



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## Planning Commission Staff Report Agenda Item No. 2 February 15, 2018

**SUBJECT:** Initial Study Application No. 7328 and Classified Conditional Use Permit Application No. 3583

Allow the addition of classrooms and a gymnasium to an existing church facility on a 6.99-acre parcel in the R-1-B (Single-Family Residential, 12,500 minimum parcel size) Zone District.

**LOCATION:** The project site is located on southwest corner of E. Gettysburg and N. Palm Avenues within a County island in the City of Fresno (4545 N. Palm Avenue, Fresno, CA) (SUP. DIST. 2) (APN 426-020-09).

**OWNER:** The Well Community Church  
**APPLICANT:** Brad Bell/Bob Koury

**STAFF CONTACT:** Ejaz Ahmad, Planner  
(559) 600-4204  
Marianne Mollring, Senior Planner  
(559) 600-4569

### RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for Initial Study (IS) Application No. 7328; and
- Approve Classified Conditional Use Permit (CUP) No. 3583 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

**EXHIBITS:**

1. Mitigation Monitoring, Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plan/Elevations
6. Project Description and Operational Statement
7. Summary of Initial Study Application No. 7328
8. Draft Mitigated Negative Declaration

**SITE DEVELOPMENT AND OPERATIONAL INFORMATION:**

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
General Plan Designation	Low-Density Residential in Fig Garden Neighborhood Plan	No change
Zoning	R-1-B (Single-Family Residential, 12,500 minimum parcel size)	No change
Parcel Size	6.99 acres	No change
Project Site	<p>A church facility comprised of:</p> <ul style="list-style-type: none"> <li>• 7,414 square-foot worship center</li> <li>• 6,775 square-foot fellowship hall</li> <li>• 4,580 square-foot office building</li> <li>• 4,060 square-foot classroom building</li> <li>• 1,247 square-foot storage building</li> <li>• 640 square-foot shed</li> <li>• 112 paved parking</li> <li>• Outdoor plaza</li> <li>• Six-foot-tall perimeter fencing</li> </ul>	<p>Allow expansion to the existing church:</p> <p>Phase 1</p> <ul style="list-style-type: none"> <li>• 3,093 square-foot addition to the office building</li> <li>• 3,085 square-foot addition to the classroom building</li> <li>• Two 1,440 square-foot commercial coach trailers for use as classrooms</li> <li>• 720 square-foot commercial coach trailer for use as restroom</li> <li>• 20 parking spaces</li> </ul> <p>Phase 2</p> <ul style="list-style-type: none"> <li>• 7,000 square-foot gymnasium</li> </ul>

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
Structural Improvements	<ul style="list-style-type: none"> <li>• 7,414 square-foot worship center</li> <li>• 6,775 square-foot fellowship hall</li> <li>• 4,580 square-foot office</li> <li>• 4,060 square-foot classroom</li> <li>• 1,247 square-foot storage building</li> <li>• 640 square-foot shed</li> </ul>	<ul style="list-style-type: none"> <li>• See “Project Site”</li> </ul>
Nearest Residence	25 feet to the south	No change
Surrounding Development	Single-family residences, middle school	No change
Operational Features	See “Project Site”	<ul style="list-style-type: none"> <li>• The project will add a foyer to the existing office and classroom building and convert the central courtyard of each building into a workable space provided with a new roof</li> <li>• Phase 1 improvement (classrooms/restrooms) is temporary and will be replaced with Phase 2 permanent improvement (gymnasium)</li> <li>• Classrooms will serve as the Sunday school classrooms during one-hour Sunday services starting at 8:30 a.m., 10:00 a.m. and 11:30 a.m.</li> <li>• Gymnasium will be used for playing dodgeball, basketball and volleyball in support of the youth and adult programs</li> </ul>
Employees	Eight	No change
Visitors	600 adults and 250 children roughly divided equally between three Sunday services	No change
Traffic Trips	228 one-way traffic trips (114 round trips) by church visitors (parents with children) for each of the three one-hour-long Sunday	No change

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
	worship services (8:30 a.m., 10:00 a.m. and 11:30 a.m).	
Lighting	Outdoor lighting	No change
Hours of Operation	Three Sunday services at 8:30 a.m., 10:00 a.m. and 11:30 a.m.	No change. The classrooms would serve the children of the families attending Sunday services

**EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N**

**ENVIRONMENTAL ANALYSIS:**

An Initial Study (IS) was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the IS, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the Initial Study is below and included as Exhibit 7.

Notice of Intent to Adopt a Mitigated Negative Declaration publication date: January 12, 2018

**PUBLIC NOTICE:**

Notices were sent to 106 property owners within 600 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

**PROCEDURAL CONSIDERATIONS:**

A Classified Conditional Use Permit (CUP) may be approved only if four Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on a Classified CUP Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

**BACKGROUND INFORMATION:**

On January 18, 1966, the County Board of Supervisors approved Conditional Use Permit No. 665, which allowed the establishment of the existing church and related facilities at the subject property. Since that time, the County has issued numerous building permits between 1979 and 2010 to allow the maintenance/remodeling of various buildings and structures on the property.

The current application proposes to allow additional classrooms and a gymnasium to augment church services. The classrooms will provide additional space to serve the children of the families attending Sunday services with no increase to the number of families and children attending the services. The new gymnasium will provide a facility for playing dodgeball, basketball and volleyball in support of the youth and adult programs.

Phase 1 of the subject proposal includes addition of a 3,093 square-foot space to the existing office building, 3,085 square-foot space to the existing classroom building, two commercial

coach trailers for use as classrooms, each 1,440 square feet in size, one 720 square-foot commercial coach trailer for use as restrooms, and 20 new parking stalls. In Phase 2 of the project, a 7,000 square-foot gymnasium will be constructed to replace the classrooms/restroom trailers. With no other improvements proposed, all existing improvements on the property will remain intact and continue to be utilized for church operations.

***Finding 1:*** *That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood*

	<b>Current Standard:</b>	<b>Proposed Operation:</b>	<b>Is Standard Met (y/n)</b>
Setbacks	Front: 35 feet Street Side: 35 feet Side: 10 feet Rear 20 feet	Front (east property line): 166.7 feet Street Side (north property line): 498.2 feet Side (south property line): 131.8 feet Rear (west property line): 99.5 feet	Yes
Parking	<ul style="list-style-type: none"> <li>• One parking stall for every 40 square feet of area within the main auditorium or meeting hall</li> <li>• One parking stall for each 225 square feet of gross floor area of the office</li> </ul>	132 parking spaces (124 required)	Yes
Lot Coverage	Maximum 35 percent lot coverage by buildings and structures	12.44 percent lot coverage (total) by buildings and structures	Yes
Separation Between Buildings	Minimum six-foot between a main building and an accessory building	12-foot between the proposed gymnasium and the existing classroom building	Yes
Wall Requirements	<ul style="list-style-type: none"> <li>• Maximum six feet high on or within all rear and side property lines</li> <li>• Maximum 3 feet high in the required front yard, or in the required side yard on the street side of a reversed corner lot</li> </ul>	No change	N/A

	<b>Current Standard:</b>	<b>Proposed Operation:</b>	<b>Is Standard Met (y/n)</b>
Septic Replacement Area	100 percent of the existing system	N/A. The property is connected to the City of Fresno public sewer system	N/A
Water Well Separation	Septic tank: 50 feet; Disposal field: 100 feet; Seepage pit: 150 feet	N/A. The property is connected to the City of Fresno public water system	N/A

**Reviewing Agency/Department Comments Regarding Site Adequacy:**

Zoning Section of the Fresno County Department of Public Works and Planning: No concerns with the proposal except that a Site Plan Review should be required to ensure compliance with development standards. This requirement has been included as a Condition of Approval.

