



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 4 March 15, 2018

SUBJECT: Director Review and Approval Application No. 4512

Allow a 4,465 square-foot conventional home to be constructed as a primary residence, with an existing approximately 2,000 square-foot home to remain as a permanent second residence, on a 2.63-acre parcel in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District.

LOCATION: The project site is located on the west side of N. De Wolf Avenue between E. Herndon Avenue and E. Locust Avenue (7175 N. De Wolf Avenue) (Sup. Dist. 5) (APN 565-043-21).

**OWNER/
APPLICANT:** Hong V. Khoeur

STAFF CONTACT: Marianne Mollring, Senior Planner
(559) 600-4569

Chris Motta, Principal Planner
(559) 600-4227

RECOMMENDATION:

- Approve Director Review and Approval Application No. 4512 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

EXHIBITS:

1. Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plans/Elevations
6. Letter of Opposition

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Northeast Rural Residential	No change
Zoning	AL-20 (Limited Agricultural, 20-acre minimum parcel size)	No change
Parcel Size	2.63 acres	No change
Project Site	N/A	N/A
Structural Improvements	Single-family home, agricultural structure, agricultural building	Addition of a second (primary) residence (existing residence to become secondary)
Nearest Residence	180 feet northwest from primary	125 feet southwest from secondary
Surrounding Development	Surrounding parcels are developed with agricultural uses and single-family residences	No change
Operational Features	N/A	N/A
Employees	N/A	N/A
Customers	N/A	N/A
Traffic Trips	Residential (one home)	Residential (two homes)
Lighting	Residential	No change
Hours of Operation	N/A	N/A

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

It has been determined pursuant to Section 15303(a) of the California Environmental Quality Act (CEQA) guidelines that the proposed project will not have a significant effect on the environment and is not subject to CEQA.

PUBLIC NOTICE:

Notices of Public Hearing were sent to 74 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PROCEDURAL CONSIDERATIONS:

Pursuant to the Zoning Ordinance, Section 872.C, a Director Review and Approval (DRA) Application may be approved only if four Findings specified within the ordinance are made by the Planning Commission.

Zoning Ordinance Section 872.E.3 requires that DRA applications for projects located on properties within the AL (Limited Agricultural) Zone District and within the sphere of influence of a city be appealable to the Board of Supervisors. This Section is interpreted to require that the application be taken directly to the Planning Commission for consideration.

BACKGROUND INFORMATION:

The Applicant is requesting to allow a 4,465 square-foot conventional home to be constructed as a primary residence, with an existing approximately 2,000 square-foot home to remain as a permanent second residence, on a 2.63-acre parcel in the AL-20 (Limited Agricultural, 20-acre minimum parcel size) Zone District (7175 N. De Wolf Avenue – APN 565-043-21). Approval of this application will allow the Applicant to apply for Building Permits for the second residence.

Finding 1: That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	Front: 35 feet; Rear: 20 feet; Side: 25 feet (corner lot)	Front: Primary: 54 feet, Secondary (Existing): 20 feet Rear: Primary: 62 feet, Secondary (Existing): 108 feet Side: Primary: 167 feet east, 355 feet west, Secondary (Existing): 514 feet east, 44 feet west	Front: Yes Rear: Yes Side: Yes

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Parking	Two parking spaces, either covered or uncovered shall be provided for each dwelling unit as shown in the approved site plan	Additional parking spaces for second residence	Yes
Lot Coverage	N/A	N/A	N/A
Space Between Buildings	N/A	N/A	N/A
Wall Requirements	N/A	N/A	N/A
Septic Replacement Area	Building sewer/septic tank: 50 feet; disposal field: 100 feet; seepage pit/cesspool: 150 feet	No change (proposed septic is more distant than existing)	Yes
Water Well Separation	100 feet	No change	Yes

Reviewing Agency/Department Comments Regarding Site Adequacy:

Department of Public Health, Environmental Health Division: It appears the subject 2.63-acre parcel can accommodate the sewage disposal systems and expansion areas while meeting the mandatory setback requirements established in the California Plumbing Code and California Well Standards Ordinance.

Building permit records indicate the existing septic system was installed in 1973. It is recommended that the Applicant consider having the septic tank pumped, and have the tank and drain field evaluated by an appropriately-licensed contractor if they have not been serviced and/or maintained within the last five years. The evaluation may indicate possible repairs, additions, or require the proper destruction of the system.

A separate sewage disposal system shall be installed for the new residence under permit and inspection by the Department of Public Works and Planning, Building and Safety Section.

Fresno County Fire Protection District: The project will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

Analysis:

Review of the site plan shows that the subject 2.36-acre parcel is large enough to accommodate the addition of a second home while continuing to meet all the development standards of the AL-20 Zone District. The project was reviewed by the Fresno County Department of Public

Health which determined that the parcel could accommodate two separate septic systems while meeting the setback requirements established in the California Plumbing Code and California Well Standards Ordinance.

Staff finds that the proposed parcel is adequate in size and shape to accommodate the addition of a second residence.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 1 can be made.

Finding 2: *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use*

		Existing Conditions	Proposed Operation
Private Road	No	N/A	N/A
Public Road Frontage	Yes	624 feet along East Locust Avenue and 196 feet along North De Wolf Avenue	No change
Direct Access to Public Road	Yes	One driveway	A second driveway will be added for the primary residence
Road ADT		De Wolf Avenue -1,300 Locust Avenue – 200	No change
Road Classification		De Wolf and Locust are Local roads	No change
Road Width		De Wolf Avenue – 23 feet Locust Avenue – 23.5 feet	No change
Road Surface		Road Mix Surfacing (RMS)	No change
Traffic Trips		Residential – one home	Residential – two homes
Traffic Impact Study (TIS) Prepared	No	N/A	N/A
Road Improvements Required		No	N/A

Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:

Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning: Any work done within the right-of-way to construct a new driveway or improve an existing driveway will require an Encroachment Permit from the Road Maintenance and Operations Division.

Development Engineering Section of the Fresno County Department of Public Works and Planning: De Wolf Avenue is a County-maintained Local road with an existing 20-foot right-of-way east of the centerline along the parcel frontage. The minimum width for a Local road right-of-way east of the centerline is 30 feet. Records indicate this section of De Wolf Avenue has an average daily traffic (ADT) of 1,300, pavement width of 23.5 feet, an unknown structural section, and is in excellent condition.

Locust Avenue is a County-maintained Local road with an existing 60-foot right-of-way north of the parcel frontage. The minimum width for a Local road right-of-way east of the centerline is 60 feet. Records indicate this section of Locust Avenue has an average daily traffic (ADT) of 200, pavement width of 23 feet, structural section of 0.32 feet RMS, and is in very good condition.

If not already present, ten-foot by ten-foot corner cutoffs are needed for sight distance purposes at the exiting driveways onto Locust Avenue.

No other comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

Analysis:

De Wolf Avenue, which provides access to the subject parcel from the east, is classified as a Local road and is in very good condition. The addition of residential traffic from the proposed second home does not require the Applicant to make improvements to the road. The 23-foot-wide paved road is sufficient to carry the increase in traffic from this project.

Locust Avenue, which provides access to the subject parcel frontage, is classified as a Local road and is in excellent condition. The addition of residential traffic from the proposed second home does not require the Applicant to make improvements to the road. The 23.5-foot-wide paved road is sufficient to carry the increase in traffic from this project.

Staff notes that the ultimate right-of-way for De Wolf Avenue is 30 feet west of the centerline, across the Applicant's eastern frontage, and the existing right-of-way is 20 feet. At this time, due to the limited traffic expected to be generated by this proposal, there is no nexus to require the dedication of the remaining 10 feet of right-of-way.

Based on the above information, North De Wolf Avenue and East Locust Avenue will remain adequate to accommodate the proposed use.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 2 can be made.

Finding 3: That the proposed use will not be detrimental to the character of the development in the immediate neighborhood or the public health, safety, and general welfare

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	4.93 acres	Single-Family Residence	AL-20	Primary: 460 feet Secondary: 180 feet
South	5.20 acres	Single-Family Residence	AL-20	South: Primary: 150 feet Secondary: 250 feet
East	78.80 acres	Field Crops	AL-20	South: Primary: 215 feet Secondary: 560 feet
West	2.06 acres	Single-Family Residence	R-R	Primary: 460 feet Secondary: 170 feet

Reviewing Agency/Department Comments:

Zoning and Permit Review Section of the Fresno County Department of Public Works and Planning: Plans, permits, and inspections are required for the non-permitted agricultural structure at the southwest corner of the parcel.

There shall be a covenant requiring the property owner(s) to occupy one of the dwelling units on site. Structures over 120 square feet and within six feet of the existing residence, if built after March 1, 1958, require zoning review and approval as well as permits and inspections. Prior to the issuance of any permits, unpermitted structures must be resolved.

Building and Safety/Plan Check Section of the Fresno County Department of Public Works and Planning: If approved, plans, permits, and inspections are required based upon the California Codes in effect at the time of plan check submittal.

Development Engineering Section of the Fresno County Department of Public Works and Planning: According to FEMA FIRM Panel 1585H, a portion of the subject property is found to be under Flood Zone A, which is subject to flooding from the 100-year storm. Typically, any additional runoff generated by the proposed development of the site cannot be drained across property lines and must be retained or disposed of per County standards. A grading permit or voucher may be required for any grading proposed with this application.

No other comments specific to land use compatibility were expressed by reviewing Agencies or Departments.

Analysis:

There are no privacy or visibility concerns from the east due to the distance from the nearest neighboring residence. There are no privacy or visibility concerns from the north or west, as the

existing residence is situated closer to neighboring residences in these directions and there is landscaping present that creates additional separation. The new primary residence will be a larger home, built closer to De Wolf Avenue, and the Conditions of Approval require compatible painting.

Based on the above information, staff believes the proposal will not have an adverse effect upon surrounding properties.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Conclusion:

Finding 3 can be made.

Finding 4: *That the proposed development is consistent with the General Plan.*

Relevant Policies:	Consistency/Considerations:
<p>Policy LU-H.4 The County shall allow second dwellings, not to be sold as a separate unit, subject to a discretionary permit in areas designated for low-, medium- and medium-high-density residential use, rural residential use, and agricultural or rangeland use. The second dwelling shall be clearly subordinate in size to the primary dwelling.</p>	<p>In this case, the subject parcel is designated Northeast Rural Residential in the Fresno County General Plan, which allows by discretionary review the possibility of a permanent second residence. Regarding the size requirement, the new primary residence will be 2,465 square feet larger than the proposed existing secondary residence, so the project is consistent with this policy.</p>
<p>Policy PF-C.17 The County shall, prior to consideration of any discretionary project related to land use, undertake a water supply evaluation.</p>	<p>In its review of the proposal, the Water and Natural Resources Division has determined that, as the subject parcel is in an area defined as being water-short, any future development on the proposed parcels will require that a well yield certification be performed and approved prior to the issuance of Building Permits. This has been made a Condition of Approval.</p>
<p>Policy PF-D.6 The County shall permit individual on-site sewage disposal systems on parcels that have the area, soils, and other characteristics that permit installation of such disposal facilities without threatening surface or groundwater quality or posing any other health hazards and where community sewer service is not available and cannot be provided.</p>	<p>This proposal was routed to the Fresno County Public Health Department’s Environmental Health Division, and as noted under Finding 1 in the Staff Report, the Environmental Health Division determined that the soils of the subject property were adequate to accommodate the sewage disposal systems currently installed.</p>

Reviewing Agency Comments:

Policy Planning Section of the Fresno County Department of Public Works and Planning: The project site is designated Northeast Rural Residential in the Fresno County General Plan, which allows a second dwelling unit provided that it meets the requirements set forth in Policy LU-H.4.

Water and Natural Resources Division of the Fresno County Department of Public Works and Planning: The proposed site is located within an area defined as being water-short. If this Director Review and Approval is approved, future requirements for any development on the subject parcel shall include that a well yield certification test be performed and approved prior to the issuance of building permits.

City of Clovis: No comments.

No other comments specific to General Plan Policy were expressed by reviewing Agencies or Departments.

Analysis:

Based on the analysis and the table above, the project is consistent with the General Plan.

Recommended Conditions of Approval:

None.

Conclusion:

Finding 4 can be made.

PUBLIC COMMENT:

One letter in opposition to the subject proposal, signed by 11 individuals, was submitted by neighboring property owners who reside to the north, south, and west of the subject parcel. The subject property is located in an area of agricultural land uses and single-family residences near the edges of the agricultural uses. The nearest residences are located to the north and south of the subject property, west of North De Wolf Avenue. The letter of opposition was signed primarily by neighbors along North De Wolf Avenue.

The letter and follow-up phone call relayed concerns about the septic system, water availability, flood hazards, unpermitted fill/grading, an agricultural building on the site already being used as a second residence, site adequacy for the second residence, and change to the character of the neighborhood.

