new water well and install a new individual sewage disposal system on the property. No community water and sewer facilities are currently unavailable to the property.

C. Will the project conflict with any applicable Habitat Conservation Plan or Natural Community Conservation Plan?

FINDING: NO IMPACT:

The project will not conflict with any Habitat Conservation or Natural Community Conservation Plans.

XI. MINERAL RESOURCES

A. Would the project result in the loss of availability of a known mineral resource; or

- B. Would the project result in the loss of availability of a locally-important mineral resource recovery site designated on a General Plan?

FINDING: NO IMPACT:

No mineral resource impacts were identified in the project analysis. The project site is not located in a mineral resources area identified in Policy OS-C.2 of the General Plan.

XII. NOISE

- A. Would the project result in exposure of people to severe noise levels; or
- B. Would the project result in exposure of people to or generate excessive ground-borne vibration or ground-borne noise levels; or
- C. Would the project cause a substantial permanent increase in ambient noise levels in the project vicinity; or
- D. Would the project result in a substantial temporary or periodic increase in ambient noise levels?

FINDING: NO IMPACT:

The Fresno County Department of Public Health, Environmental Health Division reviewed the proposal and expressed no concerns related to noise.

- E. Would the project expose people to excessive noise levels associated with a location near an airport or a private airstrip; or
- F. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: NO IMPACT:

See discussion in Section VIII. E. F. above. The project will not expose people to airport noise.

XIII. POPULATION AND HOUSING

- A. Would the project induce substantial population growth either directly or indirectly; or
- B. Would the project displace substantial numbers of existing housing; or
- C. Would the project displace substantial numbers of people, necessitating the construction of housing elsewhere?

FINDING: NO IMPACT:

The project will not result in an increase of housing. The proposed caretaker's residence will not induce population growth.

XIV. PUBLIC SERVICES

A. Would the project result in substantial adverse physical impacts associated with the provision of new or physically-altered public facilities in the following areas:

1. Fire protection?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Fresno County Fire Protection District (CalFire) expressed no concerns with the project. The project will require compliance with the California Code of Regulations Title 24 – Fire Code, and approval of County-approved site plans by the Fire District at the time the Applicant applies for building permits. The project will also require annexation to Community Facilities District No. 2010-01 of the Fresno County Fire Protection District. These requirements will be included as Project Notes.

2. Police protection; or

3. Schools; or

4. Parks; or

5. Other public facilities?

FINDING: NO IMPACT:

The project will not result in the need for additional public facilities and will not affect existing public services.

XV. RECREATION

A. Would the project increase the use of existing neighborhood and regional parks; or

B. Would the project require the construction of or expansion of recreational facilities?

FINDING: NO IMPACT:

No impacts on recreational resources were identified in the project analysis.

XVI. TRANSPORTATION/TRAFFIC

A. Would the project conflict with any applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation; or

- B. Would the project conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demands measures?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The Design Division of the Fresno County Department of Public Works and Planning reviewed the proposal and required a traffic impact study to determine the project's impacts to County roadways and Intersections.

Peters Engineering Group prepared a Traffic Impact Study (TIS) dated June 1, 2018 which indicated that with the construction of Phase 1 of the Project, the study intersections (Willow and Copper Avenues) would continue to operate with delays and levels of service very similar to the existing conditions. Therefore, Phase 1 will not cause a significant traffic impact. However, after development of all three phases of the Project, more than 5.0 seconds of additional delay would be added to the intersection of Willow and Copper Avenues during the a.m. peak hour, which is a significant impact. The TIS also indicated that after full development of the Project and other known pending and approved projects in the area, Willow Avenue/Copper Avenue and Minnewawa Avenue/Copper Avenue intersections would operate below the target LOS (Level of Service) and would require signalization and road widening.

The Design Division of the Fresno County Department of Public Works and Planning reviewed the TIS and concurred with its findings, stating that to mitigate the cumulative impact of the project on transportation in the project area, the intersections of Copper and Willow Avenues, Copper Avenue and Auberry Road and Copper and Minnewawa Avenue shall require widening and signalization to operate at acceptable levels of service in the future, and the project shall pay its equitable share percentage for future signalization and widening of the streets. This requirement, incorporated in the following Mitigation Measures, would apply to the project.

