



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: September 11, 2018

TO: Department of Public Works and Planning, Attn: Bernard Jimenez, Assistant Director
Development Services and Capital Projects, Attn: William M. Kettler, Division Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: Marianne Mollring, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand
Development Services and Capital Projects, Zoning & Permit Review, Attn: Tawanda Mtunga
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna
Development Services and Capital Projects, Building & Safety/Plan Check, Attn: Chuck Jonas
Development Services and Capital Projects, Building & Safety/Plan Check, CASp, Attn: Dan Mather
Resources Division, Attn: John R. Thompson
Development Engineering, Attn: Laurie Kennedy
Road Maintenance and Operations, Attn: Frank Daniele/Nadia Lopez
Design Division, Attn: Mohammad Alimi/Dale Siemer
Community Development Division, Attn: Kristi Johnson
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager
Fresno County Health Officer, Dept. of Public Health, Attn: Ken Bird, M.D.
Department of Public Health, Environmental Health Division, Attn: Kevin Tsuda/Deep Sidhu/Steven Rhodes
Agricultural Commissioner, Attn: Les Wright
Sheriff's Office, Attn: Captain John Zanoni, Lt. John Reynolds, Lt. Louie Hernandez, Lt. Kathy Curtice, Lt. Ryan Hushaw
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Patricia Cole
CA Department of Fish and Wildlife
State Historic Preservation Office, Attn: Lucinda Woodward
Native American Heritage Commission (NAHC), Attn: Katy Sanchez
Westside Resource Conservation District, Attn: Sarge Green
Fresno County Fire Protection District, Attn: Chris Christopherson, Battalion Chief
Naval Air Station Lemoore, Attn: John Dirickson, Planning Liason Officer
Westlands Water District, Attn: Russ Freeman/Jose Gutierrez
Regional Water Quality Control Board
San Joaquin Valley Air Pollution Control District

FROM: Danielle Crider, Planner
Development Services Division

SUBJECT: Initial Study No. 7458 (Prepared and previously routed for CUP 3613)

APPLICANT: Pacific Agriculture Rentals

DUE DATE: September 26, 2018

The Department of Public Works and Planning, Development Services Division, is reviewing the subject applications proposing to allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square-feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).

The Department is reviewing for environmental effects as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County. The initial study is attached with the original routing for this project, and we are requesting that you review and comment on the environmental analysis of the subject application.

Please return your comments regarding Initial Study No. 7458 by **September 26, 2018**. If your agency or department has no comments, please return a "no comments" response. If you need extra time to review the proposed project, please let me know before the comment deadline.

If you have any questions, please contact Danielle Crider, Planner, Fresno County Department of Public Works and Planning at (559) 600-9669 or at dacrider@co.fresno.ca.us.

DTC:

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Activity Code (Internal Review): 2381

Enclosures



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

FILED
SEP 07 2018 TIME 3:11 PM
By *[Signature]*
FRESNO COUNTY CLERK
DEPUTY

NOTICE OF INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

For County Clerk's Stamp

Notice is hereby given that the County of Fresno has prepared Initial Study Application (IS) No. 7458 pursuant to the requirements of the California Environmental Quality Act for the following proposed project:

INITIAL STUDY APPLICATION NO. 7458 and **CLASSIFIED CONDITIONAL USE PERMIT APPLICATION NO. 3613** filed by **PACIFIC AGRICULTURE RENTALS**, proposing to allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square-feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4). Adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7455, and take action on Unclassified Conditional Use Permit Application No. 3612 with Findings and Conditions.

(hereafter, the "Proposed Project")

The County of Fresno has determined that it is appropriate to adopt a Mitigated Negative Declaration for the Proposed Project. The purpose of this Notice is to (1) provide notice of the availability of IS Application No. 7458 and the draft Mitigated Negative Declaration, and request written comments thereon; and (2) provide notice of the public hearing regarding the Proposed Project.

Public Comment Period

The County of Fresno will receive written comments on the Proposed Project and Mitigated Negative Declaration from September 12, 2018 through October 12, 2018.

Email written comments to dacrider@co.fresno.ca.us, or mail comments to:

Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
Attn: Danielle Crider
2220 Tulare Street, Suite A
Fresno, CA 93721

IS Application No. 7458 and the draft Mitigated Negative Declaration may be viewed at the above address Monday through Thursday, 9:00 a.m. to 5:00 p.m., and Friday, 8:30 a.m. to 12:30 p.m. (except holidays), or at <http://www.co.fresno.ca.us/initialstudies>. An electronic copy of the draft Mitigated Negative Declaration for the Proposed Project may be obtained from Danielle Crider at the addresses above.

Public Hearing

The Planning Commission will hold a public hearing to consider approving the Proposed Project and the Mitigated Negative Declaration on October 25, 2018, at 8:45 a.m., or as soon thereafter as possible, in Room 301, Hall of Records, 2281 Tulare Street, Fresno, California 93721. Interested persons are invited to appear at the hearing and comment on the Proposed Project and draft Mitigated Negative Declaration.

For questions please call Danielle Crider at (559) 600-9669.

Published: September 10, 2018



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DRAFT NOTICE OF DETERMINATION

To: Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

County Clerk, County of Fresno
2221 Kern Street
Fresno, CA 93721

From: Fresno County Department of Public Works and Planning, Development Services and Capital Projects Division
2220 Tulare Street (corner of Tulare and "M") Suite "A", Fresno, CA 93721

Subject: Filing of Notice of Determination in compliance with Section 21152 of the Public Resource Code

Project: Initial Study Application No. 7458 and Classified Conditional Use Permit Application No. 3613

Location: The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).

Description: Allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with 9,983 square-feet of indoor space and 3,000 gallons of diesel fuel storage tanks on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.

This is to advise that the County of Fresno (Lead Agency Responsible Agency) has approved the above described project on October 11, 2018, and has made the following determination:

1. The project **will** **will not** have a significant effect on the environment.
2. An Environmental Impact Report (EIR) **was not** prepared for this project pursuant to the provisions of CEQA. / A Mitigated Negative Declaration **was not** prepared for this project pursuant to the provisions of CEQA.
3. Mitigation Measures **were** **were not** made a condition of approval for the project.
4. A statement of Overriding Consideration **was** **was not** adopted for this project.

This is to certify that the Initial Study with comments and responses and record of project approval is available to the General Public at Fresno County Department of Public Works and Planning, 2220 Tulare Street, Suite A, Corner of Tulare and "M" Streets, Fresno, California.

Danielle Crider, Planner
(559) 600-9669 / dacrider@co.fresno.ca.us

Date

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DRAFT

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7458	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION		County Clerk File No: E-
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Danielle Crider, Planner	Area Code: 559	Telephone Number: 600-9669	Extension: N/A
Applicant (Name): Pacific Agriculture Rentals	Project Title: CUP 3613		
<p>Project Description:</p> <p>Allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square-feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).</p>			
<p>Justification for Negative Declaration:</p> <p>Based upon the Initial Study prepared for Classified Conditional Use Permit Application No. 3613, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there will be no impacts to Population and Housing, and Recreation.</p> <p>Potential impacts related to Air Quality, Agricultural and Forestry Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Public Services, Transportation and Traffic, and Utilities and Service Systems have been determined to be less than significant.</p> <p>Potential impacts relating to Aesthetics, Biological Resources, and Cultural Resources have been determined to be less than significant with compliance to the mitigation measures.</p> <p>A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southwest corner of Tulare and "M" Street, Fresno, California.</p>			
<p>FINDING:</p> <p>The proposed project will not have a significant impact on the environment.</p>			
Newspaper and Date of Publication: Fresno Business Journal – September 12, 2018		Review Date Deadline: Planning Commission – October 25, 2018	
Date: TBD	Type or Print Signature: Danielle Crider Planner	Submitted by (Signature):	

State 15083, 15085

County Clerk File No.: _____

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY ENVIRONMENTAL CHECKLIST FORM

1. **Project title:** *Initial Study No. 7458 and Classified Conditional Use Permit No. 3613*
2. **Lead agency name and address:** *Fresno County Department of Public Works and Planning
Development Services and Capital Projects Division
2220 Tulare Street, Sixth Floor
Fresno, California, 93721*
3. **Contact person and phone number:** *Danielle Crider, (559) 600-9669*
4. **Project location:** *14093 West Mount Whitney Avenue, Five Points, CA 93624*
5. **Project Applicant's name and address:** *Pacific Agriculture Rentals (Louie Ray) 4 Harris Road, Salinas, CA 93908*
6. **General Plan designation:** *Agriculture*
7. **Zoning:** *AE-20 (Exclusive Agricultural, 20-acre minimum parcel size)*
8. **Description of project:** *Allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square-feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.*
9. **Surrounding land uses and setting:** *The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).*
10. **Briefly describe the project's surroundings:** *The project is located in an agricultural area, with one residence nearby.*

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- | | |
|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture and Forestry Resources |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Biological Resources |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology/Soils |
| <input type="checkbox"/> Hazards and Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources |
| <input type="checkbox"/> Noise | <input type="checkbox"/> Population/Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities/Service Systems |
| <input type="checkbox"/> Mandatory Findings of Significance | <input type="checkbox"/> Greenhouse Gas Emissions |

DETERMINATION OF REQUIRED ENVIRONMENTAL DOCUMENT:

On the basis of this initial evaluation:

- I find that the proposed project **COULD NOT** have a significant effect on the environment. **A NEGATIVE DECLARATION WILL BE PREPARED.**
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because the Mitigation Measures described on the attached sheet have been added to the project. **A MITIGATED NEGATIVE DECLARATION WILL BE PREPARED.**
- I find the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required
- I find that as a result of the proposed project, no new effects could occur, or new Mitigation Measures would be required that have not been addressed within the scope of a previous Environmental Impact Report.

PERFORMED BY:

REVIEWED BY:

Danielle Crider

M. MOLLRING

Danielle Crider, Planner

Marianne Mollring, Senior Planner

Date: 8/29/18

Date: 8-29-18

**INITIAL STUDY
ENVIRONMENTAL CHECKLIST FORM
(Initial Study Application No. 7458 and
Classified Conditional Use Permit
Application No. 3613)**

The following checklist is used to determine if the proposed project could potentially have a significant effect on the environment. Explanations and information regarding each question follow the checklist.

1 = No Impact

2 = Less Than Significant Impact

3 = Less Than Significant Impact with Mitigation Incorporated

4 = Potentially Significant Impact

I. AESTHETICS

Would the project:

- 1 a) Have a substantial adverse effect on a scenic vista?
- 3 b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?
- 3 c) Substantially degrade the existing visual character or quality of the site and its surroundings?
- 3 d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area?

II. AGRICULTURAL AND FORESTRY RESOURCES

Would the project:

- 1 a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
- 2 b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract?
- 1 c) Conflict with existing zoning for forest land, timberland or timberland zoned Timberland Production?
- 1 d) Result in the loss of forest land or conversion of forest land to non-forest use?
- 2 e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?

III. AIR QUALITY

Would the project:

- 2 a) Conflict with or obstruct implementation of the applicable Air Quality Plan?
- 2 b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?
- 2 c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under applicable Federal or State ambient air quality standards (including releasing emissions which exceed quantitative thresholds for ozone precursors)?
- 2 d) Expose sensitive receptors to substantial pollutant concentrations?
- 2 e) Create objectionable odors affecting a substantial number of people?

IV. BIOLOGICAL RESOURCES

Would the project:

- 3 a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 3 b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?
- 3 c) Have a substantial adverse effect on federally-protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?
- 3 d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?
- 3 e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?
- 3 f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

V. CULTURAL RESOURCES

Would the project:

- 3 a) Cause a substantial adverse change in the significance of a historical resource as defined in Public Resources Code Section 15064.5?
- 3 b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Public Resources Code Section 15064.5?
- 3 c) Directly or indirectly destroy a unique paleontological resource or site, or unique geologic feature?
- 3 d) Disturb any human remains, including those interred outside of formal cemeteries?
- 3 e) Cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074?

VI. GEOLOGY AND SOILS

Would the project:

- a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:
 - 2 i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
 - 2 ii) Strong seismic ground shaking?
 - 2 iii) Seismic-related ground failure, including liquefaction?
 - 1 iv) Landslides?
- 2 b) Result in substantial soil erosion or loss of topsoil?
- 1 c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse?

- 1 d) Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?
- 1 e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

VII. GREENHOUSE GAS EMISSIONS

Would the project:

- 2 a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?
- 2 b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

VIII. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- 2 a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?
- 2 b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?
- 1 c) Create hazardous emissions or utilize hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?
- 1 d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?
- 2 e) Result in a safety hazard for people residing or working in the project area for a project located within an Airport Land Use Plan or, where such a Plan has not been adopted, within two miles of a public airport or public use airport?
- 2 f) Result in a safety hazard for people residing or working in the project area for a project within the vicinity of a private airstrip?
- 2 g) Impair implementation of or physically interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan?
- 2 h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

IX. HYDROLOGY AND WATER QUALITY

Would the project:

- 2 a) Violate any water quality standards or waste discharge requirements?
- 2 b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?
- 2 c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off site?
- 2 d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site?

- 2 e) Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff?
- 2 f) Otherwise substantially degrade water quality?
- 2 g) Place housing within a 100-year flood hazard area as mapped on a Federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?
- 2 h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?
- 2 i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?
- 1 j) Cause inundation by seiche, tsunami, or mudflow?

X. LAND USE AND PLANNING

Would the project:

- 1 a) Physically divide an established community?
- 2 b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to, the General Plan, Specific Plan, local coastal program, or Zoning Ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?
- 1 c) Conflict with any applicable Habitat Conservation Plan or Natural Community Conservation Plan?

XI. MINERAL RESOURCES

Would the project:

- 2 a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?
- 2 b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

XII. NOISE

Would the project:

- 2 a) Expose persons to or generate noise levels in excess of standards established in the local General Plan or Noise Ordinance, or applicable standards of other agencies?
- 2 b) Expose persons to or generate excessive ground-borne vibration or ground-borne noise levels?
- 2 c) Create a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?
- 2 d) Create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?
- 2 e) Expose people residing or working in the project area to excessive noise levels, for a project located within an Airport Land Use Plan or, where such a Plan has not been adopted, within two miles of a public airport or public use airport?
- 2 f) Expose people residing or working in the project area to excessive noise levels, for a project within the vicinity of a private airstrip?

XIII. POPULATION AND HOUSING

Would the project:

- 1 a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?
- 1 b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?

- 1 c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?

XIV. PUBLIC SERVICES

Would the project:

Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

- 2 a) Fire protection?
2 b) Police protection?
2 c) Schools?
2 d) Parks?
2 e) Other public facilities?

XV. RECREATION

Would the project:

- 1 a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?
1 b) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

XVI. TRANSPORTATION / TRAFFIC

Would the project:

- 2 a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including, but not limited to, intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?
2 b) Conflict with an applicable Congestion Management Program including, but not limited to, level of service standards and travel demand measures, or other standards established by the County congestion management agency for designated roads or highways?
1 c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location, which results in substantial safety risks?
1 d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?

- 2 e) Result in inadequate emergency access?
2 f) Conflict with adopted policies, plans or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?

XVII. UTILITIES AND SERVICE SYSTEMS

Would the project:

- 2 a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?
2 b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
2 c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?
2 d) Have sufficient water supplies available to service the project from existing entitlements and resources, or are new or expanded entitlements needed?
2 e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?
2 f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?
2 g) Comply with federal, state, and local statutes and regulations related to solid waste?

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- 3 a) Have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?
2 b) Have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)
1 c) Have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

Documents Referenced:

This Initial Study references the documents listed below. These documents are available for public review at the County of Fresno, Department of Public Works and Planning, Development Services and Capital Projects Division, 2220 Tulare Street, Suite A, Fresno, California (corner of M & Tulare Streets).