The Conditions of Approval and Project Notes address the issues of septic systems, water availability, grading, and runoff. A Fresno County Building Inspector visited the property on February 21, 2018. He confirmed the use of the agricultural structure at the northwest corner of the parcel as a rabbitry, and not a residence. The other agricultural structure south of the existing residence is unpermitted and permits shall be obtained prior to permits being issued for the second residence.

On February 28, 2018, a Fresno County Development Services Grading Unit Engineer visited the site and requires that a grading and drainage plan be submitted to Development

Engineering prior to the issuance of building permits and that certificates of elevation are required for the project. These requirements are included as project notes. Staff also notes that the availability to apply for a second residence, to the property owner, exists for both the AL-20 and the R-R Zone Districts.

CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings can be made. Staff therefore recommends approval of Director Review and Approval No. 4512, subject to the recommended Conditions of Approval.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Move to determine the required Findings can be made and move to approve Director Review and Approval No. 4512, subject to the Conditions of Approval, Special Standards and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Director Review and Approval No. 4512; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Recommended Conditions of Approval, Special Standards and Project Notes:

See attached Exhibit 1.

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**Conditions of Approval and Project Notes
Director Review and Approval Application No. 4512**

Conditions of Approval	
1.	Development shall be in substantial compliance with the approved site plan, floor plans, and elevation drawings. Said Site Plan shall show all structures properly labeled for the proposed use.
2.	The proposed primary and secondary residences shall be painted in a manner such that the primary residence's color and trim color is substantially the same as the secondary residence.
3.	As the subject parcel is located in an area defined as being water-short, any future development on the proposed parcel will require that a well yield certification be performed and approved prior to the issuance of Building Permits.
4.	To address prior unpermitted on-site grading activity, the Applicant/property owner shall address those items listed in mandatory project notes below (grading, permit or voucher, grading and drainage plan, elevation certificate for Flood Zone) prior to issuance of building permits for the primary residence.

Conditions of Approval reference recommended Conditions for the project.

Special Standards	
This application is subject to the following mandatory standard of the Fresno County Zoning Ordinance, Section 855-N.28.	
1.	<p>Prior to issuance of a building permit, a covenant running with the land between the County and the owner shall be recorded requiring that one of the dwelling units shall be occupied by the property owner(s) or another owner of record.</p> <p>Note: The Department of Public Works and Planning will prepare the Covenant upon receipt of the standard processing fee, which is currently \$243.50.</p>

Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	This approval shall become void if there has been a cessation of the use for a period in excess of two years.
2.	A grading permit or voucher shall be required for any grading that has been done without a permit and any grading proposed with this application.
3.	An Engineered Grading and Drainage Plan shall be submitted to Development Engineering for review and approval prior to the County issuing a building permit for the construction of a new home. An on-site drainage basin is required and shall be designed per County Standards to retain the runoff from all existing and proposed development on the parcel.

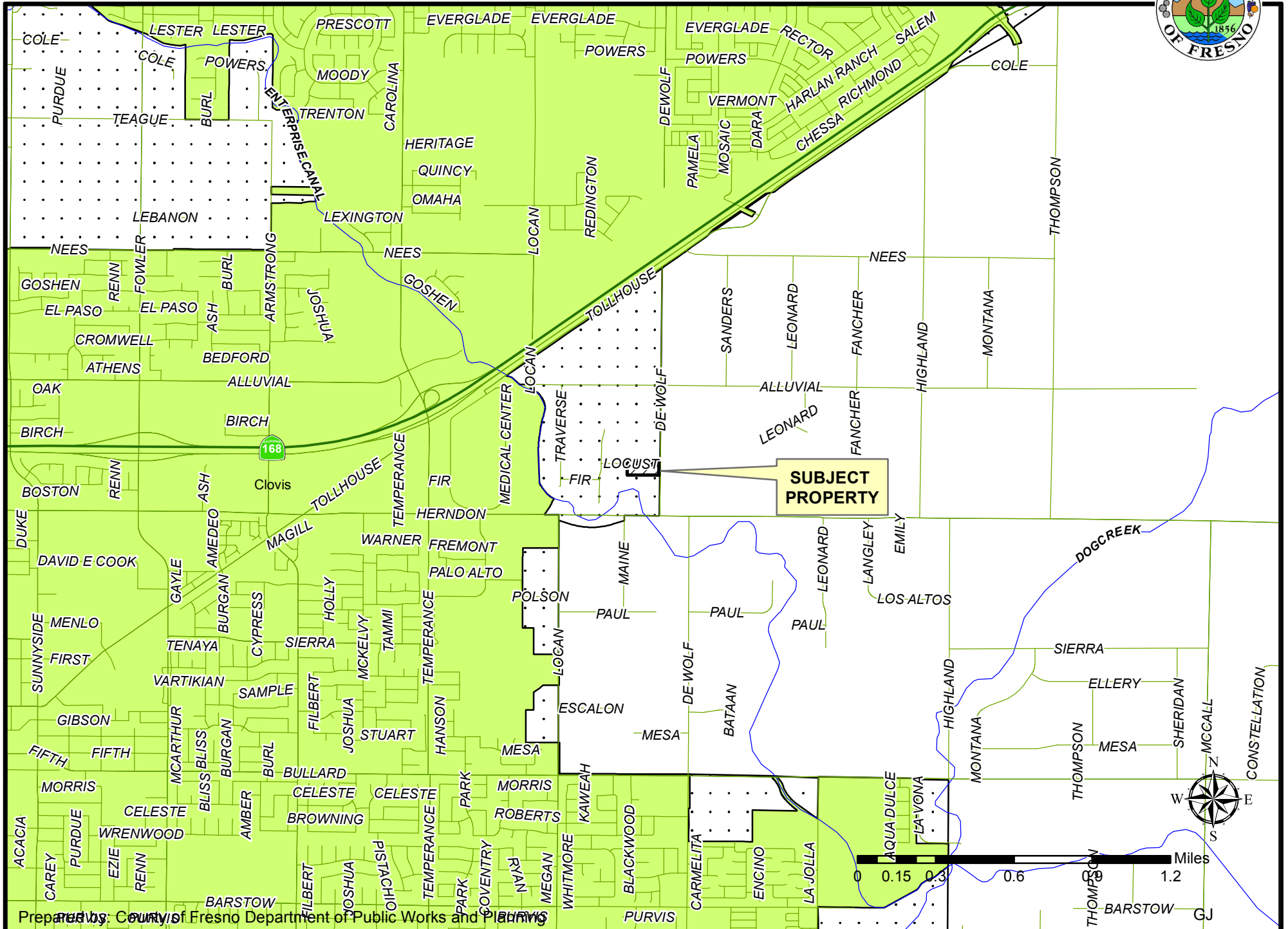
Notes	
4.	According to the site plan, the proposed second residence is within Flood Zone A. Any development within a flood zone must comply with Fresno County Flood Hazard Ordinance Code Section 15.48. An initial elevation certificate shall be submitted to Development Engineering for review and approval prior to issuing any building or grading permits. A final elevation certificate is required prior to the final grading inspection and building sign-off.
5.	Any additional runoff generated by the proposed development of the site cannot be drained across property lines and must be retained or disposed of per County standards.
6.	According to FEMA FIRM Panel 1585H, a portion of the subject property is found to be under Flood Zone A, which is subject to flooding from the 100-year storm. Typically, no net import of fill shall be allowed within the flood zone, and any work within the designated flood zones shall comply with the Fresno Metropolitan Flood Control District Flood Plain Policy.
7.	Contact the Building and Safety Section of the Department of Public Works & Planning at (559) 600-4540 regarding permits for installation, construction, electrical, and plumbing work.
8.	If approved, plans, permits and inspections are required, including site development, based upon the California Codes in effect at the time of plan check submittal.
9.	Plans, permits, and inspections are required for the non-permitted agricultural structure at the southwest corner of the parcel and shall be obtained prior to the issuance of permits for the second residence.
10.	The project will be subject to the requirements of the current Fire Code and Building Code when a building permit or certificate of occupancy is sought.
11.	Building permit records indicate the existing septic system was installed in 1973. It is recommended that the Applicant consider having the septic pumped and have the tank and the drain fields evaluated by an appropriately-licensed contractor if they have not been serviced and/or maintained within the last five years. The evaluation may indicate possible repairs, additions, or require the proper destruction of the system.
12.	A separate sewage disposal system shall be installed for the new residence under permit and inspection by the Department of Public Works and Planning, Building and Safety Section.
13.	The Clovis Unified School District, in which construction is proposed, has adopted a resolution requiring the payment of a construction fee. The County, in accordance with State Law that authorizes the fee, may not issue a building permit without certification from the school district that the fee has been paid. An official certification form, to be completed by the school district, will be provided by the County when application is made for a building permit.
14.	Two parking spaces, either covered or uncovered, shall be provided for each dwelling unit as shown on the approved site plan. Each parking space shall have a minimum size of 8-1/2 feet by 20 feet. The parking spaces

Notes	
	and the driveway providing access to said parking spaces shall be improved.
15.	A ten-foot by ten-foot corner cutoff shall be provided for sight distance purposes at any driveway accessing Locust Avenue.
16.	Any work done within the right-of-way to construct a new driveway or improve an existing driveway will require an Encroachment Permit from the Road Maintenance and Operations Division.

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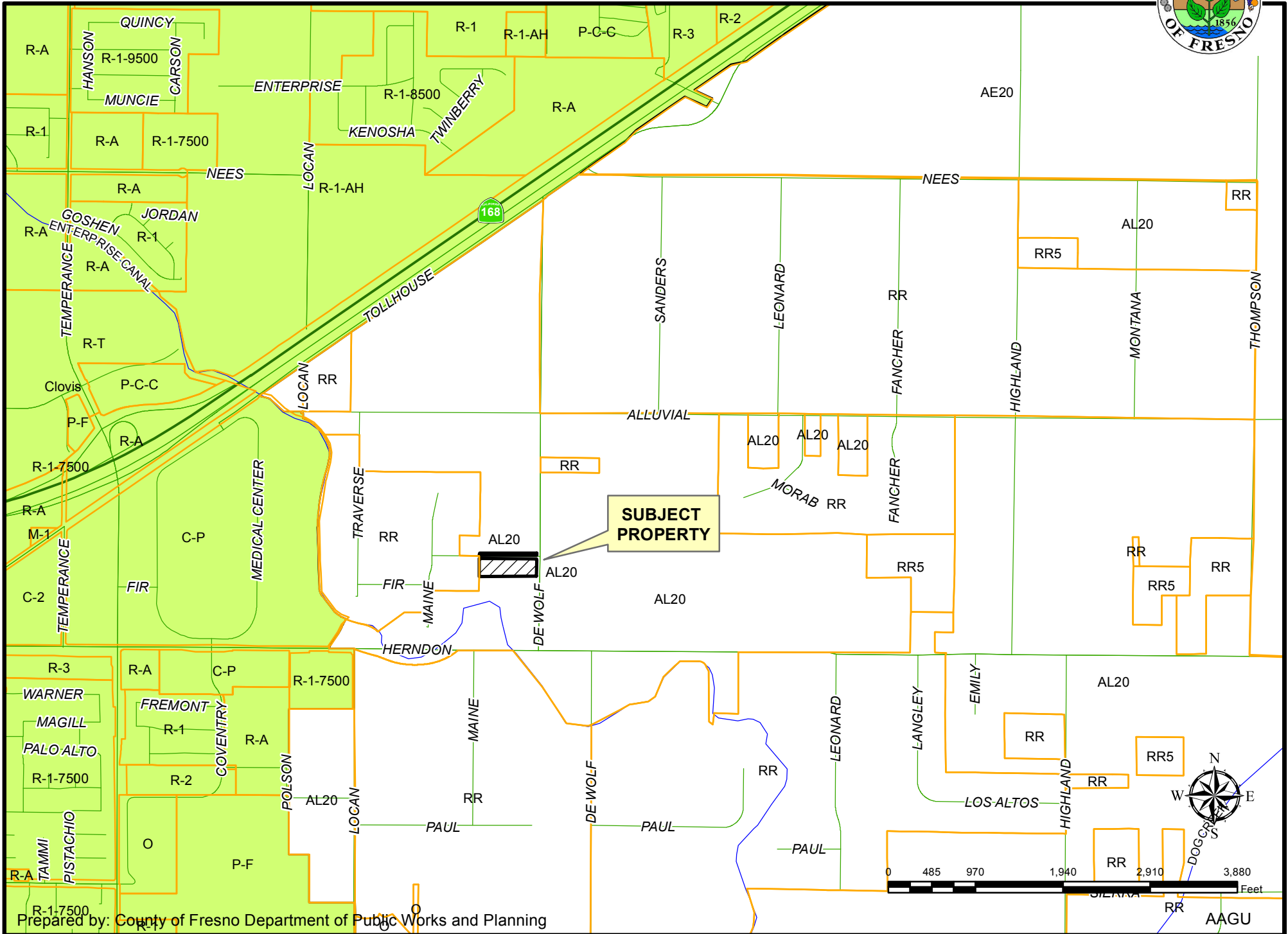
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LOCATION MAP

