



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 2 October 25, 2018

SUBJECT: Initial Study Application No. 7458 and Classified Conditional Use Permit Application No. 3613

Allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Avenue) (APN 050-140-43S) (Sup. Dist. 4).

**OWNER/
APPLICANT:** Pacific Agriculture Rentals

STAFF CONTACT: Danielle Crider, Planner
(559) 600-9669

Marianne Mollring, Senior Planner
(559) 600-4569

RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7458; and
- Approve Classified Conditional Use Permit No. 3613 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Mitigation Monitoring, Conditions of Approval, and Project Notes
2. Location Map
3. Zoning Map
4. Land Use Map
5. Site Plan, Floorplan, and Elevations
6. Applicant's Operational Statement
7. Summary of Initial Study Application No. 7458
8. Draft Mitigated Negative Declaration

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Agricultural	No change
Zoning	AE-20 (Exclusive Agricultural, 20-acre minimum parcel size)	No change
Parcel Size	8.78 acres	No change
Structural Improvements	5,000 square-foot farm shop/office building, 6-foot-tall chain-link fence	4,983 square feet of additional shop building space, one 2,000-gallon and one 1,000-gallon diesel fuel tank (already on site), related parking
Nearest Residence	660 feet west of the subject parcel	No change
Surrounding Development	Agricultural uses	No change
Operational Features	N/A	Sale, maintenance, leasing, and storage of agricultural equipment
Employees	N/A	15 Employees
Traffic Trips	N/A	Approximately 22 two-way traffic trips per day for business purposes. 15 two-way traffic trips per day may result from commuting employees.

Criteria	Existing	Proposed
Lighting	On the existing shop building	Additional lighting is proposed on the new building and in the parking areas. A Mitigation Measure requires that these lights be hooded, downturned, and directed away from neighboring properties.
Hours of Operation	N/A	Monday – Friday: 8am to 5pm Limited operations on some Saturdays

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

An Initial Study was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the Initial Study, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the Initial Study is included as Exhibit 7.

Notice of Intent to adopt a Mitigated Negative Declaration publication date: September 12, 2018.

PUBLIC NOTICE:

Notices were sent to 8 property owners within 1,350 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

A Classified Conditional Use Permit may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on a Classified Conditional Use Permit Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

BACKGROUND INFORMATION:

The subject parcel was originally zoned A-1 (Agricultural) as established by the Board of Supervisors on June 8, 1960. The A-1 Zone District allowed the creation of parcels as small as 10,000 square -feet, therefore the creation of this 8.782-acre parcel through Parcel Map No. 3105 was allowed by right in July 1976. On August 31, 1976 the zoning was amended to the current AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District by way of County-initiated Amendment Application No. 2870.

The sale, maintenance, leasing, and storage of agricultural equipment is allowed by right in the AE-20 Zone District when the operation is clearly secondary to a bona fide agricultural operation, when no more than 10% of the total land is used for the operation, when no more

than 3 people (other than the owner) are employed in such activities, and when the operation is owned and operated by the owner or occupant of the premises. The Applicant's operational statement and site plans indicate that there is to be no agricultural production on site, and that there will be 15 employees; therefore, a Conditional Use Permit is necessary to allow this use.

Finding 1: *That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood*

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	Front: 35 feet* Street Side: 35 feet** Interior Side: 20 feet Rear: 20 feet *Taken from 53-foot ultimate right-of-way **Taken from edge of 60-foot-wide access easement	Front (north): 350 feet Street Side (east): 35 feet Side (west): 125 feet Rear (south): 360 feet There are existing improvements built within the 60-foot-wide access easement and required side-yard setback. No additional improvements that would not otherwise be allowed in these areas will be allowed as a part of the proposed Conditional Use Permit.	Yes
Parking	One parking space for every 800 square feet of floor space; 13 required spaces	32 parking spaces	Yes
Lot Coverage	No requirement	0.03% lot coverage	N/A
Space Between Buildings	No requirement	No requirement	N/A
Wall Requirements	No requirement	No requirement	N/A
Septic Replacement Area	100 percent	N/A	N/A
Water Well Separation	Septic tank: 50 feet; Disposal field: 100 feet; Seepage pit: 150 feet	No water well on site	N/A

Reviewing Agency/Department Comments Regarding Site Adequacy:

Zoning Section of the Fresno County Department of Public Works and Planning: No Comments.

Building and Safety Section of the Fresno County Department of Public Works and Planning: Plans, permits and inspections are required for all on-site improvements. This comment shall be included as a Project Note.

Development Engineering Section of the Fresno County Department of Public Works and Planning: According to FEMA, FIRM Panel 2850J, portions of the subject parcel are in Zone A which is subject to flooding from the 100-year storm. If any development is within the area identified as Zone A, it must comply with the County Flood Hazard Ordinance (Title 15.48). This comment shall be included as a Project Note.

According to U.S.G.S. Quad Maps, there are no existing natural drainage channels adjacent to or running through the parcel.

Site Plan Review Unit of the Fresno County Department of Public Works and Planning: Any proposed driveway shall be a minimum of 24 feet and a maximum of 35 feet in width as approved by the Road Maintenance and Operations Division. If only the driveway is to be paved, the first 100 feet off of the edge of the ultimate right-of-way shall be concrete or asphalt. This comment shall be included as a Condition of Approval.

Internal access roads shall comply with required widths by the Fire District for emergency apparatus. Additionally, plan approval from the Fire District will be required prior to the acquisition of permits. This comment shall be included as a Project Note.

A dust palliative shall be required on all parking and circulation areas. This comment shall be included as a Project Note.

Outdoor lighting shall be hooded and directed away from adjoining streets and properties. This is required as a Mitigation Measure.

All proposed signs require submittal to the Department of Public Works and Planning permits counter to verify compliance with the Zoning Ordinance. Off-site advertising for commercial uses are prohibited in the AE (Exclusive Agriculture) Zone District. This comment shall be included as a Project Note.

Analysis:

Staff review of the site plans has confirmed that the proposed improvements will satisfy the setback requirements of the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. Based on the above information, staff believes that the subject parcel is adequate in size and shape to accommodate the proposed use.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 1 can be made.

Finding 2: *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use*

		Existing Conditions	Proposed Operation
Public Road Frontage	Yes	Mount Whitney Avenue	No change
Direct Access to Public Road	Yes	Mount Whitney Avenue	No change
Road ADT		Mount Whitney: 1800	The proposed use will result in approximately 37 additional two-way trips per day, Monday through Friday as a result of the proposed operation
Road Classification		Mount Whitney: Expressway	No change
Road Width		Mount Whitney: 32.5 feet	No change
Road Surface		Mount Whitney: Paved, Excellent Condition	No change
Traffic Trips		Unknown	37 two-way traffic trips per day
Traffic Impact Study (TIS) Prepared	No	N/A	The project does not meet the traffic thresholds that typically require a TIS
Road Improvements Required		N/A	None required

Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:

Development Engineering Section of the Fresno County Department of Public Works and Planning: Mount Whitney Avenue is a County-maintained road. Records indicate this section of Mount Whitney Avenue, from Howard Avenue to Madera Avenue Alignment, has an ADT of 1800, pavement width of 32.5 feet, structural section of .27 feet AC/.45 feet AB/1.05 feet LT/SB, and is in excellent condition.

Goldenrod Avenue Alignment is a private dirt road and not County-maintained. Per Parcel Map 3105 recorded in Book 22, Page 4, there is a 60-foot-wide easement west of the section line. According to the Plat Book, no dedication for Goldenrod Avenue has been made on this parcel.

Design Division of the Fresno County Department of Public Works and Planning: No comments.

Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning: Mount Whitney Avenue is classified as an Expressway in the County’s General Plan with a recommended right-of-way width of 106 feet. There is currently 100 feet of road right-of-way available along Mt Whitney Avenue. No additional right of way is required.

Note: The ultimate right-of-way of 53 feet from the center of Mount Whitney Avenue will be used to determine the required front-yard setback for all proposed development.

Analysis:

Based on the above information staff believes that the streets in proximity to the subject parcel will be adequate to accommodate the proposed use.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 2 can be made.

Finding 3: *That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof*

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	633.59 acres	Orchard	AE-20	N/A
	156.97 acres	Orchard	AE-40	N/A
West	10.00 acres	Field Crop	AE-20	N/A
South	10.00 acres	Vacant	AE-20	N/A
East	362.05	Vineyard	AE-40	N/A

Reviewing Agency/Department Comments:

Fresno County Department of Public Health, Environmental Health Division: Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes. This comment shall be included as a Project Note.

A spill prevention control and countermeasure plan (SPCC) is required for aboveground petroleum storage tanks with greater than or equal to 1320 gallons of storage capacity.

(Storage capacity means the aggregate capacity of all aboveground tanks and containers at a tank facility.) This comment shall be included as a Condition of Approval.

The Applicant should contact the local Fire Authority concerning construction and installation requirements for aboveground storage tanks. This comment shall be included as a Project Note.

The Applicant should be advised of the State of California Public Resources Code, Division 30 - Waste Management: Chapter 16 - Waste Tires, and Chapter 19 - Tire Hauler Registration, which may require the Owner/Operator to obtain a permit from the California Department of Resources Recycling and Recovery (CalRecycle). Contact the Local Waste Tire Enforcement Unit, Fresno County Department of Public Health, Environmental Health Division at (559) 600-3271 for additional information. This comment shall be included as a Project Note.

The use shall comply with the Noise Element of the Fresno County General Plan and Fresno County Noise Ordinance. This comment shall be included as a Project Note.

Development Engineering Section of the Fresno County Department of Public Works and Planning: Any additional runoff generated by the proposed development of this site cannot be drained across property lines and must be retained or disposed of per County Standards. This comment will be included as a mandatory Project Note.

A grading permit or voucher shall be required for any grading that has been done without a permit and any grading proposed with this application. This comment will be included as a mandatory Project Note.

Water and Natural Resources Division of the Fresno County Department of Public Works and Planning: The project is not located in a water-short area, and it is being served by Westlands Water District.

Westlands Water District: The Westlands Water District distribution system is not present on the Project site. The District recommends that Underground Service Alert be notified prior to construction for verification. This comment shall be included as a Project Note.

If the Applicant's water usage is expected to exceed their annual water allocation, then the Applicant must submit a supplemental Municipal and Industrial Water Application to the District. This comment shall be included as a Project Note.

The Applicant must comply with the District's Backflow Prevention guidelines for this connection to the water system. This comment shall be included as a Project Note.

Fresno County Department of Agriculture: No comments.

Analysis:

The project will use the 60-foot-wide access easement on the subject property, which exists to provide access to the land-locked, southerly adjacent parcel. However, this easement is non-exclusive, so as long as the proposed operation does not inhibit access to the southern parcel, the use of this easement is appropriate. A reliable water source for the project has been identified and confirmed. The water resources of the surrounding area will not be impacted by the proposed project.

Staff believes the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

See recommended Mitigation Measures and Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 3 can be made.

Finding 4: That the proposed development is consistent with the General Plan

Relevant Policies:	Consistency/Considerations:
<p>Policy LU-A.3: The County may allow by discretionary permit in areas designated Agriculture special agricultural uses and agriculturally-related activities, including value-added processing facilities and certain non-agricultural uses listed in Table LU-3. Approval of these and similar uses in areas designated Agriculture shall be subject to the following criteria:</p> <ul style="list-style-type: none"> A. The use shall provide a needed service to the surrounding agricultural area which cannot be provided more efficiently within urban areas or which requires location in a non-urban area because of unusual site requirements or operational characteristics. B. The operational or physical characteristics of the use shall not have a detrimental impact on water resources or the use or management of surrounding properties within at least one quarter-mile radius. C. A probable workforce should be located nearby or be readily available. 	<p>The proposed use will provide agricultural equipment and maintenance services to nearby farmers, and will therefore support agricultural production in the area.</p> <p>The proximity of these services to agricultural operations is necessary to efficiently serve them, therefore it would not be as effective to locate the proposed use in an urbanized area.</p> <p>The proposed use will receive water from Westlands Water District, and will not impact surrounding water uses. Traffic and access impacts have been discussed and were determined to be less than significant.</p> <p>The project is located approximately 3 miles east of Five Points and 7 miles east of Lanare. Both communities could provide a probable workforce for the proposed operation.</p>
<p>Policy LU-A.13: The County shall protect agricultural operations from conflicts with non-agricultural uses by requiring buffers between proposed non-agricultural uses and adjacent agricultural operations.</p>	<p>The existing and proposed structures, where the majority of maintenance activities will occur, are located centrally on the parcel and as far away from neighboring agricultural operations as possible. An existing 60-foot easement provides a natural buffer between the agricultural operation to the east and the subject parcel; this easement will experience some traffic as a result of the operation, but the use of dust palliatives will minimize any dust produced as a result of this traffic. The northerly adjacent parcels are separated from the subject parcel by an Expressway and a canal, which provide a sufficient buffer. The westerly and southerly adjacent parcels have no natural buffer, and it is</p>

	<p>proposed that machinery will be stored along these parcel boundaries. The storage of these machines would not result in frequent emissions or large quantities of dust being generated. This is a low-intensity use that will not conflict with surrounding agriculture.</p>
<p>Policy PF-C.17: The County shall, prior to consideration of any discretionary project related to land use, undertake a water supply evaluation. The evaluation shall include the following:</p> <ul style="list-style-type: none"> A. A determination that the water supply is adequate to meet the highest demand that could be permitted on the lands in question. If surface water is proposed, it must come from a reliable source and supply must be made “firm” by water banking or other suitable arrangement. If groundwater is proposed, a hydrogeologic investigation may be required to confirm the availability of water in amounts necessary to meet project demand. If the lands in question lie in an area of limited groundwater, a hydrogeologic investigation shall be required. B. A determination of the impact that use of the proposed water supply will have on other water users in Fresno County. If use of surface water is proposed, its use must not have a significant negative impact on agriculture or other water users within Fresno County. If use of groundwater is proposed, a hydrogeologic investigation may be required. If the lands in question lie in an area of limited groundwater, a hydrogeologic investigation shall be required. Should the investigation determine that significant pumping-related physical impacts will extend beyond the boundary of the property in question, those impacts shall be mitigated. C. A determination that the proposed water supply is sustainable or that there is an acceptable plan to achieve sustainability. The plan must be structured such that it is economically, environmentally, and technically feasible. In addition, its implementation must occur prior to long-term and/or irreversible physical impacts, or significant economic hardship, to surrounding water users. 	<p>The proposed project will receive water from the Westlands Water District. No wells will be drilled, and the water consumption of other water users in Fresno County will not be impacted. If the project exceeds their allotted amount of water usage, an increase would have to be approved by the Westlands Water District.</p>

Reviewing Agency Comments:

Policy Planning Section of the Fresno County Department of Public Works and Planning: The project site is not subject to a Williamson Act Contract.