Fresno County General Plan, Policy Document and Final EIR
Fresno County Zoning Ordinance
Important Farmland 2014 Map, State Department of Conservation

DTC:
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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: Pacific Agriculture Rentals
- APPLICATION NOS.: Initial Study Application No. 7458 and Classified Conditional Use Permit Application No. 3613
- DESCRIPTION: The Department of Public Works and Planning, Development Services Division, is reviewing the subject applications proposing to allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with two structures totaling 9,983 square-feet and two above-ground storage tanks totaling 3,000 gallons of diesel fuel storage on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District.
- LOCATION: The project site is located on the south side of West Mount Whitney Avenue, on the southwest corner of its intersection with South Goldenrod Avenue, approximately 13.5 miles southwest of the nearest city limits of the City of San Joaquin (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).

I. AESTHETICS

- A. Would the project have a substantial adverse effect on a scenic vista?

FINDING: NO IMPACT:

The proposed project will not include the removal of any trees, and it is not located near any scenic vistas, rock outcroppings, scenic highways, or properties designated as historic. The property fronts on Mt. Whitney Avenue, which is not classified as a scenic roadway by the Fresno County General Plan Background Report (FCGPBR, Figure OS-2).

- B. Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway; or
- C. Would the project substantially degrade the existing visual character or quality of the site and its surroundings; or

- D. Would the project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Eight exterior lights are proposed on the outside of the proposed structure. Extensive lighting is not characteristic of an agricultural area such as this, and the nearest residential structure is approximately 700 feet west of this structure. The following mitigation will ensure that these lights are not disruptive to the community and that the proposed project is compatible with the area.

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed downward so as not to shine upward or toward adjacent properties and public streets.*

II. AGRICULTURAL AND FORESTRY RESOURCES

- A. Would the project convert prime or unique farmlands or farmland of state-wide importance to non-agricultural use?

FINDING: NO IMPACT:

The subject parcel is classified as Semi-agricultural and Rural Commercial Land (California Department of Conservation, 2014). This proposed project will not affect this classification.

- B. Would the project conflict with existing agricultural zoning or Williamson Act Contracts?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project is in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District, and is not subject to a Williamson Act Contract. The Fresno County General Plan (Policy LU-A.3) states that agriculturally-related activities may be allowed by a discretionary permit in agricultural areas. The proposed operation would provide agricultural machinery-related services to an agricultural area, and with the approval of Conditional Use Permit Application No. 3613 this project would not conflict with the existing zoning.

- C. Would the project conflict with existing zoning for or cause rezoning of forest land, timberland, or timberland zoned Timberland Production; or
- D. Would the project result in the loss of forest land or conversion of forest land to non-forest use?

FINDING: NO IMPACT:

This project is not in an area of forest land or Timberland Production.

- E. Would the project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural uses or conversion of forest land to non-forest use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed agricultural equipment operation will support the needs of farmers in the surrounding area. It will not trigger population growth, nor will it lead to other farmland being converted to non-agricultural uses.

III. AIR QUALITY

- A. Would the project conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Would the project violate any air quality standard or contribute to an existing or projected air quality violation; or
- C. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- D. Would the project expose sensitive receptors to substantial pollutant concentrations; or
- E. Would the project create objectionable odors affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The County of Fresno is a non-attainment area for PM-2.5 and Ozone. Construction activities could increased particulate matter in the area and the operation of vehicles for sales and deliveries will occur throughout the operation of the proposed use. The operation could also produce objectionable odors related to the servicing and operation of farm equipment. However, the nearest residence is approximately 660 feet from the proposed operation, and the area is dominated by agricultural activities that require the same types of equipment for day-to-day operation. Additionally, facility construction will occur for only a very short time, and the proposed number of traffic trips per day is not considered significant.

The San Joaquin Valley Air Pollution Control District reviewed the subject application, and determined that it would not exceed the thresholds of significant emissions per year. The project may be subject to Regulation VIII (Fugitive PM10 Prohibitions), Rule 4102 (Nuisance), Rule 4601 (Architectural Coatings), and Rule 4641 (Cutback, Slow Cure, and Emulsified Asphalt Paving and Maintenance Operations) or other Air District Rules and Regulations, and it will be required that the applicant complete an Air Impact Assessment application before any construction commences.

With adherence to these established rules and procedures, it can be determined that the project will have a less than significant impact.

IV. BIOLOGICAL RESOURCES

- A. Would the project have a substantial adverse effect, either directly or through habitat modifications, on any candidate, sensitive, or special-status species; or
- B. Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS); or
- C. Would the project have a substantial adverse effect on federally-protected wetlands as defined by Section 404 of the Clean Water Act through direct removal, filling, hydrological interruption or other means; or
- D. Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites; or
- E. Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The U.S. Fish and Wildlife Service (USFWS) Information for Planning and Consultation (IPaC) tool indicates that the Fresno Kangaroo Rat, San Joaquin Kit Fox, blunt-nosed leopard lizard, giant garter snake, California Red-legged Frog, Delta Smelt, vernal pool fairy shrimp, and long-billed curlew could be present in the project vicinity. However, predicted ranges of these species provided by the California Department of Fish and Wildlife (CDFW) in the California Natural Diversity Database (CNDDDB) indicate that none of these species are predicted to be present on the subject parcel. Predicted ranges are not available for vernal pool fairy shrimp (VPFS), Delta Smelt, or long-billed curlew. However, VPFS and Delta Smelt require seasonally or perennially flooded wetland habitats, and long-billed curlew do not breed in this area (IPaC). The nearest wetland habitat is over 1.2 miles east of the proposed project (USFWS, Wetland Mapper) so no VPFS and Delta Smelt will not be impacted. No trees will be removed, and construction will disturb a relatively small area for a short period of time, so the migration of the long-billed curlew also will not be impacted. This species is not known to breed in this region.

Alternatively, CNDDDB does indicate that there is a high likelihood of Swainson's hawks (SWHA) living or foraging on the subject parcel or the surrounding parcels, and SWHA

is a protected species in California. Since no trees will be removed as a part of this project, no SWHA nesting habitat will be lost. The portion of the parcel where construction is proposed is currently barren soil, and would not provide the prime foraging habitat that actively cultivated fields would to the SWHA. The nearest trees to the proposed construction are over 300 feet to the south; they appear to have been planted as a decorative visual barrier, and do not seem to be a part of the natural habitat. Heavy agricultural machinery is already stored and used on site, so the proposed construction and subsequent operation will not be substantially more disruptive to any potentially present Swainson's hawks than the existing operation is. However, to ensure that SWHA are not impacted by the proposed project the following mitigation measures will ensure that appropriate surveys are conducted if construction occurs during the SWHA breeding season.

* **Mitigation Measure(s)**

1. *A qualified biologist shall conduct a survey for nesting raptors prior to the onset of construction activities, following the survey methodology developed by the SWHA Technical Advisory Committee (SWHA TAC 2000). If ground-disturbing activities take place between February 1 and September 15, a pre-construction survey for active nests must be conducted by a qualified biologist no more than 10 days prior to the onset of these ground-disturbing activities.*
2. *If an active SWHA nest is found, no construction may take place within a one half-mile of the nest until the end of breeding season (September 15) or until a qualified biologist has determined that the young have fledged and are no longer reliant upon the nest or parental care for survival. If this is not feasible, the applicant shall consult with the California Department of Fish and Wildlife (CDFW) to determine if the project can avoid take. If SWHA cannot be avoided, acquisition of an Incidental Take Permit (ITP) could be warranted.*

V. CULTURAL RESOURCES

- A. Would the project cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5; or
- B. Would the project cause a substantial adverse change in the significance of an archeological resource pursuant to Section 15064.5; or
- C. Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature; or
- D. Would the project disturb any human remains, including those interred outside of formal cemeteries; or
- E. Would the project cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Some ground disturbance will occur during the construction of a new 4,983 square-foot metal structure. The Southern San Joaquin Valley Information Center determined that no archaeological surveys would be necessary prior to construction of the proposed project. Additionally, all interested tribes were notified of the project, and none expressed any concerns about cultural resources being disturbed by the proposed operation or ground disturbance. Mitigation will be applied to ensure that in the unlikely event cultural resources are encountered, construction will be halted and the proper authorities will be notified.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. GEOLOGY AND SOILS

- A. Would the project expose people or structures to potential substantial adverse effects, including risk of loss, injury or death involving:
 1. Rupture of a known earthquake; or
 2. Strong seismic ground shaking; or
 3. Seismic-related ground failure, including liquefaction?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the Fresno County General Plan Background Report (FCGPBR) Figure 9-5, the project area's probability of experiencing a seismic hazard in 50 years is 20-40%. The proposed structure will be engineered to withstand the anticipated seismic hazard. This project will not result in substantial risk of loss, injury, or death.

4. Landslides?

FINDING: NO IMPACT:

The proposed project is not located in an area of steep slopes (FCGPBR Figure 7-2). The topography of the area is quite flat, and the proposed project will not change that or increase the risk of loss, injury, or death due to landslides.

B. Would the project result in substantial erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Construction of the 4,983 square-foot structure will require the disturbance of existing topsoil in an un-vegetated area. The subject parcel is flat, and the project will not substantially increase erosion or loss of topsoil. Any grading required for the proposed project will require permits from the County.

C. Would the project result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?

FINDING: NO IMPACT:

The proposed project does not include any activities that will increase the possibility of on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse.

D. Would the project be located on expansive soils, creating substantial risks to life or property?

FINDING: NO IMPACT:

According to the Fresno County General Plan (Figure 7-1), expansive soils are not a concern in or around the project area.

E. Would the project have soils incapable of adequately supporting the use of septic tanks or alternative disposal systems where sewers are not available for wastewater disposal?

FINDING: NO IMPACT:

No additional disposal systems are proposed. There is one existing 1,500-gallon septic tank, and it is expected that the 8.78-acre parcel could accommodate a second septic system if necessary.

VII. GREENHOUSE GAS EMISSIONS

A. Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or

B. Would the project conflict with any applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The operation of vehicles during construction and for sales and delivery purposes will produce greenhouse gas emissions. Construction impacts will be short term and will

only result from grading and the construction of a metal structure. These greenhouse gas emissions are not expected to meet the significance threshold of two tons per year, and therefore will not have a significant impact.

VIII. HAZARDS AND HAZARDOUS MATERIALS

- A. Would the project create a significant public hazard through routine transport, use or disposal of hazardous materials; or
- B. Would the project create a significant public hazard involving accidental release of hazardous materials into the environment?

FINDING: LESS THAN SIGNIFICANT IMPACT:

There will be one 1,000 gallon above-ground fuel tank and one 2,000 gallon above-ground fuel tank on site for the fueling of vehicles. These tanks will be refilled up to two times each week. The applicant estimates that one drum of used oils and fluids may be generated by the operation every 1-2 weeks, and that approximately four used filters will have to be disposed of each week; these materials will be collected and transported in accordance with relevant federal, state and local policies.

Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan pursuant to the HSC, Division 20, Chapter 6.95. Additionally, a spill prevention control and countermeasure plan (SPCC) must be approved by the County of Fresno's Environmental Health Division prior to these tanks being filled with hazardous materials. No additional mitigation is necessary because the project is required by law to conform to these standards.

- C. Would the project create hazardous emissions or utilize hazardous materials, substances or waste within one quarter-mile of a school?

FINDING: NO IMPACT:

The nearest school is Westside Elementary, and it is located approximately 2.7 miles east of the project site.

- D. Would the project be located on a hazardous materials site?

FINDING: NO IMPACT:

The project site is not located on or within 0.5 mile of a known hazardous waste facility (NEPAssist).

- E. Would a project located within an airport land use plan or, absent such a plan, within two miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area; or
- F. Would a project located within the vicinity of a private airstrip result in a safety hazard for people residing or working in the project area?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The nearest airstrip is approximately 6 miles southeast of the proposed project, and belongs to the Lemoore Naval Air Station. This project is in the planning area of the Naval Air Station (NAS), but no concerns have been expressed regarding the compatibility of the proposed use by the NAS. The height of the proposed building is allowed in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District, so this use should not conflict with the existing air station's use in a manner that would result in a safety hazard for people residing or working in the project area.

- G. Would the project impair implementation of or physically interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County Sheriff-Coroner's Department and the Fresno County Fire Protection District have not expressed any concerns regarding this project's potential to interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan. The proposed improvements will be located in the middle of an 8.78-acre parcel and will not impact these plans.

- H. Would the project expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project is in a non-wildland/non-urban fire hazard area, and the proposed improvements will be built to current fire code. With the applicant's conformance to the rules and regulations governing hazardous materials, this project will not expose people or structures to a significant risk of loss, injury or death involving wildland fires.

IX. HYDROLOGY AND WATER QUALITY

- A. Would the project violate any water quality standards or waste discharge requirements or otherwise degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will be subject to standards set forth by the Local Agency Management Program (LAMP), adopted by the Regional Water Quality Control Board, to ensure that

any waste discharge does not impact water quality. Additionally, all grading activities will require permits and hazardous waste will be stored and disposed of according to the current standards to ensure that the project does not result in polluted runoff.

- B. Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge so that there would be a net deficit in aquifer volume or a lowering of the local groundwater table?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel currently purchases 2,000 to 3,500 gallons of water per day from Westlands Water District (WWD) and would continue to utilize this amount of water from this source during the operation of the proposed project. Much of this water would return to the aquifer through percolation. Groundwater supply will not be substantially impacted by the proposed project.

- C. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off site; or
- D. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in flooding on or off site; or
- E. Would the project create or contribute run-off which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted run-off; or
- F. Would the project otherwise substantially degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Drainage patterns could be affected by the construction of a 4,983 square-foot building and related grading. However, these impacts will be managed through the building and grading permitting process. The majority of the subject parcel's surface is permeable and the area is of a consistent topography; the proposed use and construction will not significantly impact these qualities. Additionally, the nearest stream is over 1.2 miles east of the project site, and the project will not produce substantial runoff.

- G. Would the project place housing within a 100-year floodplain; or
- H. Would the project place structures within a 100-year flood hazard area that would impede or redirect flood flows; or
- I. Would the project expose persons or structures to levee or dam failure?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Part of the subject parcel, including a portion of the proposed structure, are in FEMA Flood Zone A which is subject to 100-year floods. However, no housing is proposed, and any improvements inside of this zone will be subject to the County Flood Hazard Ordinance (Title 15.48).

J. Would the project cause inundation by seiche, tsunami or mudflow?

FINDING: NO IMPACT:

The project will not cause inundation in the form of seiche, tsunami, or mudflow. It is not near any bodies of water or areas of steep slopes.

X. LAND USE AND PLANNING

A. Will the project physically divide an established community?

FINDING: NO IMPACT:

The proposed project is in a rural, agricultural, unincorporated area of the County of Fresno. The only structure that will be built is a 4,983 square-foot agricultural equipment shop, and it will be located behind a similar existing structure in the middle of a parcel currently used for the storage of agricultural equipment. No established communities will be divided.

B. Will the project conflict with any Land Use Plan, policy or regulation of an agency with jurisdiction over the project?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County General Plan (Policy LU-A.3) states that agriculturally-related activities may be allowed by a discretionary permit in agricultural areas. The proposed operation would provide agricultural machinery-related services to an agricultural area, and with the approval of Conditional Use Permit Application No. 3613 this project would not conflict with the General Plan or any other policies.

C. Will the project conflict with any applicable Habitat Conservation Plan or Natural Community Conservation Plan?

FINDING: NO IMPACT:

There are no Habitat or Natural Community Conservation Plans for this area.

XI. MINERAL RESOURCES

A. Would the project result in the loss of availability of a known mineral resource; or

B. Would the project result in the loss of availability of a locally-important mineral resource recovery site designated on a General Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel is near a known oil field. The proposed structures and operation would not preclude oil drilling on the parcel or surrounding area, therefore it would not inhibit access to this resource. Additionally, the project will not diminish the supply of oil in the area.

XII. NOISE

- A. Would the project result in exposure of people to severe noise levels; or
- B. Would the project result in exposure of people to or generate excessive ground-borne vibration or ground-borne noise levels; or
- C. Would the project cause a substantial permanent increase in ambient noise levels in the project vicinity; or
- D. Would the project result in a substantial temporary or periodic increase in ambient noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The construction of the proposed facilities and the daily maintenance activities of agricultural equipment will produce vibration and noise. However, the facility will be required to comply with the Fresno County Noise Ordinance, and this will ensure that any noise produced is not disruptive or harmful. The surrounding area is agricultural in nature and the nearest residence is approximately 660 feet west of the proposed operation. The impact to the surrounding parcels will be less than significant.