No other comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

**Analysis:**

Staff review of the Site Plan demonstrates that the project site can accommodate the proposed church expansion that involves additions to an existing office and classroom buildings, commercial coach trailers for use as classrooms and restrooms, parking, and a gymnasium. The proposed improvements will be located approximately 166.7 feet from the easterly property line (35 feet required), 498.2 feet from the northerly property line (35 feet required); 131.8 feet from the southerly property line (10 feet required); and 99.5 feet from the westerly property line (20 feet required), and meet the minimum building setback requirements of the R-1-B Zone District.

In regard to off-street parking, the Zoning Ordinance requires one parking stall for every 40 square feet of area within the main auditorium or meeting hall and one parking stall for each 225 square feet of gross floor area of the office. Additionally, the California Building Code requires one parking space for the physically handicapped per every 25 parking spaces. According to the Site Plan Review Section of the Fresno County Department of Public Works and Planning, there are 132 on-site parking spaces (including six ADA stalls) sufficient to meet the parking needs of the project.

Based on the above information and with adherence to the Condition of Approval relating to Site Plan Review, staff believes the project site is adequate in size and shape to accommodate the proposal.

**Recommended Conditions of Approval:**

*None.*

**Conclusion:**

Finding 1 can be made.

*Finding 2:* *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use*

		<b>Existing Conditions</b>	<b>Proposed Operation</b>
Private Road	No	Palm Avenue Gettysburg Avenue	N/A
Public Road Frontage	Yes	Palm Avenue, excellent condition Gettysburg Avenue; fair condition	No change
Direct Access to Public Road	Yes	Palm Avenue Gettysburg Avenue	No change
Road ADT (Average Daily Traffic)		15,500 (Palm Avenue) 4600 (Gettysburg Avenue)	No change
Road Classification		Arterial (Palm Avenue) Collector (Gettysburg Avenue)	No change
Road Width		80 feet of right-of-way (Palm Avenue) 60 feet of right-of-way (Gettysburg Avenue)	No additional right-of-way required
Road Surface		Asphalt-concrete (Palm Avenue); pavement width 60.5 feet  Asphalt-concrete (Gettysburg Avenue); pavement width 36 feet	No change
Traffic Trips		228 one-way traffic trips (114 round trips) by church visitors (parents with children) for each of the three one-hour long Sunday worship services at 8:30 a.m., 10:00 a.m. and 11:30 a.m.	No change
Traffic Impact Study (TIS) Prepared		No TIS for the existing church facility	No TIS required by Design Division of the Fresno County Department of Public Works and Planning
Road Improvements Required		Palm Avenue (Excellent Condition) Gettysburg Avenue (Fair Condition)	Not required

**Reviewing Agency/Department Comments:**

Road Maintenance and Operations (RMO) Division of the Fresno County Department of Public Works and Planning: The Applicant shall irrevocably offer a 20-foot by 20-foot corner cutoff to facilitate ADA-compliant ramps at the corner of the Palm and Gettysburg Avenues intersection. Access to the site shall be limited to three existing driveways off Palm and Gettysburg Avenues. These requirements have been included as Conditions of Approval.

Development Engineering Section of the Fresno County Department of Public Works and Planning: Any work done within the County right-of-way to improve existing driveways shall require an encroachment permit from the Road Maintenance and Operations Division. This has been included as a Project Note.

Design Division of the Fresno County Department of Public Works and Planning: No concerns with the proposal.

**Analysis:**

The project site gains access from Palm and Gettysburg Avenues. Palm Avenue is a County-maintained road with an Average Daily Traffic (ADT) of 15,500 with pavement width of 60.5 feet. Gettysburg Avenue is a County-maintained road with an Average Daily Traffic (ADT) of 4,600 with pavement width of 36 feet. Both streets meet County and City of Fresno right-of-way requirements and have been improved with curb and gutter, and sidewalk. No changes to the current site access are proposed.

Based on the above discussion, and with adherence to the Condition of Approval and Project Note, staff believes Palm and Gettysburg Avenues will remain adequate in width and condition to accommodate the traffic generated by the proposal.

**Recommended Conditions of Approval:**

*See Conditions of Approval attached as Exhibit 1.*

**Conclusion:**

Finding 2 can be made.

*Finding 3: That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof*

<b>Surrounding Parcels</b>				
	Size:	Use:	Zoning:	Nearest Residence:
North	9,546 Square feet	Single-Family Residences	R-1-B	63 feet
South	1.45 acres	Single-Family Residence	R-1-B	25 feet
East	36,000 Square Feet	Single-Family Residences	R-1-B	130 feet
West	17.23 acres	Middle school	AL-20	None



## **Reviewing Agency/Department Comments:**

Fresno Irrigation District (FID): FID's Enterprise-Holland Colony No. 122 Canal runs northerly along the west side of the subject property and crosses Gettysburg Avenue. Plans for any improvements along the west side of the property or any street and/or utility improvements along Gettysburg Avenue or near the canal shall require FID's approval. This requirement has been included as a Condition of Approval.

Development Engineering Section of the Fresno County Department of Public Works and Planning: An Engineered Grading and Drainage Plan may be required to show how additional storm water runoff generated by the proposal will be handled without adversely impacting adjacent properties. A Grading Permit or Voucher shall be required for any site grading proposed by this application.

Central Valley Regional Water Quality Control Board: The project proponent shall obtain permit coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity (Construction General Permit).

Fresno Metropolitan Flood Control District (FMFCD): FMFCD shall review and approve any drainage and grading plan for the project prior to its approval by the County.

Fresno Fire Department (FFD), Prevention and Technical Services Division: The approved Site Plan shall require FFD approval prior to the issuance of building permits by the County.

San Joaquin Valley Air Pollution Control District (Air District): The Applicant shall contact the Air District's Small Business Assistance Office to identify District rules or regulations that apply to the project or to obtain information about District permit requirements.

Building and Safety Section of the Fresno County Department of Public Works and Planning: Plans, permits and inspections shall be required for all on-site construction improvements.

Site Plan Review Section of the Fresno County Department of Public Works and Planning: Should the proposed gymnasium to be used simultaneously with the church services, additional parking stalls shall be required. All parking spaces for the physically disabled shall be placed adjacent to facility access ramps or in strategic areas where the disabled shall not have to travel behind parking spaces other than to pass behind the parking space in which they parked.

The aforementioned requirements have been included as Project Notes.

Dumna Wo Wah Tribal Government: The Tribe was offered the opportunity to consult under Public Resources Code (PRC) Section 21080.3 (b) with a 30-day window to formally respond to the County letter. However, the Tribe did not request a consultation within 30-day period. (see the following Analysis).

State Water Resources Control Board, Division of Drinking Water; Design and Water and Natural Resources Divisions of the Fresno County Department of Public Works and Planning; City of Fresno Utilities Department; Fresno County Department of Public Health, Environmental Health Division; Table Mountain Rancheria, Tribal Government Office; Picayune Rancheria of the Chukchansi Indians; and Santa Rosa Rancheria Tachi Yokut Tribe: No concerns with the proposal.

**Analysis:**

The project site is located in a fully-developed residential neighborhood and surrounded by single-family homes to the north, south and east and a middle school to the west.

This proposal entails expansion of an existing church. Phase 1 of the proposal would allow two 1,440 square-foot commercial coach trailers for use as temporary classrooms, one 720 square-foot commercial coach trailer for use as restrooms, and 20 new parking spaces. Phase 2 of the proposal would allow replacement of the classrooms and restrooms by a 7,000 square-foot gymnasium. The proposal would also add a 3,093 square-foot space to the existing 4,580 square-foot office building and a 3,085 square-foot space to the existing 4,060 square-foot office building. The addition includes new foyers to the buildings and roofs over the building's open courtyard.

The Initial Study prepared for this project identified potential impacts related to aesthetics. Regarding aesthetics, a mitigation measure would require that all outdoor lighting be hooded and directed downward so as not to shine upon adjacent roads and properties.