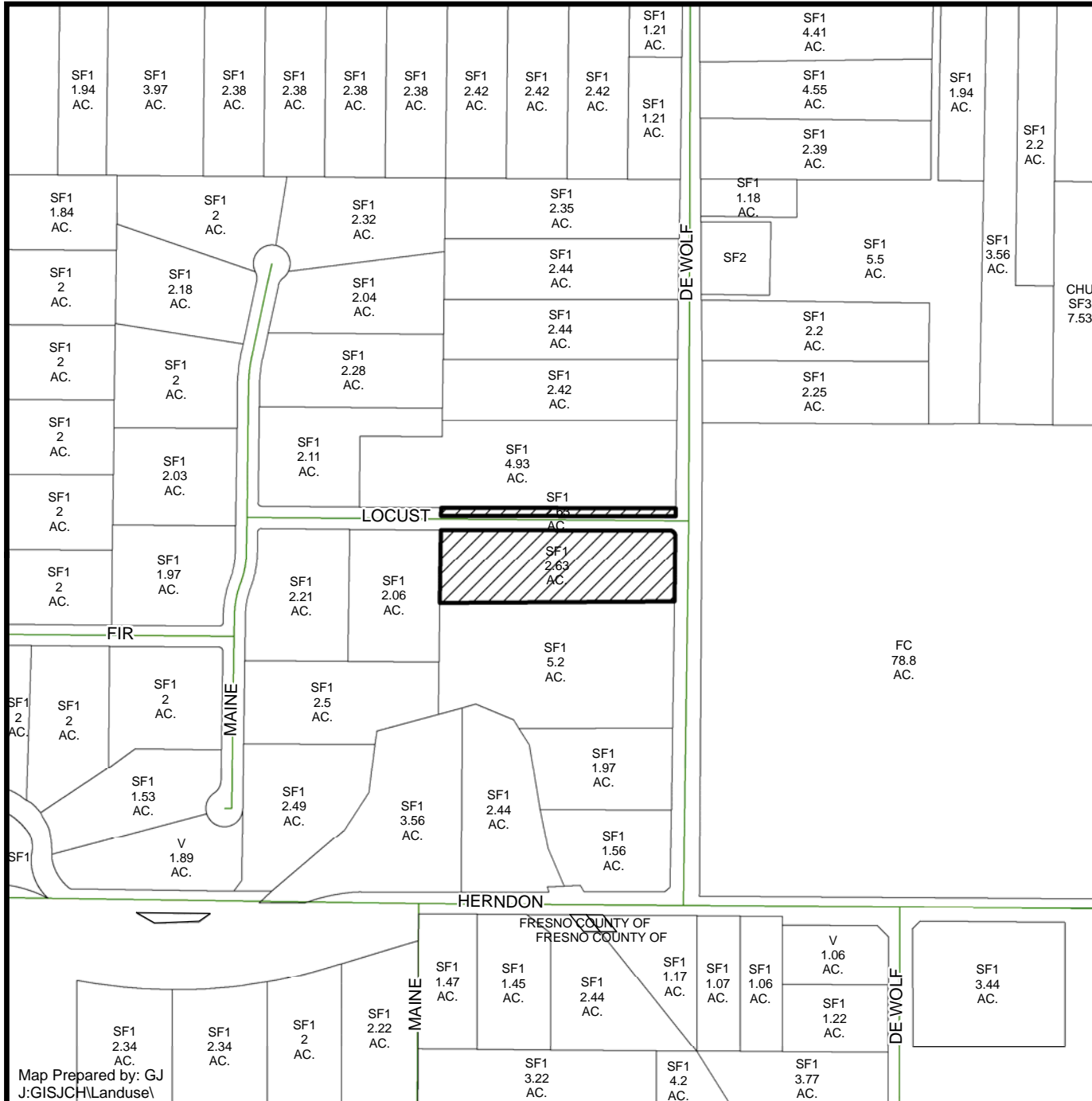


Prepared by: County of Fresno Department of Public Works and Planning

EXISTING ZONING MAP



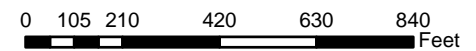
EXISTING LAND USE MAP



LEGEND	
V	VACANT
SF#	SINGLE FAMILY RESIDENCE
FC	FIELD CROP
CHU	CHURCH

LEGEND:

- Subject Property
- Ag Contract Land



Department of Public Works and Planning
Development Services Division

Map Prepared by: GJ
J:GISJCH\Landuse\

GENERAL NOTES:

1. NOTIFY THE CONTRACTOR IMMEDIATELY IF ANY DISCREPANCIES OR CONFLICTS WITHIN THE CONSTRUCTION DOCUMENTS ARE OBSERVED.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, AND SITE CONDITIONS PRIOR TO START OF WORK.
3. THE CITY APPROVED SET OF CONSTRUCTION DRAWINGS SHALL BE AVAILABLE AT THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
4. SITE DRAINAGE FROM SUBJECT PROPERTY ONTO ADJACENT PROPERTIES IS PROHIBITED.
5. NO PORTION OF THE DRIVEWAY SHALL EXCEED A GRADE OF 16% (16%).
6. CONTRACTOR MAY ADJUST PLACEMENT OF RESIDENCE IF NECESSARY AS LONG AS ALL MINIMUM SETBACKS ARE ACHIEVED.
7. NO ON SITE WATER RETENTION.
8. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (CRC R319.1)
 1. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND AND BE LEGIBLE.
 2. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE OF 1/2 INCHES.

9. UNDERGROUND SERVICE ALERT: LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF TWO WORKING DAYS PRIOR TO COMMENCING EXCAVATION OPERATION WITHIN THE STREET RIGHT OF WAY AND/OR UTILITY EASEMENT.
10. PROJECT LOCATED IN THE FLOOD HAZARD AREA SHALL HAVE A FINISHED FLOOR ELEVATION OF AT LEAST ONE INCH (1") ABOVE THE 100 YEAR FLOOD LEVEL.
11. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
12. LOT SHALL BE GRADED TO DRAIN WATER AWAY FROM ALL FOUNDATION AT A SLOPE OF 5% WITHIN 10 FEET OF THE BUILDING. (CRC SECTION R401.3.)
13. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM BUILDING.
14. ALL SITE GRADING OUTSIDE OF THE BUILDING ENVELOPE IS REQUIRED TO BE A MINIMUM OF 0.5% DIRECTED TOWARDS THE STREET.
15. FINISHED FLOOR ELEVATION IS TO BE ABOVE THE CROWN OF THE STREET.
16. THE OVERALL BUILDING SITE SHALL HAVE A MINIMUM SLOPE OF 0.5% IN ALL AREAS TO AN APPROVED DRAINAGE FACILITY OR A PUBLIC STREET.
17. COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY SHALL BE PROVIDED FOR ALL LOOSE FILL.
18. ALL FILLS SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY OBTAINABLE WITH THE MODIFIED PROCTOR TEST METHOD OF ACCEPTABLE EQUIVALENT METHOD.

As-grade plans, final soils report (if applicable) and compaction reports are required to be submitted and approved prior to receiving a "final". A "Safe-to-Occupy" can be granted but will require a \$15,000.00 cash deposit. The deposit will be fully refunded once the "As-grade" has been approved and all other holds have been cleared for the entire project. Deposits are typically refunded from the Finance Department in the form of a check approximately 1 week after the refund is requested. There will be a one-time \$60.00 handling fee for the "Safe-to-Occupy" transaction should it be requested.

KEY:

TC	EXISTING TOP CURB
FL	PROPOSED FLOW LINE
G	PROPOSED GRADE
FF	PROPOSED FINISH FLOOR ELE
OG	EXISTING ORIGINAL GROUND
UG	UNDER-GROUND

APN # 565-043-21

OWNER: **KHOEUR, HONG V**

LOCATION: **7175 N. DEWOLF AVE
CLOVIS, CA 93619**

FRESNO COUNTY SITE PLAN

A.L.D. GENERAL ENGINEERING
JOSHUA L.R. ANNIS
(559) 760-1155
LIC#1009558

SCALE: 1" = 10'

DATE: **07/24/17**

SHEET NO.

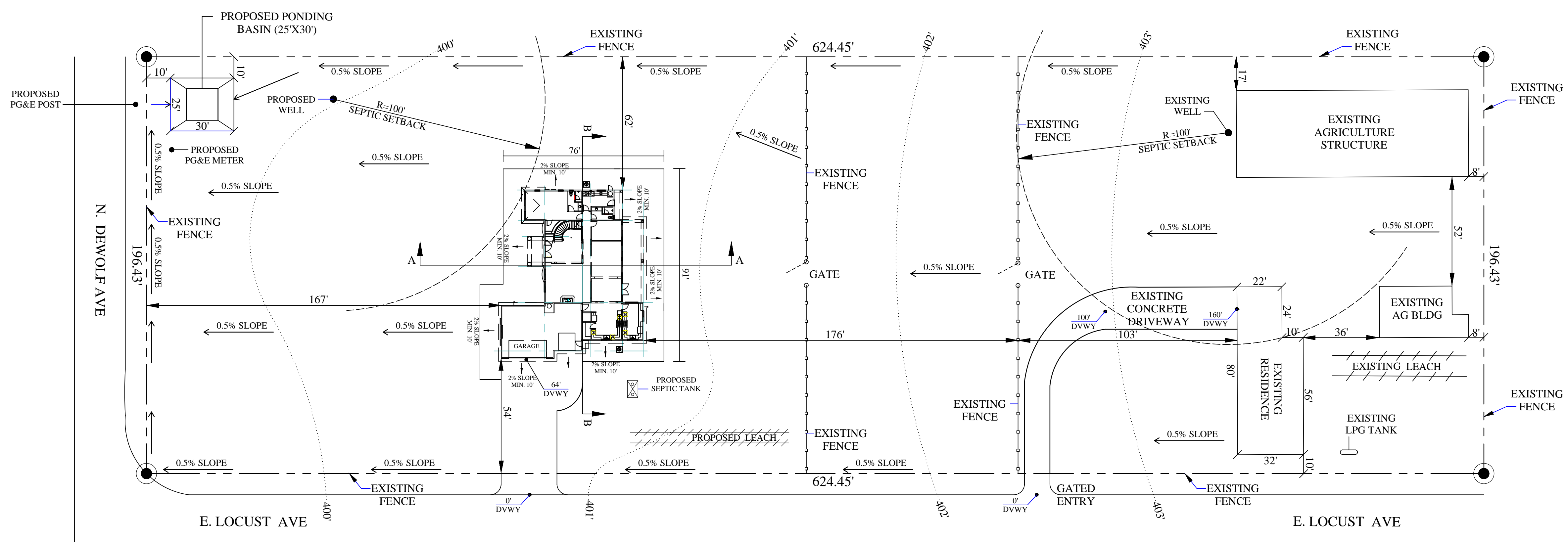
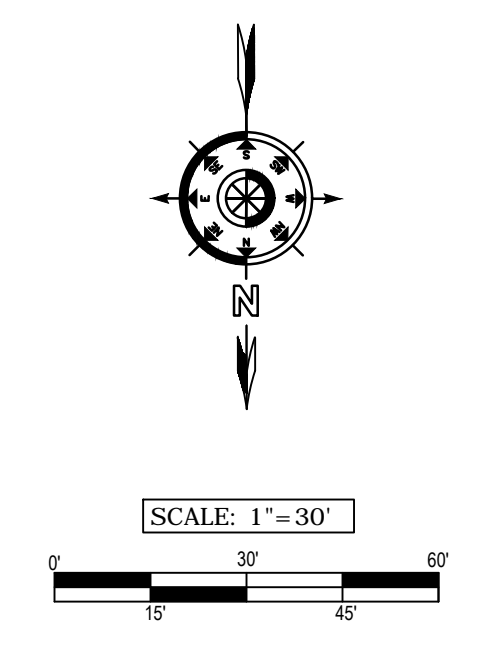
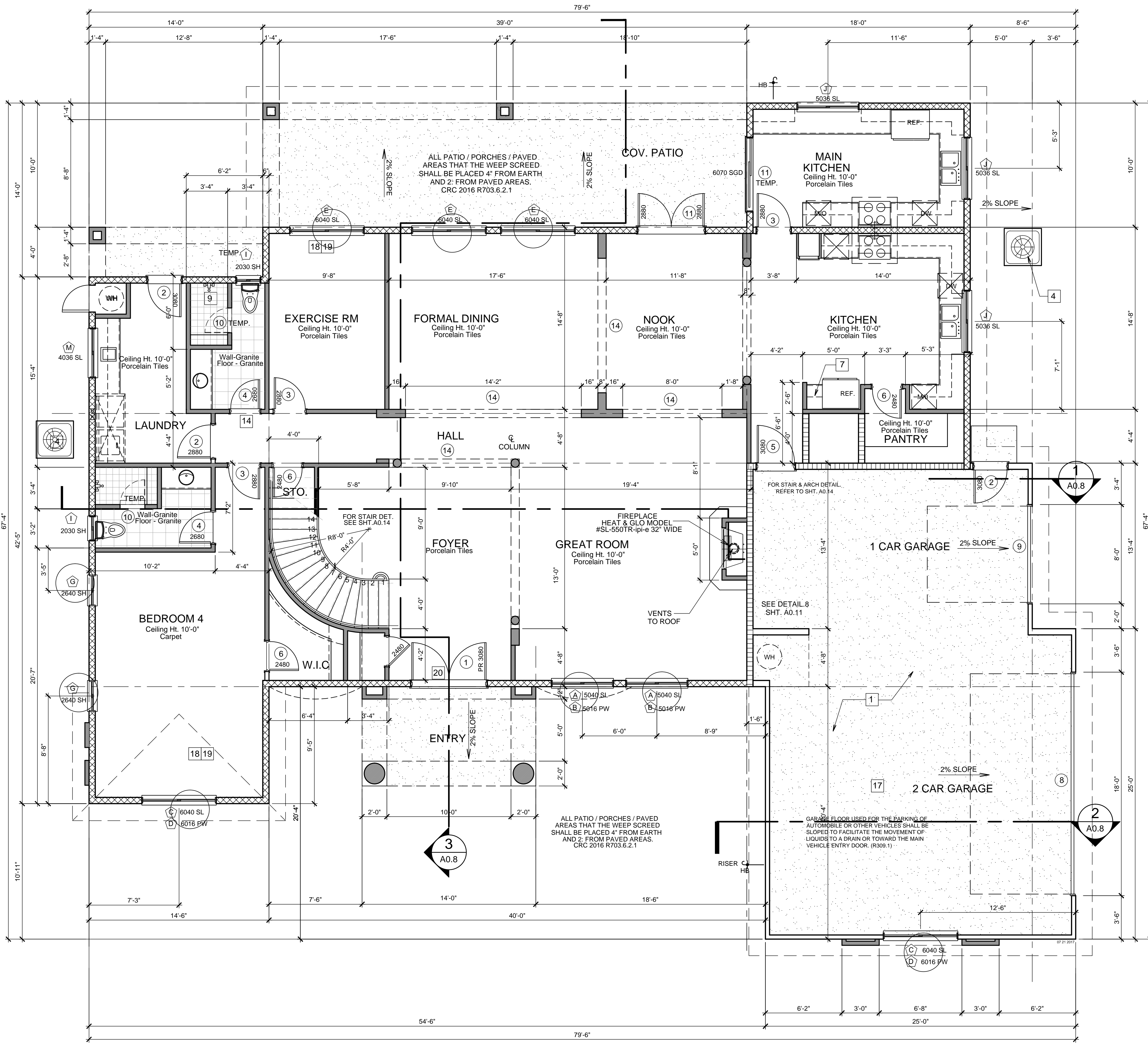