- E. Would the project expose people to excessive noise levels associated with a location near an airport or a private airstrip; or
- F. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The nearest airstrip belongs to the Lemoore Naval Air Station, six miles southeast of the project site. This distance will ensure that employees and visitors are not exposed to excessive noise levels from this source.

XIII. POPULATION AND HOUSING

- A. Would the project induce substantial population growth either directly or indirectly; or
- B. Would the project displace substantial numbers of existing housing; or

- C. Would the project displace substantial numbers of people, necessitating the construction of housing elsewhere?

FINDING: NO IMPACT:

The agricultural equipment facility will not induce population growth, eliminate existing housing, or displace anyone from their homes. Population and housing will not be impacted.

XIV. PUBLIC SERVICES

- A. Would the project result in substantial adverse physical impacts associated with the provision of new or physically-altered public facilities in the following areas:

1. Fire protection;
2. Police protection;
3. Schools;
4. Parks; or
5. Other public facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project will not result in population growth or otherwise require the expansion or alteration of any public facilities.

XV. RECREATION

- A. Would the project increase the use of existing neighborhood and regional parks; or
- B. Would the project require the construction of or expansion of recreational facilities?

FINDING: NO IMPACT:

The proposed agricultural equipment facility will not affect the usage of parks or recreational facilities because it will not affect the population or demographics of the community. No new parks or recreational facilities will be required as a result of the proposed project.

XVI. TRANSPORTATION/TRAFFIC

- A. Would the project conflict with any applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation; or

- B. Would the project conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demands measures?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will not conflict with any transportation plans or result in a substantial congestion impact, based on the anticipated traffic impacts cited in the operational statement.

- C. Would the project result in a change in air traffic patterns?

FINDING: NO IMPACT:

The proposed structure adheres to the maximum building height allowed in the AE-20 Zone District.

- D. Would the project substantially increase traffic hazards due to design features?

FINDING: NO IMPACT:

The proposed structure is a metal building and it will be set back over 500 feet from Mount Whitney Avenue behind an existing metal structure.

- E. Would the project result in inadequate emergency access?

FINDING: LESS THAN SIGNIFICANT IMPACT:

All plans will be approved by the Fresno County Fire Department prior to the issuance of permits.

- F. Would the project conflict with adopted plans, policies or programs regarding public transit, bicycle or pedestrian facilities or otherwise decrease the performance or safety of such facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed operation will be located inside of a fenced area on a single parcel and will not have significant traffic impacts. Pedestrian facilities will not be impacted.

XVII. UTILITIES AND SERVICE SYSTEMS

- A. Would the project exceed wastewater treatment requirements; or
- B. Would the project require construction of or the expansion of new water or wastewater treatment facilities; or
- C. Would the project require or result in the construction or expansion of new storm water drainage facilities; or

- D. Would the project have sufficient water supplies available from existing entitlements and resources, or are new or expanded entitlements needed; or
- E. Would the project result in a determination of inadequate wastewater treatment capacity to serve project demand; or
- F. Would the project be served by a landfill with sufficient permitted capacity; or
- G. Would the project comply with federal, state and local statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Only 8.17% of the parcel will be covered by impermeable surfaces, and the operation will be prohibited from allowing water to drain across property lines. Storm water drainage facilities will not be impacted by the proposed project.

The owner currently purchases water from Westlands Water District, and wastewater is managed with an on-site septic system. It is anticipated that no additional water will be required as a result of the proposed use, and no additional septic system is proposed. If the existing septic system cannot sufficiently handle the wastewater produced on site, the 8.78-acre parcel is large enough to handle a larger septic system or a second septic system.

Additionally, the proposed project will not produce enough waste to affect the capacity of local landfills. Their disposal of solid waste will comply with all levels of regulation.

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

- A. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California prehistory or history?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

Potential impacts to biological resources and cultural resources were identified. However, incorporation of the Mitigation Measures indicated in Section IV and V will ensure that these impacts are not significant.

- B. Does the project have impacts that are individually limited, but cumulatively considerable?

FINDING: LESS THAN SIGNIFICANT IMPACT:

No cumulative impacts, such as traffic congestion, greenhouse gas emissions, water quality, or aquifer depletion are expected to be significant by the approval of the proposed project.

- C. Does the project have environmental impacts which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No environmental impacts to human beings, either direct or indirect, were identified in the project analysis.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Classified Conditional Use Permit Application No. 3613, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there will be no impacts to Population and Housing, and Recreation.

Potential impacts related to Air Quality, Agricultural and Forestry Resources, Geology and Soils, Greenhouse Gas Emissions, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use Planning, Mineral Resources, Noise, Public Services, Transportation and Traffic, and Utilities and Service Systems have been determined to be less than significant.

Potential impacts relating to Aesthetics, Biological Resources, and Cultural Resources have been determined to be less than significant with compliance with the Mitigation Measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

DTC:

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County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: May 25, 2018

TO: Department of Public Works and Planning, Attn: Bernard Jimenez, Assistant Director
Development Services and Capital Projects, Attn: William M. Kettler, Division
Manager
Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: Marianne
Mollring, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC,
Attn: Mohammad Khorsand
Development Services and Capital Projects, Zoning & Permit Review, Attn: Tawanda
Mtunga
Development Services and Capital Projects, Site Plan Review, Attn: Hector Luna
Development Services and Capital Projects, Building & Safety/Plan Check,
Attn: Chuck Jonas
Development Services and Capital Projects, Building & Safety/Plan Check, CASp,
Attn: Dan Mather
Resources Division, Attn: John R. Thompson
Development Engineering, Attn: Laurie Kennedy
Road Maintenance and Operations, Attn: Randy Ishii/Frank Daniele/Nadia Lopez
Design Division, Attn: Mohammad Alimi/Dale Siemer
Community Development Division, Attn: Kristi Johnson
Water and Natural Resources Division, Attn: Glenn Allen, Division Manager
Fresno County Health Officer, Dept. of Public Health, Attn: Ken Bird, M.D.
Department of Public Health, Environmental Health Division, Attn: Kevin Tsuda/Deep
Sidhu/Steven Rhodes
Agricultural Commissioner, Attn: Les Wright
Sheriff's Office, Attn: Captain John Zanoni, Lt. John Reynolds, Lt. Louie Hernandez,
Lt. Kathy Curtice, Lt. Ryan Hushaw
U.S. Department of Agriculture Natural Resources Conservation Service, Attn: David
Durham
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Patricia Cole
CA Department of Fish and Wildlife
State Historic Preservation Office, Attn: Lucinda Woodward
Native American Heritage Commission (NAHC), Attn: Katy Sanchez
Westside Resource Conservation District, Attn: Sarge Green
Fresno County Fire Protection District, Attn: Chris Christopherson, Battalion Chief
Naval Air Station Lemoore, Attn: John Dirickson, Planning Liason Officer

FROM: Danielle Crider, Planner
Development Services Division

SUBJECT: Conditional Use Permit (CUP) Application No. 3613, Initial Study No. 7458

APPLICANT: Pacific Agriculture Rentals

DUE DATE: June 11, 2018

The Department of Public Works and Planning, Development Services Division, is reviewing the subject applications proposing to allow an operations facility for the sale, rental, leasing, and maintenance of farm equipment with 9,983 square-feet of indoor space and two diesel fuel storage tanks on an 8.78-acre parcel in the AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District. (14093 W. Mt. Whitney Ave.) (APN: 050-140-43S) (Sup. Dist. 4).

The Department is also reviewing for environmental effects as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

Please return your comments by **June 11, 2018**. If your agency or department has no comments, please return a “no comments” response. If you need extra time to review the proposed project, please let me know before the comment deadline.

If you have any questions, contact Danielle Crider, Planner, Fresno County Department of Public Works and Planning at (559) 600-9669 or at dacrider@co.fresno.ca.us.

DTC:
G:\4360Devs&Pln\PROJSEC\PROJDOCS\CUP\3600-3699\3613\ROUTING\CUP3613 Rtg Ltr.doc

Activity Code (Internal Review): 2384

Enclosures

Revd 4/3/18

CUP 3013
15 7458
(Application No.)



Fresno County Department of Public Works and Planning

MAILING ADDRESS:
Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:
Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type) _____
- Amendment Application Director Review and Approval
- Amendment to Text for 2nd Residence
- Conditional Use Permit Determination of Merger
- Variance (Class)/Minor Variance Agreements
- Site Plan Review/Occupancy Permit ALCC/RLCC
- No Shoot/Dog Leash Law Boundary Other _____
- General Plan Amendment/Specific Plan/SP Amendment)
- Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:
CUP for farm equipment and machinery sales, rentals, leasing, and maintenance. (Operations Facility)

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: South side of West Mt. Whitney Ave
between South Madera Avenue and South Goldenrod Avenue
Street address: 14093 W Mt Whitney Ave, Five Points CA 93624

APN: 050-140-4305 Parcel size: 8.78 acres Section(s)-Twp/Rg: S 43 - T 17 S/R 18 E

ADDITIONAL APN(s): _____

I, [Signature] (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Pacific Agriculture Rentals	4 Harris Road, Salinas CA 93908	831-970-2518
Owner (Print or Type)	Address City Zip	Phone
Pacific Agriculture Rentals (Louie Ray)	4 Harris Road, Salinas CA 93908	831-970-2518
Applicant (Print or Type)	Address City Zip	Phone
Larry Jett, Thomson Architectural Group	240 W. Robertson, Chowchilla, CA 93610	559-665-4900
Representative (Print or Type)	Address City Zip	Phone

CONTACT EMAIL: Scott@mytaginc.com

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.: CUP Fee: \$ 4,569.00

Application Type / No.: _____ Fee: \$ _____

Application Type / No.: _____ Fee: \$ _____

Application Type / No.: _____ Fee: \$ _____

PER/Initial Study No.: _____ Fee: \$ 3,901.00

Ag Department Review: PRE-APP -247.00 Fee: \$ 93.00

Health Department Review: _____ Fee: \$ 992.00

Received By: Danielle C. Invoice No.: 100947 TOTAL: \$ 9,368.00

UTILITIES AVAILABLE:
WATER: Yes / No
Agency: Westlands Water District
SEWER: Yes / No
Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section:

816.3.P
Related Application(s): _____ Sect-Twp/Rg: _____ - T _____ S/R _____ E
Zone District: AE20 APN # _____ - _____ - _____
Parcel Size: 8.78 acre APN # _____ - _____ - _____
APN # _____ - _____ - _____



Development
Services
Division

Thomson Architectural Group
240 W. Robertson
Chowchilla, CA 93610

Pre-Application Review

Department of Public Works and Planning

NUMBER: 39375
APPLICANT: Pacific Agriculture Rentals
PHONE: 559-665-9200

PROPERTY LOCATION: 14093 Mt. Whitney
APN: 050 - 140 - 43S ALCC: No Yes # _____ VIOLATION NO. N/A
CNEL: No Yes _____ (level) LOW WATER: No Yes _____ WITHIN 1/2 MILE OF CITY: No Yes _____
ZONE DISTRICT: AE-20; SRA: No Yes _____ HOMESITE DECLARATION REQ'D.: No Yes _____
LOT STATUS:

Zoning: () Conforms; () Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No Yes _____ ZM# _____ Initiated _____ In process _____
Map Act: () Lot of Rec. Map; () On '72 rolls; () Other _____; () Deeds Req'd (see Form #236)
SCHOOL FEES: No Yes _____ DISTRICT: Riverdale Unified PERMIT JACKET: No _____ Yes
FMFCD FEE AREA: () Outside () District No.: _____ FLOOD PRONE: No _____ Yes
PROPOSAL CUP for farm equipment and machinery sales, rentals, leasing and maintenance. (Operations Facility)

COMMENTS: _____
ORD. SECTION(S): 816.3.P BY: Thomas Kobayashi DATE: 1-23-18

GENERAL PLAN POLICIES:	PROCEDURES AND FEES:
LAND USE DESIGNATION: <u>Agriculture</u> () GPA: _____ () MINOR VA: _____	COMMUNITY PLAN: _____ () AA: _____ (<input checked="" type="checkbox"/>) HD: <u>\$992.00</u>
REGIONAL PLAN: _____ (<input checked="" type="checkbox"/>) CUP: <u>\$4509.00</u> (<input checked="" type="checkbox"/>) AG COMM: <u>\$93.00</u>	SPECIFIC PLAN: _____ () JRA: _____ () ALCC: _____
SPECIAL POLICIES: _____ () JA: _____ (<input checked="" type="checkbox"/>) IS/PER*: <u>\$3,901.00</u>	SPHERE OF INFLUENCE: _____ () AT: _____ () Viol. (35%): _____
ANNEX REFERRAL (LU-G17/MOU): _____ () JT: _____ () Other: _____	Filing Fee: \$ <u>\$9,556.00</u>
COMMENTS: <u>CUP 3201-approved cell tower (2007)</u>	Pre-Application Fee: <u>-\$247.00</u>
	Total County Filing Fee: <u>\$9,309.00</u>

FILING REQUIREMENTS:	OTHER FILING FEES:
(<input checked="" type="checkbox"/>) Land Use Applications and Fees	(<input checked="" type="checkbox"/>) Archaeological Inventory Fee: <u>\$75 at time of filing</u>
(<input checked="" type="checkbox"/>) This Pre-Application Review form	() CA Dept. of Fish & Wildlife (DFW): <u>(\$50) (\$50+\$2,016.25)</u>
(<input checked="" type="checkbox"/>) Copy of Deed / Legal Description	() Separate check to Fresno County Clerk for pass-thru to DFW.
(<input checked="" type="checkbox"/>) Photographs	Must be paid prior to IS closure and prior to setting hearing date.)
() Letter Verifying Deed Review	(<input checked="" type="checkbox"/>) IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
(<input checked="" type="checkbox"/>) Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction	(<input checked="" type="checkbox"/>) Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
(<input checked="" type="checkbox"/>) Project Description / Operational Statement (Typed)	() Statement of Variance Findings
() Statement of Intended Use (ALCC)	() Dependency Relationship Statement
() Resolution/Letter of Release from City of _____	() Resolution/Letter of Release from City of _____
Referral Letter # _____	

BY: Danielle Cnider DATE: 1/30/18
PHONE NUMBER: (559) 000 - 91009

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:

() COVENANT	(<input checked="" type="checkbox"/>) SITE PLAN REVIEW
() MAP CERTIFICATE	(<input checked="" type="checkbox"/>) BUILDING PLANS
() PARCEL MAP	(<input checked="" type="checkbox"/>) BUILDING PERMITS
() FINAL MAP	() WASTE FACILITIES PERMIT
() FMFCD FEES	(<input checked="" type="checkbox"/>) SCHOOL FEES
() ALUC or ALCC	(<input checked="" type="checkbox"/>) OTHER (see reverse side)

PLU # 113 Fee: \$247.00
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. _____

Project No(s). _____

Application Rec'd.: _____

GENERAL INFORMATION

1. **Property Owner:** Pacific Agriculture Rentals **Phone/Fax:** 831-970-2518

Mailing Address: 4 Harris Road, Salinas CA 93908
Street City State/Zip

2. **Applicant:** Pacific Agriculture Rentals **Phone/Fax:** 831-970-2518

Mailing Address: 4 Harris Road, Salinas CA 93908
Street City State/Zip

3. **Representative:** Larry Jett, Thomson Arch. Group **Phone/Fax:** 559-665-4900

Mailing Address: 240 W. Robertson, Chowchilla, CA 93610
Street City State/Zip

4. **Proposed Project:** CUP for farm equipment and machinery sales, rentals, leasing, and maintenance. (Operations Facility)

5. **Project Location:** South side of West Mt. Whitney Ave, Between South Madera Ave and South Goldenrod Ave

6. **Project Address:** 14093 W. Mt. Whitney Ave, Five Points, CA 93624

7. **Section/Township/Range:** 43 / 17 / 18 8. **Parcel Size:** 8.78 acres

9. **Assessor's Parcel No.** 050-140-435 *OVER.....*

10. Land Conservation Contract No. (If applicable): _____

11. What other agencies will you need to get permits or authorization from:

<input type="checkbox"/>	LAFCo (annexation or extension of services)	<input type="checkbox"/>	SJVUAPCD (Air Pollution Control District)
<input type="checkbox"/>	CALTRANS	<input type="checkbox"/>	Reclamation Board
<input type="checkbox"/>	Division of Aeronautics	<input type="checkbox"/>	Department of Energy
<input type="checkbox"/>	Water Quality Control Board	<input type="checkbox"/>	Airport Land Use Commission
<input type="checkbox"/>	Other _____		

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? _____ Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: _____

14. Existing General Plan Land Use Designation¹: Agriculture _____

ENVIRONMENTAL INFORMATION

15. Present land use: Site is currently used for farm equipment and machinery sales, rentals, leasing and maintenance. Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

There is an existing 3,791 SF Ag Shop, 1,209 SF Office Space, 1,250 SF Roof only structure. There is existing side lighting onsite. Water supplied by Westlands Water District.