Analysis:

Based on the above considerations, staff believes that the proposal is consistent with the Fresno County General Plan.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 4 can be made.

PUBLIC COMMENT:

None.

CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings for granting the Classified Conditional Use Permit can be made. Staff therefore recommends approval of Classified Conditional Use Permit No. 3613, subject to the recommended Conditions.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Move to adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7458; and
- Move to determine the required Findings can be made and move to approve Classified Conditional Use Permit No. 3613, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Classified Conditional Use Permit No. 3613; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Mitigation Measures, Recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

Mitigation Monitoring and Reporting Program
Initial Study Application No. 7458/Classified Conditional Use Permit Application No. 3613
(Including Conditions of Approval and Project Notes)

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as not to shine upward or toward adjacent properties and public streets.	Applicant	Applicant/Fresno County Department of Public Works and Planning (PW&P)	During construction and operation
2.	Biological Resources	A qualified biologist shall conduct a survey for nesting raptors prior to the onset of construction activities, following the survey methodology developed by the SWHA Technical Advisory Committee (SWHA TAC 2000). If ground-disturbing activities take place between February 1 and September 15, a pre-construction survey for active nests must be conducted by a qualified biologist no more than 10 days prior to the onset of these ground-disturbing activities.	Applicant	Applicant/PW&P	Prior to construction and decommissioning
3.	Biological Resources	If an active SWHA nest is found, no construction may take place within a one half-mile of the nest until the end of breeding season (September 15) or until a qualified biologist has determined that the young have fledged and are no longer reliant upon the nest or parental care for survival. If this is not feasible, the Applicant shall consult with the California Department of Fish and Wildlife (CDFW) to determine if the project can avoid take. If SWHA cannot be avoided, acquisition of an Incidental Take Permit (ITP) could be warranted.	Applicant	Applicant/PW&P	Prior to construction through the completion of decommissioning activities
4.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	During ground-disturbing activities

EXHIBIT 1

Conditions of Approval	
1.	Development of the property shall be in accordance with the Site Plan, Elevation, and Operational Statement approved by the Commission.
2.	Any proposed driveway shall be a minimum of 24 feet and a maximum of 35 feet in width as approved by the Road Maintenance and Operations Division. If only the driveway is to be paved, the first 100 feet off of the edge of the ultimate right-of-way shall be concrete or asphalt.
3.	A spill prevention control and countermeasure plan (SPCC) is required for aboveground petroleum storage tanks with greater than or equal to 1320 gallons of storage capacity. (Storage capacity means the aggregate capacity of all aboveground tanks and containers at a tank facility.)
4.	Permits must be obtained from the Department of Public Works and Planning for any unpermitted structures prior to the granting of final occupancy. The presence of any unpermitted structures will be determined during inspection.

*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document. Conditions of Approval reference recommended Conditions for the project.

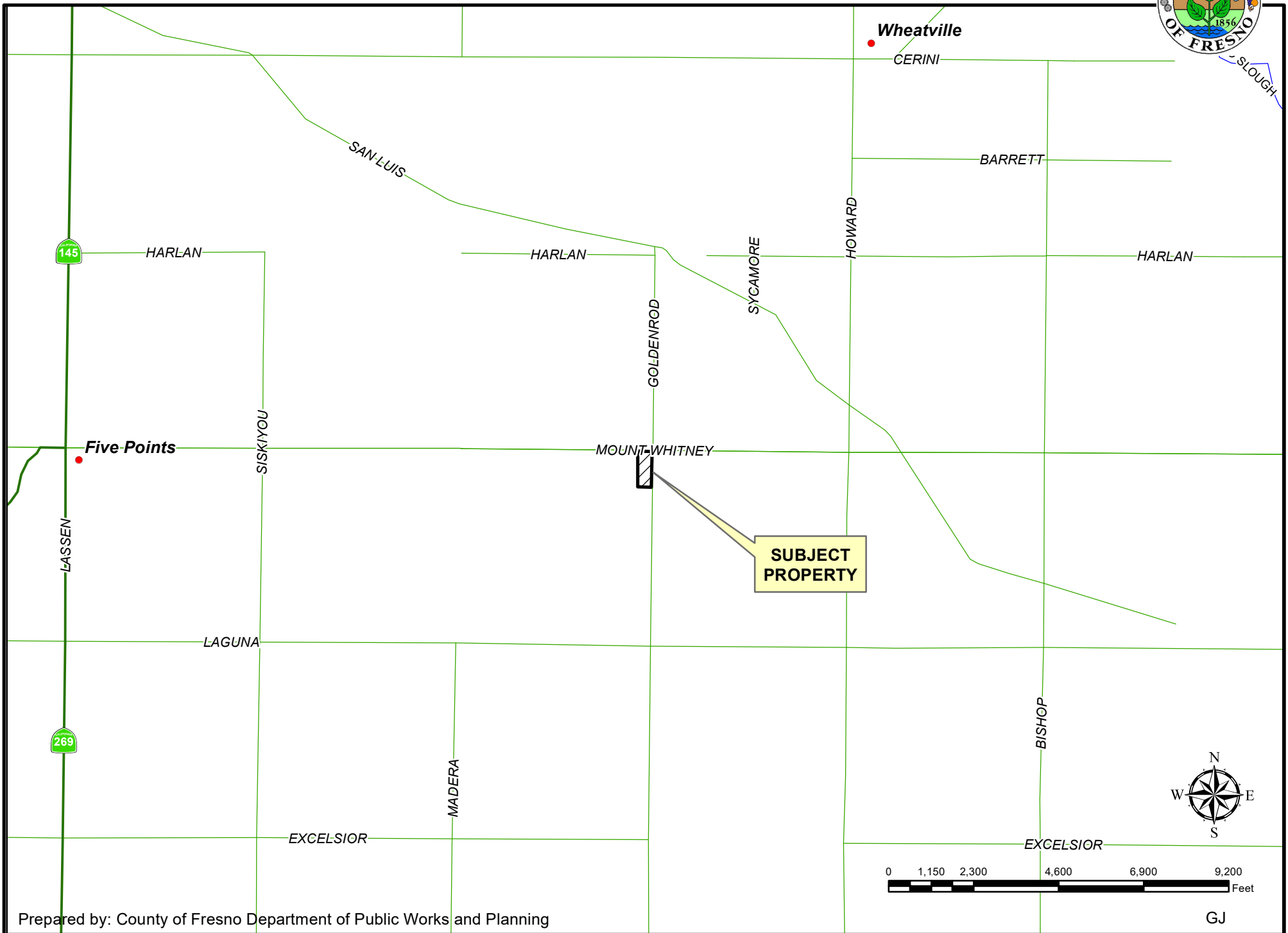
Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	Plans, permits and inspections are required for all on-site improvements.
2.	According to FEMA, FIRM Panel 2850J, portions of the subject parcel are in Zone A, which is subject to flooding from the 100-year storm. If any development is within the area identified as Zone A, it must comply with the County Flood Hazard Ordinance (Title 15.48).
3.	Internal access roads shall comply with required widths by the Fire District for emergency apparatus. Additionally, plan approval from the Fire District will be required prior to the acquisition of permits.
4.	A dust palliative shall be required on all parking and circulation areas.
5.	Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.
6.	The Applicant should contact the local Fire Authority concerning construction and installation requirements for aboveground storage tanks.
7.	The Applicant should be advised of the State of California Public Resources Code, Division 30 - Waste Management: Chapter 16 - Waste Tires, and Chapter 19 - Tire Hauler Registration, which may require the Owner/Operator to obtain a permit from the

	California Department of Resources Recycling and Recovery (CalRecycle). Contact the Local Waste Tire Enforcement Unit, Fresno County Department of Public Health, Environmental Health Division at (559) 600-3271 for additional information.
8.	The use shall comply with the Noise Element of the Fresno County General Plan and Fresno County Noise Ordinance.
9.	Any additional runoff generated by the proposed development of this site cannot be drained across property lines and must be retained or disposed of per County Standards.
10.	A grading permit or voucher shall be required for any grading that has been done without a permit and any grading proposed with this application.
11.	Westlands Water District (District) Project Notes: <ul style="list-style-type: none"> • The District's distribution system is not present on the Project site. • The District recommends that Underground Service Alert be notified prior to construction for verification. • If the Applicant's water usage is expected to exceed their annual water allocation, the Applicant must submit a supplemental Municipal and Industrial Water Application to the District. • The Applicant must comply with the District's Backflow Prevention guidelines for this connection to the water system.
12.	This permit will become void unless there has been substantial development within two years of the effective date of approval.

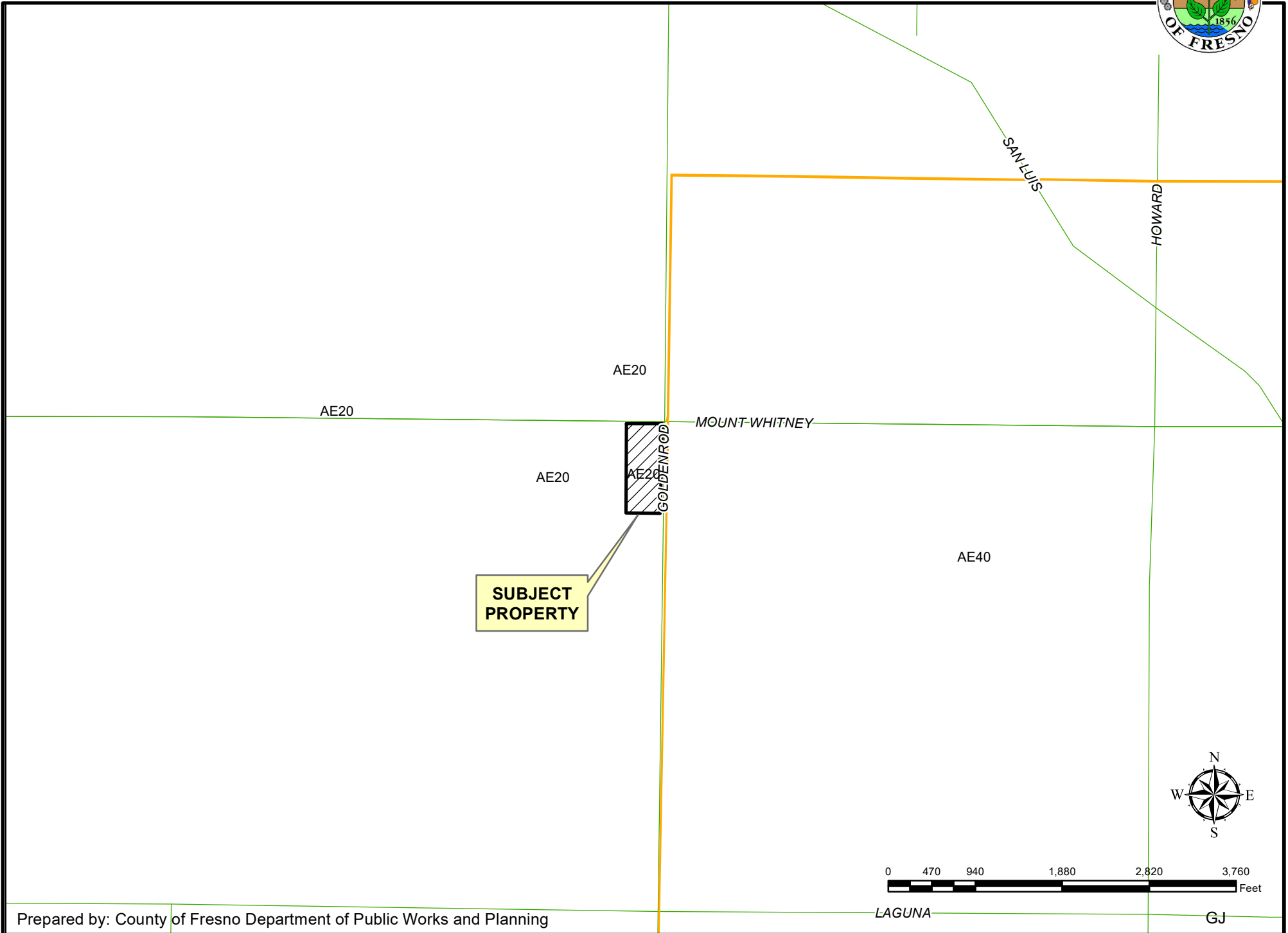
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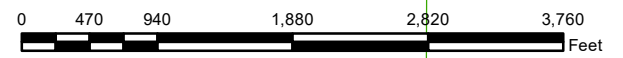
LOCATION MAP



EXISTING ZONING MAP



**SUBJECT
PROPERTY**



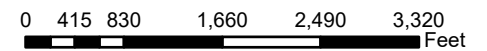
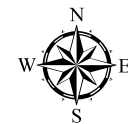
EXISTING LAND USE MAP



LEGEND	
FC	- FIELD CROP
I	- INDUSTRIAL
ORC	- ORCHARD
SF#	- SINGLE FAMILY RESIDENCE
V	- VACANT
VIN	- VINEYARD
CP#	- OFFICE COMM./PROF

LEGEND:

-  Subject Property
-  Ag Contract Land



Department of Public Works and Planning
Development Services Division

New AG Shop For Pacific AG Rentals

14093 W. Mt. Whitney Ave.
Five Points, CA 93624

THOMSON
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VICINITY MAP

PROJECT CONSULTANTS

PROJECT DESCRIPTION



ARCHITECT

Thomson Architectural Group, Inc.