EXHIBIT 5



PROTECT ALL FOAM EXPOSED TO ATTIC, CHIMNEY, ETC.
PRIMER INSULFOAM R-TECH OR 3HT (ESR-1788)
THERMAL BARRIER AT INSIDE OF ATTIC.

ALL PATIO / PORCHES / PAVED AREAS THAT THE WEEP
SCREED SHALL BE PLACED 4" FROM EARTH AND 2" FROM
PAVED AREAS. (CRC 2016 R703.6.6.1



- 10 EMERGENCY EGRESSES, ONE SASH IN EA. SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESSES WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MIN. NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MIN. NET OPENABLE WIDTH DIM. SHALL BE 20 INCHES. THE EGRESSES WINDOW SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
 - 11 GLAZING IN ENCLOSURES FOR, OR WALLS FACING, BATH TUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGES OF THE GLAZING IS LESS THAN 60" MEASURES VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE. (R308.4.5)
 - 12 3/8"x3/8" CONC. STICOP AT GARAGE DOOR, WITH 2% SLOPE AND A STEP NOT MORE THAN 7/32" FROM TOP OF THRESHOLD.
 - 13 EXTERIOR HOSE BIBB. PROVIDE WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. CPC 603.5.7.
 - 14 TEMPERED GLAZER. CRC R308.4
 - 15 HOUSEHOLD COOKING APPLIANCES SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOK TOP OF NOT LESS THAN 30" TO COMBUSTIBLE MATERIALS OR METAL CABINETS CMC 916.0917.1917.2.
 - 16 GARAGE FLOOR USED FOR THE PARKING OF AUTOMOBILES OR VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO DRAIN OR TOWARD THE MAIN VEHICLES ENTRY DOOR. (R309.1)
 - 17 EMERGENCY EXIT IN BEDROOM SHALL PROVIDE A MINIMUM 20" WIDE & 24" HIGH OPENING WITH A MINIMUM OPEN AREA OF 5.7 SQ.FT. (821 SQ.IN.) (R310.1.1, 310.1.2, 310.1.3)
 - 18 EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM EDGE OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FINISH FLOOR. (R310.1.1)
 - 19 FELT & MUD BEHIND CERAMIC TILES OR FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THIS LOCATION.
 - 20 R311.3.1 FLOOR ELEVATION AT REQUIRED EGRESSES DOORS, LANDINGS OR FLOOR AT THE REQUIRED EGRESSES DOORS SHALL NOT LESS THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD.
- 1 PROVIDE FIRE SEPARATION BETWEEN GARAGE AND RESIDENC. CRC R302.6
1. WALL BETWEEN GARAGE AND RESIDENCE WITH NOT LESS THAN 1/2" GYPSUM BOARD CONTINUOUS TO ROOF SHEATHING ON THE GARAGE SIDE.
2. NOT LESS THAN 1 1/2" GYPSUM BOARD ON THE GARAGE CEILING AND ALL SUPPORTING WALLS AND STRUCTURAL FRAMING GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT.
 - 2 DOORS BETWEEN THE RESIDENCE AND THE PRIVATE GARAGE SHALL BE SELF-CLOSING AND SELF-LATCHING WHEN BOTH GARAGE AND RESIDENCE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R308.6 & R313. (CRC R302.5.1)
 - 3 WATER HEATER 50 GAL. R301.2.2.3.7. SEE DET. 10 / SHT. A. WATER HEATERS REQUIRE 2 SEISMIC STRAPS. 1 LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER UNIT AND 1 AT THE BOTTOM 1/3. THE BOTTOM STRAP MUST BE LOCATED AT LEAST 4" AWAY FROM THE WATER HEATER CONTROL. (CPC 502.2)
 - 4 A/C CONDENSER ON 30" x 30" MIN PRECAST CONCRETE PAD, 3" MINIMUM ABOVE GRADE.
 - 5 ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x30". CRC 2013 R807.3 CONTRACTOR CAN INCREASE SIZE IF NECESSARY.
 - 6 FAU IN ATTIC ABOVE, PROVIDE UNOBSTRUCTED PASSAGEWAY WHICH IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PROVIDE 24" HIGH x 30" WIDE PASSAGEWAY WITH 24" WIDE PLYWOOD FLOORING WITH 30"x30" PLATFORM AT SERVICE SIDE OF THE EQUIPMENT. MAX. 20" FROM ACCESS POINT TO FAU. VERIFY LOCATION W/ MECHANICAL DRAWINGS.
 - 7 WALL MOUNTED CABINET ABOVE. 24" DEEP UPPER CABINETS ABOVE REFRIGERATOR.
 - 8 DRYER VENT DUCT SHALL BE OF SMOOTH METAL EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER MAXIMUM 14" LENGTH WITH (2) TWO 90 DEGREE ELBOWS UNLESS VENT CALCS ARE PROVIDED PER CMC2013 504.3.1.2. VENT TO OUTSIDE.
 - 9 PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWER AND TUB/SHOWER COMBINATION.

DOOR SCHEDULE:

No.	Type	Width	Height
1	6 Panel / Pair Door	3'-0"	8'-0"
2	Single-Solid Core Door (Exterior)	2'-8"	6'-8"
3	Single Door - 6 Panel	2'-8"	6'-8"
4	Single Door - 6 Panel	2'-6"	6'-8"
5	Single Solid Core Door (Interior)	3'-0"	6'-8"
6	Single - 2 Panel	2'-4"	6'-8"
7	Sliding Closet Door / Pair	2'-0"	6'-8"
8	Garage Roll Up Door	16'-0"	8'-0"
9	Garage Roll Up Door	8'-0"	8'-0"
10	Tempered Glass Shower Door	2'-0"	6'-0"
11	Sliding Glass Door	6'-0"	7'-0"
12	Sliding Pocket Door	2'-6"	6'-8"
13	Arch Opening - See Sht. A0.14 for typical height.		

WINDOW SCHEDULE:

No.	Type	Width	Height
A	Slider / See Elevation	5'-0"	4'-6"
B	Picture Window	5'-0"	4'-6"
C	Slider / See Elevation	6'-0"	4'-6"
D	Picture Window	6'-0"	1'-0"
E	Slider / See Elevation	6'-0"	4'-0"
F	Slider / See Elevation	5'-0"	4'-0"
G	Single Hung	2'-0"	4'-0"
H	Single Hung	2'-0"	3'-6"
I	Slider / Privacy Glass	3'-0"	3'-0"
J	Slider	5'-0"	3'-6"
K	Picture Window	2'-0"	4'-0"
L	Picture Window (See Elevation)	6'-0"	4'-0"
M	Slider	4'-0"	3'-0"

NOTE: ALL WINDOW ON THE FRONT ARE WITH GRID ONLY. REFER TO ELEVATION SHEET A.05

NOTE: ALL TEMPERED GLASS LOCATION ARE NOTED THE FLOOR PLAN. SEE SHEET A.02

WALL LEGEND:

DESCRIPTION	FRAMING
EXTERIOR INSULATED WALL R 19 BATTS	2x6 @ 24" O.C.
INTERIOR WALL	2x4 @ 16" O.C.
EXTERIOR WALL NON INSULATED	2x4 @ 16" O.C.
EXTERIOR WALL NON INSULATED	2x6 @ 24" O.C.

BUILDING DATA:

ZONING:	RR (RESIDENTIAL RURAL)
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY:	R-3U SINGLE FAMILY RESIDENCE
SPRINKLER SYSTEM	FULLY AUTOMATIC, NFPA 13D
(FIRST FLOOR)	2,581 SQ. FT.
(SECOND FLOOR)	1,884 SQ. FT.
BUILDING AREA:	DWELLING AREA: 4,465.00 SQ. FT.
	GARAGE: 921.00 SQ. FT.
	COVERED PATIO: 446.00 SQ. FT.
	ENTRY PORCH: 112.00 SQ. FT.
	BALCONY: 149.00 SQ. FT.
TOTAL FLOOR AREA: 6,084.00 SQ. FT.	

**ENERGY COMPLIANCE REQUIREMENTS
REQUIRED INSULATION**

- CEILING INSULATION - R49 BLOW
- EXTERIOR WALL INSULATION - R19
- DUCT INSULATION - R8

APPLICATION OF SINGLE-PLY GYPSUM WALL BOARD

THICKNESS OF GYPSUM WALL-BOARD (inch)	PLANE OF FRAMING SURFACE	LONG DIMENSION OF GYPSUM WALL BOARD SHEET IN RELATION TO DIRECTION OF FRAMING MEMBERS	MAXIMUM SPACING OF FRAMING MEMBER ¹ (Center to Center) (In Inches)	MAXIMUM SPACING OF FASTENERS ¹ (Center to Center) (In Inches)	NAILS ²	SCREWS ⁴
1/2"	VERTICAL	EITHER DIRECTION	16	8	16	
		HORIZONTAL	16	7	12	
	HORIZONTAL	PERPENDICULAR	24	7	12	
		VERTICAL	24	8	12	
5/8"	VERTICAL	EITHER DIRECTION	16	8	16	
		HORIZONTAL	16	7	12	
	HORIZONTAL	PERPENDICULAR	24	7	12	
		VERTICAL	24	8	12	

NAILS OR SCREW FASTENINGS WITH ADHESIVES (MAXIMUM CENTER TO CENTER IN INCHES)

(COLUMN HEADING AS ABOVE)	EDGES	END	FIELD			
1/2" OR 5/8"	HORIZONTAL	EITHER DIRECTION	16	16	16	24
		PERPENDICULAR	24	16	24	24
5/8"	VERTICAL	EITHER DIRECTION	24	16	24	6

NO. 13 GAUGE, 1 3/8" LONG, 19/64" HEAD, 0.086" DIAMETER; 1 1/4" LONG, ANNUAL RINGED; 5/16" COOLER OR PARKER⁵ NAIL (0.086" DIA., 1 5/8" LONG, 15/64 HEAD).