Describe the major vegetative cover: Minimal vegetation. Site has a base rock covering.

Any perennial or intermittent water courses? If so, show on map: No

Is property in a flood-prone area? Describe:

No. See survey from Dale G. Mell & Associates dated 9/1/17.

No. See survey from Dale G. Mell & Associates dated 9/1/17.

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: Agriculture _____

South: Commercial _____

East: Agriculture _____

West: Commercial _____

17. **What land use(s) in the area may be impacted by your Project?:** None. The site has been functioning as the proposed since 2005.

18. **What land use(s) in the area may impact your project?:** None. The site has been functioning as the proposed since 2005.

19. **Transportation:**

NOTE: *The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.*

A. **Will additional driveways from the proposed project site be necessary to access public roads?**
 Yes No

B. **Daily traffic generation:**

I. Residential - Number of Units	<u>0</u>
Lot Size	<u>0</u>
Single Family	<u>0</u>
Apartments	<u>0</u>

II. Commercial - Number of Employees	<u>15</u>
Number of Salesmen	<u>4</u>
Number of Delivery Trucks	<u>4</u>
Total Square Footage of Building	<u>5,000</u>

III. Describe and quantify other traffic generation activities: Delivery (service) trucks make approx. three round trip trips per day. Equipment deliveries both in and out of the facility are on an order basis, the schedule is not regular, although work is from 8-5 Monday - Friday.

20. **Describe any source(s) of noise from your project that may affect the surrounding area:** minimal shop noise only.

21. **Describe any source(s) of noise in the area that may affect your project:** To date the site is not bothered by any surrounding noises.

22. **Describe the probable source(s) of air pollution from your project:** farm equipment emissions are minor as it is a maintenance facility and equipment is maintained and not farming the site.

23. **Proposed source of water:**
 private well
 community system³ --name Westlands Water District **O V R R.....**

24. Anticipated volume of water to be used (gallons per day)²: 2000 to 3500 gal per day during operational hours of M-F 8-5

25. Proposed method of liquid waste disposal:

() septic system/individual

() community system³-name

26. Estimated volume of liquid waste (gallons per day)²: 30 gallons per day

27. Anticipated type(s) of liquid waste: standard restroom usage.

28. Anticipated type(s) of hazardous wastes²: used motor oil and oil absorbents are stored in proper containers, in designated area on site and disposed of monthly

29. Anticipated volume of hazardous wastes²: varies, dependent on season and equipment usage.

30. Proposed method of hazardous waste disposal²: Environmental Company removes from site monthly.

31. Anticipated type(s) of solid waste: Used Filters and absorbent materials are stored in proper containers, in designated area on site and disposed of monthly

32. Anticipated amount of solid waste (tons or cubic yards per day): varies, dependent on season and equip. usage.

33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): varies, dependent on season and equip. usage.

34. Proposed method of solid waste disposal: Environmental Company removed from site monthly.

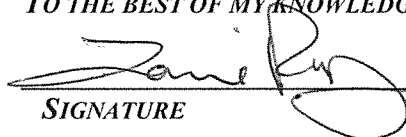
35. Fire protection district(s) serving this area:

36. Has a previous application been processed on this site? If so, list title and date: Frenso County Foundation
Only Permit No. 079717 dated 11/4/05

37. Do you have any underground storage tanks (except septic tanks)? Yes _____ No

38. If yes, are they currently in use? Yes _____ No

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.


SIGNATURE

3/21/18
DATE

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE

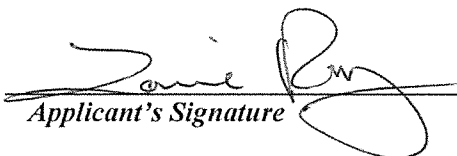
State law requires that specified fees (effective January 1, 2018: \$3,168.00 for an EIR; \$2,280.75 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

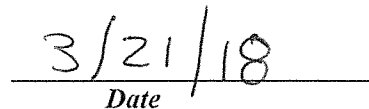
The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.


Applicant's Signature


Date

Operational Statement

Pacific Agriculture Rentals

14093 West Mt Whitney Ave
Five Points, California

- (1) Pacific Agriculture Rentals (PAR) is a farm equipment sales, rental, leasing and maintenance organization.
- (2) Operations Schedule is Monday – Friday from 8am to 5pm
 - After hours technician available on Saturdays by appointment.
 - PAR is closed in observance of the following holidays:
 - New Year's Day Presidents Day
 - Memorial Day Fourth of July
 - Labor Day Thanksgiving
 - Christmas Special Holidays as noted by Management
- (3) Average Customer flow is: 1-2 per month. This is a rental and maintenance shop most transactions are completed via phone.
- (4) PAR has an average 15 shop employees that work Monday – Friday 8-5 excluding holidays.
 - There are no residential facilities on the site.
- (5) Daily Vehicle Activity for PAR:
 - There are (4) sales trucks that make 1 trip daily during business hours
 - There are (4) service trucks that make 2 to 3 trips per day during business hours
 - There are (2) delivery trucks per day making trips on a on call/delivery basis, generally 3 trips per day during business hours.
- (6) PAR's address is West Mt. Whitney however the site access for customers and employees is on Goldenrod. This is a base rocked road.
- (7) There is a designated parking area along Goldenrod for customers and employees. HC parking is designated in this location.
- (8) PAR does not sell any goods at this facility. They are a rental, maintenance, and repair shop.
- (9) There is a fleet of equipment that is stored on site for rentals. Equipment that is used on the site a water truck for dust control and a forklift to move materials and aide in repair work.
 - PAR Fleet consists of Tractors for various trades; harvesting, cultivating, vineyards, orchards, pipe trailer tractors. Also forklifts, mowing equipment, and spraying rigs.
- **There is currently the ability to store 3,000 gallons of fuel onsite for the fueling of rental equipment. The site has (1) 1,000 gallon tank and (1) 2,000 gallon tank, both are double walled and metered. This fuel is not for resale. During peak season the fuel tanks will be refilled twice a week.**
- (10) PAR stocks filters, tires, small parts and fluids for the equipment that they maintain, repair and rent. All materials are stored in designated locations with used fluids and filters being stored

in marked disposal containers that are removed from the site monthly by an environmental group that properly disposes of these materials.

- (11) The site is a maintenance, repair and rental company, there is a water truck on site that is used daily for dust control, the noise generated from the shop is minimal from the power tools being used.
- (12) The amount of waste generated daily is based on equipment rental usage, maintenance and repair. 1 drum of used oils and fluid may be generated once every two weeks. On average 4 filters a day are replaced, and the used ones are placed in the filter disposal area for environmental to remove the site.
- (13) This location uses average of 2000 to 3500 gallons of water a day. The water is purchased from Westlands Water District.
- (14) The business name is displayed on the W. Mt. Whitney side of the existing shop building using 15% of the side of the building. There is also a flag pole with the American Flag and a PAR flag.
- (15-17) There is an existing 5,000 SF pre-engineered metal building that is being used for office space and the repair/maintenance shop. Permit #05-104341-FC. The existing building has a 1,209 SF office space inside with 3,791 SF of open repair shop. There are wall packs on the existing building and light poles around the perimeter for lighting of the site.
- (18) There is an existing chain link fence with barrier wire around the perimeter of the site. With minimal gates for accessibility. There is no vegetation on site, only base rock for soils stabilization.
- See separate letter dated March 22, 2018 in regards to the organization and assembly of the Operations Board for Pacific Agriculture Rentals.

CONSTRUCTION WASTE MANAGEMENT PLAN

- Project Name:**
Project Manager:
Waste Hauling:
- All Subcontractors Shall Comply With The Project's Construction Waste Management Plan.
 - All Subcontractor Foremen Shall Sign The CWM Plan Acknowledgement Sheet.
 - Subcontractors Who Fail To Comply With The Waste Management Plan Will Be Subject To Back-Charges Or Withholding Of Payment, As Deemed Appropriate. For Instance, Subcontractors Who Contaminate Debris Boxes That Have Been Designated For A Single Material Type Will Be Subject To Back-Charge Or Withheld Payment, As Deemed Appropriate.
- The Project's Overall Rate Of Waste Diversion Will Be 50%.**
 - This Project Shall Generate The Least Amount Of Waste Possible By Planning And Ordering Carefully, Following All Proper Storage And Handling Procedures To Reduce Broken And Damaged Materials And Reusing Materials Whenever Possible.
 - The Majority Of The Waste That Is Generated On This Jobsite Will Be Diverted From The Landfill And Recycled For Other Use. CWM Worksheet, Enclosed, Identifies The Waste Materials That Will Be Generated On This Project, The Diversion Strategy For Each Waste Type And The Anticipated Diversion Rate.
 - Waste Prevention And Recycling Activities Will Be Discussed At The Beginning Of Weekly Subcontractor Meetings. As Each New Subcontractor Comes On-Site, The WMP Coordinator Will Present Him/Her With A Copy Of The CWM Plan And Provide A Tour Of The Jobsite To Identify Materials To Be Salvaged And The Procedures For Handling Jobsite Debris. Each Subcontractor Foremen Will Acknowledge In Writing That They Have Read And Will Abide By The CWM Plan. Subcontractor Acknowledgement Sheet Enclosed. The CWM Plan Will Be Posted At The Jobsite Trailer.
 - Salvage: Excess Materials That Cannot Be Used In The Project, Nor Returned To The Vendor, Will Be Offered To Site Workers, The Owner, Or Donated To Charity If Feasible.
 - Will Provide A Commingled Drop Box At The Jobsite For Most Of The Construction Waste. These Commingled Drop Boxes Will Be Taken To -----.
The Average Diversion Rate For Commingled Waste Will Be 50%. As Site Conditions Permit, Additional Drop Boxes Will Be Used For Particular Phases Of Construction (E.G., Concrete And Wood Waste) To Ensure The Highest Waste Diversion Rate Possible.
 - In The Event That The Waste Diversion Rate Achievable Via The Strategy Described In (6) Above, Is Projected To Be Lower Than What Is Required, Then A Strategy Of Source-Separated Waste Diversion And/Or Waste Stream Reduction Will Be Implemented. Source Separated Waste Refers To Jobsite Waste That Is Not Commingled But Is Instead An Allocated To A Debris Box Designated For A Single Material Type, Such As Clean Wood Or Metal.
- Notes:**
- Waste Stream Reduction Refers To Efforts Taken By The Builder To Reduce The Amount Of Waste Generated By The Project To Below Four (4) Pounds Per Square Foot Of Building Area.
 - When Using Waste Stream Reduction Measures, The Gross Weight Of The Product Is Subtracted From A Base Weight Of Four (4) Pounds Per Square Foot Of Building Area. This Reduction Is Considered Additional Diversion And Can Be Used In The Waste Reduction Percentage Calculations.
- Will Track And Calculate The Quantity (In Tons) Of All Waste Leaving The Project And Calculate The Waste Diversion Rate For The Project. ----- Will Provide Project Manager With An Updated Monthly Report On Gross Weight Hauled And The Waste Diversion Rate Being Achieved On The Project. ----- Monthly Report Will Track Separately The Gross Weights And Diversion Rates For Commingled Debris And For Each Source-Separated Waste Stream Leaving The Project. In The Event That ----- Does Not Service Any Or All Of The Debris Boxes On The Project, The ----- Will Work With The Responsible Parties To Track The Material Type And Weight (In Tons) In Such Debris Boxes In Order To Determine Waste Diversion Rates For These Materials.
 - In The Event That Subcontractors Furnish Their Own Debris Boxes As Part Of Their Scope Of Work, Such Subcontractors Shall Not Be Excluded From Complying With The CWM Plan And Will Provide ----- Weight And Waste Diversion Data For Their Debris Boxes.
 - In The Event That Site Use Constraints (Such As Limited Space) Restrict The Number Of Debris Boxes That Can Be Used For Collection Of Designated Waste The Project Superintendent Will, As Deemed Appropriate, Allocate Specific Areas Onsite Where Individual Material Types Are To Be Consolidated. These Collection Points Are Not To Be Contaminated With Non-Designated Waste Types.
 - Debris From Jobsite Office And Meeting Rooms Will Be Collected By ----- Will, At A Minimum, Recycle Office Paper, Plastic, Metal And Cardboard.

SPECIAL INSPECTIONS

EVENT	REQUIRED / NOT REQUIRED	TYPE
High Strength Bolts	Required	Periodic
Concrete Designed $f'_c > 2,500$ PSI	Not Required	Periodic
Field Welding - All	Required	Periodic
Suspended Ceiling	Required	Periodic
Architectural Components	Not Required	Periodic
Cladding & Veneer (5# / PSF Or Less)	Not Required	Periodic
Interior Non-Bearing Walls (5# / PSF Or Less)	Not Required	Periodic

DEFERRED SUBMITTALS

None - No Fire Sprinklers Or Fire Alarm Work Required.

WALL & CEILING FINISHES

Must Meet ASTM E-84 Or UL-723 As Minimum.

Class A	=	Flame Spread Index	0-25
		Smoke Developed	0-450
Class B	=	Flame Spread Index	26-75
		Smoke Developed	0-450
Class C	=	Flame Spread Index	76-275
		Smoke Developed	0-450

Non-Sprinklered			
Occupancy	Exit Passageway	Corridors	Rooms
B	A	B	C
F	B	C	C
S	B	B	C

APPLICABLE CODES

- 2016 California Building Code
- 2016 California Mechanical Code
- 2016 California Electrical Code
- 2016 California Plumbing Code
- 2016 California Fire Code
- 2016 California Energy Code
- 2016 California Green Building Standards Code
- AISC 14th Edition
- ASCE-7 2010

NFPA 22, Standard For Water Tanks For Private Fire Protection
 NFPA 1142, Water Supply For Suburban And Rural Fire Fighting
 California Code of Regulations (CCR) Title 19,
 Public Safety: Division 1. State Fire Marshall

PROJECT DATA

New Building

Use	Type Of Construction	Occupancy	Fire Protection	Actual Area	Allowable Area Table 506.2	Modified Allowable Area Table 506.3	F A R	Occupant Load Factor Table 1004.1.2	Occupant Load	Min. Exists Required	Max. Travel Distance Table 1017.2
AG Shop	II-B	U	NS	4,983 SF	8,500 SF		0.59	300	16.61	2	200 Ft
				4,983 SF			0.59 ≤ 1.00 = OK		16.61		

Existing Building

Use	Type Of Construction	Occupancy	Fire Protection	Actual Area	Allowable Area Table 506.2	Modified Allowable Area Table 506.3	F A R	Occupant Load Factor Table 1004.1.2	Occupant Load	Min. Exists Required	Max. Travel Distance Table 1017.2
(E) AG Shop	II-B	F-2	NS	3,791 SF	23,000 SF		0.16	300	12.64		200 Ft
(E) Office	V-B	F-2	NS	1,209 SF	13,000 SF		0.09	100	12.09		200 Ft
				5,000 SF			0.26 ≤ 1.00 = OK		24.73		

SITE DATA SUMMARY

Site Area Gross:	8.78 ac	382,457 s.f.
Site Area Net:	7.64 ac	332,835 s.f.
Building Area Existing:		5,000 s.f.
Building Area New:		4,983 s.f.
Lot Coverage:		9,983 s.f.
Site Area Net:	9,983 s.f. / 332,835 s.f.	= 0.03%
Paved Area:		17,212 s.f.