240 W. Robertson Blvd.
Chowchilla, CA 93610
Phone: (559) 665-4900
Fax: (559) 665-0879

Contact:
Scott N. Thomson, AIA
Bryan J. Rasmussen, Project Manager

ELECTRICAL

Thomson Architectural Group, Inc.

240 W. Robertson Blvd.
Chowchilla, CA 93610
Phone: (559) 665-4900
Fax: (559) 665-0879

Contact:
Scott N. Thomson, AIA
Bryan J. Rasmussen, Project Manager

PLUMBING

Thomson Architectural Group, Inc.

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Chowchilla, CA 93610
Phone: (559) 665-4900
Fax: (559) 665-0879

Contact:
Scott N. Thomson, AIA
Bryan J. Rasmussen, Project Manager

BUILDER

Eckard Commercial Construction, Inc.

3914 E. 41st Place, Suite 1
Yuma, AZ 85365
Phone: (928) 317-0339
Fax: (928) 317-2840

Contact:
Troy Eckard

OWNER INFORMATION:

Pacific AG Rentals
14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Contact:

SITE ADDRESS:

14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Latitude: 36° 25' 44" N
Longitude: 120° 03' 00" W

Zoning:

AE-40 - Agriculture Exclusive

APN #:

050-140-435

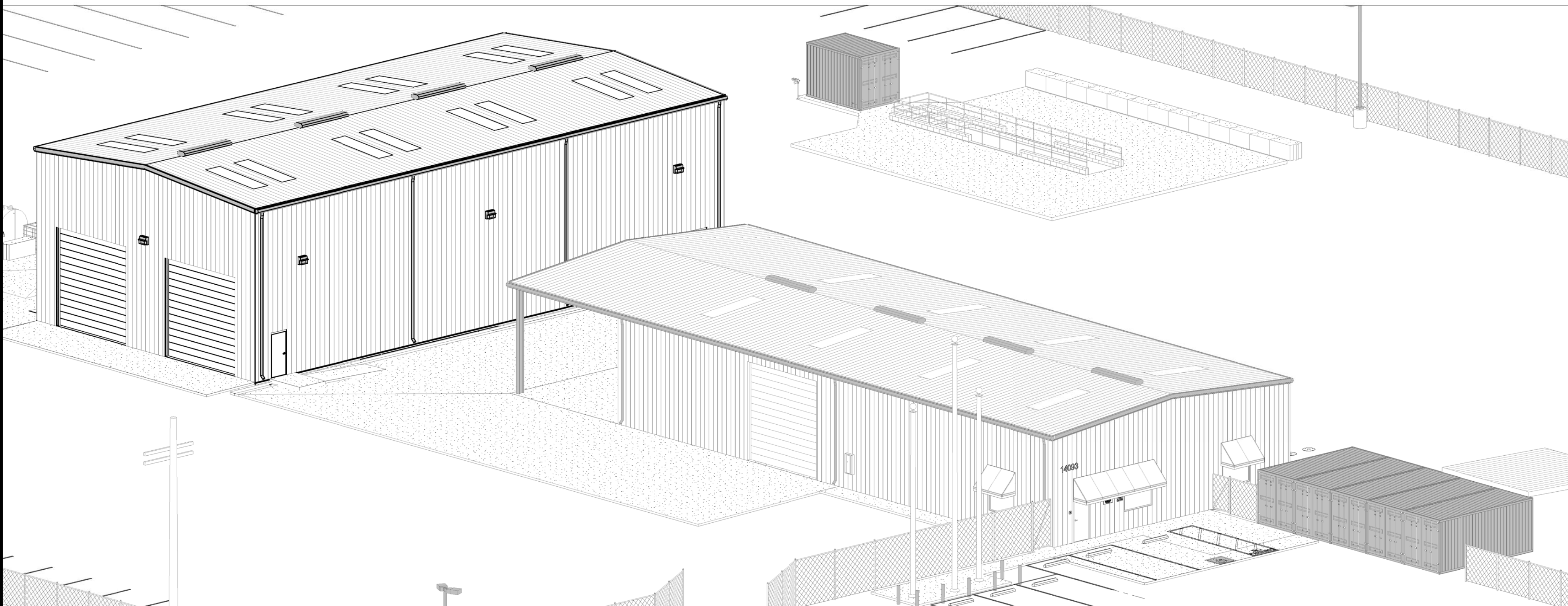
PROJECT SCOPE OF WORK:

New 4,983 Sq. Ft. AG Shop. Utilizing A Metal Building System, Concrete Slab On Grade, Concrete Drive Approach, And New Fire Water Storage Tanks, Exterior Building Mounted Lighting With Interior LED Lighting. Access Barrier Removal. No Mechanical, No Plumbing.

SHEET INDEX

	GENERAL	MECHANICAL
T-1.01	Title Sheet & Project Information	
T-2.01	Code Analysis & Project Data	
		PLUMBING
		ELECTRICAL
		CIVIL
C-1.11	Site Plan	
C-1.21	Enlarged Site Plan @ Accessible Parking	
		TITLE 24
	STRUCTURAL	
	ARCHITECTURAL	METAL BUILDING
A-1.01	Floor Plan - Existing Building	
A-1.11	Floor Plan - New Building	
A-2.11	Exterior Elevations - New Building	

CONCEPTUAL



Client Info:
Eckard Commercial Construction, Inc.
Project Info:

New AG Shop For Pacific AG Rentals
14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Drawn By: **B. Rasmussen**
Checked By: **S. N. Thomson**