Potential impacts related to air quality, geology and soils, hydrology and water quality, and public services have been determined to be less than significant. The project will comply with the Air District permitting requirements; obtain an Engineered Grading and Drainage Plan for the disposal of storm water generated by the proposal; obtain a Grading Permit/Voucher; obtain permit coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity (Construction General Permit); and obtain Fresno Fire Department approval of the site plan prior to the issuance of building permits by the County.

The Fig Garden Homeowners Association (FGHA) reviewed the proposal and expressed their support for it. However, to improve the functionality of the site, FGHA suggested for a five-year limit on commercial coach trailers to remain on site, additional on-site parking, and a fully-fledged on-site daycare facility to serve church members and surrounding communities. The Applicant responded to FGHA indicating that the trailers will be removed from the site as soon as practically possible, the project will add 20 new on-site parking spaces, parking will be further reconfigured when Phase 2 of the project begins, and the provision for a fully-fledged day care service will be incorporated into the church's future plans for the site.

The project is not in an archeologically-sensitive area. The Southern San Joaquin Valley Information Center did not have any history of archeological or cultural resources being found at or near the site and the Native American Heritage Commission Sacred Land File records search was negative. Pursuant to Assembly Bill (AB) 52, a letter was sent to the Dumna Wo Wah Tribal Government offering the opportunity to consult under Public Resources Code (PRC) Section 21080.3 (b) with a 30-day window to formally respond, in writing, to request a Cultural Resources Consultation. The Tribe did not respond to the letter within the 30-day period. No future action was necessary on the part of the County.

Based on the above information and with the adherence to Mitigation Measures, recommended Conditions of Approval, and Project Notes for mandatory requirements, staff believes the project will not have an adverse effect upon the surrounding neighborhood.

**Recommended Conditions of Approval:**

*See Mitigation Measure and recommended Conditions of Approval attached as Exhibit 1*

**Conclusion:**

Finding 3 can be made.

Finding 4: *That the proposed development is consistent with the General Plan*

<b>Relevant Policies:</b>	<b>Consistency/Considerations:</b>
General Plan Policy PF-C.17: County shall undertake a water supply evaluation, including determinations of water supply adequacy, impact on other water users in the County, and water sustainability.	The church has an existing connection with the City of Fresno Community water system. The proposed improvements will connect to that system. No concerns related to water sustainability for the project were expressed by the Water and Natural Resources Division of the Fresno County Department of Public Works and Planning. The project meets this policy.
Policy PF-D.6: County shall permit individual on-site sewage disposal systems on such parcels that have the area, soils, and other characteristics that permit installation of such disposal facilities without threatening surface or groundwater quality or posing any other health hazards and where community sewer service is not available and cannot be provided.	The church has an existing connection with the City of Fresno community sewer system. The proposed improvements will connect to that system. The Fresno County Department of Public Health, Environmental Health Division reviewed the proposal and identified no concerns related to sewage disposal. The project meets this policy.
Policy 711-01:2.02 a. (Fig Garden Neighborhood Plan): New development should be compatible with the neighborhood's low-density residential environment.	The subject proposal involves expansion to an existing church. The church is located on a parcel within a low-density residential neighborhood and was permitted by Conditional Use Permit No. 665. The project meets this policy.

**Reviewing Agency Comments:**

Policy Planning Section of the Fresno County Department of Public Works and Planning: Policy PF-C.17 requires evaluation of adequacy and sustainability of water supply for the project. Policy PF-D.6 requires individual on-site sewage disposal systems cause no harm to surface or groundwater quality. Policy 711-01:2.02 requires new development to be compatible with the neighborhood's low-density residential environment.

**Analysis:**

As discussed above, the project is consistent with General Plan policies PF-C.17, PF-D.6 and Fig Garden Neighborhood Plan Policy 711-01:2.02 a. Concerning consistency with Policy PF-C.17, the project will utilize community water with no impact on groundwater supply. Concerning consistency with Policy PF-D.6, the project will utilize community sewer with no impact on groundwater quality. Concerning consistency with Policy 711-01:2.02 a, the proposed improvements (classrooms and gymnasium) involve expansion to an existing church located in a low-density residential neighborhood authorized by a discretionary land use approval.

Based on the above information, staff believes the proposal is consistent with the Fresno County General Plan.

**Recommended Conditions of Approval:**

*None.*

**Conclusion:**

Finding 4 can be made.

**PUBLIC COMMENT:**

None.

**CONCLUSION:**

Based on the factors cited in the analysis, staff believes the required Findings for granting the Classified Conditional Use Permit can be made. Staff therefore recommends adoption of the Mitigated Negative Declaration prepared for the project and approval of Classified Conditional Use Permit No. 3583, subject to the recommended Conditions.

**PLANNING COMMISSION MOTIONS:**

**Recommended Motion** (Approval Action)

- Move to adopt the Mitigated Negative Declaration prepared for Initial Study Application No. 7328; and
- Move to determine the required Findings can be made and move to approve Classified Conditional Use Permit No. 3583, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

**Alternative Motion** (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Classified Conditional Use Permit No. 3583; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

**Mitigation Measures, recommended Conditions of Approval and Project Notes:**

See attached Exhibit 1.

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**Mitigation Monitoring and Reporting Program  
Initial Study Application No. 7328  
Classified Conditional Use Permit Application No. 3583**

<b>Mitigation Measures</b>					
<b>Mitigation Measure No.*</b>	<b>Impact</b>	<b>Mitigation Measure Language</b>	<b>Implementation Responsibility</b>	<b>Monitoring Responsibility</b>	<b>Time Span</b>
*1.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as to not shine toward adjacent properties and public streets.	Applicant	Applicant/Fresno County Department of Public Works and Planning (PWP)	Ongoing; for duration of the project
<b>Conditions of Approval</b>					
1.	Development of the property shall be in accordance with the Site Plan, Floor Plan, Elevation and Operational Statement approved by the Planning Commission.				
2.	Prior to occupancy, a Site Plan Review shall be submitted to and approved by the Department of Public Works and Planning in accordance with Section 874 of the Fresno County Zoning Ordinance. Conditions of the Site Plan Review may include: design of parking and circulation areas, access, right-of-way, on-site grading and drainage, fire protection, landscaping, signage and lighting.				
3.	The Applicant shall irrevocably offer a 20-foot by 20-foot corner cutoff to facilitate ADA-compliant ramps at the corner of the Palm and Gettysburg intersection.				
4.	Access to the site shall be limited to the three existing driveways off Palm and Gettysburg Avenues.				
5.	The Fresno Irrigation District's Enterprise-Holland Colony No. 122 Canal runs northerly along the west side of the subject property and crosses Gettysburg Avenue. Plans for any improvements along the west side of the property or any street and/or utility improvements along Gettysburg Avenue or near the canal shall require FID review and approval.				