* **Mitigation Measures**

1. *Prior to the issuance of building permits for the proposed project, the Applicant shall enter into an agreement with the County of Fresno agreeing to participate in pro-rata shares developed in the funding of future off-site traffic improvement as defined in the items a., b., & c. below.*
 - a. *The intersection of Copper and Willow Avenues will require widening and signalization with at least the following lane configurations:

Eastbound: one left-turn lane, two through lanes, and one right-turn lane;
Westbound: one left-turn lane, two through lanes, and one right-turn lane;
Northbound: one left-turn lane, two through lanes, and one right-turn lane;
Southbound: one left-turn lane, two through lanes, and one right-turn lane. Applicant's total share cost is \$ 7,796.*
 - b. *The intersection of Copper Avenue and Auberry Road will require widening and signalization with at least the following lane configurations:*

Eastbound: one left-turn lane and two through lanes; Westbound: two through lanes and one right-turn lane; Southbound: one left-turn lane and one right-turn lane. Applicant's total share cost is \$ 5,574.

- c. *The intersection of Copper and Minnewawa Avenues will require widening and signalization with at least the following lane configurations:*

Eastbound: two through lanes and one right-turn lane; Westbound: one left-turn lane and two through lanes; Northbound: one left-turn lane and one right-turn lane. Applicant's total share cost is \$ 12,914.

The County shall update cost estimates for the above-specified improvements prior to execution of the agreement. The Board of Supervisors pursuant to Ordinance Code Section 17.88 shall adopt a Public Facilities Fee addressing the updated pro-rata costs. The Public Facilities Fee shall be related to off-site road improvements, plus costs required for inflation based on the Engineering News Record (ENR) 20 Cities Construction Cost Index.

The Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning and the City of Clovis also reviewed the TIS and concurred with the Design Division on street widening, signalization and the project paying its fair share. The City of Clovis expressed no concerns with the TIS, and the City of Fresno stated that the project would have no impact on City traffic.

- C. Would the project result in a change in air traffic patterns?

FINDING: NO IMPACT:

The project site is located approximately 3.7 miles east of the Arnold Ranch Airport. The tallest on-site proposed building (caretaker's residence) is approximately 16.5 feet in height. The building height and the distance from the nearest airport eliminates the possibility of the project altering air traffic patterns.

- D. Would the project substantially increase traffic hazards due to design features?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning reviewed the proposal and to minimize traffic hazard due to design feature requires the following: 1) provide a "worm" left turn lane into the site to preclude outbound site traffic to a right only movement, and the Applicant shall sign a covenant agreeing to this future left turn restriction out of the site; 2) The gate and queueing area shall allow traffic that cannot access the site to be able to turn around without encroaching into the road right-of-way; and 3) the project shall dedicate additional right-of-way north of Copper Avenue centerline and west of Auberry Road centerline. These requirements will be included as Conditions of Approval and be addressed through subsequent Site Plan Review.

E. Would the project result in inadequate emergency access?

FINDING: NO IMPACT:

The project design includes an emergency fire exit from the project site to Auberry Road. This access appears to be adequate to serve the facility and will be further analyze by the Fresno County Fire Protection District during the subsequent Site Plan Review and prior to the issuance of building permits for the use.

F. Would the project conflict with adopted plans, policies or programs regarding public transit, bicycle or pedestrian facilities or otherwise decrease the performance or safety of such facilities?

FINDING: NO IMPACT:

The project will not conflict with any adopted transportation plans. As such, no impacts associated with public transit or pedestrian and bicycle hazards are expected from this proposal.

XVII. UTILITIES AND SERVICE SYSTEMS

A. Would the project exceed wastewater treatment requirements; or

B. Would the project require construction of or the expansion of new water or wastewater treatment facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section VI. E. Geology and Soils and Section IX. A. Hydrology and Water Quality.