PARKING DATA SUMMARY

	Provided	Required
Vehicle Parking Stalls	24	17
Accessible Parking Stalls	2	1
Bicycle	-	-
Total Parking Stalls	26	18

1 Parking Stall Per 600 s.f.
 Fresno County 816.5 Through Fresno County 855-1.2.1 & 855-1.2.m.
 (800 + 400) / 2 = 600

CBC Table 601- Fire-Resistance Rating Requirements For Building Elements

Type II-B Construction:	
Primary Structural Frame	0
Bearing Walls:	
Exterior	0
Interior	0
Nonbearing Walls & Partitions Exterior	0
Nonbearing Walls & Partitions Interior	0
Floor Construction & Secondary Members	0
Roof Construction & Secondary Members	0

CBC Table 602- Exterior Wall Fire Protection

New Building:	
Distance To Property Line	= 134' - 0" ≥ 10' - 0" = 0
Distance To Nearest Building	= 30' - 0" ≥ 10' - 0" = 0

PORTABLE FIRE EXTINGUISHER REQUIREMENTS As Per CBC 906:

CBC 906.1 (1)-(6) Portable Fire Extinguishers Required	
CBC 906.3.1 Moderate Hazard Class A, 2A-10BC, Maximum Travel Distance 75'	
Total Enclosed Area	= 4,983 Sq. Ft. / 3,000 = 2

DOOR HARDWARE As Per CBC 1010.1.9.3 And CBC 1010.1.10:

Required Panic @:	Key Operated Locking Device @
≠ Group H	Main Exit When Group A < 300 Occupants, Groups B,F,M,S:
≠ 50 Occupant > in Group A	1. Locking Device Is Readily Distinguishable As Locked,
≠ Group E	2. Readily Visible Sign Posted On Or Adjacent To Door
≠ Group I-2 Or I-2.1	As Per Detail 14 Sheet A-5.11.
	3. Revocable By The Fire Official For Due Cause,
	2016 CFC, Section 1010.1.9.3

This Project Does Not Meet Criteria, Therefore **NOT REQUIRED.**

DESIGN LOADS:

Dead Load Floor	D _f	2.18 PSF
Collateral Load	C	3.00 PSF
Live Load	L _r	20.00 PSF Reducible
Wind Load	W	110.00 mph
Wind Exposure	Exp	C
Snow Load	S	0.00 PSF
Ground	P _g	0.00 PSF
Roof	P _s	0.00 PSF
Seismic		
Seismic Design Category	SD _c	D
Site Class		D
Seismic Coefficient & Parameters		
	S ₁	0.588
	S ₂	1.630
	S _{ds}	1.000
	S _{a1}	0.588
Importance Factors		
Wind	IW	1.00
Snow	IS	1.00
Seismic	IE	1.00

FIRE WATER SUPPLY REQUIREMENTS - NFPA 1142:

WS _{Min}	= 145,000 / 4 x (0.75)	= 27,187 Gallons
VS _{tot}	= 145,000 cf	
OHC	= 4	
CC	= 0.75	

Min. Flow = 250 gpm / 2 hr. @ 20 psi **Provided: 28,075 > 27,187 = OK**

PLUMBING REQUIREMENTS

41 Occupants / 2 = 20.5 Occupants Each Sex

	Toilet			Urinal	Lavatory			Drink Fountain	Service Sink
	Men	Women	Unisex		Men	Women	Unisex		
Required	1	1	-	-	1	1	-	1	1
Provided	1	1	1	0	1	1	1	1	1

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 Five Points, CA 93624

Drawn By: **B. Rasmussen**

Checked By: **S. N. Thomson**

Rev	Description	Date	By
1	Per Owner	3-17-17	BJR
2	Plan Check	5-17-17	BJR

Project:
New AG Shop

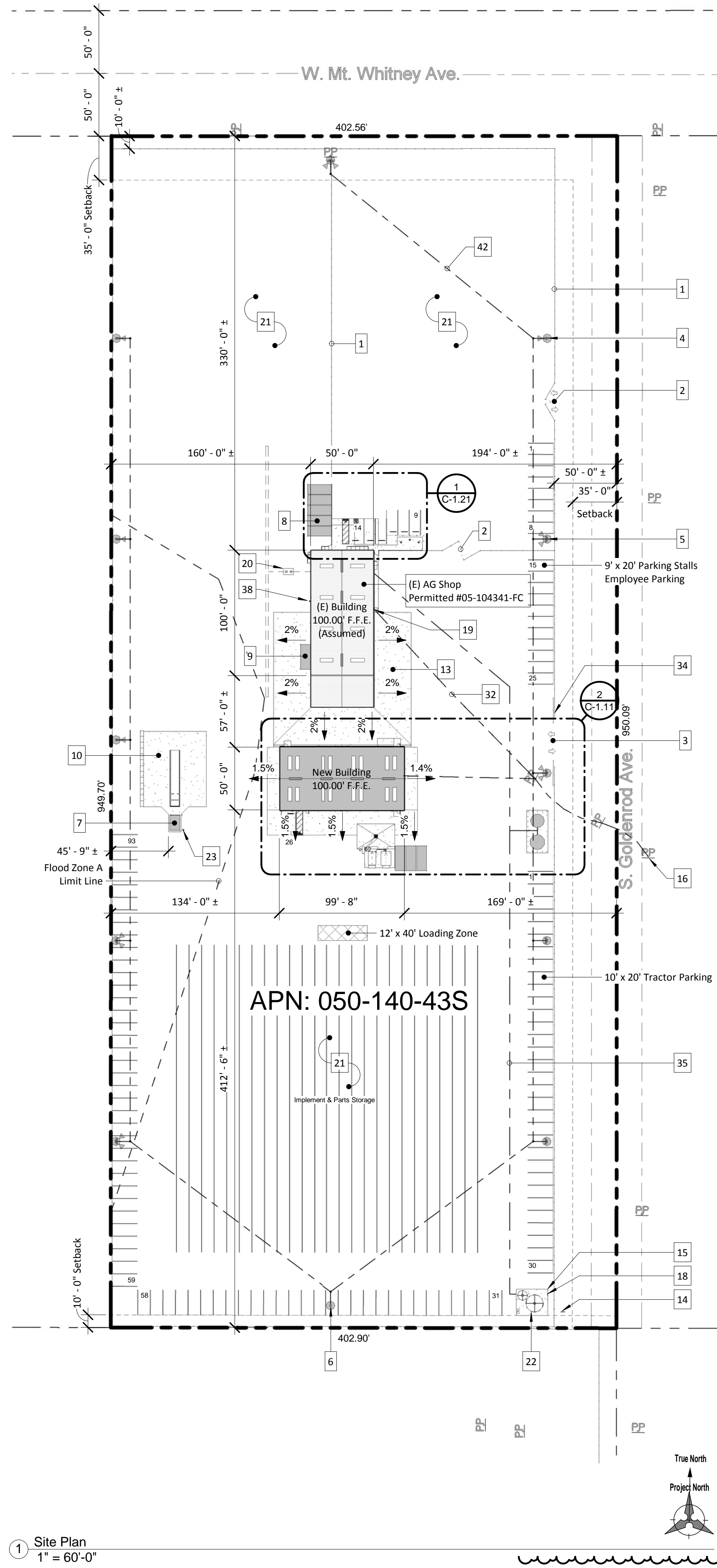
Project Date: **11-28-2016**

Issue Date: **4-03-2018**

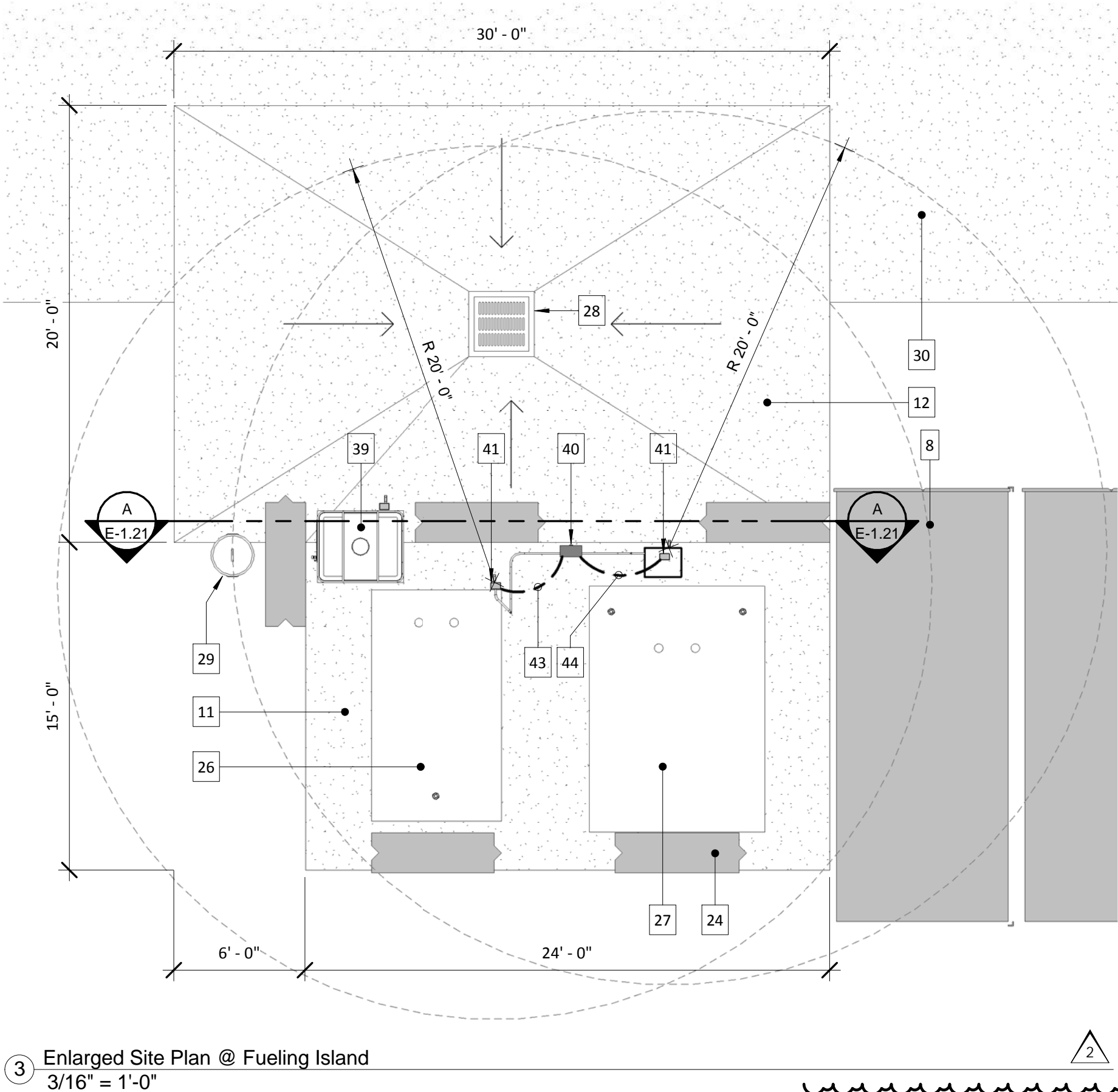
Project No:
TAG-09163

Sheet Contents:
Code Analysis & Project Data

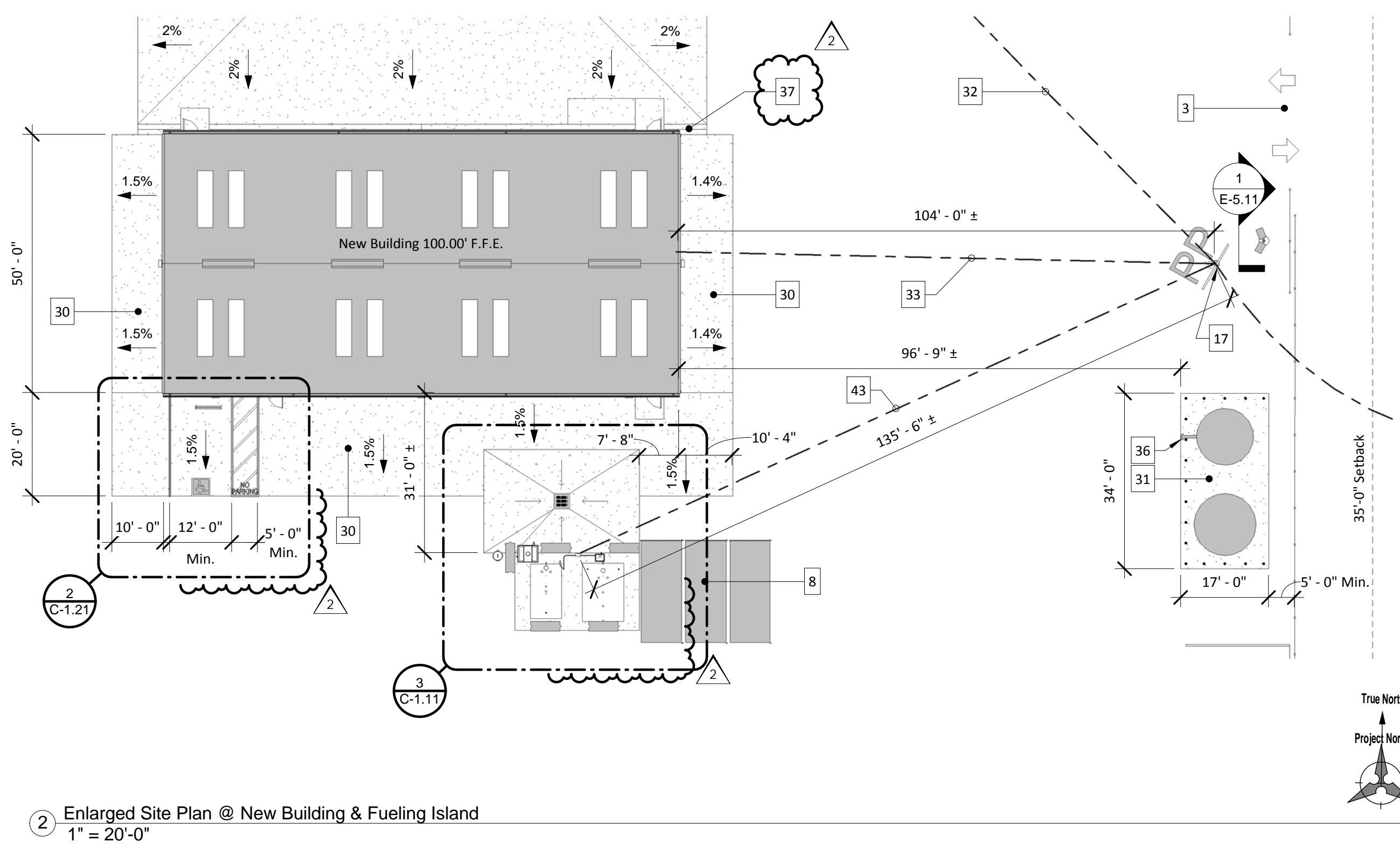
Sheet No:
T-2.01



1 Site Plan
1" = 60'-0"



3 Enlarged Site Plan @ Fueling Island
3/16" = 1'-0"



2 Enlarged Site Plan @ New Building & Fueling Island
1" = 20'-0"

KEYED NOTES

- (E) 6'-0" Chain Link Fence Entire Perimeter, Typical.
- (E) 20'-0" Pair Swing Gate. Site Entrance Vehicle.
- (E) 20'-0" Sliding Gate. Site Entrance Truck.
- Single Head Light Pole, Typical.
- Double Head Light Pole, Typical. See Detail
- Light Pole w/ No Fixture.
- (E) 8' x 12' Portable Storage Container.
- (E) 8' x 20' Portable Storage Container, Typical.
- (E) 8' x 20' Portable Chemical Storage Container.
- (E) Wash Down Slab.
- Concrete Pad - Fuel Island.
- Fuel Dispensing Concrete Pad.
- (E) Drive Slab.
- (E) 2"Ø Water Main w/ Back Flow Preventer.
- (E) Single Slope Roof Only Structure To Be Removed.
- (E) Pole Mounted Transformer.
- (E) 200A, 208Y/120V, 3Ø, 4 Wire Pole Mounted Meter Main.
- (E) MC Panel.
- (E) 200A, 208Y/120V, 3Ø, 4 Wire Wall Mounted Electrical Sub-Panel 'A'.
- (E) 1,500 Gallon Septic Tank & Leach Lines
- (E) Open Storage, Well Compacted All Weather Drive And Equipment Parking.
- (E) Domestic Water Storage Tanks.
- (E) Emergency Eyewash Station.
- Concrete Block, Typical.
- (E) Concrete Block, Typical.
- Fire Guard 1,000 Gallon Farm Diesel Above Ground Vault, Pad Mounted.
- Convault Double Wall 1,000 Gallon Diesel Above Ground Vault, Pad Mounted, UL 2085.
- 3' Square Steel Grate w/ Sump Pit.
- 95 Gallon Spill Response Kit, Enpac Spill Kit.
- New Drive Slab.
- New 28,075 Gallon Fire Water Storage Tanks w/ 4"Ø FDC, See Sheet S-1.51 For Details.
- (E) 2"Ø Underground PVC Conduit w/ (4) 3/o CU Wires & #4 CU Ground.
- New 2"Ø Underground PVC Conduit w/ (3) 4/o CU Wires & #2 CU Ground.
- New Knox Box.
- (E) 2"Ø Underground Domestic Water Line.
- 4"Ø Draft Fire Department Connection.
- New Concrete Valley Gutter, See Sheet S-1.11 For Details.
- New Drench Shower & Eyewash Station.
- Victory Blue 275 Gallon Tote.
- Card Lock.
- Fill-Rite FR701V Fuel Pump & Nozzle w/ FR800C Mechanical Flow Meter.
- 1"Ø Underground PVC Conduit w/ (4) #6 CU Wire w/ (1) Neutral Wire & (1) CU Ground.
- 2"Ø Underground PVC Conduit w/ (3) #12 CU Wire w/ (1) Neutral Wire & (1) #14 CU Ground.