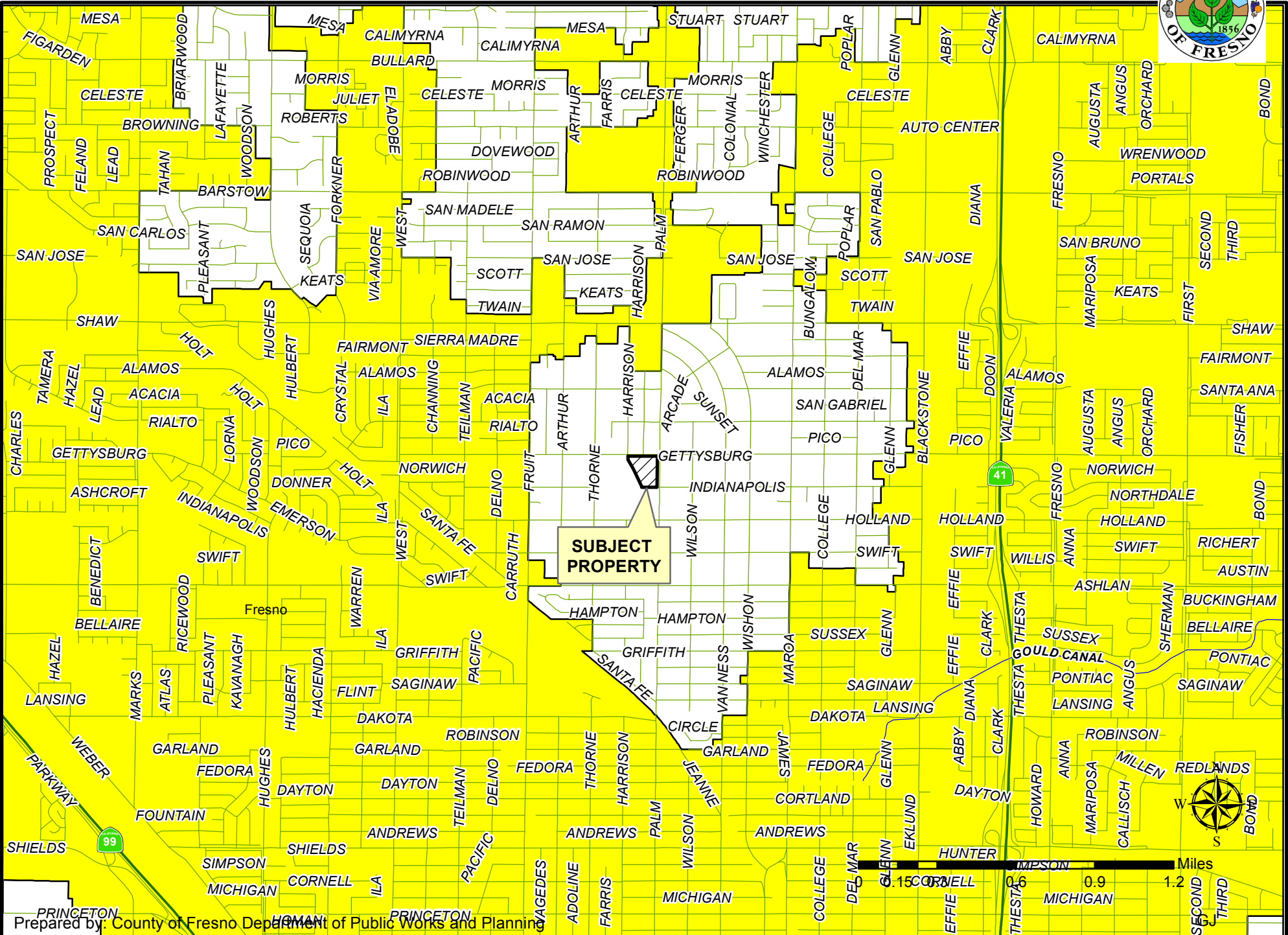
\*MITIGATION MEASURE – Measure specifically applied to the project to mitigate potential adverse environmental effects identified in the environmental document. Conditions of Approval reference recommended Conditions for the project.

<b>Project Notes</b>	
<b>The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.</b>	
1.	This Use Permit will become void unless there has been substantial development within two years of the effective date of approval.
2.	Plans, permits and inspections are required for all on-site construction improvements. Contact the Building and Safety Section of the Fresno County Department of Public Works and Planning at (559) 600-4540 for permits and inspections.

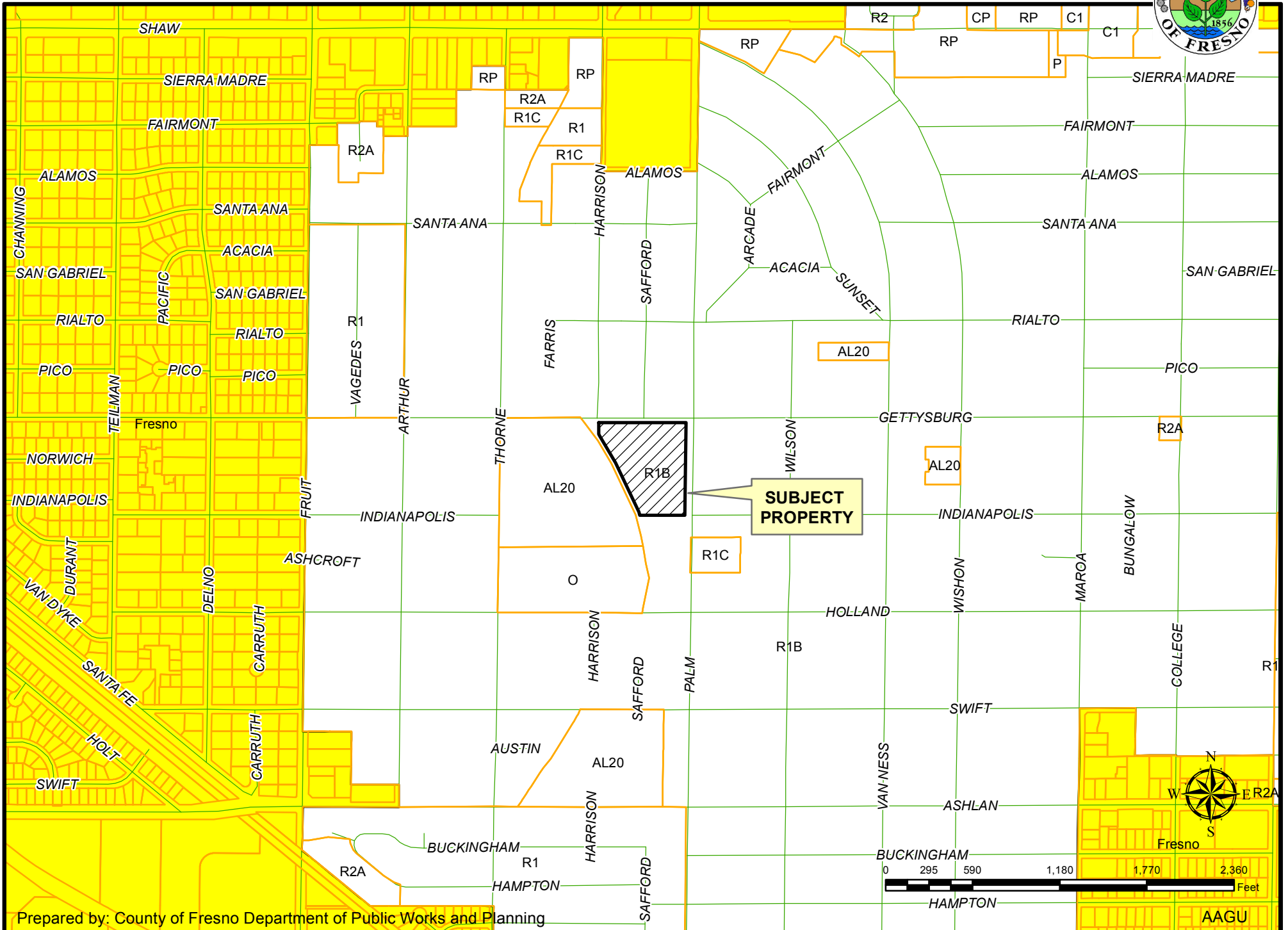
**EXHIBIT 1**

<b>Project Notes</b>	
3.	An Engineered Grading and Drainage Plan may be required to show how the additional storm water runoff generated by the proposal will be handled without adversely affecting adjacent properties.
4.	A Grading Permit or Voucher will be required for any site grading proposed by this application.
5.	The project proponent shall obtain permit coverage from the Central Valley Regional Water Quality Control Board under the General Permit for Discharges of Storm Water Associated with Construction Activity (Construction General Permit).
6.	The Fresno Metropolitan Flood Control District shall approve drainage and grading plans prior to approval by the County.
7.	The approved Site Plan shall require Fresno Fire Department approval prior to the issuance of building permits by the County.
8.	<p>To address site improvement-related impacts resulting from the project, the Site Plan Review Section of the Fresno County Department of Public Works and Planning requires:</p> <ul style="list-style-type: none"> <li>• Additional parking stalls should be proposed for the proposed gymnasium to be used simultaneously with the church services.</li> <li>• All parking spaces for the physically disabled be placed adjacent to facility access ramps or in strategic areas where the disabled shall not have to travel behind parking spaces other than to pass behind the parking space in which they parked.</li> </ul> <p>Note: The aforementioned requirements will be addressed through Site Plan Review.</p>
9.	Prior to issuance of building permits, the Applicant/operator shall submit complete food facility plans and specifications to the Fresno County Department of Public Health, Environmental Health Division for review and approval. Prior to operations, the Applicant/owner shall apply for and obtain a 'Permit to Operate' a food facility.
10.	A 10-foot by 10-foot corner cutoff shall be improved for sight distance purposes at all existing driveways accessing Gettysburg and Palm Avenue, if not already present.
11.	Any work done within the County right-of-way to improve existing driveways shall require an encroachment permit from the Road Maintenance and Operations Division.