Rev	Description	Date	By
1	Per Owner	3-17-17	BJR
2	Plan Check	5-17-17	BJR

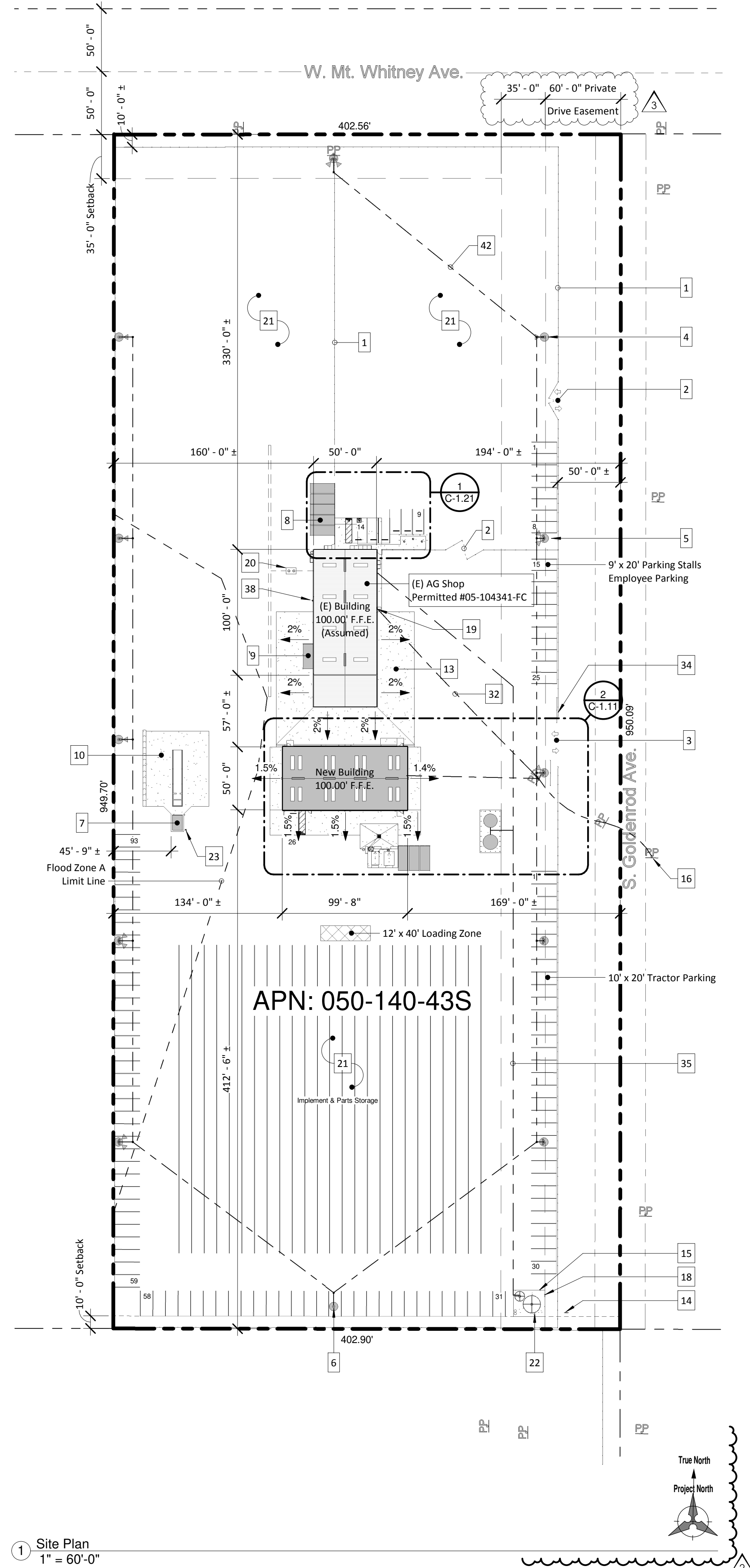
Project:
New AG Shop

Project Date: **11-28-2016**
Issue Date: **4-03-2018**

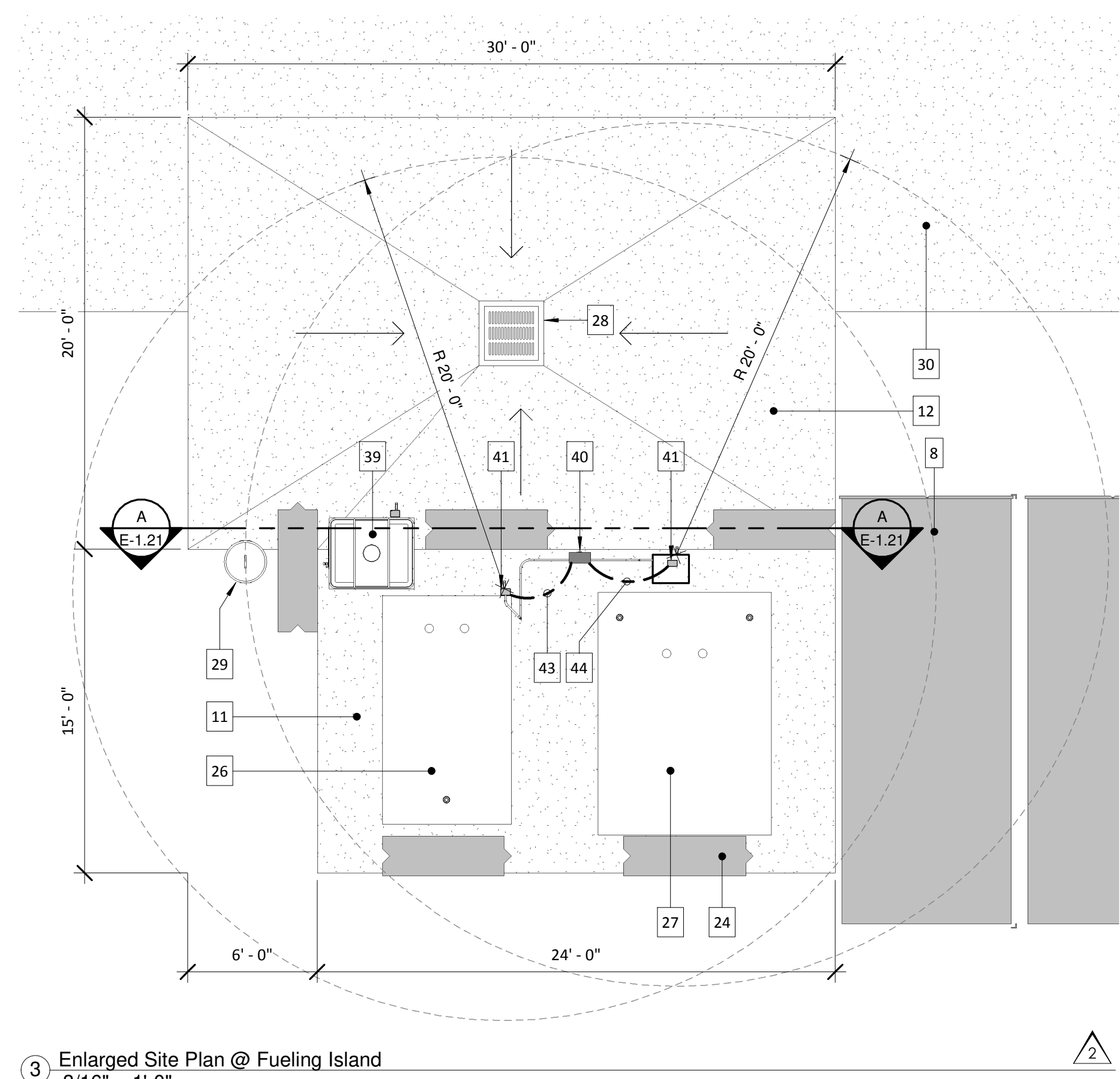
Project No:
TAG-09163

Sheet Contents:
Title Sheet & Project Information

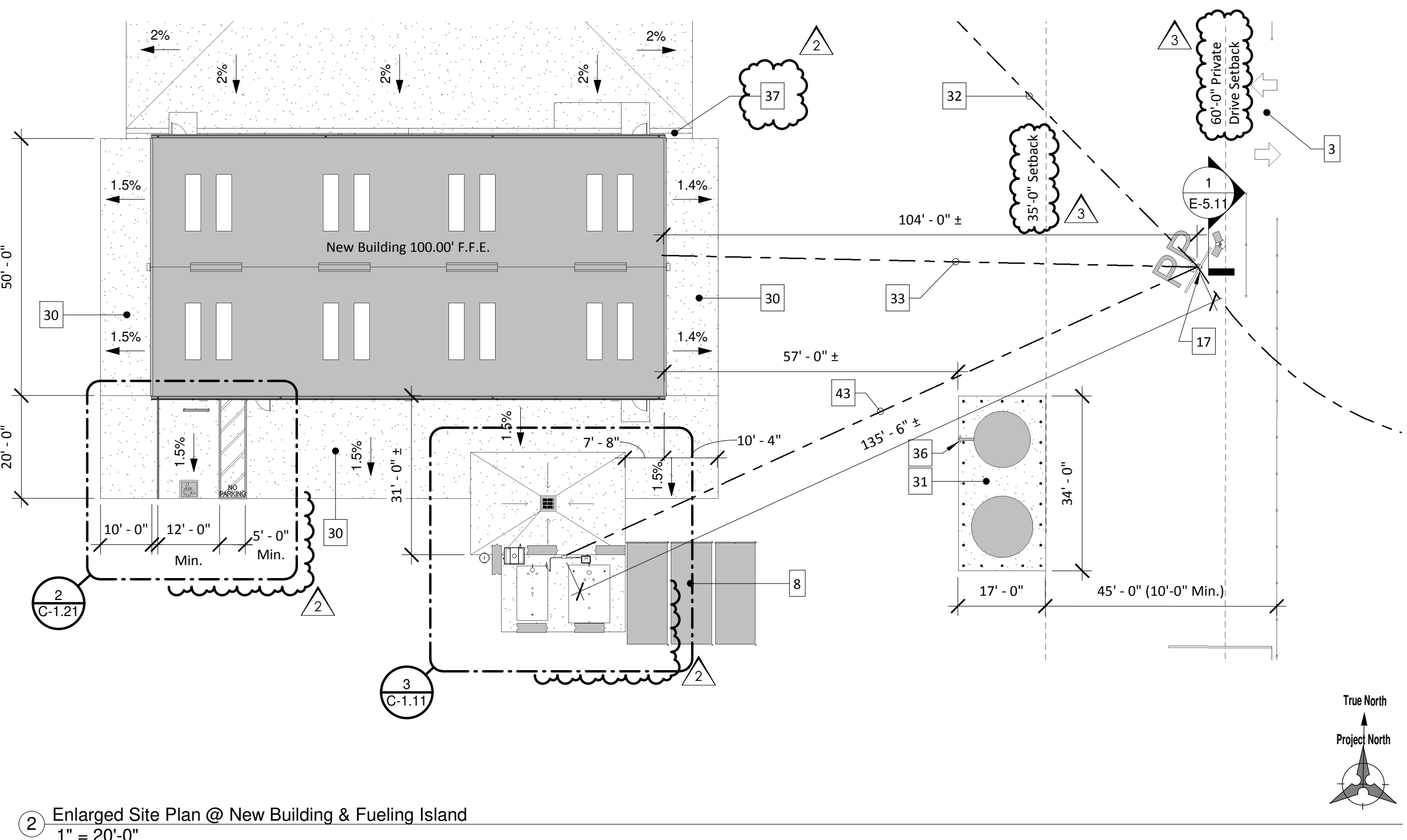
Sheet No:
T-1.01



1 Site Plan
1" = 60'-0"



2 Enlarged Site Plan @ Fueling Island
3/16" = 1'-0"



3 Enlarged Site Plan @ New Building & Fueling Island
1" = 20'-0"

KEYED NOTES

- (E) 6'-0" Chain Link Fence Entire Perimeter, Typical.
- (E) 20'-0" Pair Swing Gate. Site Entrance Vehicle.
- (E) 20'-0" Sliding Gate. Site Entrance Truck.
- Single Head Light Pole, Typical.
- Double Head Light Pole, Typical. See Detail
- Light Pole w/ No Fixture.
- (E) 8' x 12' Portable Storage Container.
- (E) 8' x 20' Portable Storage Container, Typical.
- (E) 8' x 20' Portable Chemical Storage Container.
- (E) Wash Down Slab.
- Concrete Pad - Fuel Island.
- Fuel Dispensing Concrete Pad.
- (E) Drive Slab.
- (E) 2"Ø Water Main w/ Back Flow Preventer.
- (E) Single Slope Roof Only Structure To Be Removed.
- (E) Pole Mounted Transformer.
- (E) 200A, 208Y/120V, 3Ø, 4 Wire Pole Mounted Meter Main.
- (E) MC Panel.
- (E) 200A, 208Y/120V, 3Ø, 4 Wire Wall Mounted Electrical Sub-Panel 'A'.
- (E) 1,500 Gallon Septic Tank & Leach Lines
- (E) Open Storage, Well Compacted All Weather Drive And Equipment Parking.
- (E) Domestic Water Storage Tanks.
- (E) Emergency Eyewash Station.
- Concrete Block, Typical.
- (E) Concrete Block, Typical.
- Fire Guard 1,000 Gallon Farm Diesel Above Ground Vault, Pad Mounted.
- Convault Double Wall 1,000 Gallon Diesel Above Ground Vault, Pad Mounted, UL 2085.
- 3' Square Steel Grate w/ Sump Pit.
- 95 Gallon Spill Response Kit, Enpac Spill Kit.
- New Drive Slab.
- New 28,075 Gallon Fire Water Storage Tanks w/ 4"Ø FDC, See Sheet S-1.51 For Details.
- 2"Ø Underground PVC Conduit w/ (4) 3/0 CU Wires & #4 CU Ground.
- 2"Ø Underground PVC Conduit w/ (3) 4/0 CU Wires & #2 CU Ground.
- New Knox Box.
- 2"Ø Underground Domestic Water Line.
- 4"Ø Draft Fire Department Connection.
- New Concrete Valley Gutter, See Sheet S-1.11 For Details.
- New Drench Shower & Eyewash Station.
- Victory Blue 275 Gallon Tote.
- Card Lock.
- Fill-Rite FR701V Fuel Pump & Nozzle w/ FR800C Mechanical Flow Meter.
- 1"Ø Underground PVC Conduit w/ (4) #6 CU Wire w/ (1) Neutral Wire & (1) CU Ground.
- 2"Ø Underground PVC Conduit w/ (3) #12 CU Wire w/ (1) Neutral Wire & (1) #14 CU Ground.

PLAN NOTES

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 - Changes From Approved Plans During Construction Shall Cause Plan Approval And Construction To Be Suspended, A New Plan Check (For A New Plan Showing Changes Shall Be Submitted For Review And Approved Through Normal Plan Check Process).
- Any Utilities Requiring Relocation Shall Be The Responsibility And At The Expense Of The Developer; Contact Traffic Engineer For Information Regarding Reimbursements Relative To Relocating Traffic Signals Facilities; Fire Hydrants Will Be Relocated By Municipal Forces, Developer Is Responsible To Notify Municipal Water Division To Arrange And Coordinate Work.
 - Notify The City Electronics And Communications Division, 10-Working Days Prior To Any Off-Site Concrete Construction.
 - No Drainage To Adjacent Property Shall Be Allowed.
 - Grade Differential Greater Than 12% Shall Be Supported By An Approved Retaining Wall.
 - Repair All Damaged And/Or Off-Site Concrete Street Improvements As Determined By The Municipal Engineer. Contact Public Works Department, Construction Management Division For Determination And Clearance.
 - Driveway Approach Width Shall Be 12 Feet Minimum, 35 Feet Maximum. Requirements Shall Comply With Public Works Standard Drawings.
 - All Existing Survey Monuments Shall Be Preserved. Survey Monuments Which Have Been Disturbed Shall Be Reset By A Person Licensed To The Practice Surveying The State Of California At Owner's Cost And To The Satisfaction Of Public Works, Construction Management's Chief Surveyor.
 - Any Utilities Within The Public Right Of Way And Easements (E.G., Fire Hydrants, Local Irrigation District Facilities, Local Metropolitan Flood Control District Facilities, Street Light, Etc.) Requiring Relocation Shall Be The Responsibility And At The Expense Of The Owner, Public Fire Hydrants Shall Be Relocated By The Municipality Forces At The Owners Expense; The Owner Is Responsible To Arrange And Coordinate The Work With The Department Of Public Utilities, Water Division.
 - 2-Days Before Commencing Excavation Operations Within Public Streets Or Utility Easements, All Existing Underground Facilities Shall Have Been Located By Underground Service Alert (USA). Phone 811.
 - No Portion Of The Driveway Shall Exceed A Grade Of 18%.
 - All Work Performed Within The Public Right Of Way Shall Comply With The Adopted Standards And Policies Of The Public Works Department. A Street Work Permit Is Required Prior To Commencement Of Work. For Information Regarding Standards And Street Work Permits, Contact The Public Works Department, Engineer Services Division.
 - The Following Requirements Are Based On The Municipality Records And The Information Depicted On The Plans And Documents Provided By The Applicant. Any Requirements Not Imposed, Due To Misrepresentation Or Omission Of The Facts For Which This Is Dependent. Will Be Imposed Whenever Such Conditions Are Disclosed Or Discovered By The Municipal Engineer Any Questions On These Requirements Should Be Directed To The Development Departments, Building And Safety Service Division, Land Division And Engineer Section.
 - All Required Work Shall Be Completed And The Work Accepted By The Municipal Engineer Prior To Occupancy.
 - Impervious Surfaces** (Concrete Or Asphalt) Within 10 Feet Of The Building Foundation Shall Slope A Minimum Of 2% Away From Building. **Non-Impervious Surfaces** (Earth Or Gravel) Adjacent Grade Shall Have A 5% Slope Away From Building Far A Minimum Of 10 Feet.
 - If Any Physical Obstructions Or Lot Lines Prohibit 10 Feet Of Horizontal Distance From The Foundation, Then Swales Or Drains That Run Parallel To The Foundation Shall Be Used To Ensure Drainage Away From The Structure. Should There Be Significant 'Grade' A Certified Grading Plan Will Be Required To Be Submitted By A Registered Civil Engineer.
 - All Other Site Grading Outside Of The Building Envelope Is Required To Be A Minimum Or 0.5% Directed Towards The Street.
 - These Plans And Related Documents Must Be Available At Job Site During Any Inspection Activity.
 - No Vertical Offset Greater Than 1/2" Along Entire Accessible Path Of Travel.

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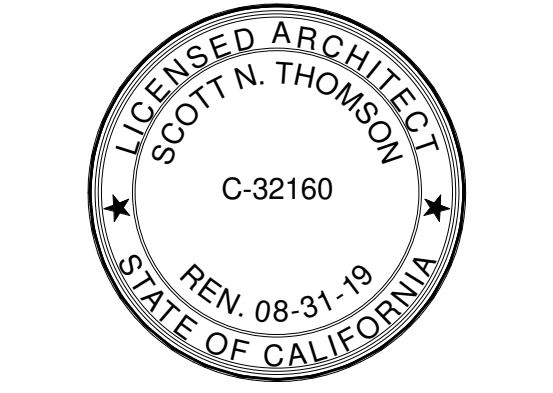
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Client Info: **Eckard Commercial Construction, Inc.**

Project Info: **New AG Shop For Pacific AG Rentals**
14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Drawn By: **B. Rasmussen**

Checked By: **S. N. Thomson**

Rev	Description	Date	By
1	Per Owner	3-17-17	BJR
2	Plan Check	5-17-17	BJR
3	Planning	10-12-18	BJR