PLAN NOTES

- Contractor To Verify All Existing Conditions Prior To Commencement Of Any Construction, Notify Architect Immediately Of Any Discrepancies.
 - Changes From Approved Plans During Construction Shall Cause Plan Approval And Construction To Be Suspended, A New Plan Check (For A New Plan Showing Changes Shall Be Submitted For Review And Approved Through Normal Plan Check Process).
- Any Utilities Requiring Relocation Shall Be The Responsibility And At The Expense Of The Developer; Contact Traffic Engineer For Information Regarding Reimbursements Relative To Relocating Traffic Signals Facilities; Fire Hydrants Will Be Relocated By Municipal Forces, Developer Is Responsible To Notify Municipal Water Division To Arrange And Coordinate Work.
 - Notify The City Electronics And Communications Division, 10-Working Days Prior To Any Off-Site Concrete Construction.
 - No Drainage To Adjacent Property Shall Be Allowed.
 - Grade Differential Greater Than 12% Shall Be Supported By An Approved Retaining Wall.
 - Repair All Damaged And/Or Off-Site Concrete Street Improvements As Determined By The Municipal Engineer. Contact Public Works Department, Construction Management Division For Determination And Clearance.
 - Driveway Approach Width Shall Be 12 Feet Minimum, 35 Feet Maximum. Requirements Shall Comply With Public Works Standard Drawings.
 - All Existing Survey Monuments Shall Be Preserved. Survey Monuments Which Have Been Disturbed Shall Be Reset By A Person Licensed To The Practice Surveying The State Of California At Owner's Cost And To The Satisfaction Of Public Works, Construction Management's Chief Surveyor.
 - Any Utilities Within The Public Right Of Way And Easements (E.G., Fire Hydrants, Local Irrigation District Facilities, Local Metropolitan Flood Control District Facilities, Street Light, Etc.) Requiring Relocation Shall Be The Responsibility And At The Expense Of The Owner, Public Fire Hydrants Shall Be Relocated By The Municipality Forces At The Owners Expense; The Owner Is Responsible To Arrange And Coordinate The Work With The Department Of Public Utilities, Water Division.
 - 2-Days Before Commencing Excavation Operations Within Public Streets Or Utility Easements, All Existing Underground Facilities Shall Have Been Located By Underground Service Alert (USA). Phone 811.
 - No Portion Of The Driveway Shall Exceed A Grade Of 18%.
 - All Work Performed Within The Public Right Of Way Shall Comply With The Adopted Standards And Policies Of The Public Works Department. A Street Work Permit Is Required Prior To Commencement Of Work. For Information Regarding Standards And Street Work Permits, Contact The Public Works Department, Engineer Services Division.
 - The Following Requirements Are Based On The Municipality Records And The Information Depicted On The Plans And Documents Provided By The Applicant. Any Requirements Not Imposed, Due To Misrepresentation Or Omission Of The Facts For Which This Is Dependent. Will Be Imposed Whenever Such Conditions Are Disclosed Or Discovered By The Municipal Engineer Any Questions On These Requirements Should Be Directed To The Development Departments, Building And Safety Service Division, Land Division And Engineer Section.
 - All Required Work Shall Be Completed And The Work Accepted By The Municipal Engineer Prior To Occupancy.
 - Impervious Surfaces (Concrete Or Asphalt) Within 10 Feet Of The Building Foundation Shall Slope A Minimum Of 2% Away From Building. Non-impervious Surfaces (Earth Or Gravel) Adjacent Grade Shall Have A 5% Slope Away From Building Far A Minimum Of 10 Feet.
 - If Any Physical Obstructions Or Lot Lines Prohibit 10 Feet Of Horizontal Distance From The Foundation, Then Swales Or Drains That Run Parallel To The Foundation Shall Be Used To Ensure Drainage Away From The Structure. Should There Be Significant 'Grade' A Certified Grading Plan Will Be Required To Be Submitted By A Registered Civil Engineer.
 - All Other Site Grading Outside Of The Building Envelope Is Required To Be A Minimum Or 0.5% Directed Towards The Street.
 - These Plans And Related Documents Must Be Available At Job Site During Any Inspection Activity.
 - No Vertical Offset Greater Than 1/2" Along Entire Accessible Path Of Travel.

PLAN NOTES

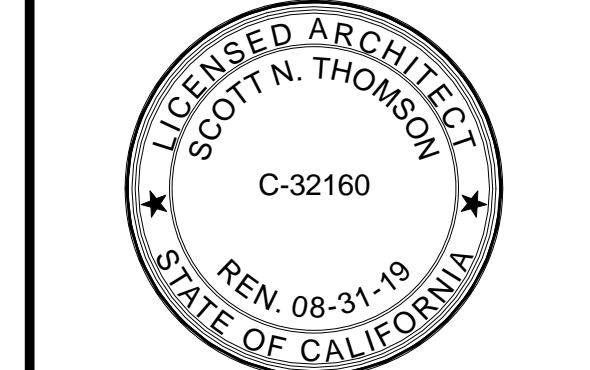
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Checked By: **S. N. Thomson**

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2	Plan Check	5-17-17	BJR

Project: **New AG Shop**

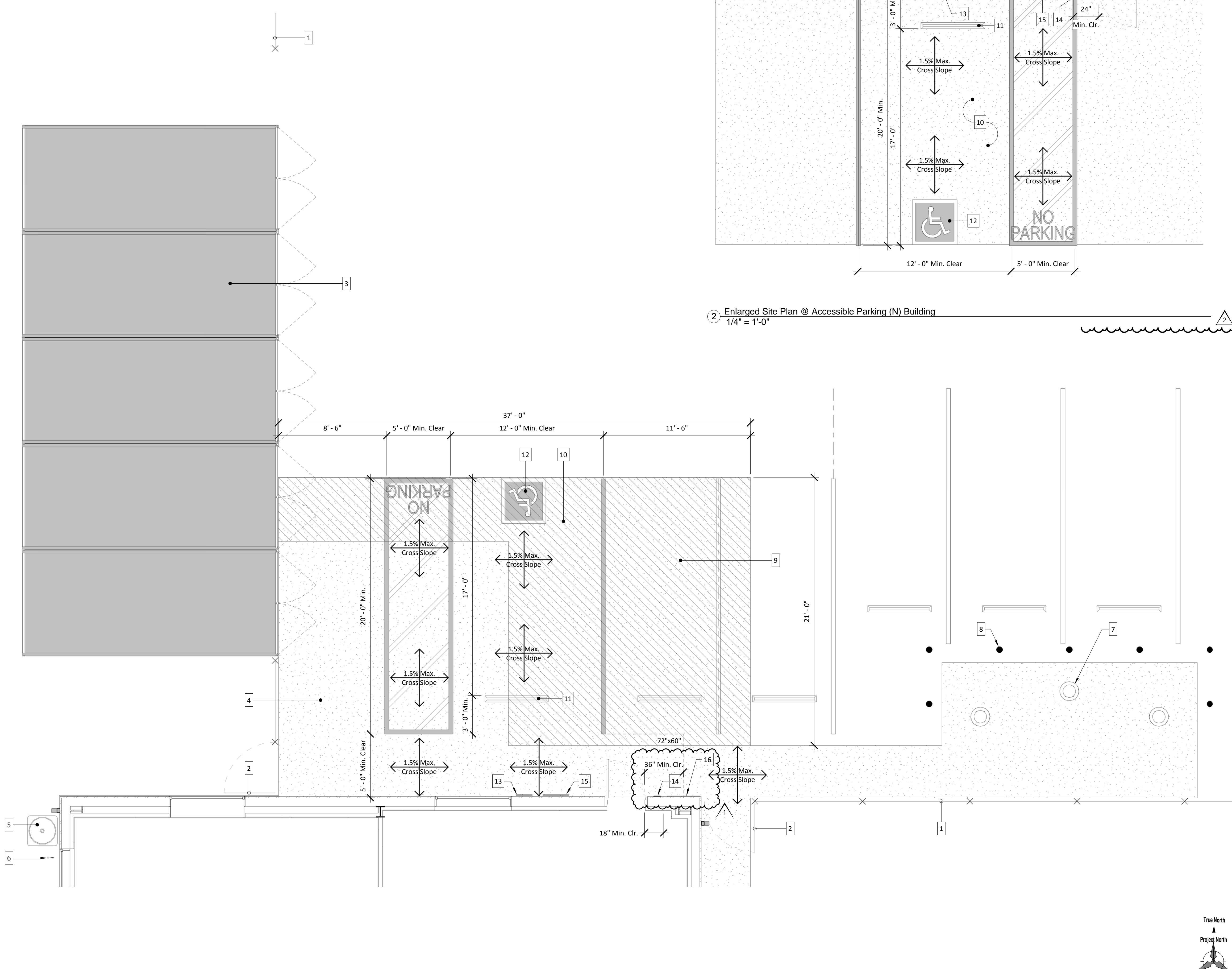
Project Date: **11-28-2016**

Issue Date: **4-03-2018**

Project No: **TAG-09163**

Sheet Contents: **Site Plan**

Sheet No: **C-1.11**



1 Enlarged Site Plan @ Accessible Parking (E) Building
1/4" = 1'-0"

2 Enlarged Site Plan @ Accessible Parking (N) Building
1/4" = 1'-0"

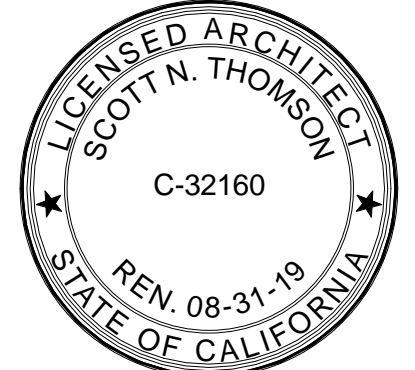


KEYED NOTES

1. (E) Chain Link Fence, Typical.
2. (E) 4'-0" Swing Gate.
3. (E) 8' x 20' Sea Container, Typical.
4. (E) Concrete Drive Slab.
5. (E) AC Condenser.
6. (E) Hose Bibb.
7. (E) Flag Pole, Typical Of 3.
8. (E) 4"Ø Galvanized Pipe Bollards, Typical Of 7.
9. New Concrete Drive Slab.
10. New Accessible Parking Stall, See 7/C-5.11 For Details.
11. New Concrete Wheel Stop, See 8/C-5.11 For Details.
12. New International Symbol Of Accessibility, Parking Identification. See 5/C-5.11 For Details.
13. New Van Accessible Parking Stall, See 2/C-5.11 For Details.
14. New International Symbol Of Accessibility, Building Accessibility Sign. See 4/C-5.11 For Details.
15. New Accessible Sign, Unauthorized Parking Sign. See 1/C-5.11 For Details.
16. New Electrically Illuminated Address Sign. 1/2" Stroke x 8" Minimum Height Arabic Numerals On Contrasting Background.

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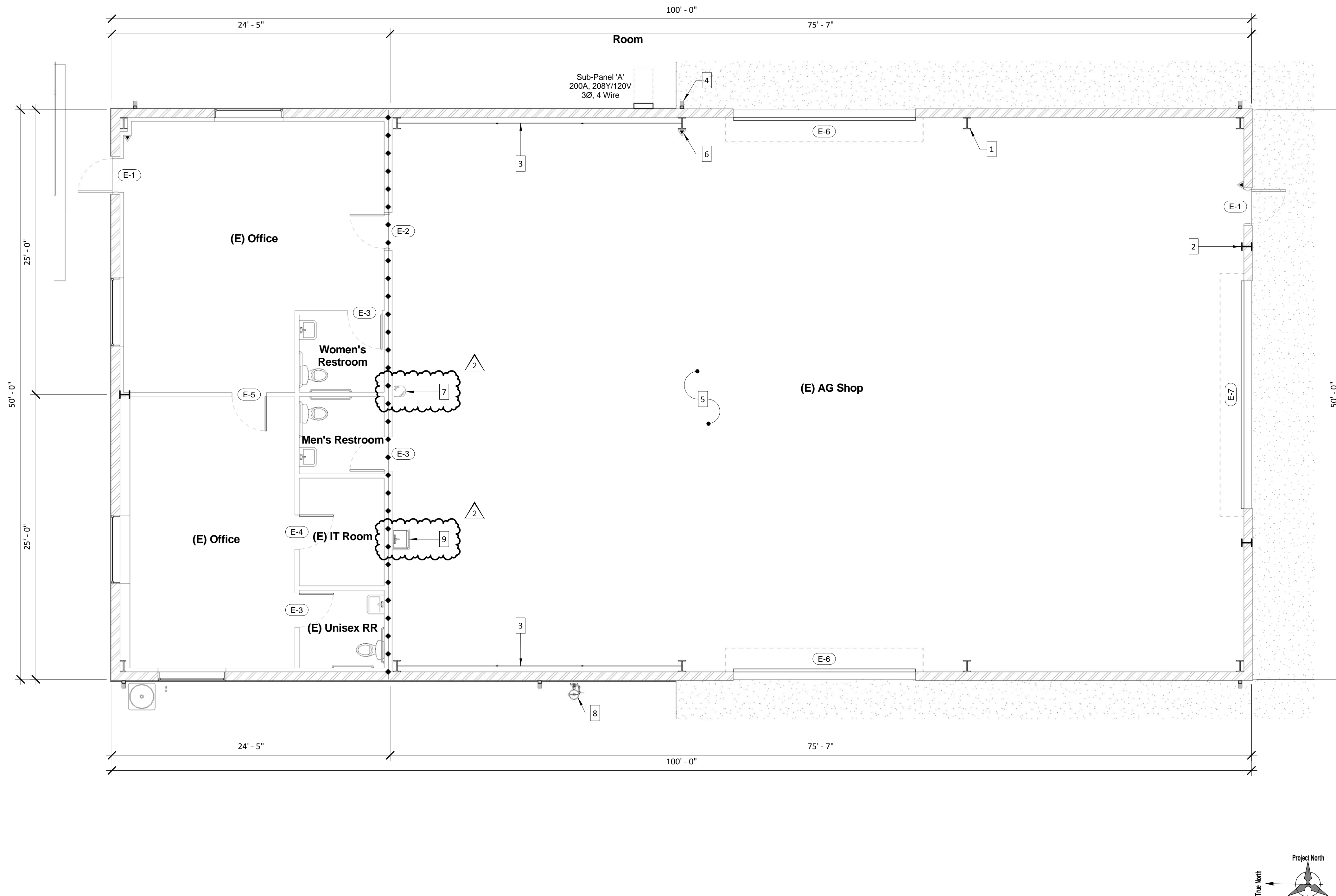
Project No:
TAG-09163

Sheet Contents:
Enlarged Site Plan @ Accessible Parking

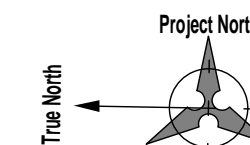
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1 1st Story-(E) Floor Plan
3/16" = 1'-0"



KEYED NOTES

1. (E) Rigid Frame, Typical.
2. (E) End Wall Column, Typical.
3. (E) X-Bracing.
4. (E) Downspouts, Typical.
5. (E) Concrete Slab.
6. (E) Fire Extinguisher, Typical.
7. (E) Water Cooler/Bottle Filling Station.
8. New Drench Shower & Eyewash Station.
9. New Service Sink.