# LOCATION MAP



# EXISTING ZONING MAP





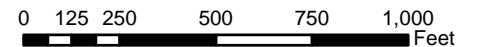
# EXISTING LAND USE MAP

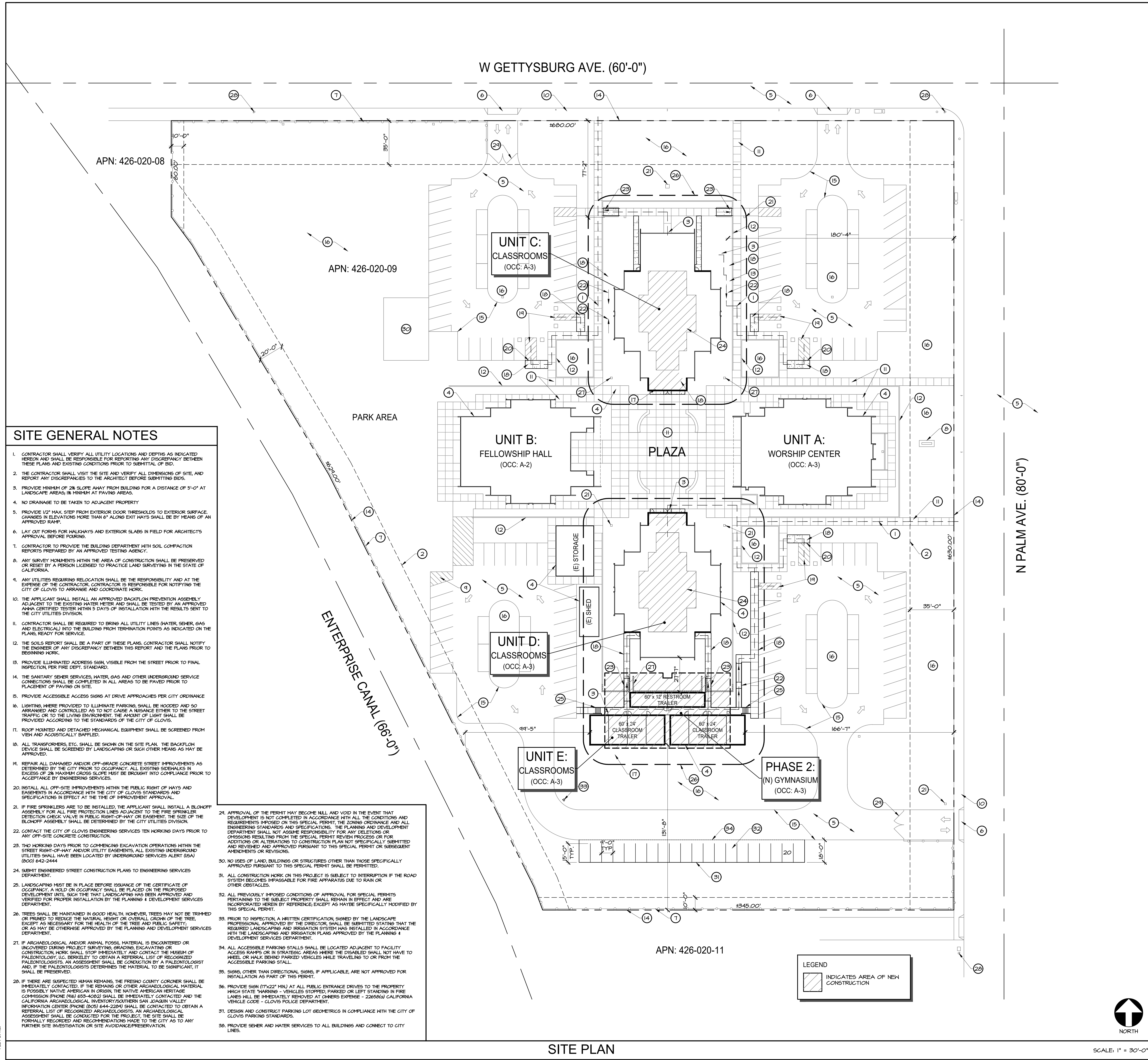


LEGEND	
SCH - SCHOOL	
CHU - CHURCH	
SF# - SINGLE FAMILY RESIDENCE	
V - VACANT	
AP1 - APARTMENT	

### LEGEND:

-  Subject Property
-  Ag Contract Land





**SITE GENERAL NOTES**

- CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND DEPTHS AS INDICATED HEREON AND SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCY BETWEEN THESE PLANS AND EXISTING CONDITIONS PRIOR TO SUBMITTAL OF BIDS.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS OF SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE SUBMITTING BIDS.
- PROVIDE MINIMUM OF 2% SLOPE AWAY FROM BUILDING FOR A DISTANCE OF 5'-0" AT LANDSCAPE AREAS; 1% MINIMUM AT PAVING AREAS.
- NO DRAINAGE TO BE TAKEN TO ADJACENT PROPERTY.
- PROVIDE 1/2" MAX. STEP FROM EXTERIOR DOOR THRESHOLDS TO EXTERIOR SURFACE. CHANGES IN ELEVATIONS MORE THAN 6" ALONG EXIT HWAYS SHALL BE BY MEANS OF AN APPROVED RAMP.
- LAY OUT FORMS FOR WALKWAYS AND EXTERIOR SLABS IN FIELD FOR ARCHITECT'S APPROVAL BEFORE POURING.
- CONTRACTOR TO PROVIDE THE BUILDING DEPARTMENT WITH SOIL COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE CITY OF GLOVIS TO ARRANGE AND COORDINATE WORK.
- THE APPLICANT SHALL INSTALL AN APPROVED BACKFLOW PREVENTION ASSEMBLY ADJACENT TO THE EXISTING WATER METER AND SHALL BE TESTED BY AN APPROVED ANNA CERTIFIED TESTER WITHIN 5 DAYS OF INSTALLATION WITH THE RESULTS SENT TO THE CITY UTILITIES DIVISION.
- CONTRACTOR SHALL BE REQUIRED TO BRING ALL UTILITY LINES (WATER, SEWER, GAS AND ELECTRICAL) INTO THE BUILDING FROM TERMINATION POINTS AS INDICATED ON THE PLANS, READY FOR SERVICE.
- THE SOILS REPORT SHALL BE A PART OF THESE PLANS. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THIS REPORT AND THE PLANS PRIOR TO BEGINNING WORK.
- PROVIDE ILLUMINATED ADDRESS SIGN, VISIBLE FROM THE STREET PRIOR TO FINAL INSPECTION PER FIRE DEPT. STANDARD.
- THE SANITARY SEWER SERVICES, WATER, GAS AND OTHER UNDERGROUND SERVICE CONNECTIONS SHALL BE COMPLETED IN ALL AREAS TO BE PAVED PRIOR TO PLACEMENT OF PAVING ON SITE.
- PROVIDE ACCESSIBLE ACCESS SIGNS AT DRIVE APPROACHES PER CITY ORDINANCE.
- LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SHALL BE HOODED AND SO ARRANGED AND CONTROLLED AS TO NOT CAUSE A BLINDAGE EITHER TO THE STREET TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE CITY OF GLOVIS.
- ROOF MOUNTED AND DETACHED MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW AND ACOUSTICALLY BAFFLED.
- ALL TRANSFORMERS, ETC. SHALL BE SHOWN ON THE SITE PLAN. THE BACKFLOW DEVICE SHALL BE SCREENED BY LANDSCAPING OR SUCH OTHER MEANS AS MAY BE APPROVED.
- REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CITY PRIOR TO OCCUPANCY. ALL EXISTING SIDEWALKS IN EXCESS OF 2% MAXIMUM CROSS-SLOPE MUST BE BROUGHT INTO COMPLIANCE PRIOR TO ACCEPTANCE BY ENGINEERING SERVICES.
- INSTALL ALL OFF-SITE IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY AND EASEMENTS IN ACCORDANCE WITH THE CITY OF GLOVIS STANDARDS AND SPECIFICATIONS IN EFFECT AT THE TIME OF IMPROVEMENT APPROVAL.
- IF FIRE SPRINKLERS ARE TO BE INSTALLED, THE APPLICANT SHALL INSTALL A BLOWOFF ASSEMBLY FOR ALL FIRE PROTECTION LINES ADJACENT TO THE FIRE SPRINKLER DETECTION CHECK VALVE IN PUBLIC RIGHT-OF-WAY OR EASEMENT. THE SIZE OF THE BLOWOFF ASSEMBLY SHALL BE DETERMINED BY THE CITY UTILITIES DIVISION.
- CONTACT THE CITY OF GLOVIS ENGINEERING SERVICES TEN WORKING DAYS PRIOR TO ANY OFF-SITE CONCRETE CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND UTILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) (800) 642-2444.