NO. 13 GAUGE, 1 5/8" LONG, 19/64" HEAD, 0.086" DIAMETER; 1 3/8" LONG, ANNUAL RINGED; 5/16" COOLER OR PARKER⁵ NAIL (0.092" DIA., 1 7/8" LONG, 1/4" HEAD).

AS REQUIRED FOR 1/2" AND 5/8" GYPSUM WALL-BOARD. SEE ABOVE.

CONSULTANTS

Khav-Khoeur
RESIDENCE
7175 N.DEWOLF AVE.
CLOVIS, CA 93619

MARK DATE
07 18 2016

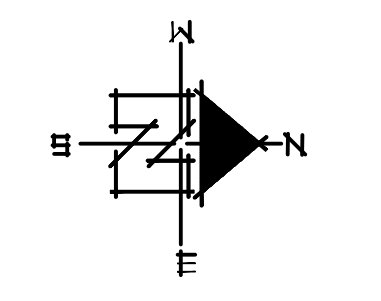
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FIRST FLOOR PLAN



A0.3
OF 14

Khav-Khoeur RESIDENCE 07 18 2016

JUNE 21 2017 PRELIMINARY

PROTECT ALL FOAM EXPOSED TO ATTIC, CHIMNEY, ETC.
PRIMER INSULFOAM R-TECH OR 3HT (ESR-1788)
THERMAL BARRIER AT INSIDE OF ATTIC.
ALL PATIO / PORCHES / PAVED AREAS THAT THE WEEP
SCREED SHALL BE PLACED 4" FROM EARTH AND 2" FROM
PAVED AREAS. (CRC 2013 R703.6.1)

GENERAL KEY NOTES:

- EMERGENCY EGRESSES, ONE SASH IN EA. SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES. EGRESSES WINDOW SHALL HAVE A NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. THE MIN. NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES AND THE MIN. NET OPENABLE WIDTH DIM. SHALL BE 20 INCHES. THE EGRESSES WINDOW SHALL HAVE A FINISHED SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- GLAZING IN ENCLOSURES FOR, OR WALLS FACING, BATH TUBS AND SHOWERS WHERE THE BOTTOM EXPOSED EDGES OF THE GLAZING IS LESS THAN 60" MEASURES VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE (R308.4.5)
- 36"x36" CONC. STOOPT AT GARAGE DOOR. WITH 2% SLOPE AND A STEP NOT MORE THAN 7/32" FROM TOP OF THRESHOLD.
- EXTERIOR HOSE BIBB. PROVIDE WITH NON-REMOVABLE BACKFLOW PREVENTION DEVICE. CPC 603.5.7
- TEMPERED GLAZING. CRC. R308.4
- HOUSEHOLD COOKING APPLIANCES SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOK TOP OF NOT LESS THAN 30" TO COMBUSTIBLE MATERIALS OR METAL CABINETS CMC 916.0917.1/917.2
- GARAGE FLOOR USED FOR THE PARKING OF AUTOMOBILES OR VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO DRAIN OR TOWARD THE MAIN VEHICLES ENTRY DOOR. (R309.1)
- EMERGENCY EXIT IN BEDROOM SHALL PROVIDE A MINIMUM 20" WIDE & 24" HIGH OPENING WITH A MINIMUM OPEN AREA OF 5.7 SQ.FT. (R310.1.1, R310.1.2, R310.1.3)
- EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM EDGE OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FINISH FLOOR. (R310.1.1)
- FELT & MUD BEHIND CERAMIC TILES OF FINISH WALL MATERIALS SUBJECT TO WATER SPLASH ARE CONSTRUCTED OF MATERIALS NOT ADVERSELY AFFECTED BY WATER. WATER RESISTANT GYPSUM BOARD IS NO LONGER PERMITTED TO BE USED IN THIS LOCATION.
- R311.3.1 FLOOR ELEVATION AT REQUIRED EGRESSES DOORS, LANDINGS OR FLOOR AT THE REQUIRED EGRESSES DOORS SHALL NOT BE LESS THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD.
- PROVIDE FIRE SEPARATION BETWEEN GARAGE AND RESIDENC. CRC R302.6
1. WALL BETWEEN GARAGE AND RESIDENCE WITH NOT LESS THAN 1/2" GYPSUM BOARD CONTINUOUS TO ROOF SHEATHING ON THE GARAGE SIDE.
2. NOT LESS THAN 1/2" GYPSUM BOARD ON THE GARAGE CEILING AND ALL SUPPORTING WALLS AND STRUCTURAL FRAMING GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT.
- DOORS BETWEEN THE RESIDENCE AND THE PRIVATE GARAGE SHALL BE SELF-CLOSING AND SELF-LATCHING WHEN BO... GARAGE AND RESIDENCE ARE PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R309.6 & R313. (CRC R302.5.1)
- WATER HEATER 50 GAL. R301.2.2.3.7. SEE DET. 10 / SHT. A... WATER HEATERS REQUIRE 2 SEISMIC STRAPS: 1 LOCATED WITHIN THE TOP 1/3 OF THE WATER HEATER UNIT AND 1 AT THE BOTTOM 1/3. THE BOTTOM STRAP MUST BE LOCATED AT LEAST 4" AWAY FROM THE WATER HEATER CONTROL. (CPC 507.2)
- A/C CONDENSER ON 30" x 30" MIN PRECAST CONCRETE PAD, 3" MINIMUM ABOVE GRADE.
ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x30". CRC 2013 R607.1 CONTRACTOR CAN INCREASE SIZE IF NECESSARY.
- FAU IN ATTIC ABOVE. PROVIDE UNOBSTRUCTED PASSAGEWAY WHICH IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PROVIDE 24" HIGH x 30" WIDE PASSAGEWAY WITH 24" WIDE PLYWOOD FLOORING WITH 30"x30" PLATFORM AT SERVICE SIDE OF THE EQUIPMENT. MAX. 20'-0" FROM ACCESS POINT TO FAU
VERIFY LOCATION W/ MECHANICAL DRAWINGS.
- WALL MOUNTED CABINET ABOVE. 24" DEEP UPPER CABINETS ABOVE REFRIGERATOR.
- DRYER VENT DUCT SHALL BE OF SMOOTH METAL EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER MAXIMUM 14" LENGTH WITH (2) TWO 90 DEGREE ELBOWS UNLESS VENT CALCS PROVIDED PER CMC2013 504.3.1.2. VENT TO OUTSIDE.
PROVIDE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWER AND TUB/SHOWER COMBINATION.

DOOR SCHEDULE:

No.	Type	Width	Height
1	6 Panel / Pair Door	3'-0"	8'-0"
2	Single-Solid Core Door (Exterior)	2'-8"	6'-8"
3	Single Door - 6 Panel	2'-8"	6'-8"
4	Single Door - 6 Panel	2'-6"	6'-8"
5	Single Solid Core Door (Interior)	3'-0"	6'-8"
6	Single - 2 Panel	2'-4"	6'-8"
7	Sliding Closet Door / Pair	2'-0"	6'-8"
8	Garage Roll Up Door	16'-0"	8'-0"
9	Garage Roll Up Door	8'-0"	8'-0"
10	Tempered Glass Shower Door	2'-0"	6'-0"
11	Sliding Glass Door	8'-0"	7'-0"
12	Sliding Pocket Door	2'-6"	6'-8"
13	Sliding Glass Door	6'-0"	7'-0"
14	Arch Opening - See Sht. A0.14 for typical height.		

WINDOW SCHEDULE:

No.	Type	Width	Height
A	Slider / See Elevation	5'-0"	4'-6"
B	Picture Window	5'-0"	4'-0"
C	Slider / See Elevation	6'-0"	4'-6"
D	Picture Window	6'-0"	1'-0"
E	Slider / See Elevation	8'-0"	4'-0"
F	Slider / See Elevation	5'-0"	4'-0"
G	Single Hung	2'-3"	4'-0"
H	Single Hung	2'-0"	3'-6"
I	Slider / Privacy Glass	3'-0"	2'-0"
J	Slider	5'-0"	3'-6"
K	Picture Window	2'-0"	4'-0"
L	Picture Window (See Elevation)	6'-0"	6'-6"
M	Slider	4'-0"	3'-6"

WALL LEGEND:

DESCRIPTION	FRAMING
EXTERIOR INSULATED WALL R 19 BATTS	2x6 @ 24" O.C.
INTERIOR WALL	2x4 @ 16" O.C.
EXTERIOR WALL NON INSULATED	2x4 @ 16" O.C.

ENERGY COMPLIANCE REQUIREMENTS

- REQUIRED INSULATION**
- CEILING INSULATION - R49 BLOW
 - EXTERIOR WALL INSULATION - R19
 - DUCT INSULATION - R8

BUILDING DATA:

ZONING:	RR (RESIDENTIAL RURAL)
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY:	R-3U SINGLE FAMILY RESIDENCE
SPRINKLER SYSTEM:	FULLY AUTOMATIC, NFPA 13D
(FIRST FLOOR)	2,581 SQ. FT.
(SECOND FLOOR)	1,884 SQ. FT.
BUILDING AREA:	4,465.00 SQ. FT.
DWELLING AREA:	4,465.00 SQ. FT.
GARAGE:	921.00 SQ. FT.
COVERED PATIO:	446.00 SQ. FT.
ENTRY PORCH:	112.00 SQ. FT.
BALCONY:	149.00 SQ. FT.
TOTAL FLOOR AREA:	6,084.00 SQ. FT.

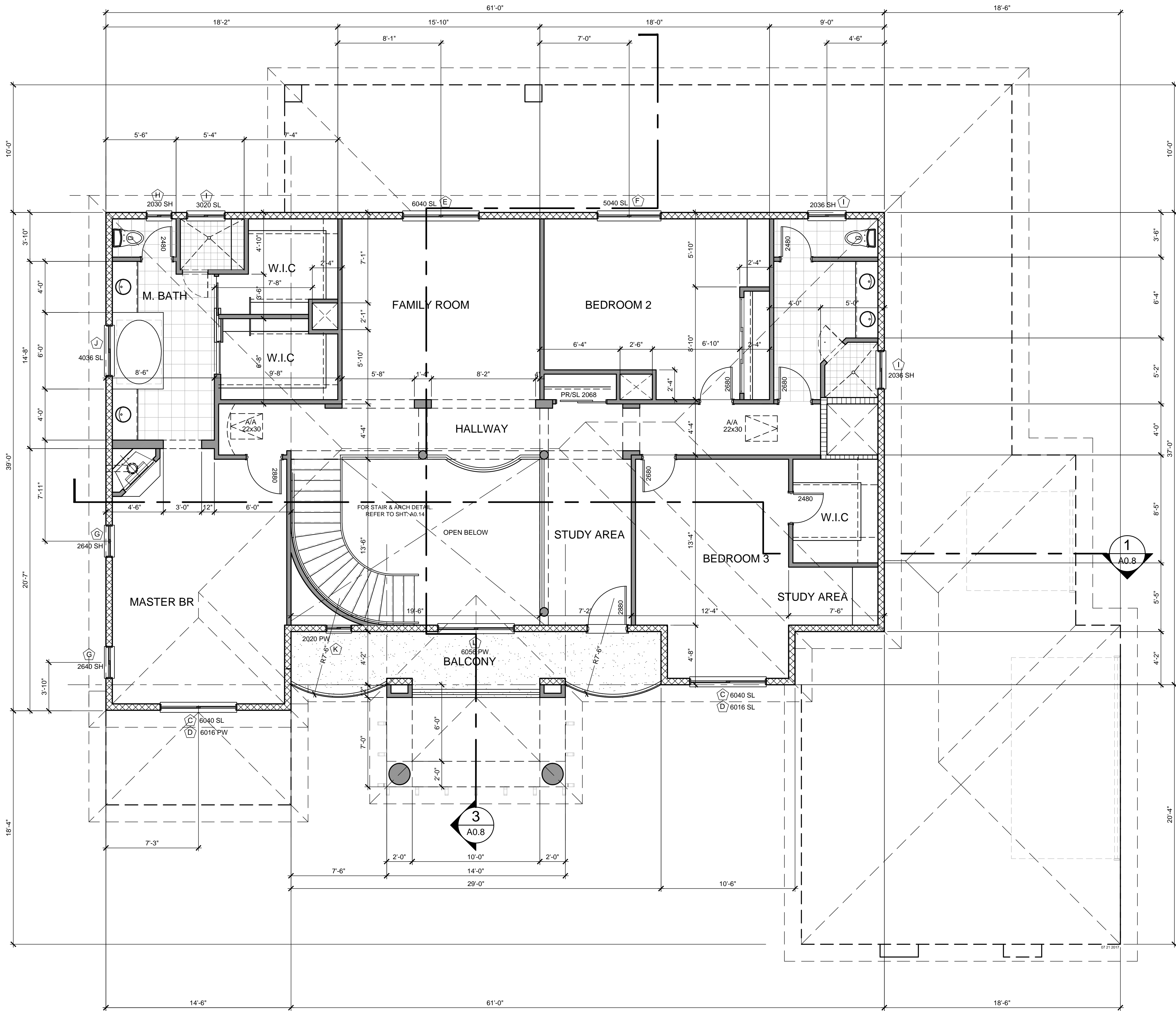
APPLICATION OF SINGLE-PLY GYPSUM WALL BOARD

THICKNESS OF GYPSUM WALL-BOARD (Inch)	PLANE OF FRAMING SURFACE	LONG DIMENSION OF GYPSUM WALL BOARD SHEET IN RELATION TO DIRECTION OF FRAMING MEMBERS	MAXIMUM SPACING OF FRAMING MEMBER (Center to Center) (In Inches)	MAXIMUM SPACING OF FASTENERS ¹ (Center to center) (In Inches)	NAILS ² TO WOOD
1/2"	VERTICAL	EITHER DIRECTION	16	8	16
		PERPENDICULAR	16	7	12
	HORIZONTAL	EITHER DIRECTION	24	7	12
		PERPENDICULAR	24	8	12
5/8"	VERTICAL	EITHER DIRECTION	16	8	16
		PERPENDICULAR	16	7	12
	HORIZONTAL	EITHER DIRECTION	24	7	12
		PERPENDICULAR	24	8	12

NAILS OR SCREW FASTENINGS WITH ADHESIVES (MAXIMUM CENTER TO CENTER IN INCHES)

(COLUMN HEADING AS ABOVE)	EDGES	END	FIELD
1/2" OR 5/8"	HORIZONTAL	EITHER DIRECTION	16 16 16 24
	VERTICAL	PERPENDICULAR	24 16 24 24
	VERTICAL	EITHER DIRECTION	24 16 24 6

AS REQUIRED FOR 1/2" AND 5/8" GYPSUM WALL-BOARD, SEE ABOVE.