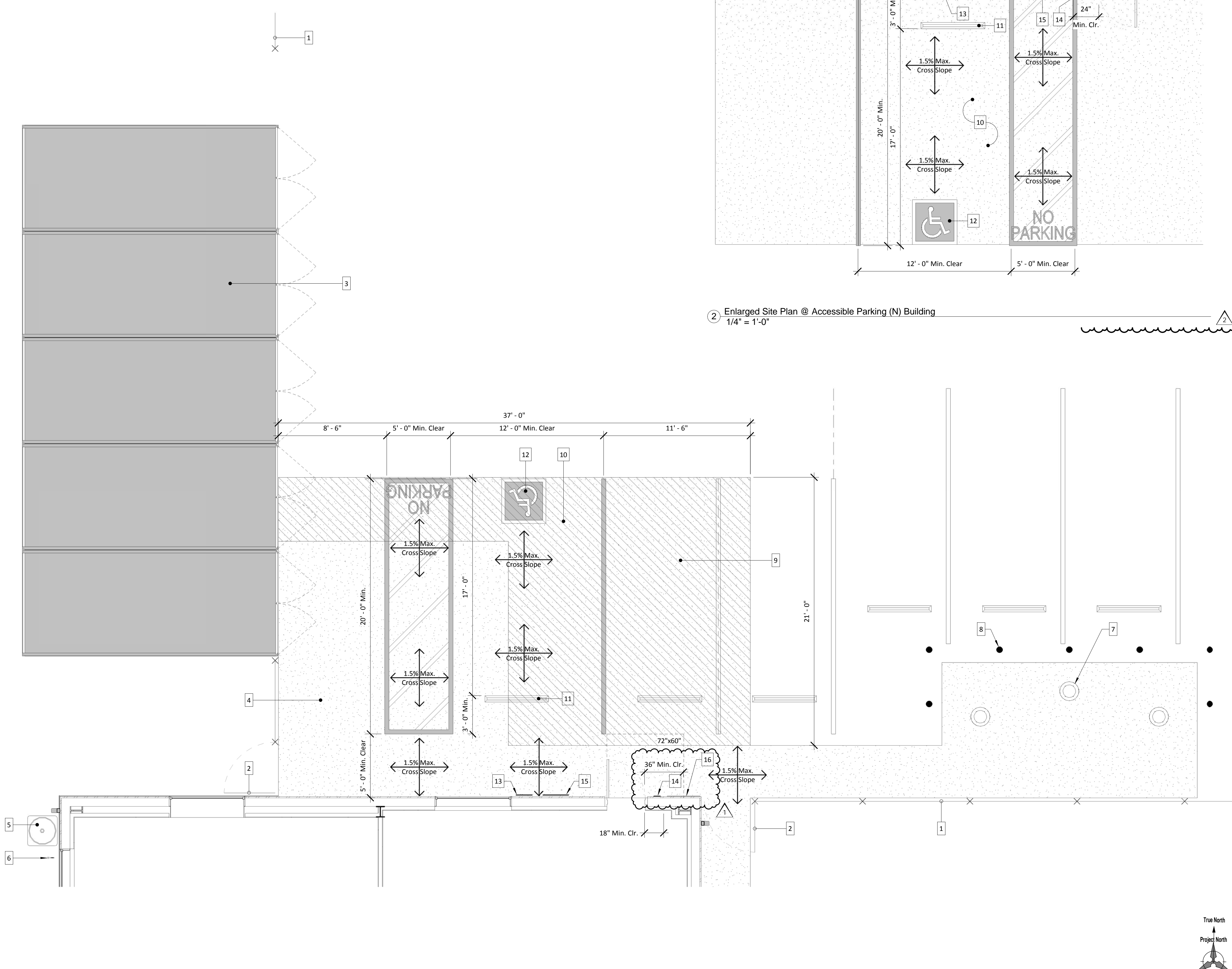
Project: **New AG Shop**

Project Date: **11-28-2016**
Issue Date: **10-16-2018**

Project No: **TAG-09163**

Sheet Contents: **Site Plan**

Sheet No: **C-1.11**



1 Enlarged Site Plan @ Accessible Parking (E) Building
1/4" = 1'-0"

2 Enlarged Site Plan @ Accessible Parking (N) Building
1/4" = 1'-0"



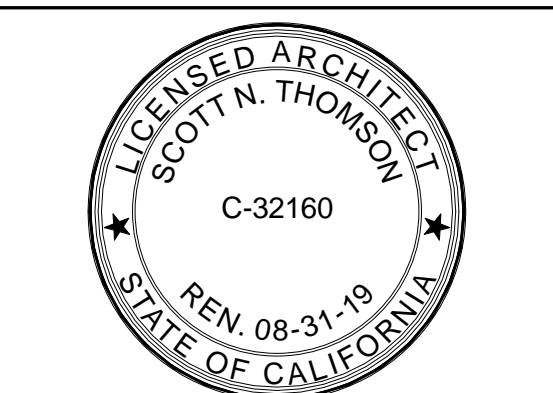
- ### KEYED NOTES
- (E) Chain Link Fence, Typical.
 - (E) 4'-0" Swing Gate.
 - (E) 8' x 20' Sea Container, Typical.
 - (E) Concrete Drive Slab.
 - (E) AC Condenser.
 - (E) Hose Bibb.
 - (E) Flag Pole, Typical Of 3.
 - (E) 4"Ø Galvanized Pipe Bollards, Typical Of 7.
 - New Concrete Drive Slab.
 - New Accessible Parking Stall, See 7/C-5.11 For Details.
 - New Concrete Wheel Stop, See 8/C-5.11 For Details.
 - New International Symbol Of Accessibility, Parking Identification. See 5/C-5.11 For Details.
 - New Van Accessible Parking Stall, See 2/C-5.11 For Details.
 - New International Symbol Of Accessibility, Building Accessibility Sign. See 4/C-5.11 For Details.
 - New Accessible Sign, Unauthorized Parking Sign. See 1/C-5.11 For Details.
 - New Electrically Illuminated Address Sign. 1/2" Stroke x 8" Minimum Height Arabic Numerals On Contrasting Background.

- ### PLAN NOTES
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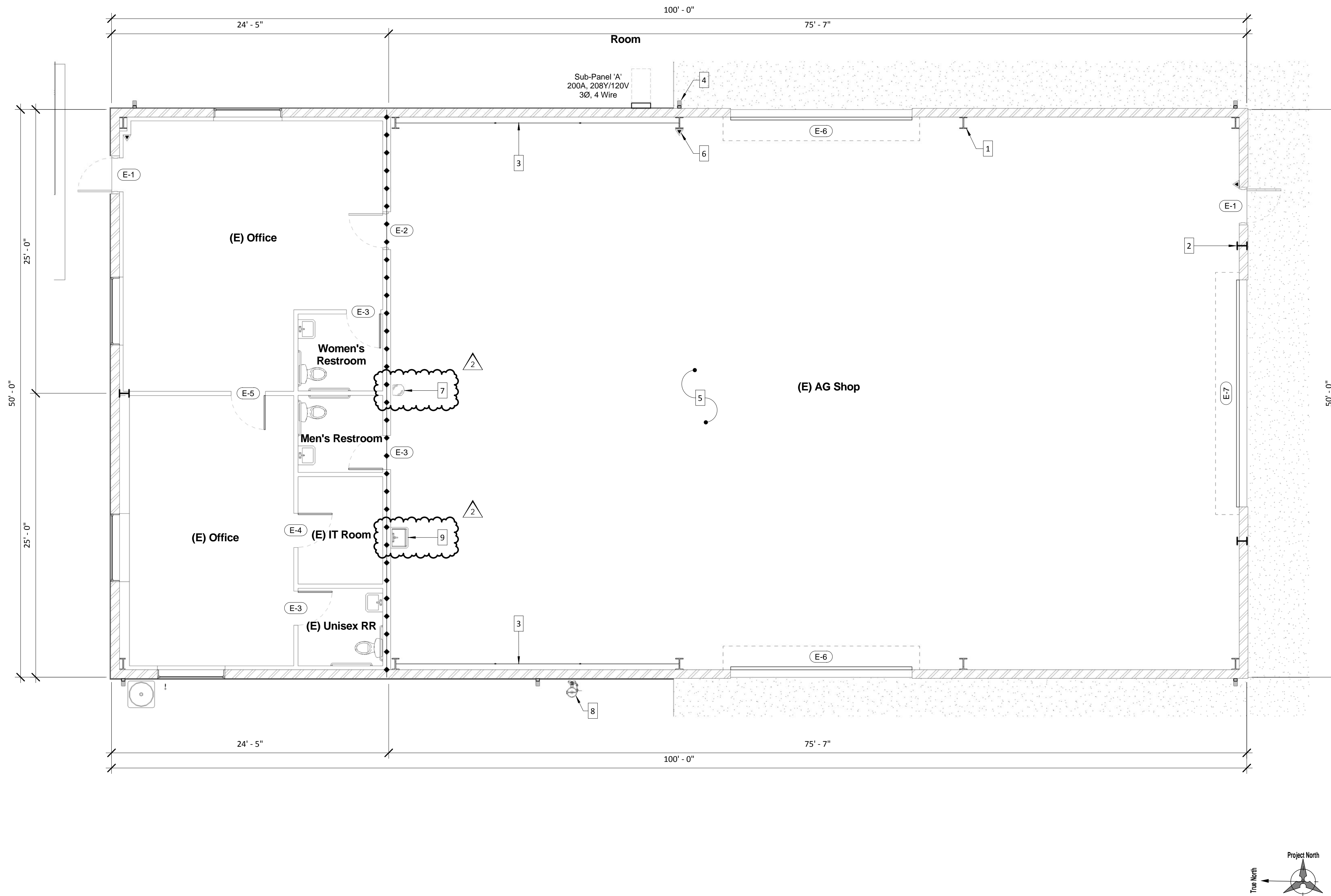
Project:
New AG Shop

Project Date: **11-28-2016**
Issue Date: **4-03-2018**

Project No:
TAG-09163

Sheet Contents:
Enlarged Site Plan @ Accessible Parking

Sheet No:
C-1.21






1 1st Story-(E) Floor Plan
3/16" = 1'-0"

KEYED NOTES

1. (E) Rigid Frame, Typical.
2. (E) End Wall Column, Typical.
3. (E) X-Bracing.
4. (E) Downspouts, Typical.
5. (E) Concrete Slab.
6. (E) Fire Extinguisher, Typical.
7. (E) Water Cooler/Bottle Filling Station.
8. New Drench Shower & Eyewash Station.
9. New Service Sink.

LEGEND

-  (E) 8" Girt MB. Wall
-  (E) 2x4 Wd. Studs @ 24" o.c. w/ 1/2" Gyp. Bd. Each Side
-  (E) 2x6 Wd. Studs @ 16" o.c. Below Ceiling & 2x6 Wd. Studs @ 24" o.c. Above w/ (1) 5/8" Typ. 'X' Gyp. Bd. Each Side

PLAN NOTES

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Project Info:
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14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Drawn By: **B. Rasmussen**

Checked By: **S. N. Thomson**

Rev	Description	Date	By
2	Plan Check	5-17-17	BJR

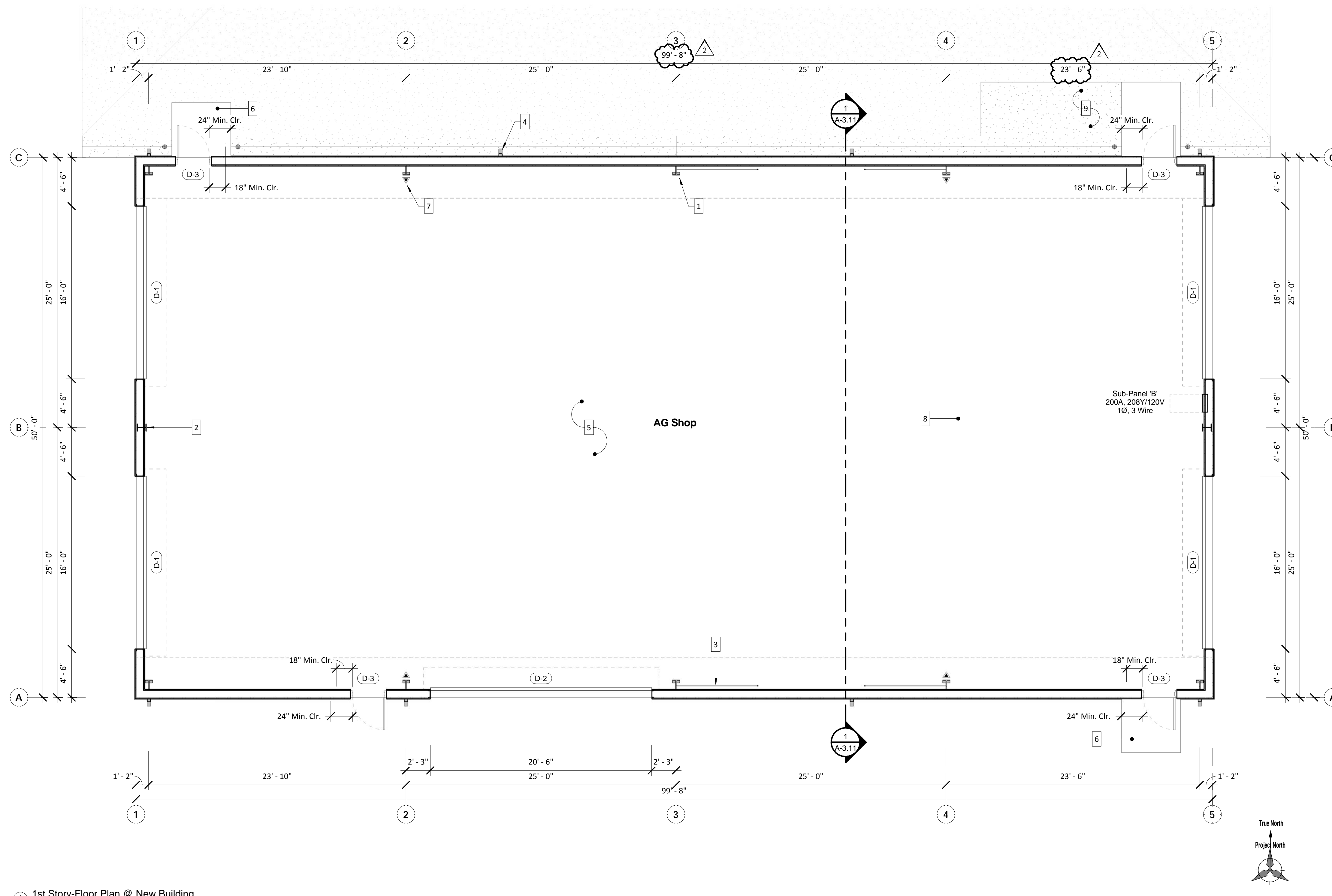
Project:
New AG Shop

Project Date: **11-28-2016**
Issue Date: **4-03-2018**

Project No:
TAG-09163

Sheet Contents:
1st Story-Floor Plan Existing Building

Sheet No:
A-1.01



1 1st Story-Floor Plan @ New Building
3/16" = 1'-0"

KEYED NOTES

1. Rigid Frame As Per MB. MFR., Typical.
2. End Wall Column As Per MB. MFR., Typical.
3. X-Bracing As Per MB. MFR., Typical.
4. DownSpouts As Per MB. MFR., Typical.
5. Concrete Slab, See Foundation Plan For Details.
6. 5'-0" x 5'-6" Concrete Stoop.
7. Fire Extinguisher, Typical. See Life Safety Plan For Details.
8. 3 Ton Overhead Gantry Crane, As Per MB. MFR., Typical.
9. Concrete Walk, See Foundation Plan For Details.