- SUBMIT ENGINEERED STREET CONSTRUCTION PLANS TO ENGINEERING SERVICES DEPARTMENT.
- LANDSCAPING MUST BE IN PLACE BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A HOLD ON OCCUPANCY SHALL BE PLACED ON THE PROPOSED DEVELOPMENT UNTIL SUCH TIME THAT LANDSCAPING HAS BEEN APPROVED AND VERIFIED FOR PROPER INSTALLATION BY THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT.
- TREES SHALL BE MAINTAINED IN GOOD HEALTH, HOWEVER, TREES MAY NOT BE TRIMMED OR PRUNED TO REDUCE THE NATURAL HEIGHT OR OVERALL CROWN OF THE TREE, EXCEPT AS NECESSARY FOR THE HEALTH OF THE TREE AND PUBLIC SAFETY, OR AS MAY BE OTHERWISE APPROVED BY THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED OR UNCOVERED DURING PROJECT SURVEYING, GRADING, EXCAVATING OR CONSTRUCTION WORK, STOP IMMEDIATELY AND CONTACT THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. AN ASSESSMENT SHALL BE CONDUCTED BY A PALEONTOLOGIST AND, IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN, THE NATIVE AMERICAN HERITAGE COMMISSION (PHONE (866) 655-4082) SHALL BE IMMEDIATELY CONTACTED AND THE CALIFORNIA ARCHAEOLOGICAL INVESTIGATORS SAN JOAQUIN VALLEY INFORMATION CENTER (PHONE (805) 644-2294) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED AND RECOMMENDATIONS MADE TO THE CITY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/RESERVATION.
- APPROVAL OF THE PERMIT MAY BECOME NULL AND VOID IN THE EVENT THAT DEVELOPMENT IS NOT COMPLETED IN ACCORDANCE WITH ALL THE CONDITIONS AND REQUIREMENTS IMPOSED ON THIS SPECIAL PERMIT, THE ZONING ORDINANCE AND ALL ENGINEERING STANDARDS AND SPECIFICATIONS. THE PLANNING AND DEVELOPMENT DEPARTMENT SHALL NOT ASSUME RESPONSIBILITY FOR ANY DELETIONS OR OMISSIONS RESULTING FROM THE SPECIAL PERMIT REVIEW PROCESS OR FOR ADDITIONS OR ALTERATIONS TO CONSTRUCTION PLAN NOT SPECIFICALLY SUBMITTED AND REVIEWED AND APPROVED PURSUANT TO THIS SPECIAL PERMIT OR SUBSEQUENT AMENDMENTS OR REVISIONS.
- NO USES OF LAND, BUILDINGS OR STRUCTURES OTHER THAN THOSE SPECIFICALLY APPROVED PURSUANT TO THIS SPECIAL PERMIT SHALL BE PERMITTED.
- ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
- ALL PREVIOUSLY IMPOSED CONDITIONS OF APPROVAL FOR SPECIAL PERMITS PERTAINING TO THE SUBJECT PROPERTY SHALL REMAIN IN EFFECT AND ARE INCORPORATED HEREIN BY REFERENCE, EXCEPT AS MAY BE SPECIFICALLY MODIFIED BY THIS SPECIAL PERMIT.
- PROVIDE INSURANCE: A WRITTEN CERTIFICATION, SIGNED BY THE LANDSCAPE PROFESSIONAL APPROVED BY THE DIRECTOR, SHALL BE SUBMITTED STATING THAT THE REQUIRED LANDSCAPING AND IRRIGATION PLANS HAS BEEN INSTALLED IN ACCORDANCE WITH THE LANDSCAPING AND IRRIGATION PLANS APPROVED BY THE PLANNING & DEVELOPMENT SERVICES DEPARTMENT.
- ALL ACCESSIBLE PARKING STALLS SHALL BE LOCATED ADJACENT TO FACILITY ACCESS RAMP OR IN STRATEGIC AREAS WHERE THE DISABLED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM THE ACCESSIBLE PARKING STALL.
- SIGNS, OTHER THAN DIRECTIONAL SIGNS, IF APPLICABLE, ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS PERMIT.
- PROVIDE SIGN (17x22" MIN) AT ALL PUBLIC ENTRANCE DRIVES TO THE PROPERTY HIGH STATE "WARNING - VEHICLES STOPPED, PARKED OR LEFT STANDING IN FIRE LANES WILL BE IMMEDIATELY REMOVED AT OWNERS EXPENSE - 226860 CALIFORNIA VEHICLE CODE - GLOVIS POLICE DEPARTMENT.
- DESIGN AND CONSTRUCT PARKING LOT GEOMETRICS IN COMPLIANCE WITH THE CITY OF GLOVIS PARKING STANDARDS.
- PROVIDE SEWER AND WATER SERVICES TO ALL BUILDINGS AND CONNECT TO CITY LINES.

**SCOPE OF WORK**

- SCOPE OF WORK INCLUDED IN THIS CONDITIONAL USE PERMIT SUBMITTAL:
- PHASE 1: BUILDINGS ADDITIONS TO UNIT C AND UNIT D  
3 COMMERCIAL COACH TEMPORARY FACILITIES
- PHASE 2: REMOVAL OF COMMERCIAL COACH UNITS  
CONSTRUCTION OF NEW GYMNASIUM