CONSULTANTS

Khav-Khoeur RESIDENCE
7175 N.DEWOLF AVE.
CLOVIS, CA 93619

MARK DATE
07 18 2016

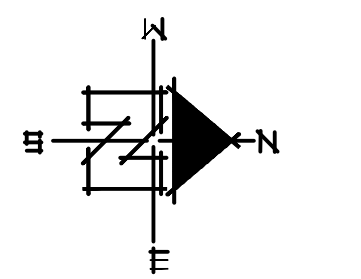
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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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Khav-Khoeur RESIDENCE 07 18 2016

JUL 21 2016 PRELIMINARY

ROOFING:

CLASS "A" FIRE RETARDANT PITCHED CONC. FLAT ROOF TILE, ICC-ES EVALUATION REPORT # ESR-1647 UNDERLAYMENT, TYPE 30 ASPHALT SATURATED FELT, MANUFACTURED TO ASTM D 226, UL OR I.C.C. STANDARD RATED FELT WITH MIN. 2 INCH. HEAD LAP AND 6 INCH. SIDE LAP PER CRC R 905.3 VERIFY WITH ROOFING MANUFACTURER.

TYPICAL STUCCO SIDING:

STUCCO SYSTEM, MIN 3/8" THICK, OVER CORROSION RESISTANT EXPANDED METAL OR WOVEN WIRE LATH, OVER MIN. 2 LAYERS OF GRADE "D" BUILDING PAPER, WITH CORROSION RESISTANT WEEP SCREED AT BASE, PER 2013 CRC R 703.6.

ELEVATION KEYNOTES

1	PROVIDE G.I. SHEET METAL FLASHING AND COUNTER FLASHING AS REQUIRED
2	36"x36" CONCRETE STOOP GARAGE DOOR, SEE FLOOR PLAN
3	THREE AND ONE HALF INCH (3.5") V" TYPE WEEP SCREED ATTACHMENT FLANGE, TYP. SEE 5/44.0
4	PROVIDE 16" OVERHANG UNLESS OTHERWISE NOTED.
5	NOT USED
6	TYPICAL STUCCO WALL SIDINGS
7	GALVANIZED ROOF GUTTER, SEE ROOF PLAN FOR LOCATION
8	2 x 8 WOOD FASCIA
9	STUCCO OVER FOAM TRIM / WINDOW HEAD AND SILL
10	8'-0" HIGH ROLL UP DOOR, SEE SCHEDULE OF DOOR FOR SIZE.
11	PITCHED CONC. FLAT ROOF TILES, SEE ROOF PLAN FOR DETAIL AND NOTES.
12	ACCENT DECOR. WROUGHT IRON RECESS.
13	EXTERIOR COUCH LIGHT, / FLOOD LIGHT (VERIFY OWNER FOR LOCATION.)
14	DOOR / WINDOW, SEE SCHEDULE
15	LIGHT ADDRESS NUMBER CRC2013 R319.1
16	DECORATIVE WROUGHT IRON RAILING
17	DECORATIVE ROUND COLUMN / VERIFY BUILDER FOR TYPE & SPECIFICATION
18	DECOR. FOAM CORBEL

ELEVATION NOTES

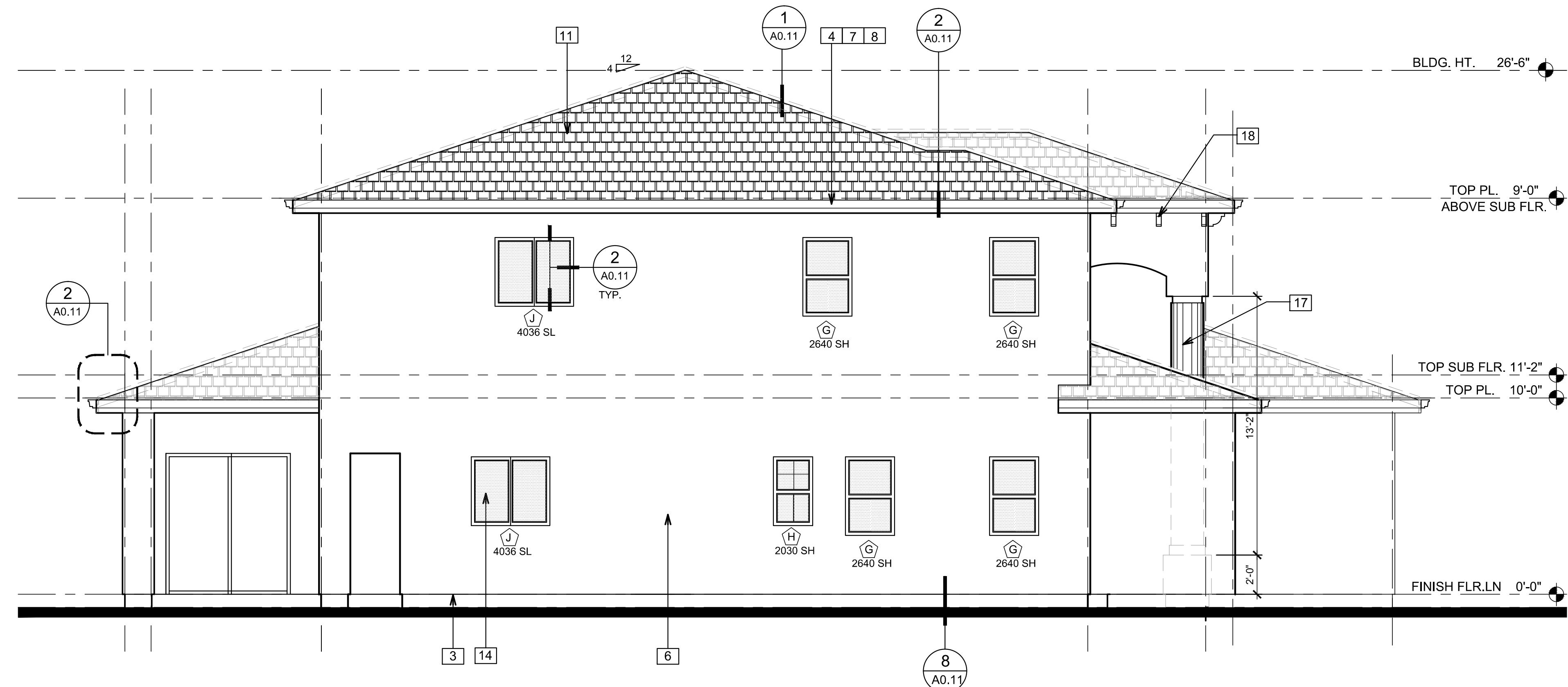
SURFACE WATER WILL BE DRAINED AWAY FROM THE BUILDING FOR AT LEAST THE FIRST 10 FEET WITH A MINIMUM GRADE OF 6". WHERE THIS REQUIREMENT CANNOT BE MET AND ALTERNATIVE METHOD WILL BE REQUIRED, PER 2013 CRC R401.3.
EXTERIOR SOFFIT: TWO COAT STUCCO SYSTEM OVER HIGH-RIB METAL LATH, PER 2013 CRC R703.6.

WINDOW SCHEDULE:

No.	Type	Width	Height
A	Slider / See Elevation	5' - 0"	4' - 6"
B	Picture Window	5' - 0"	1' - 0"
C	Slider / See Elevation	6' - 0"	4' - 6"
D	Picture Window	6' - 0"	1' - 0"
E	Slider / See Elevation	6' - 0"	4' - 0"
F	Slider / See Elevation	5' - 0"	4' - 0"
G	Single Hung	2' - 6"	4' - 0"
H	Single Hung	2' - 0"	3' - 6"
I	Slider / Privacy Glass	3' - 0"	2' - 0"
J	Slider	4' - 0"	3' - 6"
K	Picture Window	2' - 0"	2' - 0"
L	Picture Window (See Elevation)	6' - 0"	5' - 6"

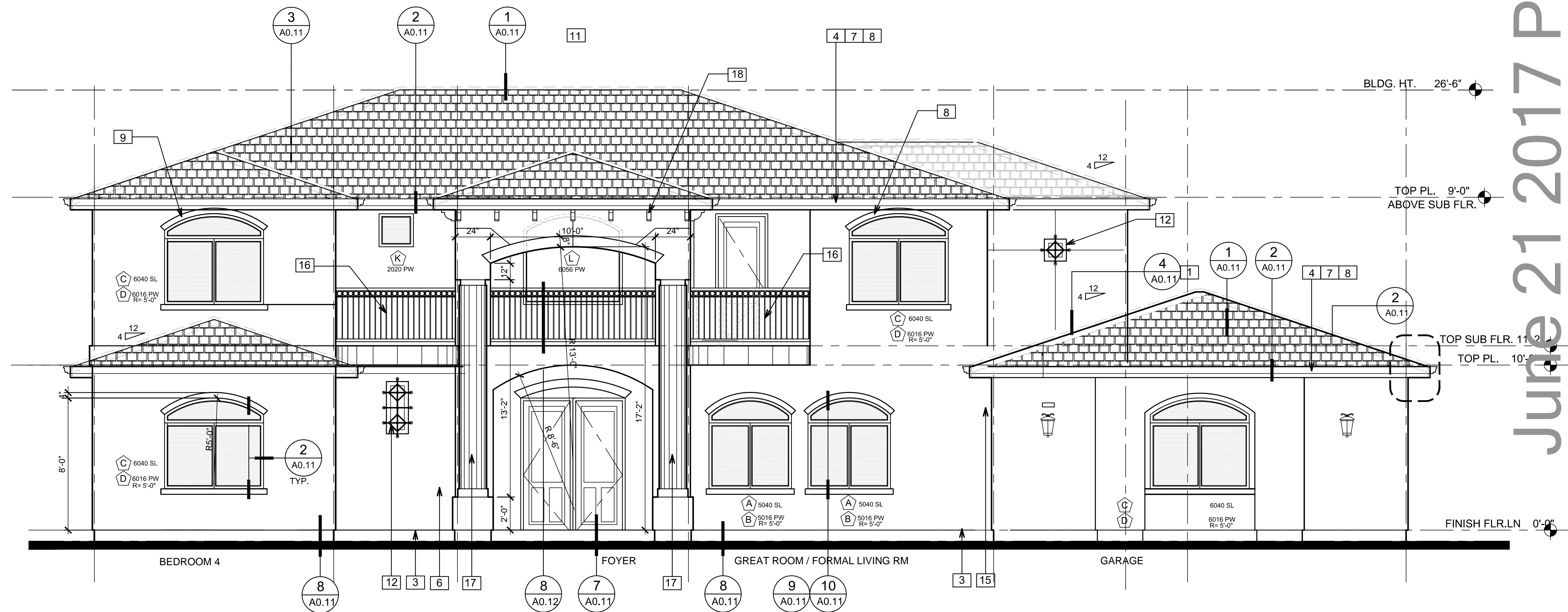
NOTE: ALL TEMPERED GLASS LOCATION ARE NOTED ON THE FLOOR PLAN. SEE SHEET A.02
WINDOW GRID MUST BE APPROVED BY THE BUILDER

PROTECT ALL FOAM EXPOSED TO ATTIC, CHIMNEY, ETC. PRIMER INSULFOAM R-TECH OR 3HT (ESR-1788) THERMAL BARRIER AT INSIDE OF ATTIC.