LEGEND

- (E) 8" Girt MB. Wall
- (E) 2x4 Wd. Studs @ 24" o.c. w/ 1/2" Gyp. Bd. Each Side
- (E) 2x6 Wd. Studs @ 16" o.c. Below Ceiling & 2x6 Wd. Studs @ 24" o.c. Above w/ (1) 5/8" Typ. 'X' Gyp. Bd. Each Side

PLAN NOTES

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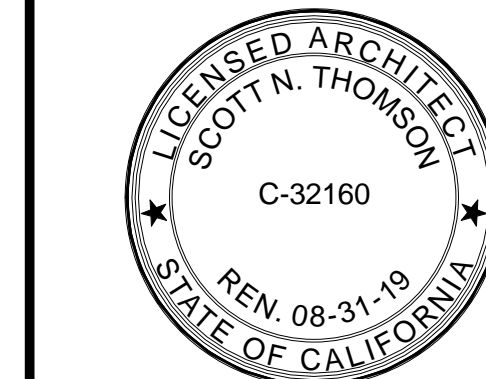
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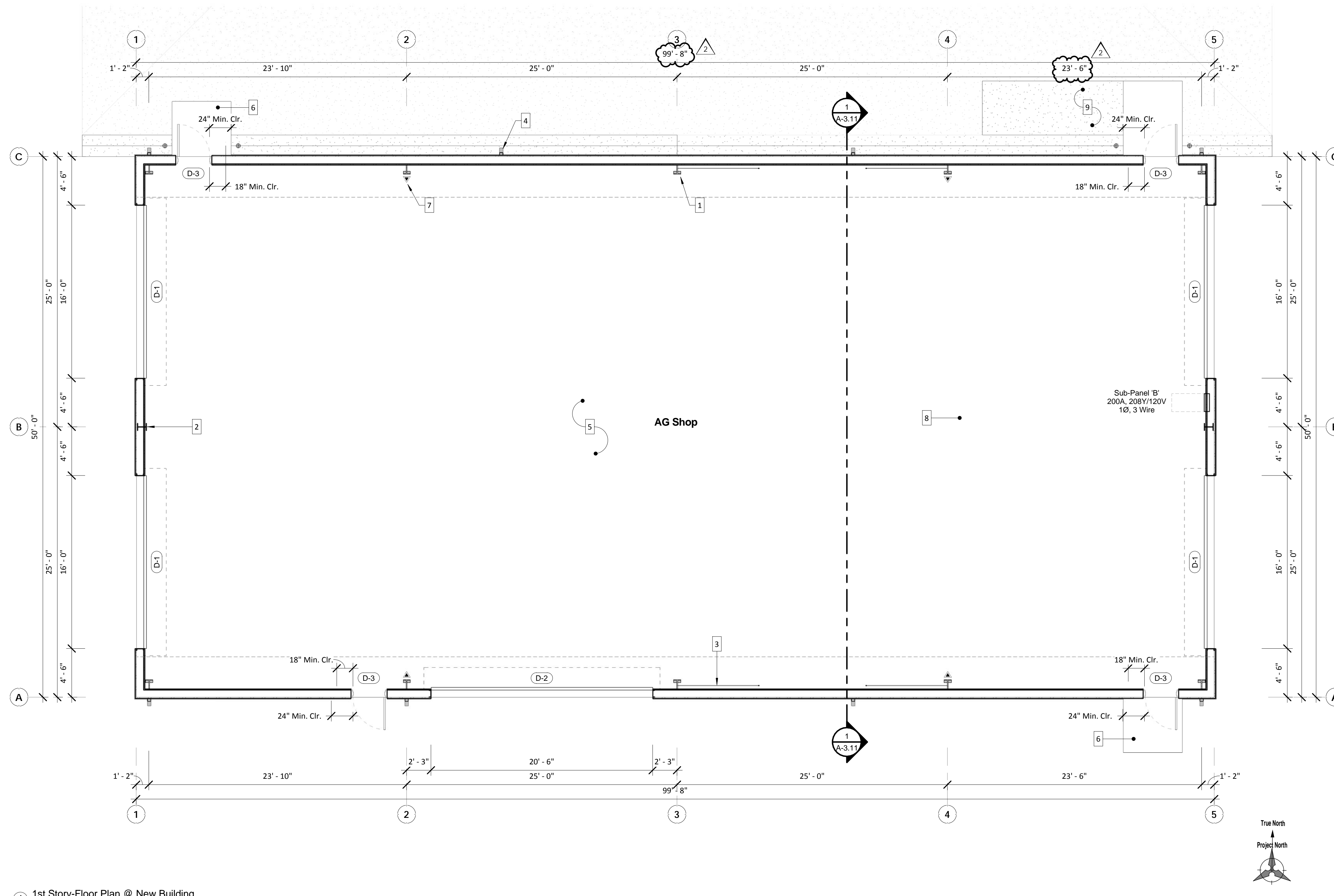
Project:
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Project Date: **11-28-2016**
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Project No:
TAG-09163

Sheet Contents:
1st Story-Floor Plan Existing Building

Sheet No:
A-1.01



1 1st Story-Floor Plan @ New Building
3/16" = 1'-0"

KEYED NOTES

1. Rigid Frame As Per MB. MFR., Typical.
2. End Wall Column As Per MB. MFR., Typical.
3. X-Bracing As Per MB. MFR., Typical.
4. DownSpouts As Per MB. MFR., Typical.
5. Concrete Slab, See Foundation Plan For Details.
6. 5'-0" x 5'-6" Concrete Stoop.
7. Fire Extinguisher, Typical. See Life Safety Plan For Details.
8. 3 Ton Overhead Gantry Crane, As Per MB. MFR., Typical.
9. Concrete Walk, See Foundation Plan For Details.

GENERAL NOTES

1. This Building Is In A Flood Prone Area The Finish Floor Shall Be 3" Above Highest Adjacent Grade Or Structure Must Be Flood Proofed.

LEGEND

- New 8" Girt MB. Wall
- w/ 26 Ga. PBR Metal Wall Sheeting Exterior
- w/ 26 Ga. Liner Panel 8'-0" A.F. Interior

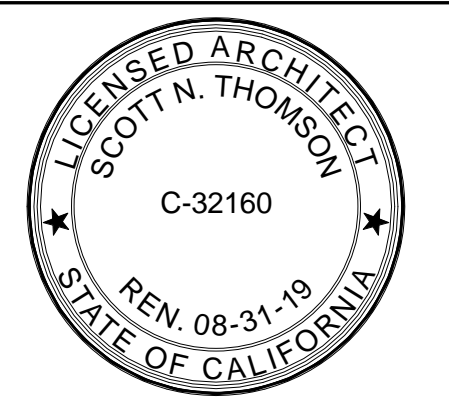
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- A. Job Card Is Required To Be Posted In A Conspicuous Place On The Premises, Clearly Visible From The Street And Readily Available For Required Entries Prior To Building Department Inspections.
 - B. Post A Readily Visible, Durable Sign On Or Adjacent To The Exit Door Stating "This Door To Remain Unlocked When Building Is Occupied." The Sign Shall Be In Letters Not Less Than 1" High On A Contrasting Background.
 - C. Manufactured Doors And Windows Must Have AAMA Or NWMA Labels. Site Constructed Doors And Windows Must Be Caulked, Weatherstripped Or Sealed To Eliminate All Observable Air Leakage.
 - D. All Building Insulation Shall Have A Maximum Flame Spread Of 25 And A Smoke Density Of Not More Than 450 And Shall Be Certified By The Manufacturer To Meet The California Quality Standards For Insulating Materials.

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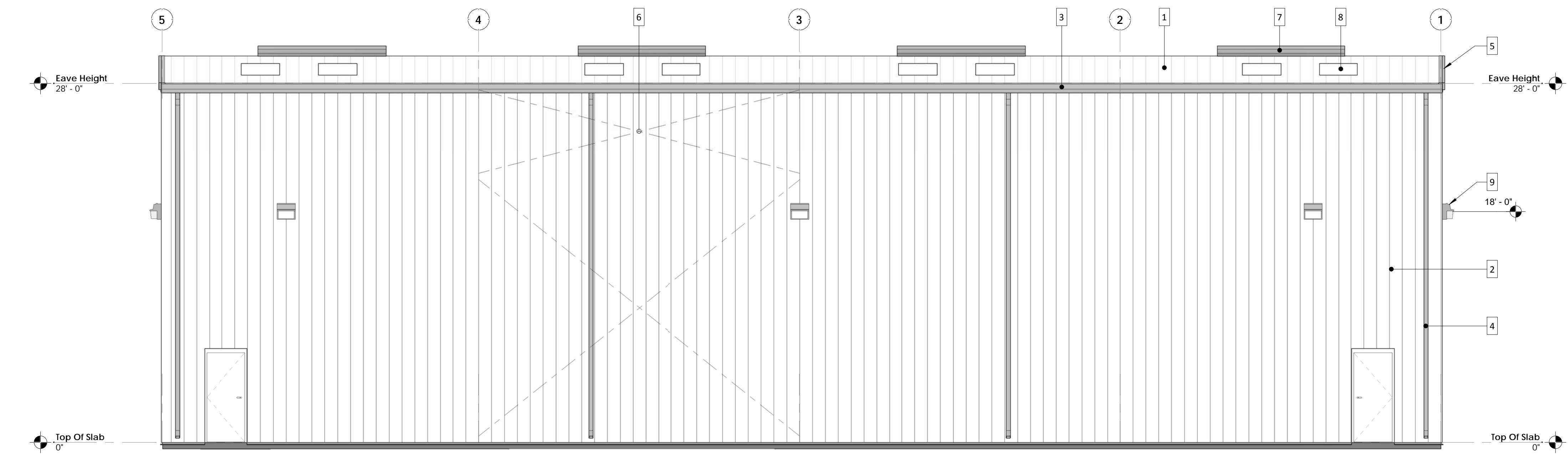
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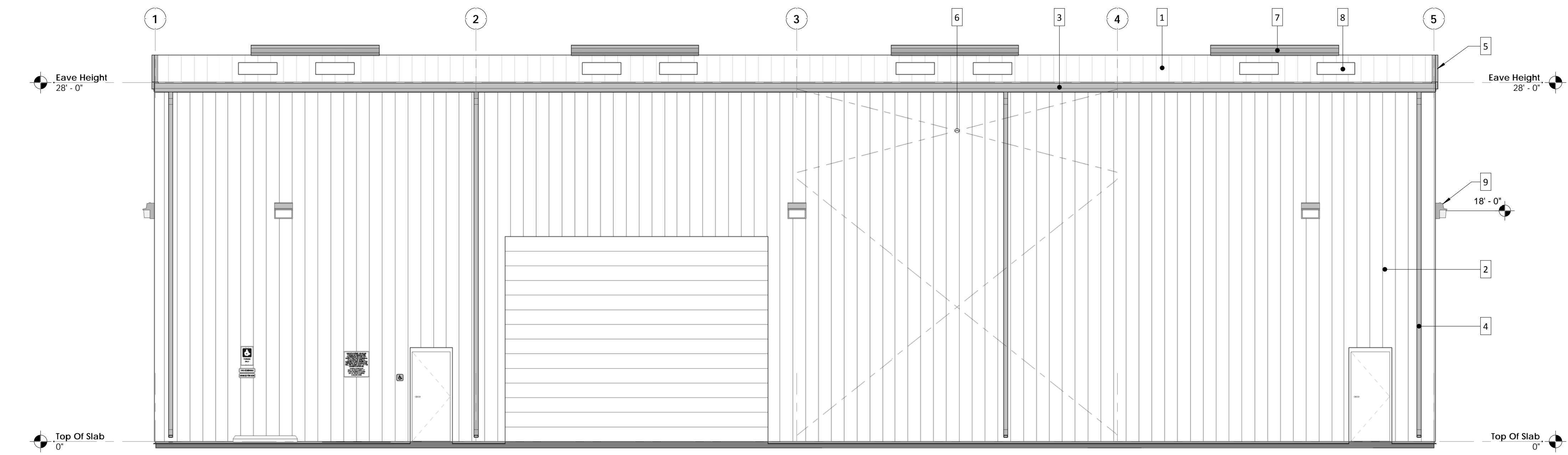
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Sheet Contents:
1st Story-Floor Plan
New Building