**PROJECT INFORMATION**

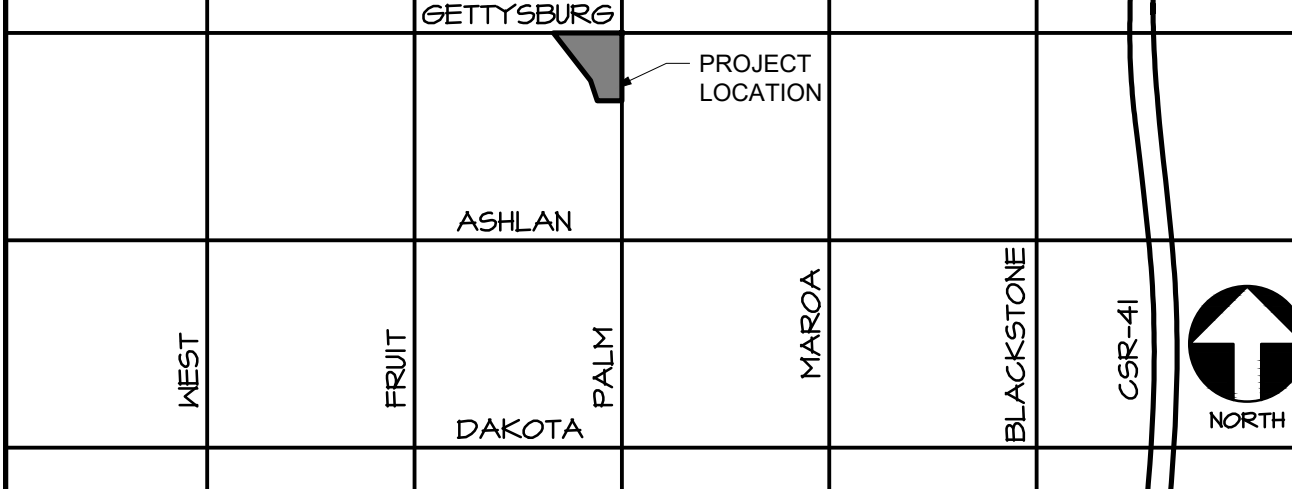
SITE ADDRESS:	4545 NORTH PALM AVENUE FRESNO, CA 93704-3637
APN:	426-020-09
EXISTING USE:	CHURCH CAMPUS
ZONING:	R-1-B (SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD BEAUTIFICATION)
COMMUNITY PLAN:	BULLARD
SITE AREA:	47.0 AC. (306,610 SQ. FT.)
BUILDING AREA:	UNIT A (A-3): (E) 7,414 SQ. FT. UNIT B (A-2): (E) 6,775 SQ. FT. UNIT C (B): (E) 4,580 SQ. FT. (N) 3,043 SQ. FT. UNIT D (A-3): (E) 4,060 SQ. FT. (N) 3,025 SQ. FT. GYM (A-3): (N) 7,000 SQ. FT. STORAGE (S-2): (E) 1,247 SQ. FT.
PHASE 1 ONLY (INCL. 3 RELOCATABLES):	3,600 SQ. FT.
SHED (U):	(E) 640 SQ. FT.
TOTAL AFTER COMPLETION OF PHASE 2:	37,944 SQ. FT.
COVERAGE:	12.36%
BUILDING HEIGHT:	SINGLE STORY; SEE ELEVATIONS
PARKING PROVIDED:	20 (N) STANDARD STALLS 42 (E) STANDARD STALLS 12 (E) ACCESSIBLE STALLS TOTAL = 124 STALLS
TYPE OF CONST.:	TYPE V-B, NON-SPRINKLERED
OCCUPANCY GROUP:	A-2, A-3 & B
ASSOCIATED C.U.P.:	CUP-3352

**LEGAL DESCRIPTION**

SECTION 17, TOWNSHIP 13S, RANGE 20E, 6.99AC IN N1/2 OF NE1/4 OF SE1/4 SEC 17 T13R20

<b>OWNER</b>	<b>PROJECT ARCHITECT</b>
THE WELL COMMUNITY CHURCH 10 RIVER PARK PLACE E, STE 20B FRESNO, CA 93720 (554) 326-5100	THE TAYLOR GROUP ARCHITECTS 10 RIVER PARK PLACE EAST, SUITE 208 FRESNO, CA 93720 (554) 708-4046 EMAIL: rusa@tgrouparchitects.com
CONTACT: BRAD BELL	CONTACT: RUSSELL F. TAYLOR

**VICINITY MAP**



**KEYNOTES**

- NOTE: UNO, ALL SITE FEATURES ARE EXISTING AND TO REMAIN
- DASHED LINE INDICATES ACCESSIBLE PATH OF TRAVEL (2.0% MAX. SLOPE, 1.5% MAX. CROSS-SLOPE) FROM PUBLIC RIGHT-OF-WAY & ACCESSIBLE PARKING; TYP. SEE CIVIL DRAWINGS
  - INDICATES EASEMENT OR SETBACK, TYP.
  - (N) ACCESSIBLE BUILDING ENTRANCE
  - INDICATES BUILDING FOOTPRINT, TYP.
  - AC STREET/PARKING LOT PAVEMENT
  - DRIVEWAY APPROACH
  - 6'-0" CHAIN LINK SITE PERIMETER FENCE
  - MONUMENT SIGN
  - SOLID-WASTE PICKUP LOCATION
  - CONCRETE SIDEWALK, CURB AND GUTTER
  - CONCRETE WALKWAY, TYP.
  - RETAINING WALL/SEAT WALL, TYP.
  - (N) CMU RETAINING WALL TO MATCH (E)
  - INDICATES (E) PROPERTY LINE, TYP.
  - 6' RAISED CONCRETE CURB, TYP.
  - LANDSCAPED AREA
  - (N) LANDSCAPING; SEE LANDSCAPE PLANS
  - (N) CONCRETE SLAB/SIDEWALK, 1:20 MAX. SLOPE, 1.5% MAX. CROSS-SLOPE; SEE CIVIL & LANDSCAPE DRAWINGS & DETAILS X & XXX/XXXX LIGHT BROOM FINISH, TYP. PROVIDE FIBER EXPANSION JOINT WHERE WALKWAY MEETS BUILDING FOOTINGS; SLOPE MIN. 1.5% AWAY FROM BUILDING
  - VAN-ACCESSIBLE AND STANDARD ACCESSIBLE PARKING STALLS W/ ACCESSIBLE ACCESS AISLES
  - PAVEMENT FLUSH WITH CURB OR WALK, TYP. AT ACCESSIBLE STALLS AND ACCESS AISLES
  - SITE LIGHTING FIXTURE, TYP.
  - (N) SLOPED WALKWAY, 1:20 MAX. SLOPE, 1.5% MAX. CROSS-SLOPE
  - (N) CONC. RAMP W/ HANDRAILS, 1:12 MAX. SLOPE, 1.5% MAX. CROSS-SLOPE
  - INDICATES (N) HIGH-ROOF AND CLEARSTORY WINDOWS ABOVE (E) ROOF
  - (N) CONCRETE STAIRS W/ HANDRAILS
  - INDICATES AREA OF NEW WORK, TYP.
  - INDICATES SITE ELEMENT TO BE DEMO'D, TYP.
  - FIRE HYDRANT
  - CHAIN LINK GATE
  - COVERED PLAYGROUND AREA
  - (N) 6' CONC. CURB
  - (N) CONC. STALLS W/ ASPHALT PAVING; SEE CIVIL DRAWINGS
  - (N) FIRE HYDRANT; SEE CIVIL DRAWINGS
  - DEMO (E) CONC. CURB