SOUTH SIDE ELEVATION

SCALE: 3/16" = 1' - 0"



EAST ELEVATION

SCALE: 3/16" = 1' - 0"

June 21 2017 PRELIMINARY SET

CONSULTANT

Khav-Khoe
RESIDENCE

7175 N.DEWOLF
CLOVIS, CA 93305

MARK DATE

07 18 2016

PROJECT NO:

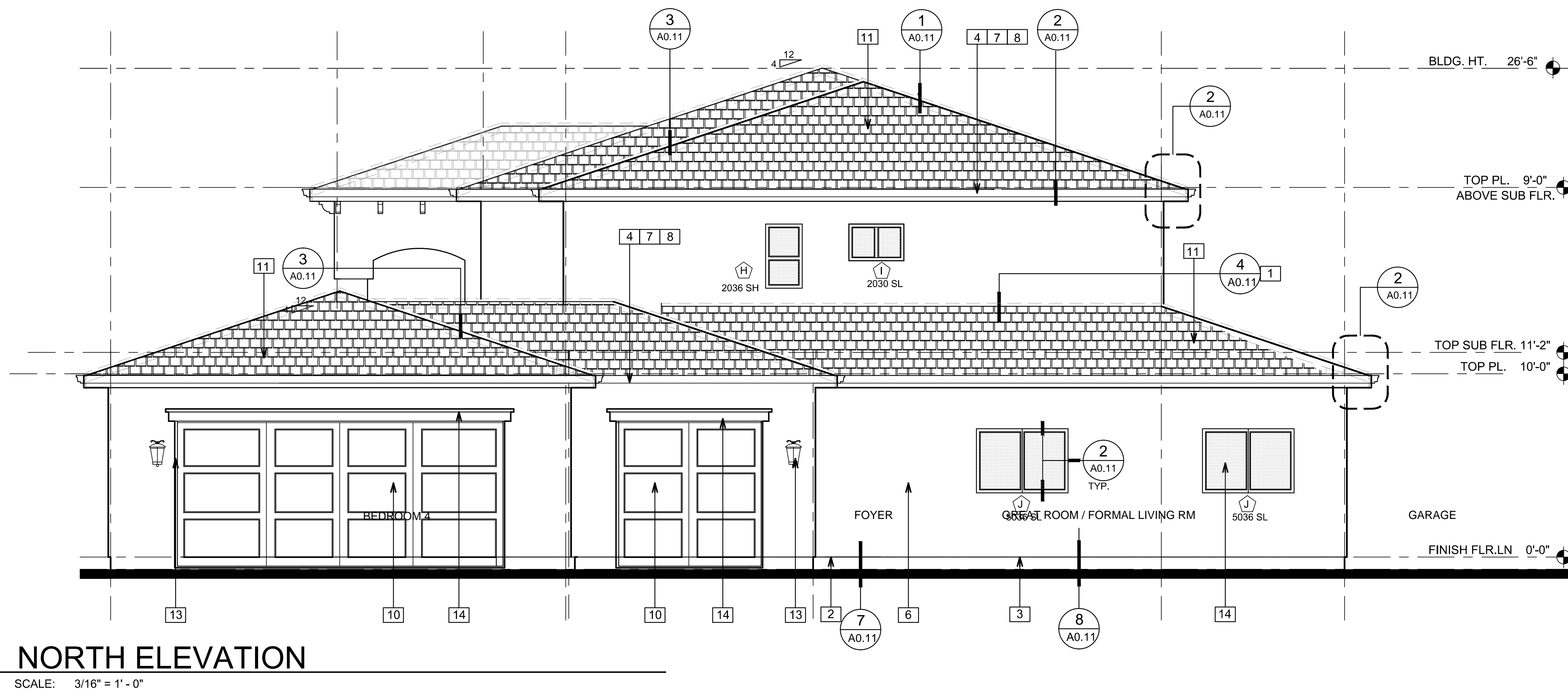
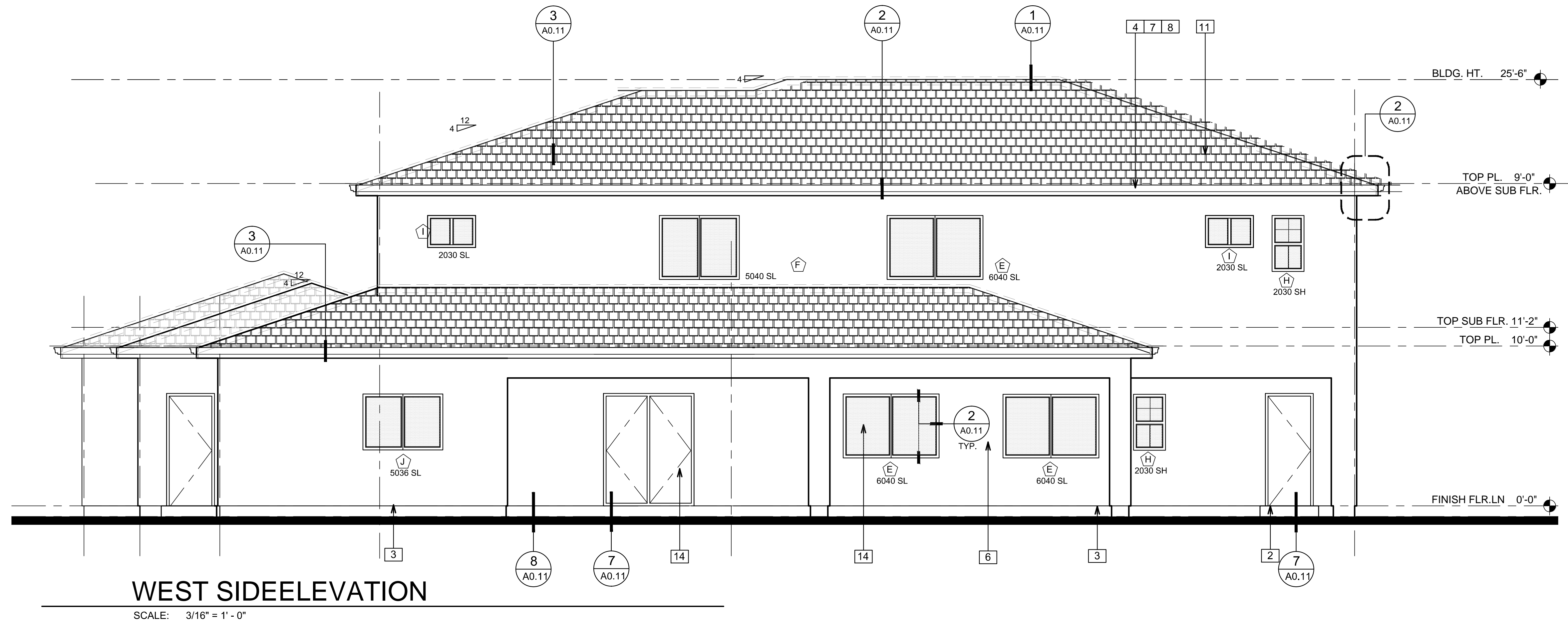
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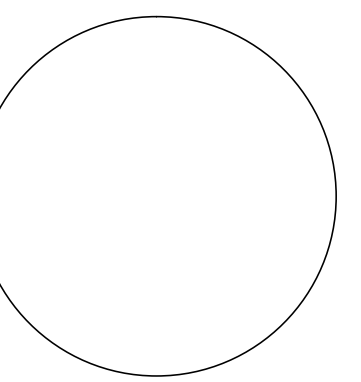
ELEVATION

A0.6
OF 14



June 21 2017 PRELIMINARY SET

CONSULTANTS



Khav-Khoeur RESIDENCE
7175 N. DEWOLF AVE.
CLOVIS, CA 93619

MARK	DATE
	07 18 2016

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ELEVATION

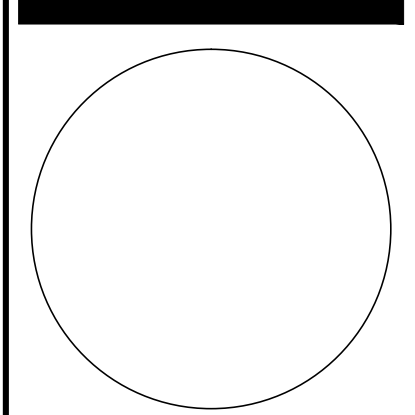
A0.6
OF 14

Khav-Khoeur RESIDENCEX 07 18 2016

GENERAL SECTION KEYNOTES

1	ROOFING ASSEMBLY AS PER EXTERIOR ELEVATION
2	PREFAB TRUSSES. SEE ROOF FRAMING PLAN
3	R-49 BLOWN INSULATION, TYP. @ CEILING
4	TYPICAL STUCCO SIDING
5	2X 4 WOOD BLOCKING DF#4
6	DBL. 2X WOOD TOP PLATE DF#2
7	2x4 STUDS INTERIOR WALL / 2 x 6 EXTERIOR WALL
8	DECORATIVE FOAM MOULDING. VERIFY OWNER / BUILDER FOR DESIGN.
9	2 x4 WOOD DF#2 RAFTERS
10	R-19 BATTS INSULATION
11	NOT USED
12	1" OVERHANG WITH 2X 6 FACIA
13	3 1/2" CONC. SLAB ON GRADE

CONSULTANTS



June 21 2017 PRELIMINARY SET

Khav-Khoeur RESIDENCE
7175 N. DEWOLF AVE.
CLOVIS, CA 93619

MARK DATE
07 18 2016

PROJECT NO:

DRAWN BY:

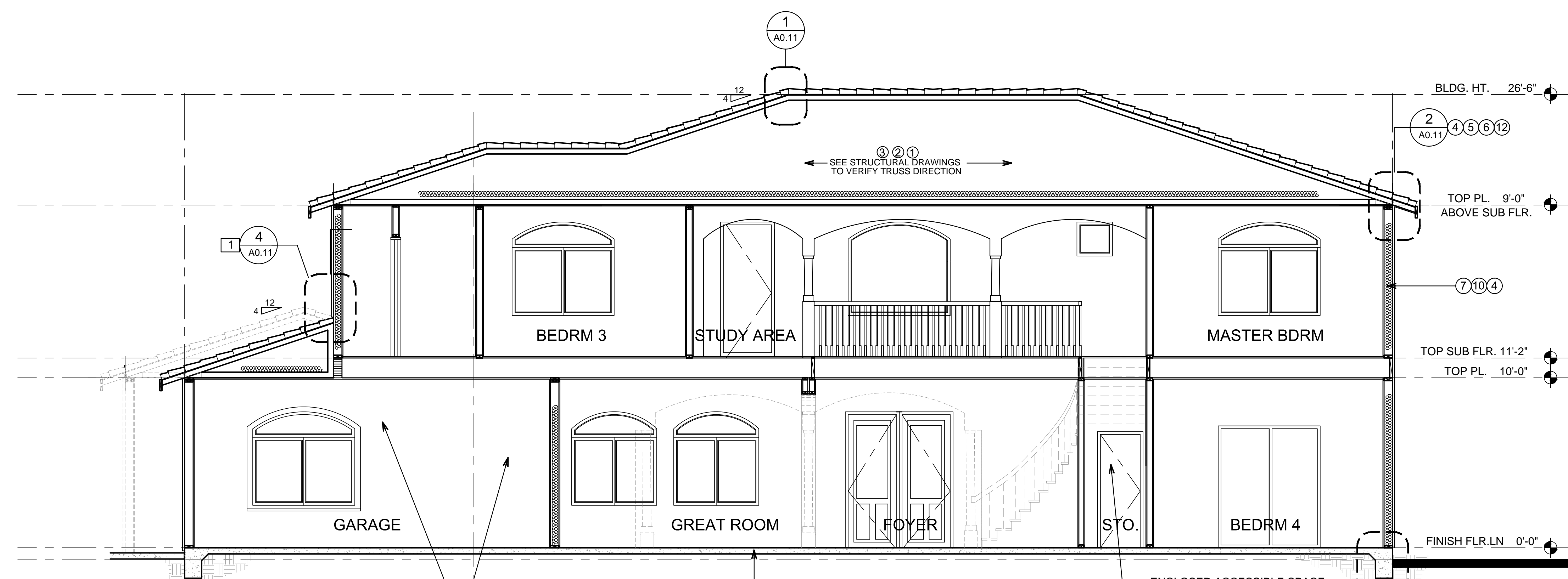
COPYRIGHT

SHEET TITLE

SECTION

A0.8
OF 14

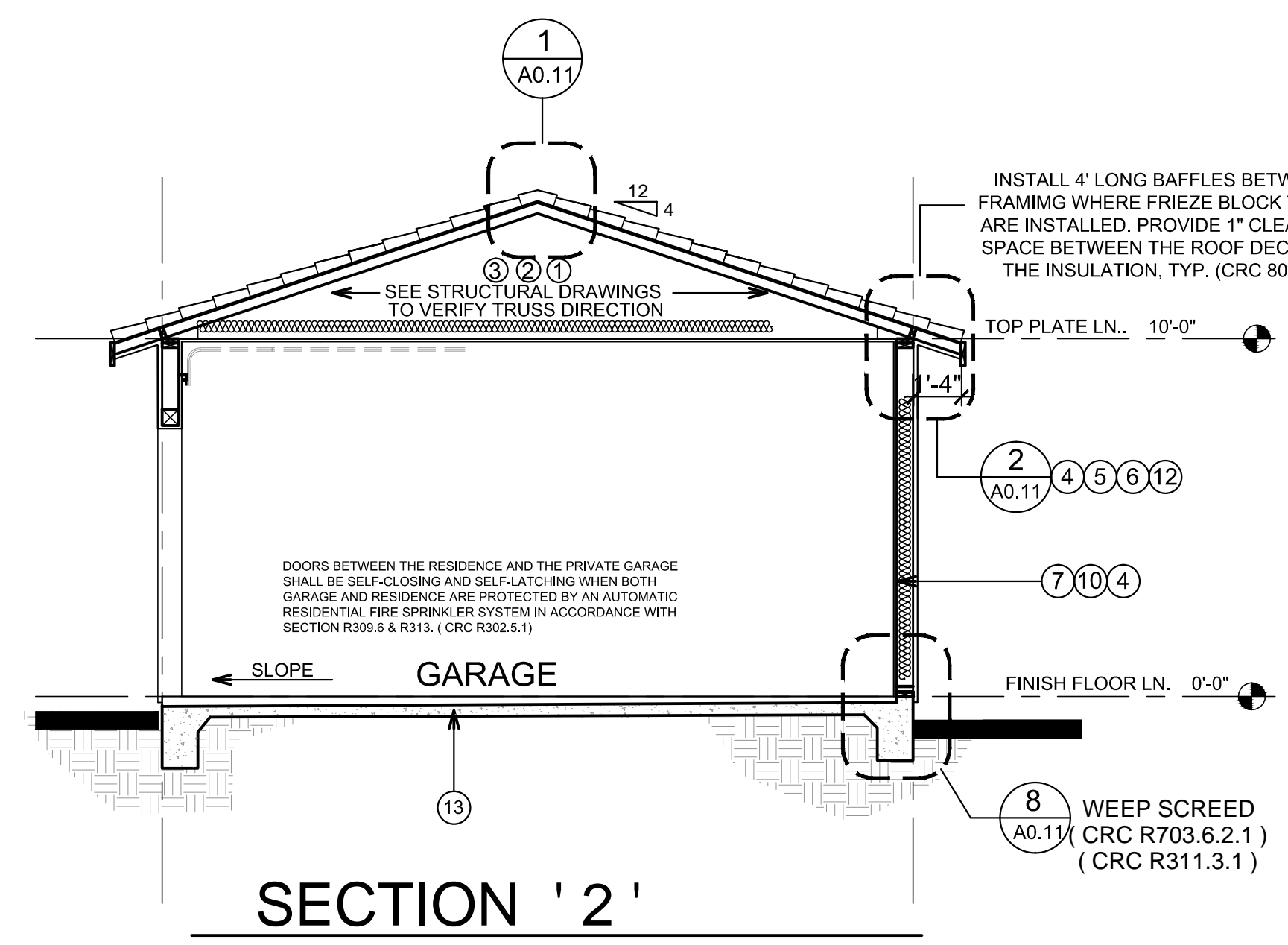
Khav-Khoeur RESIDENCEX 07 18 2016



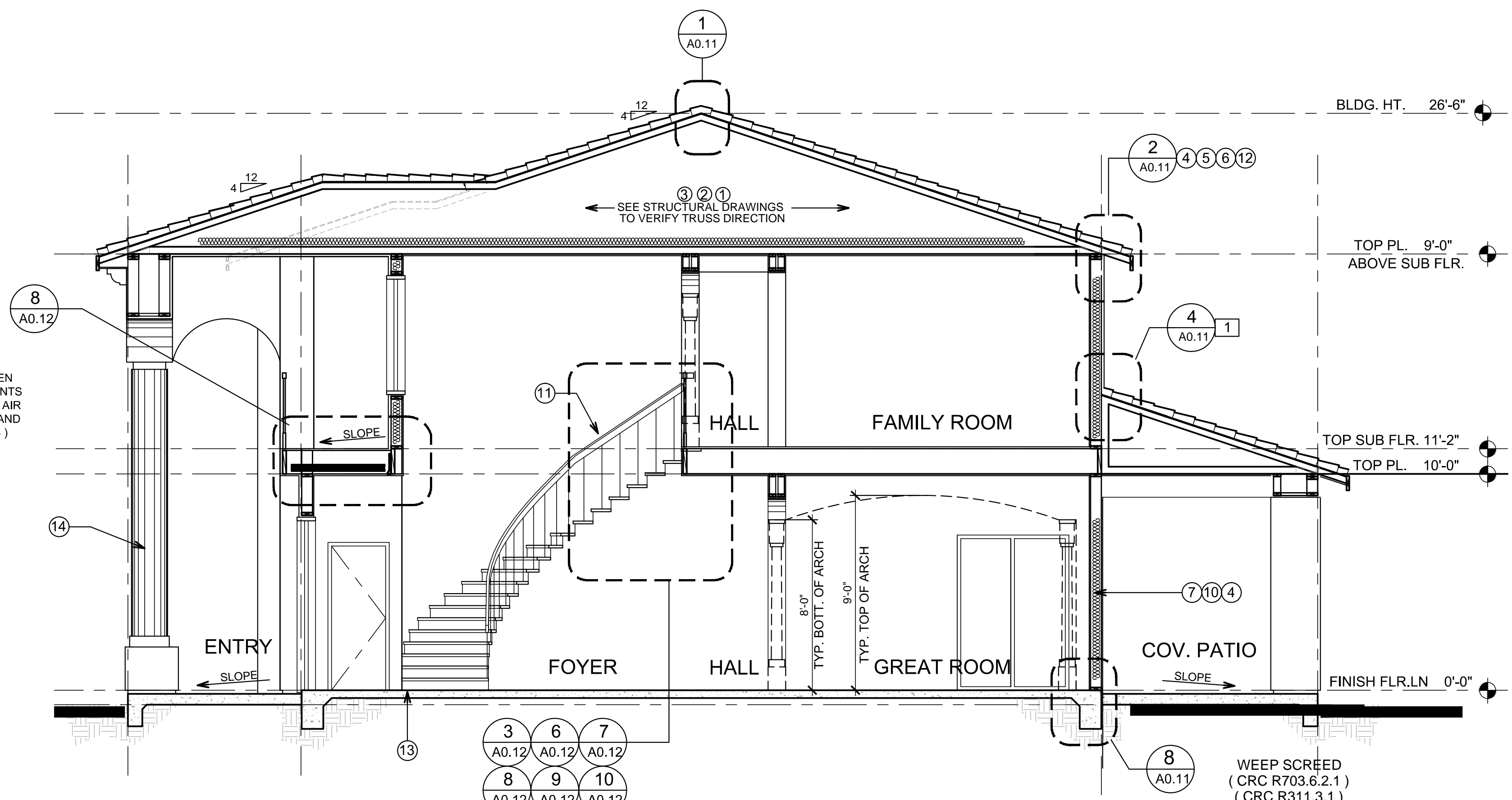
PROVIDE FIRE SEPARATION BETWEEN GARAGE AND RESIDENC. CRC R302.6
1. WALL BETWEEN GARAGE AND RESIDENCE WITH NOT LESS THAN 1/2" GYPSUM BOARD CONTINUOUS TO ROOF SHEATHING ON THE GARAGE SIDE.
2. NOT LESS THAN 1/2" GYPSUM BOARD ON THE GARAGE CEILING, AND ALL SUPPORTING WALLS AND STRUCTURAL FRAMING. GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT.

SECTION '1'
SCALE: 3/16" = 1' - 0"

ENCLOSED ACCESSIBLE SPACE UNDER STAIR SHALL HAVE WALL, UNDER STAIR SURFACE AND ANY SOFFIT PROTECTED ON THE ENCLOSED SIDE W/ 1/2" GYPSUM BOARD. (CRC R302.7)
8 WEEP SCREED (CRC R703.6.2.1) (CRC R311.3.1)



SECTION '2'
SCALE: 3/16" = 1' - 0"



SECTION '3'
SCALE: 3/16" = 1' - 0"

Date: August 14, 2017

To: County of Fresno -Department of Public Works and Planning
Development Services Division
2220 Tulare Street, 6th Floor, Fresno, CA 93721

Regarding Notice of Application
Director Review and Approval Application # 4512
Property Location: 7175 N. De Wolf Ave., Clovis, CA 93619
APN: 565-043-21

Attention: Marianne Mollring, Senior Planner

This letter is in response to your notice for Director Review of the applicant wishing to build a 4,465 sq. ft. conventional home in addition to an existing approximately 2,000 sq. ft. home on 2.63 acre parcel in an AL-20 (Limited agricultural district). As home owners living in this neighborhood we are opposing this application based on the following points regarding the Findings Necessary for the granting of Director Review and Approval:

EXHIBIT 6

This parcel is currently set up to meet the AL-20 requirements, with 1 single family home, multiple out buildings, well and septic system. To add an additional, very large, residence, would require at least another septic system, well etc. in an area where we have already experienced water shortages for our home water and land usage.

Some of us have had considerable expense in drilling deeper existing wells, or new wells for adequate home usage. Some neighbors were even hauling water in. Any new or additional septic systems to the 7175 N. De Wolf property would also need to meet the appropriate requirements with consideration for the flood zone. (Please see section on Flood Zone A below).

Allowing this home to be built would start a precedence and could change our current land usage and zoning.

- We also believe a major consideration, not listed under your review findings, is that this property is located in Flood Zone A (see attached FEMA Map # 06019C158H).

EXHIBIT 6

RECEIVED
AUG 17 2017

FRESNO COUNTY
DEPT. OF
PUBLIC WORKS & PLANNING

Adjacent neighbors can verify that the previous owner of the 7175 N. De Wolf property put fill dirt in the lower portion of the property that has altered the natural flow of this water. During our rainy season, like last winter, this alteration caused the water to flood into the two properties to the south and also covered the road on both De Wolf and Locust. This flooding also affected the bus stop area for our neighborhood children. In fact in 1994, one these neighbor's home was flooded.

The County, to our knowledge, did not approve this fill dirt to added and change the natural flow of water. It has caused considerable problems for these neighbors and our neighborhood.

This brings up the question - is there adequate area to put in a large home, well and additional septic system that is not in the flooding area or cause more fill dirt to be added and cause more collateral neighbor damage?

The new owner purchased this home with the knowledge that a portion is in the flood zone. If they wished to have property with two homes etc. then possibly they should not have bought a zoned AL-20 property in a known flood zone.

- Again, we believe the proposed use is detrimental to the character of our immediate neighborhood. Being AL-20, most of us have animals, orchards, etc., consistent with the zoning and enjoy our way of life. By allowing a 2nd. extremely large home to be built, in addition to the current home and existing outbuildings, is certainly changing the character of this property from being agricultural and thus changes the neighborhood we have enjoyed. We know that the applicant would have to live in one of the homes but then the other could be rented, again adding to a change in the neighborhood usage.

We, respectfully ask the County of Fresno to deny this application.

If the County decides to consider the application further, we recommend an appropriate study be done by the Metropolitan Flood District in regards to the environmental impact of the Flood Zone A and usage of this property, alternation of the natural water drainage, as well as its impact on the other neighbors. This study/report, should not be paid for by the neighbors but by the applicant or the County. Other potential environmental reports/studies, such as the water tables etc. the County may feel should be done, should be completed and reviewed by the County and neighbors prior to the approval of this application.

Thank you for your consideration of our concerns.

Sincerely,

Elizabeth Eva

Elizabeth Eva

7135 N. De Wolf Ave., Clovis, CA

Phone: 559 281-0782

Ron Ataide

Ronald Ataide

7071 N. De Wolf Ave., Clovis, CA

Phone 559-299-6457

David Pineda

David Pineda

7255 N. De Wolf Ave, Clovis, CA

Phone: 559 325-9089

Claudia Robinson

Claudia Robinson

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Phone: 559 260-4099

John & Susan Brown

John & Susan Brown

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Phone: 559) 575-9014

Kileen Alvidrez

Kileen & Shane Alvidrez

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559-512-9242

^{A10}
Ingrid & Timothy Oneal

Ingrid & Timothy Oneal

7345 N. De Wolf, Clovis, CA

Phone: 559-246-7388

Joan Wilhite

Joan Wilhite

7509 E. Alluvial Ave. Clovis, CA

Phone:

Alice Marie Arnett Heinz

Name: Alice Marie Arnett Heinz

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Name:

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