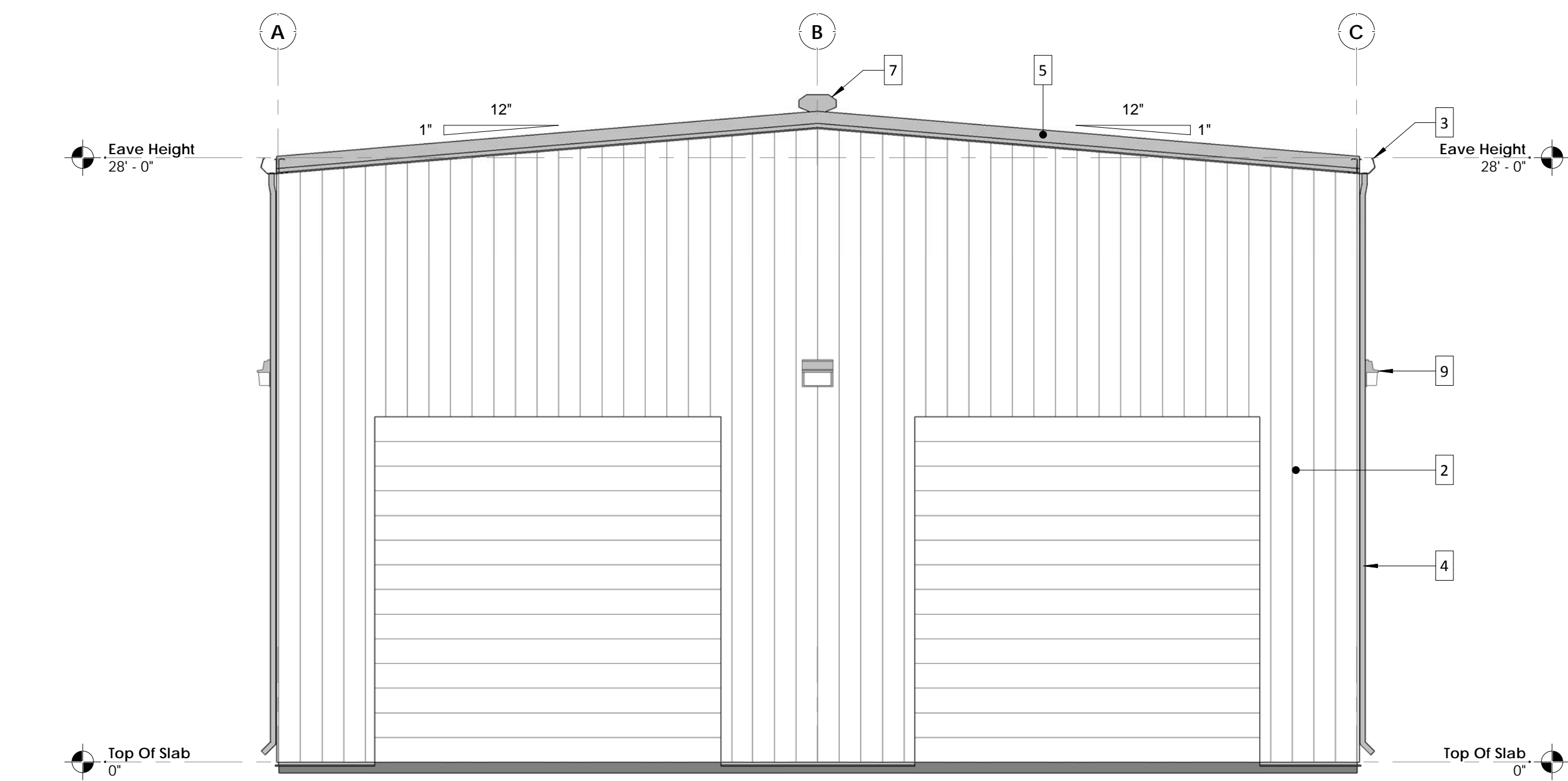
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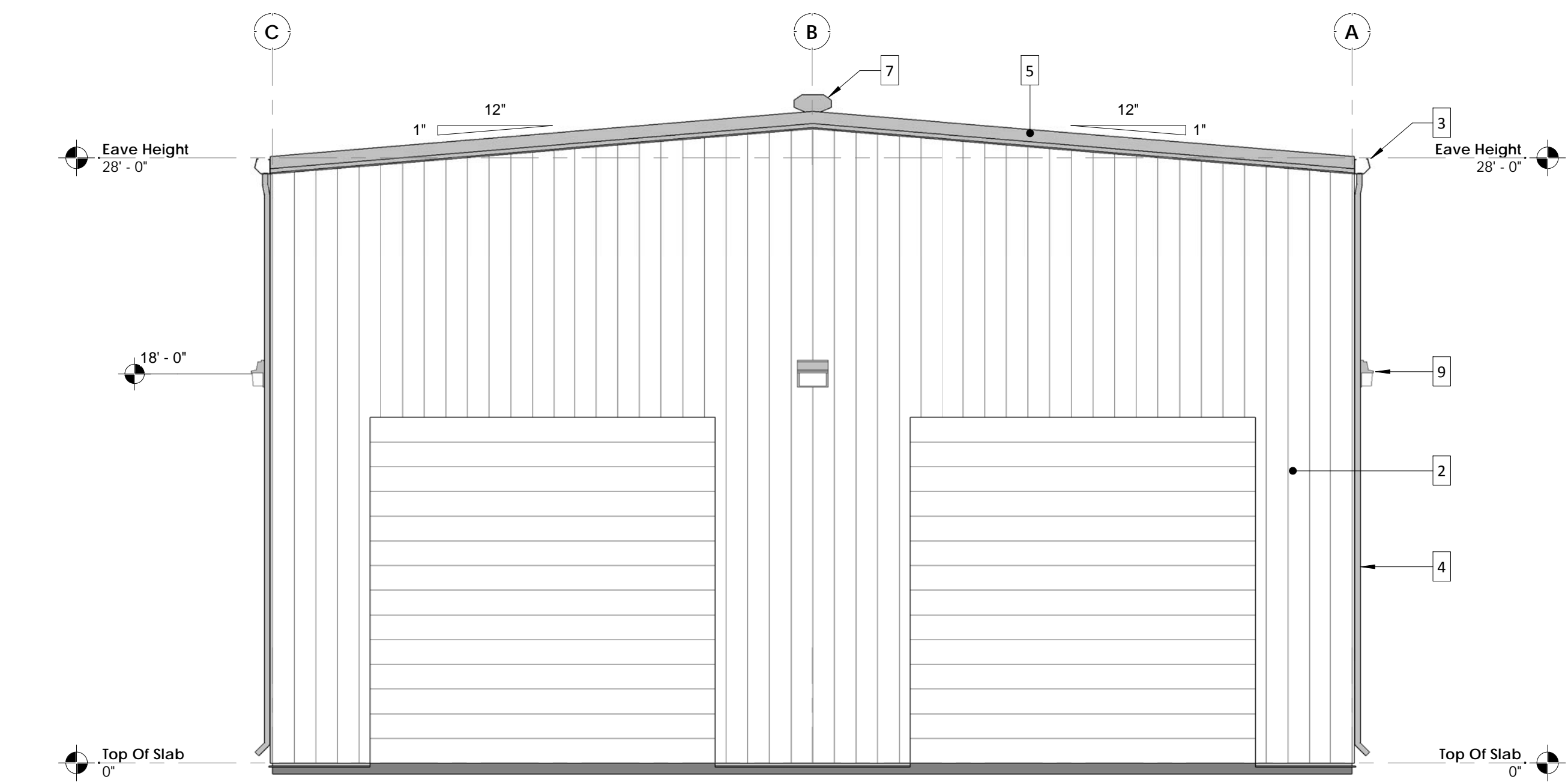
① North Elevation View @ New Building
3/16" = 1'-0"



② South Elevation View @ New Building
3/16" = 1'-0"



③ East Elevation View @ New Building
3/16" = 1'-0"



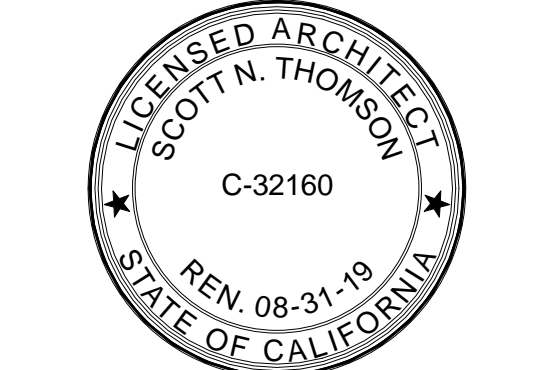
④ West Elevation View @ New Building
3/16" = 1'-0"

- KEYED NOTES**
1. 26 Ga. 'PBR' Panel Metal Roof Sheeting, Color By Owner.
 2. 26 Ga. 'PBR' Panel Metal Wall Sheeting, Color By Owner.
 3. Gutters As Per MB. MFR.
 4. Downspouts As Per MB. MFR.
 5. Rake Trim As Per MB. MFR.
 6. X-Bracing As Per MB. MFR.
 7. Ridge Vents As Per MB. MFR.
 8. Light Transparent Panels As Per MB. MFR.
 9. Exterior Wall Mounted Lighting, Typical See Electrical Plans.

- PLAN NOTES**
- Contractor To Verify All Existing Conditions Prior To Commencement Of Any Construction, Notify Architect Immediately Of Any Discrepancies.
 - Changes From Approved Plans During Construction Shall Cause Plan Approval And Construction To Be Suspended, A New Plan Check (For A New Plan Showing Changes Shall Be Submitted For Review And Approved Through Normal Plan Check Process).

THOMSON
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Client Info:
Eckard Commercial Construction, Inc.
Project Info:
New AG Shop For Pacific AG Rentals
14093 W. Mt. Whitney Ave.
Five Points, CA 93624

Drawn By: **B. Rasmussen**
Checked By: **S. N. Thomson**

Rev	Description	Date	By

Project:
New AG Shop

Project Date: **11-28-2016**
Issue Date: **4-03-2018**

Project No:
TAG-09163

Sheet Contents:
**Exterior Elevations
New Building**

Sheet No:
A-2.11

--- NOTE ---
This map is for Assessment purposes only.
It is not to be construed as portraying
legal ownership or divisions of land for
purposes of zoning or subdivision law.

SUBDIVIDED LAND SEC'S. 28, 29, 30, 31, 32, & 33, T.17 S., R.18 E., M.D.B. &M.

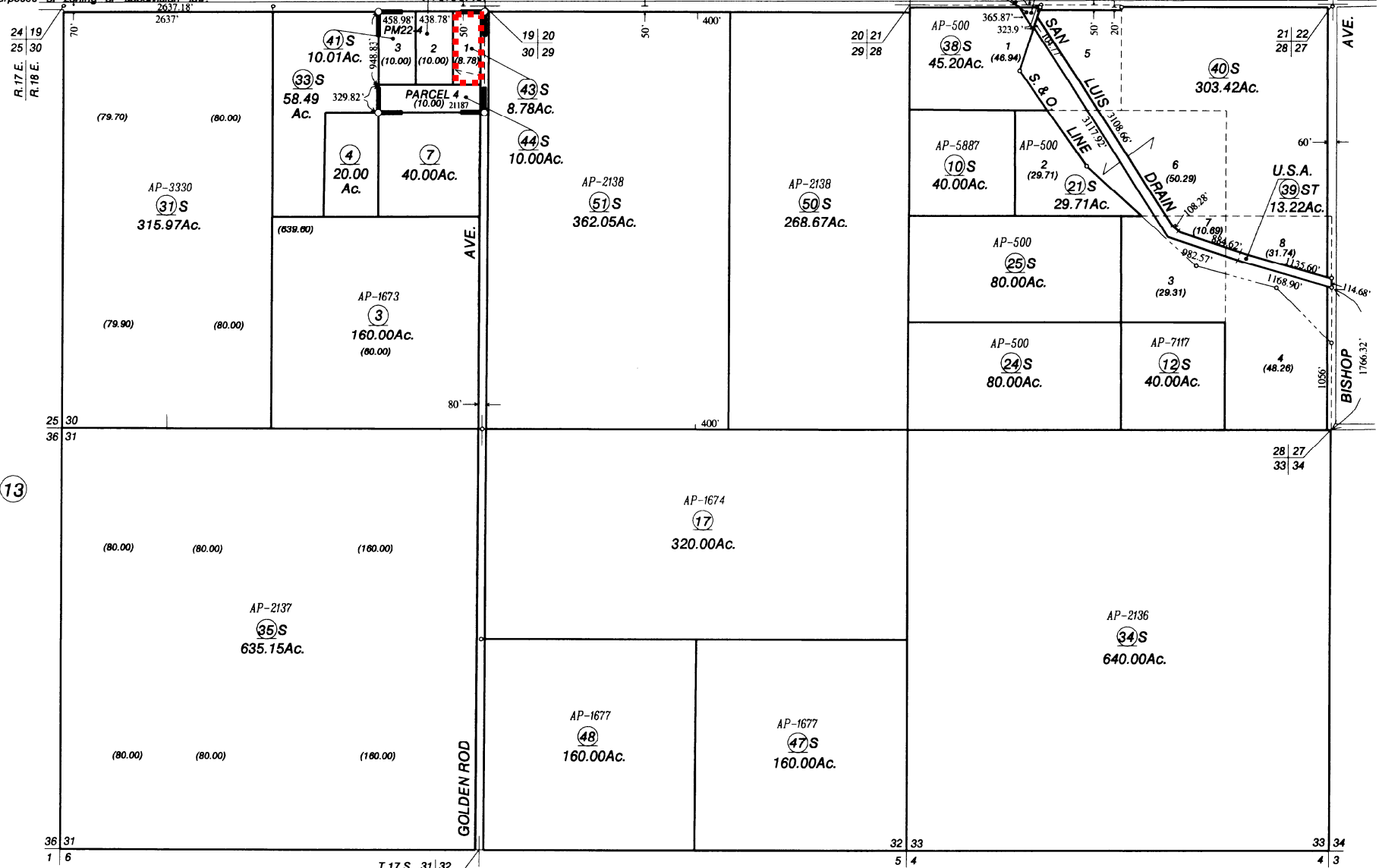
Tax Rate Area
171-001
171-005

050-14

MT. WHITNEY

(42)S (25)
\$10.00Ac

U.S.A. 0.61Ac (26)



(13)

(15)

Agricultural Preserve
Parcel Map No. 3105 - Bk. 22, Pg. 4

09-09-2013 DK

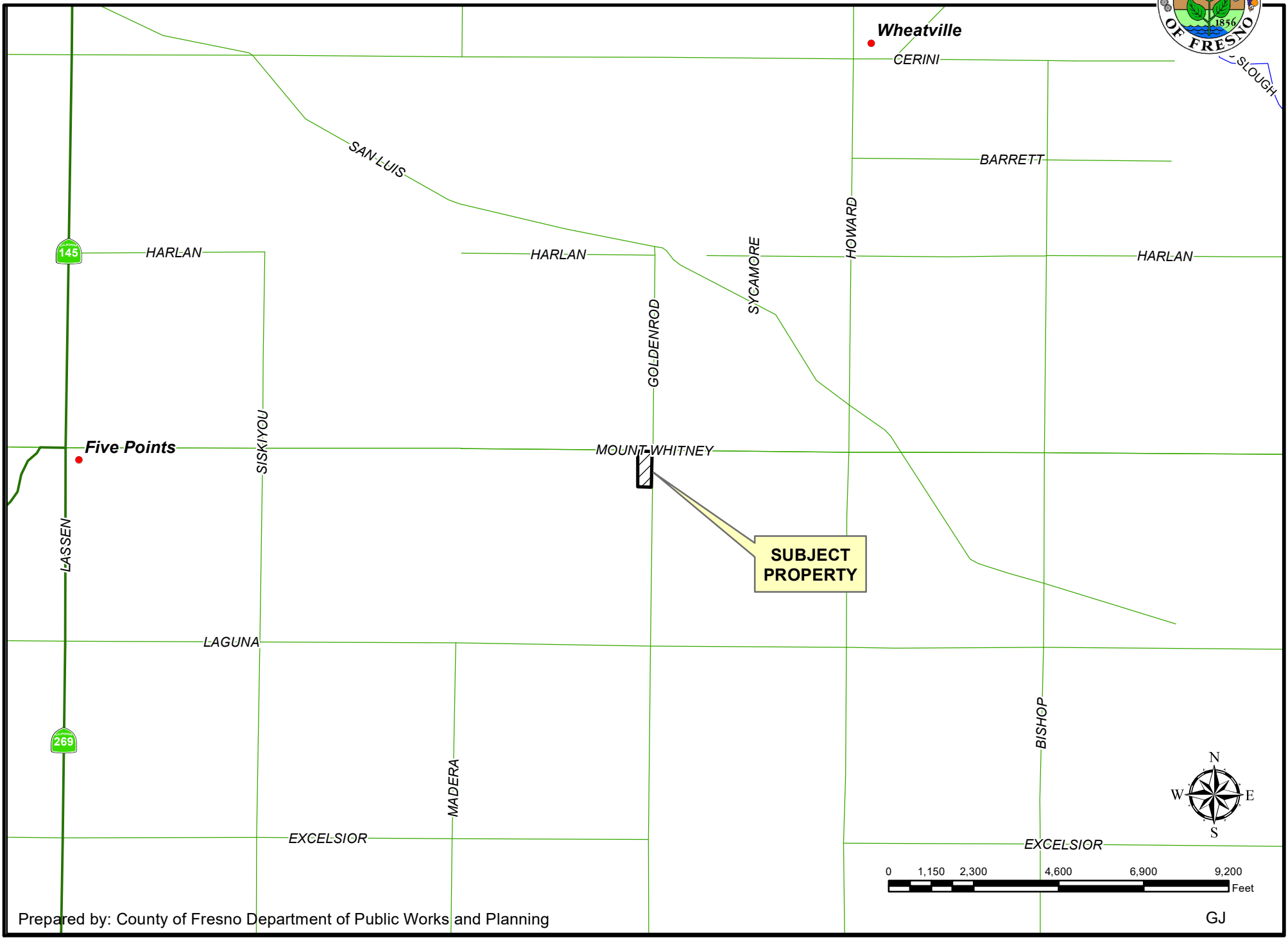
Bk. 60

NOTE - Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

Assessor's Map Bk. 050 - Pg. 14
County of Fresno, Calif.



LOCATION MAP



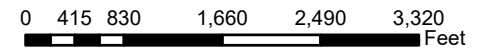
EXISTING LAND USE MAP



LEGEND	
FC	- FIELD CROP
I	- INDUSTRIAL
ORC	- ORCHARD
SF#	- SINGLE FAMILY RESIDENCE
V	- VACANT
VIN	- VINEYARD
CP#	- OFFICE COMM./PROF

LEGEND:

- Subject Property
- Ag Contract Land



Department of Public Works and Planning
Development Services Division

EXISTING ZONING MAP