GENERAL NOTES

1. This Building Is In A Flood Prone Area The Finish Floor Shall Be 3" Above Highest Adjacent Grade Or Structure Must Be Flood Proofed.

LEGEND

- █ New 8" Girt MB. Wall
w/ 26 Ga. 'PBR' Metal Wall Sheeting Exterior
w/ 26 Ga. Liner Panel 8'-0" A.F. Interior

PLAN NOTES

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- Job Card Is Required To Be Posted In A Conspicuous Place On The Premises, Clearly Visible From The Street And Readily Available For Required Entries Prior To Building Department Inspections.
 - Post A Readily Visible, Durable Sign On Or Adjacent To The Exit Door Stating "This Door To Remain Unlocked When Building Is Occupied." The Sign Shall Be In Letters Not Less Than 1" High On A Contrasting Background.
 - Manufactured Doors And Windows Must Have AAMA Or NWMA Labels. Site Constructed Doors And Windows Must Be Caulked, Weatherstripped Or Sealed To Eliminate All Observable Air Leakage.
 - All Building Insulation Shall Have A Maximum Flame Spread Of 25 And A Smoke Density Of Not More Than 450 And Shall Be Certified By The Manufacturer To Meet The California Quality Standards For Insulating Materials.

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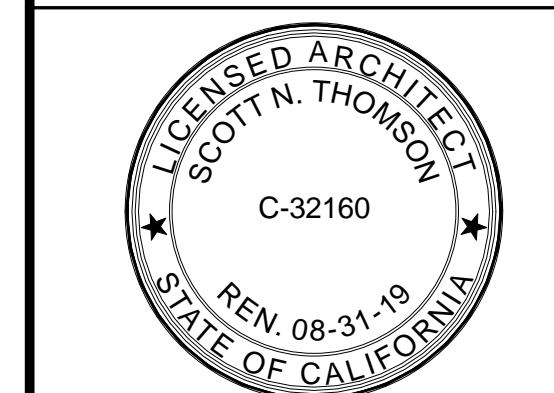
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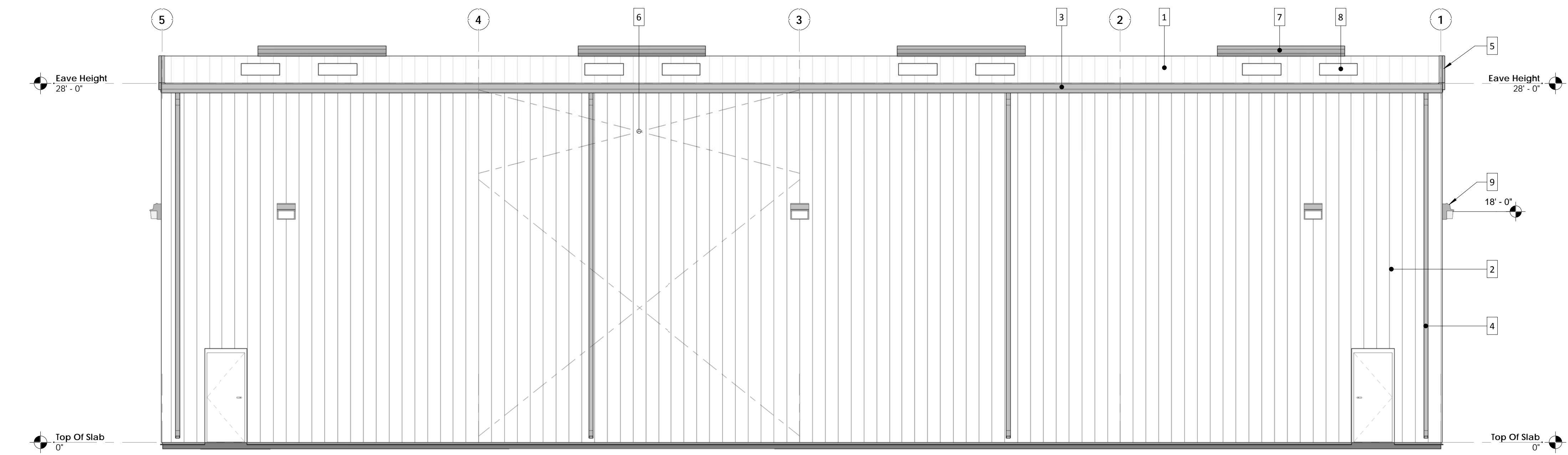
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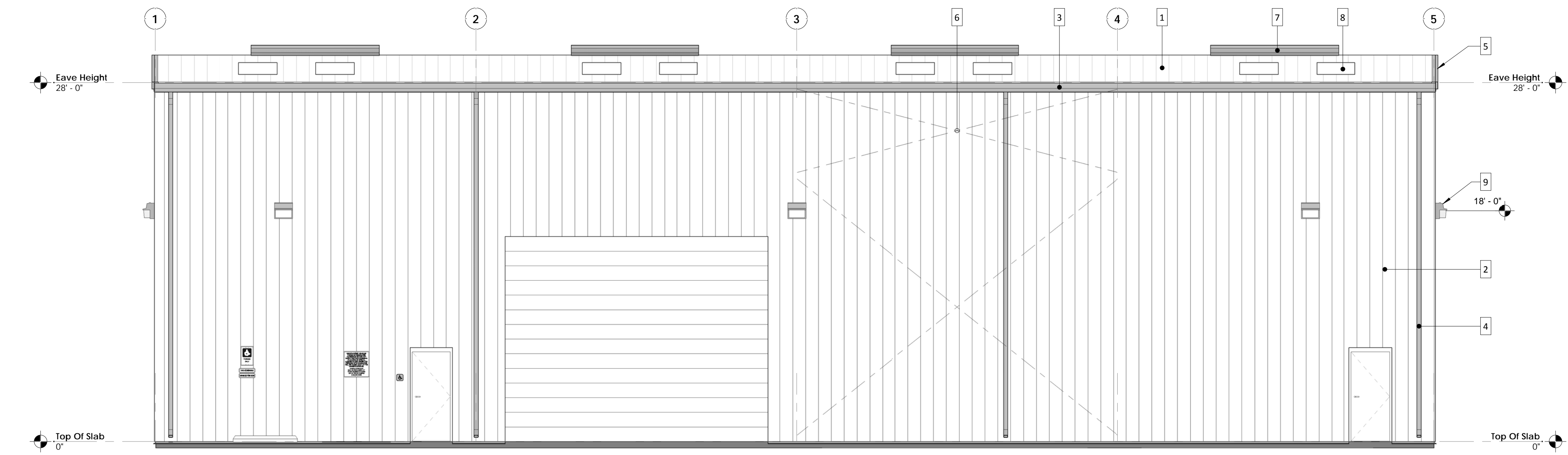
Project No: **TAG-09163**

Sheet Contents:
**1st Story-Floor Plan
New Building**

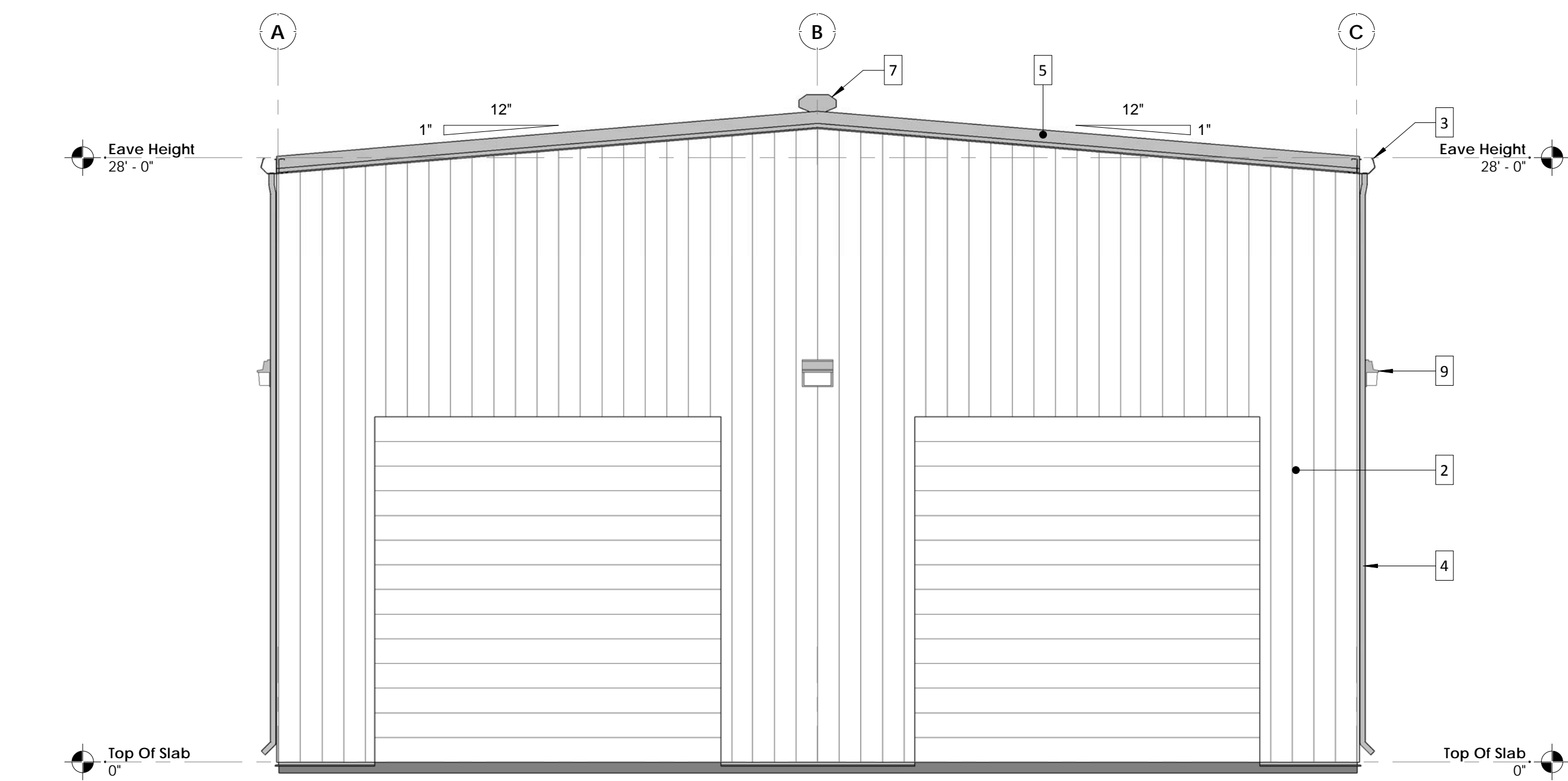
Sheet No: **A-1.11**



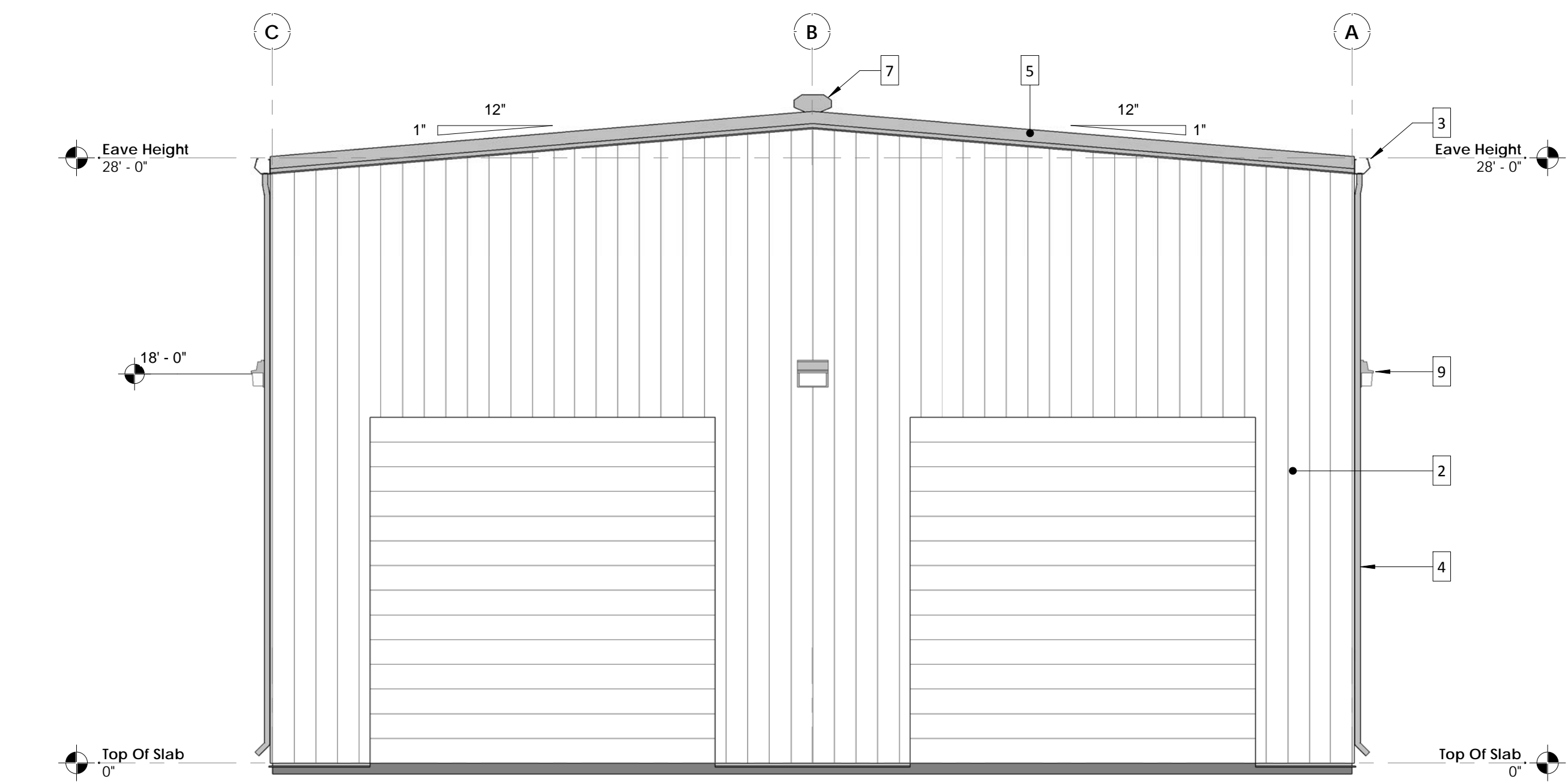
① North Elevation View @ New Building
3/16" = 1'-0"



② South Elevation View @ New Building
3/16" = 1'-0"



③ East Elevation View @ New Building
3/16" = 1'-0"



④ West Elevation View @ New Building
3/16" = 1'-0"

KEYED NOTES

1. 26 Ga. 'PBR' Panel Metal Roof Sheeting, Color By Owner.
2. 26 Ga. 'PBR' Panel Metal Wall Sheeting, Color By Owner.
3. Gutters As Per MB. MFR.
4. Downspouts As Per MB. MFR.
5. Rake Trim As Per MB. MFR.
6. X-Bracing As Per MB. MFR.
7. Ridge Vents As Per MB. MFR.
8. Light Transparent Panels As Per MB. MFR.
9. Exterior Wall Mounted Lighting, Typical See Electrical Plans.