C. Would the project require or result in the construction or expansion of new storm water drainage facilities?

FINDING: LESS THAN SIGNIFICATION IMPACT:

See discussion in Section IX.E Hydrology and Water Quality.

D. Would the project have sufficient water supplies available from existing entitlements and resources, or are new or expanded entitlements needed?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section IX. B. Hydrology and Water Quality.

E. Would the project result in a determination of inadequate wastewater treatment capacity to serve project demand?

FINDING: NO IMPACT:

See discussion in Section VI.E Geology and Soils.

- F. Would the project be served by a landfill with sufficient permitted capacity; or
- G. Would the project comply with federal, state and local statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Limited solid waste will be produced by the caretaker's residence and packaging material left by customers, consisting of drinks, meal cardboard, paper trash and recyclables. All solid waste will be collected through regular trash collection service. The limited trash generated by the proposal will have a less than significant impact on the holding capacity of the local landfill.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

- A. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California prehistory or history?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Impacts on biological and cultural resources have been reduced to a less than significant level with the Mitigation Measures discussed above in Section IV. A. B. and Section V.A.B.C.D.

- B. Does the project have impacts that are individually limited, but cumulatively considerable?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed facility will adhere to permitting requirements and rules and regulations set forth by the Fresno County Grading and Drainage Ordinance, San Joaquin Valley Air Pollution Control District, and the California Code of Regulations Fire Code. The only cumulatively considerable impacts identified in the analysis were Aesthetics, Biological Resources, Cultural Resources and Transportation/Traffic. Those impacts have been reduced to a less than significant level with the Mitigation Measures discussed above in Section I. D., Section IV. A. B., Section V. A. B. C. D., and Section XVI A. B.

- C. Does the project have environmental impacts which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No substantial adverse impacts on human beings were identified in the analysis.

CONCLUSION/SUMMARY

Based upon Initial Study (IS) No. 7347 prepared for Classified Conditional Use Permit Application No. 3588, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there will be no impacts to mineral resources, noise, population and housing, or recreation.

Potential impacts related to agricultural and forestry resources, air quality, biological resources, geology and soils, greenhouse gas emissions, hazard and hazardous materials, hydrology and water quality, land use and planning, public services, and utilities and service systems have been determined to be less than significant.

Potential impacts to aesthetics, cultural resources and transportation/traffic have been determined to be less than significant with the identified Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

EA:ksn
G:\4360Devs&PIn\PROJSEC\PROJDOCS\CUP\3500-3599\3588\IS-CEQA\CUP 3588 IS wu.docx

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7347	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Ejaz Ahmad, Planner	Area Code: 559	Telephone Number: 600-4204	Extension: N/A
Applicant (Name): Derrel's Mini-Storage, Inc.	Project Title: Classified Conditional Use Permit Application No. 3588		
Project Description: Allow a personal/recreational vehicle storage facility and a caretaker's residence with office on a 38.03-acre in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the northwest corner of E. Copper Avenue and Auberry Road approximately 2,800 feet east of the nearest city limits of the City of Fresno (Sup. Dist. 5) (APN 580-040-09).			
Justification for Mitigated Negative Declaration: Based upon the Initial Study (IS 7347) prepared for Classified Conditional Use Permit Application No. 3588, staff has concluded that the project will not have a significant effect on the environment. No impacts were identified related to mineral resources, noise, population and housing, or recreation. Potential impacts related to agricultural and forestry resources, air quality, biological resources, geology and soils, greenhouse gas emissions, hazard and hazardous materials, hydrology and water quality, land use and planning, public services, and utilities and service systems have been determined to be less than significant. Potential impact related to aesthetics, cultural resources and transportation/traffic have been determined to be less than significant with the identified mitigation measure. The Initial Study and MND is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southeast corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – November 2, 2018		Review Date Deadline: December 3, 2018	
Date: October 29, 2018	Type or Print Name: Marianne Mollring, Senior Planner	Submitted by (Signature):	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**