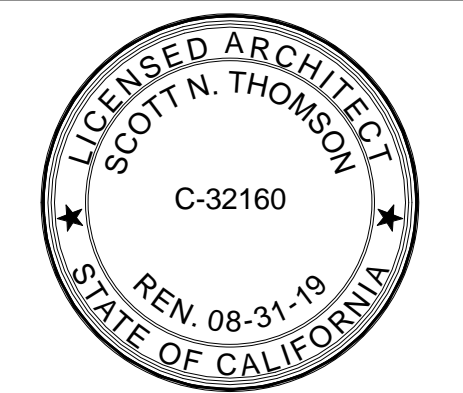
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Five Points, CA 93624

Drawn By: **B. Rasmussen**

Checked By: **S. N. Thomson**

Rev	Description	Date	By

Project:
New AG Shop

Project Date: **11-28-2016**

Issue Date: **4-03-2018**

Project No: **TAG-09163**

Sheet Contents:
**Exterior Elevations
New Building**

Sheet No: **A-2.11**

Operational Statement

Pacific Agriculture Rentals

14093 West Mt Whitney Ave
Five Points, California

- (1) Pacific Agriculture Rentals (PAR) is a farm equipment sales, rental, leasing and maintenance organization.
- (2) Operations Schedule is Monday – Friday from 8am to 5pm
 - After hours technician available on Saturdays by appointment.
 - PAR is closed in observance of the following holidays:
 - New Year’s Day Presidents Day
 - Memorial Day Fourth of July
 - Labor Day Thanksgiving
 - Christmas Special Holidays as noted by Management
- (3) Average Customer flow is: 1-2 per month. This is a rental and maintenance shop most transactions are completed via phone.
- (4) PAR has an average 15 shop employees that work Monday – Friday 8-5 excluding holidays.
 - There are no residential facilities on the site.
- (5) Daily Vehicle Activity for PAR:
 - There are (4) sales trucks that make 1 trip daily during business hours
 - There are (4) service trucks that make 2 to 3 trips per day during business hours
 - There are (2) delivery trucks per day making trips on a on call/delivery basis, generally 3 trips per day during business hours.
- (6) PAR’s address is West Mt. Whitney however the site access for customers and employees is on Goldenrod. This is a base rocked road.
- (7) There is a designated parking area along Goldenrod for customers and employees. HC parking is designated in this location.
- (8) PAR does not sell any goods at this facility. They are a rental, maintenance, and repair shop.
- (9) There is a fleet of equipment that is stored on site for rentals. Equipment that is used on the site a water truck for dust control and a forklift to move materials and aide in repair work.
 - PAR Fleet consists of Tractors for various trades; harvesting, cultivating, vineyards, orchards, pipe trailer tractors. Also forklifts, mowing equipment, and spraying rigs.
- **There is currently the ability to store 3,000 gallons of fuel onsite for the fueling of rental equipment. The site has (1) 1,000 gallon tank and (1) 2,000 gallon tank, both are double walled and metered. This fuel is not for resale. During peak season the fuel tanks will be refilled twice a week.**
- (10) PAR stocks filters, tires, small parts and fluids for the equipment that they maintain, repair and rent. All materials are stored in designated locations with used fluids and filters being stored

in marked disposal containers that are removed from the site monthly by an environmental group that properly disposes of these materials.

- (11) The site is a maintenance, repair and rental company, there is a water truck on site that is used daily for dust control, the noise generated from the shop is minimal from the power tools being used.
- (12) The amount of waste generated daily is based on equipment rental usage, maintenance and repair. 1 drum of used oils and fluid may be generated once every two weeks. On average 4 filters a day are replaced, and the used ones are placed in the filter disposal area for environmental to remove the site.
- (13) This location uses average of 2000 to 3500 gallons of water a day. The water is purchased from Westlands Water District.
- (14) The business name is displayed on the W. Mt. Whitney side of the existing shop building using 15% of the side of the building. There is also a flag pole with the American Flag and a PAR flag.
- (15-17) There is an existing 5,000 SF pre-engineered metal building that is being used for office space and the repair/maintenance shop. Permit #05-104341-FC. The existing building has a 1,209 SF office space inside with 3,791 SF of open repair shop. There are wall packs on the existing building and light poles around the perimeter for lighting of the site.
- (18) There is an existing chain link fence with barrier wire around the perimeter of the site. With minimal gates for accessibility. There is no vegetation on site, only base rock for soils stabilization.
- See separate letter dated March 22, 2018 in regards to the organization and assembly of the Operations Board for Pacific Agriculture Rentals.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: Pacific Agriculture Rentals
- APPLICATION NOS.: Initial Study Application No. 7458 and Classified Conditional Use Permit Application No. 3613
- DESCRIPTION: The Department of Public Works and Planning, Development Services Division, is reviewing the subject applications proposing to allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square-feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.
- LOCATION: The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).

I. AESTHETICS

- A. Would the project have a substantial adverse effect on a scenic vista?

FINDING: NO IMPACT:

The proposed project will not include the removal of any trees, and it is not located near any scenic vistas, rock outcroppings, scenic highways, or properties designated as historic. The property fronts on Mt. Whitney Avenue, which is not classified as a scenic roadway by the Fresno County General Plan Background Report (FCGPBR, Figure OS-2).

- B. Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway; or
- C. Would the project substantially degrade the existing visual character or quality of the site and its surroundings; or

- D. Would the project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Eight exterior lights are proposed on the outside of the proposed structure. Extensive lighting is not characteristic of an agricultural area such as this, and the nearest residential structure is approximately 700 feet west of this structure. The following mitigation will ensure that these lights are not disruptive to the community and that the proposed project is compatible with the area.

* **Mitigation Measure(s)**

- 1. *All outdoor lighting shall be hooded and directed downward so as not to shine upward or toward adjacent properties and public streets.*

II. AGRICULTURAL AND FORESTRY RESOURCES

- A. Would the project convert prime or unique farmlands or farmland of state-wide importance to non-agricultural use?

FINDING: NO IMPACT:

The subject parcel is classified as Semi-agricultural and Rural Commercial Land (California Department of Conservation, 2014). This proposed project will not affect this classification.

- B. Would the project conflict with existing agricultural zoning or Williamson Act Contracts?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District, and is not subject to a Williamson Act Contract. The Fresno County General Plan (Policy LU-A.3) states that agriculturally-related activities may be allowed by a discretionary permit in agricultural areas. The proposed operation would provide agricultural machinery-related services to an agricultural area, and with the approval of Conditional Use Permit Application No. 3613 this project would not conflict with the existing zoning.

- C. Would the project conflict with existing zoning for or cause rezoning of forest land, timberland, or timberland zoned Timberland Production; or
- D. Would the project result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

This project is not in an area of forest land or Timberland Production.

- E. Would the project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural uses or conversion of forest land to non-forest use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed agricultural equipment operation will support the needs of farmers in the surrounding area. It will not trigger population growth, nor will it lead to other farmland being converted to non-agricultural uses.

III. AIR QUALITY

- A. Would the project conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Would the project violate any air quality standard or contribute to an existing or projected air quality violation; or
- C. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- D. Would the project expose sensitive receptors to substantial pollutant concentrations; or
- E. Would the project create objectionable odors affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The County of Fresno is a non-attainment area for PM-2.5 and Ozone. Construction activities could increased particulate matter in the area and the operation of vehicles for sales and deliveries will occur throughout the operation of the proposed use. The operation could also produce objectionable odors related to the servicing and operation of farm equipment. However, the nearest residence is approximately 660 feet from the proposed operation, and the area is dominated by agricultural activities that require the same types of equipment for day-to-day operation. Additionally, facility construction will occur for only a very short time, and the proposed number of traffic trips per day is not considered significant.

The San Joaquin Valley Air Pollution Control District reviewed the subject application, and determined that it would not exceed the thresholds of significant emissions per year. The project may be subject to Regulation VIII (Fugitive PM10 Prohibitions), Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt Paving and Maintenance Operations) or other Air District Rules and Regulations, and it will be required that the applicant complete an Air Impact Assessment application before any construction commences.

With adherence to these established rules and procedures, it can be determined that the project will have a less than significant impact.

IV. BIOLOGICAL RESOURCES

- A. Would the project have a substantial adverse effect, either directly or through habitat modifications, on any candidate, sensitive, or special-status species; or
- B. Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS); or
- C. Would the project have a substantial adverse effect on federally-protected wetlands as defined by Section 404 of the Clean Water Act through direct removal, filling, hydrological interruption or other means; or
- D. Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites; or
- E. Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) tool indicates that the Fresno Kangaroo Rat, San Joaquin Kit Fox, blunt-nosed leopard lizard, giant garter snake, California Red-legged Frog, Delta Smelt, vernal pool fairy shrimp, and long-billed curlew could be present in the project vicinity. However, predicted ranges of these species provided by the California Department of Fish and Wildlife (CDFW) in the California Natural Diversity Database (CNDDDB) indicate that none of these species are predicted to be present on the subject parcel. Predicted ranges are not available for vernal pool fairy shrimp (VPFS), Delta Smelt, or long-billed curlew. However, VPFS and Delta Smelt require seasonally or perennially flooded wetland habitats, and long-billed curlew do not breed in this area (IPaC). The nearest wetland habitat is over 1.2 miles east of the proposed project (USFWS, Wetland Mapper) so no VPFS and Delta Smelt will not be impacted. No trees will be removed, and construction will disturb a relatively small area for a short period of time, so the migration of the long-billed curlew also will not be impacted. This species is not known to breed in this region.

Alternatively, CNDDDB does indicate that there is a high likelihood of Swainson's hawks (SWHA) living or foraging on the subject parcel or the surrounding parcels, and SWHA

is a protected species in California. Since no trees will be removed as a part of this project, no SWHA nesting habitat will be lost. The portion of the parcel where construction is proposed is currently barren soil, and would not provide the prime foraging habitat that actively cultivated fields would to the SWHA. The nearest trees to the proposed construction are over 300 feet to the south; they appear to have been planted as a decorative visual barrier, and do not seem to be a part of the natural habitat. Heavy agricultural machinery is already stored and used on site, so the proposed construction and subsequent operation will not be substantially more disruptive to any potentially present Swainson's hawks than the existing operation is. However, to ensure that SWHA are not impacted by the proposed project the following mitigation measures will ensure that appropriate surveys are conducted if construction occurs during the SWHA breeding season.

* **Mitigation Measure(s)**

1. *A qualified biologist shall conduct a survey for nesting raptors prior to the onset of construction activities, following the survey methodology developed by the SWHA Technical Advisory Committee (SWHA TAC 2000). If ground-disturbing activities take place between February 1 and September 15, a pre-construction survey for active nests must be conducted by a qualified biologist no more than 10 days prior to the onset of these ground-disturbing activities.*
2. *If an active SWHA nest is found, no construction may take place within a one half-mile of the nest until the end of breeding season (September 15) or until a qualified biologist has determined that the young have fledged and are no longer reliant upon the nest or parental care for survival. If this is not feasible, the applicant shall consult with the California Department of Fish and Wildlife (CDFW) to determine if the project can avoid take. If SWHA cannot be avoided, acquisition of an Incidental Take Permit (ITP) could be warranted.*

V. CULTURAL RESOURCES

- A. Would the project cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5; or
- B. Would the project cause a substantial adverse change in the significance of an archeological resource pursuant to Section 15064.5; or
- C. Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature; or
- D. Would the project disturb any human remains, including those interred outside of formal cemeteries; or
- E. Would the project cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Some ground disturbance will occur during the construction of a new 4,983 square-foot metal structure. The Southern San Joaquin Valley Information Center determined that no archaeological surveys would be necessary prior to construction of the proposed project. Additionally, all interested tribes were notified of the project, and none expressed any concerns about cultural resources being disturbed by the proposed operation or ground disturbance. Mitigation will be applied to ensure that in the unlikely event cultural resources are encountered, construction will be halted and the proper authorities will be notified.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. GEOLOGY AND SOILS

- A. Would the project expose people or structures to potential substantial adverse effects, including risk of loss, injury or death involving:
1. Rupture of a known earthquake; or
 2. Strong seismic ground shaking; or
 3. Seismic-related ground failure, including liquefaction?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the Fresno County General Plan Background Report (FCGPBR) Figure 9-5, the project area's probability of experiencing a seismic hazard in 50 years is 20-40%. The proposed structure will be engineered to withstand the anticipated seismic hazard. This project will not result in substantial risk of loss, injury, or death.

4. Landslides?

FINDING: NO IMPACT:

The proposed project is not located in an area of steep slopes (FCGPBR Figure 7-2). The topography of the area is quite flat, and the proposed project will not change that or increase the risk of loss, injury, or death due to landslides.

B. Would the project result in substantial erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Construction of the 4,983 square-foot structure will require the disturbance of existing topsoil in an un-vegetated area. The subject parcel is flat, and the project will not substantially increase erosion or loss of topsoil. Any grading required for the proposed project will require permits from the County.

C. Would the project result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

FINDING: NO IMPACT:

The proposed project does not include any activities that will increase the possibility of on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse.

D. Would the project be located on expansive soils, creating substantial risks to life or property?

FINDING: NO IMPACT:

According to the Fresno County General Plan (Figure 7-1), expansive soils are not a concern in or around the project area.

E. Would the project have soils incapable of adequately supporting the use of septic tanks or alternative disposal systems where sewers are not available for wastewater disposal?

FINDING: NO IMPACT:

No additional disposal systems are proposed. There is one existing 1,500-gallon septic tank, and it is expected that the 8.78-acre parcel could accommodate a second septic system if necessary.

VII. GREENHOUSE GAS EMISSIONS

A. Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or

B. Would the project conflict with any applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The operation of vehicles during construction and for sales and delivery purposes will produce greenhouse gas emissions. Construction impacts will be short term and will

only result from grading and the construction of a metal structure. These greenhouse gas emissions are not expected to meet the significance threshold of two tons per year, and therefore will not have a significant impact.

VIII. HAZARDS AND HAZARDOUS MATERIALS

- A. Would the project create a significant public hazard through routine transport, use or disposal of hazardous materials; or
- B. Would the project create a significant public hazard involving accidental release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

There will be one 1,000 gallon above-ground fuel tank and one 2,000 gallon above-ground fuel tank on site for the fueling of vehicles. These tanks will be refilled up to two times each week. The applicant estimates that one drum of used oils and fluids may be generated by the operation every 1-2 weeks, and that approximately four used filters will have to be disposed of each week; these materials will be collected and transported in accordance with relevant federal, state and local policies.

Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. Additionally, a spill prevention control and countermeasure plan (SPCC) must be approved by the County of Fresno's Environmental Health Division prior to these tanks being filled with hazardous materials. No additional mitigation is necessary because the project is required by law to conform to these standards.

- C. Would the project create hazardous emissions or utilize hazardous materials, substances or waste within one quarter-mile of a school?

FINDING: NO IMPACT:

The nearest school is Westside Elementary, and it is located approximately 2.7 miles east of the project site.

- D. Would the project be located on a hazardous materials site?

FINDING: NO IMPACT:

The project site is not located on or within 0.5 mile of a known hazardous waste facility (NEPAssist).

- E. Would a project located within an airport land use plan or, absent such a plan, within two miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area; or
- F. Would a project located within the vicinity of a private airstrip result in a safety hazard for people residing or working in the project area?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The nearest airstrip is approximately 6 miles southeast of the proposed project, and belongs to the Lemoore Naval Air Station. This project is in the planning area of the Naval Air Station (NAS), but no concerns have been expressed regarding the compatibility of the proposed use by the NAS. The height of the proposed building is allowed in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District, so this use should not conflict with the existing air station's use in a manner that would result in a safety hazard for people residing or working in the project area.

- G. Would the project impair implementation of or physically interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County Sheriff-Coroner's Department and the Fresno County Fire Protection District have not expressed any concerns regarding this project's potential to interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan. The proposed improvements will be located in the middle of an 8.78-acre parcel and will not impact these plans.

- H. Would the project expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project is in a non-wildland/non-urban fire hazard area, and the proposed improvements will be built to current fire code. With the applicant's conformance to the rules and regulations governing hazardous materials, this project will not expose people or structures to a significant risk of loss, injury or death involving wildland fires.

IX. HYDROLOGY AND WATER QUALITY

- A. Would the project violate any water quality standards or waste discharge requirements or otherwise degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will be subject to standards set forth by the Local Agency Management Program (LAMP), adopted by the Regional Water Quality Control Board, to ensure that

any waste discharge does not impact water quality. Additionally, all grading activities will require permits and hazardous waste will be stored and disposed of according to the current standards to ensure that the project does not result in polluted runoff.

- B. Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge so that there would be a net deficit in aquifer volume or a lowering of the local groundwater table?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel currently purchases 2,000 to 3,500 gallons of water per day from Westlands Water District (WWD) and would continue to utilize this amount of water from this source during the operation of the proposed project. Much of this water would return to the aquifer through percolation. Groundwater supply will not be substantially impacted by the proposed project.

- C. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off site; or
- D. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in flooding on or off site; or
- E. Would the project create or contribute run-off which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted run-off; or
- F. Would the project otherwise substantially degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Drainage patterns could be affected by the construction of a 4,983 square-foot building and related grading. However, these impacts will be managed through the building and grading permitting process. The majority of the subject parcel's surface is permeable and the area is of a consistent topography; the proposed use and construction will not significantly impact these qualities. Additionally, the nearest stream is over 1.2 miles east of the project site, and the project will not produce substantial runoff.

- G. Would the project place housing within a 100-year floodplain; or
- H. Would the project place structures within a 100-year flood hazard area that would impede or redirect flood flows; or
- I. Would the project expose persons or structures to levee or dam failure?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Part of the subject parcel, including a portion of the proposed structure, are in FEMA Flood Zone A which is subject to 100-year floods. However, no housing is proposed, and any improvements inside of this zone will be subject to the County Flood Hazard Ordinance (Title 15.48).

- J. Would the project cause inundation by seiche, tsunami or mudflow?

FINDING: NO IMPACT:

The project will not cause inundation in the form of seiche, tsunami, or mudflow. It is not near any bodies of water or areas of steep slopes.

X. LAND USE AND PLANNING

- A. Will the project physically divide an established community?

FINDING: NO IMPACT:

The proposed project is in a rural, agricultural, unincorporated area of the County of Fresno. The only structure that will be built is a 4,983 square-foot agricultural equipment shop, and it will be located behind a similar existing structure in the middle of a parcel currently used for the storage of agricultural equipment. No established communities will be divided.

- B. Will the project conflict with any Land Use Plan, policy or regulation of an agency with jurisdiction over the project?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County General Plan (Policy LU-A.3) states that agriculturally-related activities may be allowed by a discretionary permit in agricultural areas. The proposed operation would provide agricultural machinery-related services to an agricultural area, and with the approval of Conditional Use Permit Application No. 3613 this project would not conflict with the General Plan or any other policies.

- C. Will the project conflict with any applicable Habitat Conservation Plan or Natural Community Conservation Plan?

FINDING: NO IMPACT:

There are no Habitat or Natural Community Conservation Plans for this area.

XI. MINERAL RESOURCES

- A. Would the project result in the loss of availability of a known mineral resource; or

- B. Would the project result in the loss of availability of a locally-important mineral resource recovery site designated on a General Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel is near a known oil field. The proposed structures and operation would not preclude oil drilling on the parcel or surrounding area, therefore it would not inhibit access to this resource. Additionally, the project will not diminish the supply of oil in the area.

XII. NOISE

- A. Would the project result in exposure of people to severe noise levels; or
- B. Would the project result in exposure of people to or generate excessive ground-borne vibration or ground-borne noise levels; or
- C. Would the project cause a substantial permanent increase in ambient noise levels in the project vicinity; or
- D. Would the project result in a substantial temporary or periodic increase in ambient noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The construction of the proposed facilities and the daily maintenance activities of agricultural equipment will produce vibration and noise. However, the facility will be required to comply with the Fresno County Noise Ordinance, and this will ensure that any noise produced is not disruptive or harmful. The surrounding area is agricultural in nature and the nearest residence is approximately 660 feet west of the proposed operation. The impact to the surrounding parcels will be less than significant.

- E. Would the project expose people to excessive noise levels associated with a location near an airport or a private airstrip; or
- F. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The nearest airstrip belongs to the Lemoore Naval Air Station, six miles southeast of the project site. This distance will ensure that employees and visitors are not exposed to excessive noise levels from this source.

XIII. POPULATION AND HOUSING

- A. Would the project induce substantial population growth either directly or indirectly; or
- B. Would the project displace substantial numbers of existing housing; or

- C. Would the project displace substantial numbers of people, necessitating the construction of housing elsewhere?

FINDING: NO IMPACT:

The agricultural equipment facility will not induce population growth, eliminate existing housing, or displace anyone from their homes. Population and housing will not be impacted.

XIV. PUBLIC SERVICES

- A. Would the project result in substantial adverse physical impacts associated with the provision of new or physically-altered public facilities in the following areas:

1. Fire protection;
2. Police protection;
3. Schools;
4. Parks; or
5. Other public facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project will not result in population growth or otherwise require the expansion or alteration of any public facilities.

XV. RECREATION

- A. Would the project increase the use of existing neighborhood and regional parks; or
- B. Would the project require the construction of or expansion of recreational facilities?

FINDING: NO IMPACT:

The proposed agricultural equipment facility will not affect the usage of parks or recreational facilities because it will not affect the population or demographics of the community. No new parks or recreational facilities will be required as a result of the proposed project.

XVI. TRANSPORTATION/TRAFFIC

- A. Would the project conflict with any applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation; or

- B. Would the project conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demands measures?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will not conflict with any transportation plans or result in a substantial congestion impact, based on the anticipated traffic impacts cited in the operational statement.

- C. Would the project result in a change in air traffic patterns?

FINDING: NO IMPACT:

The proposed structure adheres to the maximum building height allowed in the AE-20 Zone District.

- D. Would the project substantially increase traffic hazards due to design features?

FINDING: NO IMPACT:

The proposed structure is a metal building and it will be set back over 500 feet from Mount Whitney Avenue behind an existing metal structure.

- E. Would the project result in inadequate emergency access?

FINDING: LESS THAN SIGNIFICANT IMPACT:

All plans will be approved by the Fresno County Fire Department prior to the issuance of permits.

- F. Would the project conflict with adopted plans, policies or programs regarding public transit, bicycle or pedestrian facilities or otherwise decrease the performance or safety of such facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed operation will be located inside of a fenced area on a single parcel and will not have significant traffic impacts. Pedestrian facilities will not be impacted.

XVII. UTILITIES AND SERVICE SYSTEMS

- A. Would the project exceed wastewater treatment requirements; or
- B. Would the project require construction of or the expansion of new water or wastewater treatment facilities; or
- C. Would the project require or result in the construction or expansion of new storm water drainage facilities; or

- D. Would the project have sufficient water supplies available from existing entitlements and resources, or are new or expanded entitlements needed; or
- E. Would the project result in a determination of inadequate wastewater treatment capacity to serve project demand; or
- F. Would the project be served by a landfill with sufficient permitted capacity; or
- G. Would the project comply with federal, state and local statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Only 8.17% of the parcel will be covered by impermeable surfaces, and the operation will be prohibited from allowing water to drain across property lines. Storm water drainage facilities will not be impacted by the proposed project.

The owner currently purchases water from Westlands Water District, and wastewater is managed with an on-site septic system. It is anticipated that no additional water will be required as a result of the proposed use, and no additional septic system is proposed. If the existing septic system cannot sufficiently handle the wastewater produced on site, the 8.78-acre parcel is large enough to handle a larger septic system or a second septic system.

Additionally, the proposed project will not produce enough waste to affect the capacity of local landfills. Their disposal of solid waste will comply with all levels of regulation.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

- A. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California prehistory or history?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Potential impacts to biological resources and cultural resources were identified. However, incorporation of the Mitigation Measures indicated in Section IV and V will ensure that these impacts are not significant.

- B. Does the project have impacts that are individually limited, but cumulatively considerable?

FINDING: LESS THAN SIGNIFICANT IMPACT:

No cumulative impacts, such as traffic congestion, greenhouse gas emissions, water quality, or aquifer depletion are expected to be significant by the approval of the proposed project.

- C. Does the project have environmental impacts which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No environmental impacts to human beings, either direct or indirect, were identified in the project analysis.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Classified Conditional Use Permit Application No. 3613, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there will be no impacts to Population and Housing, and Recreation.

Potential impacts related to Air Quality, Agricultural and Forestry Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Public Services, Transportation and Traffic, and Utilities and Service Systems have been determined to be less than significant.

Potential impacts relating to Aesthetics, Biological Resources, and Cultural Resources have been determined to be less than significant with compliance with the Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

DTC:

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File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7458	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Danielle Crider, Planner	Area Code: 559	Telephone Number: 600-9669	Extension: N/A
Applicant (Name): Pacific Agriculture Rentals	Project Title: CUP 3613		
<p>Project Description:</p> <p>Allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square-feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).</p>			
<p>Justification for Negative Declaration:</p> <p>Based upon the Initial Study prepared for Classified Conditional Use Permit Application No. 3613, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there will be no impacts to Population and Housing, and Recreation.</p> <p>Potential impacts related to Air Quality, Agricultural and Forestry Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Public Services, Transportation and Traffic, and Utilities and Service Systems have been determined to be less than significant.</p> <p>Potential impacts relating to Aesthetics, Biological Resources, and Cultural Resources have been determined to be less than significant with compliance to the mitigation measures.</p> <p>A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southwest corner of Tulare and "M" Street, Fresno, California.</p>			
<p>FINDING:</p> <p>The proposed project will not have a significant impact on the environment.</p>			
Newspaper and Date of Publication: Fresno Business Journal – September 12, 2018		Review Date Deadline: Planning Commission – October 25, 2018	
Date: TBD	Type or Print Signature: Danielle Crider Planner	Submitted by (Signature):	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**