DATE	DESCRIPTION
9/26/2017	VERSION 2.0 REDESIGN
12/22/2017	REVISED C.U.P. DRAWINGS

PROPOSED ADDITION TO:  
**THE WELL COMMUNITY CHURCH - FIG GARDEN CAMPUS**  
4545 NORTH PALM AVENUE  
FRESNO, CA 93704

**SITE PLAN**

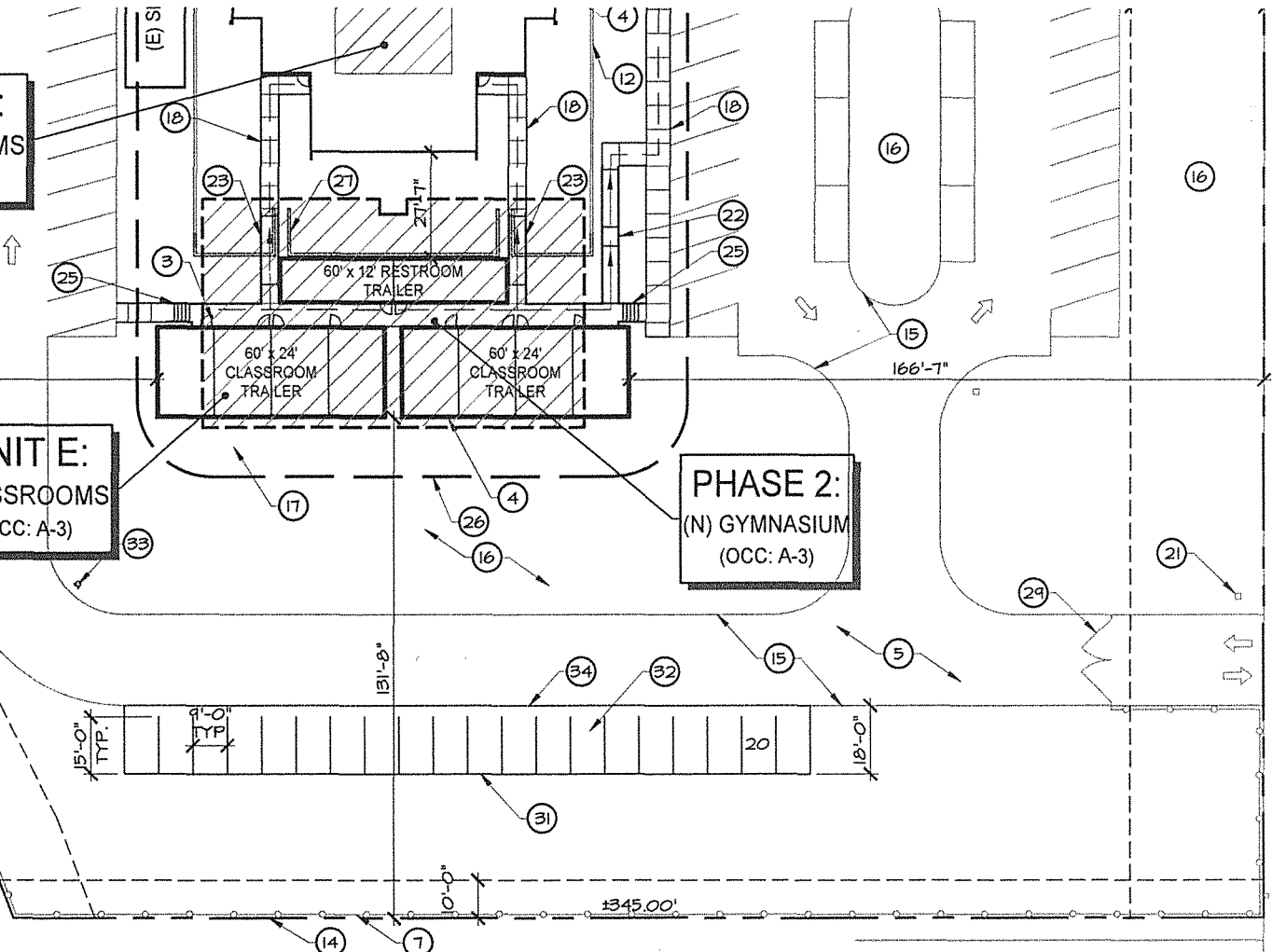
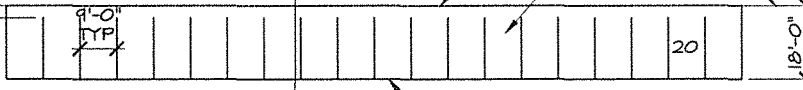
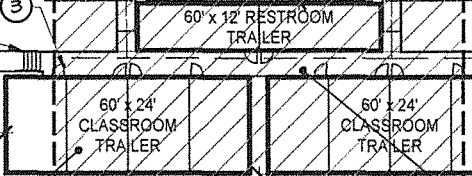
PROJECT NO.: 17-002.00  
DRAWING: A101  
www.tgrouparchitects.com

CANAL (66'-0")

**UNIT D:**  
CLASSROOMS  
(OCC: A-3)

**UNIT E:**  
CLASSROOMS  
(OCC: A-3)

**PHASE 2:**  
(N) GYMNASIUM  
(OCC: A-3)



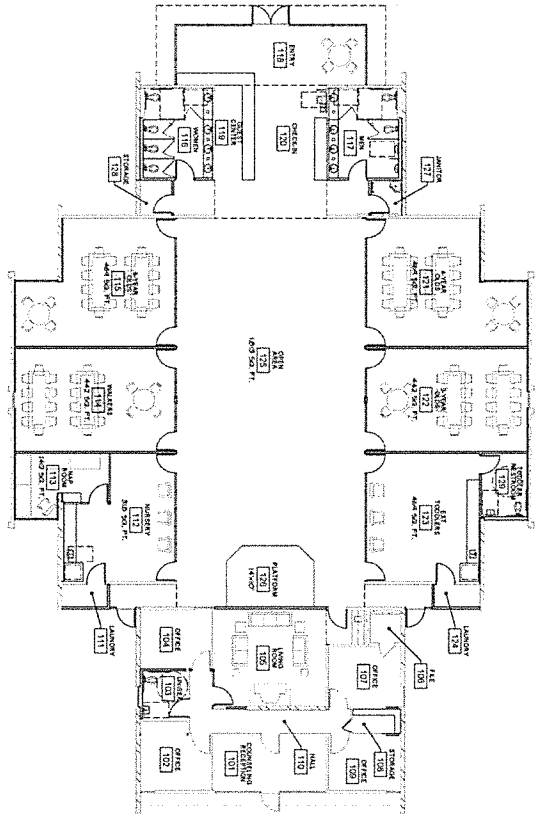
IN THE EVENT THAT THE CONDITIONS AND ORDINANCE AND ALL IS AND DEVELOPMENT ELECTIONS OR ACCESS OR SPECIFICALLY SUBMITTED PERMIT OR SUBSEQUENT

USE SPECIFICALLY OMITTED.

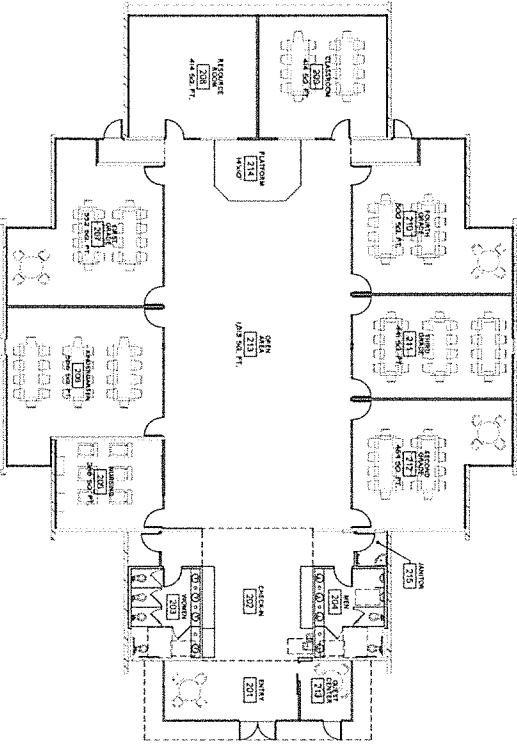
INTERRUPTION IF THE ROAD RAIN OR

SPECIAL PERMITS PROJECT AND ARE SPECIFICALLY MODIFIED BY

THE LANDSCAPE



KEYNOTE FLOOR PLAN - UNIT 'C'



KEYNOTE FLOOR PLAN - UNIT 'D'



**KEYNOTES**

1. EXISTING ELECTRICAL, PLUMBING
2. RELOCATE RECEPTION TABLE FROM RECEPTION TO RECEPTION AREA
3. RELOCATE RECEPTION TABLE FROM RECEPTION TO RECEPTION AREA
4. RELOCATE RECEPTION TABLE FROM RECEPTION TO RECEPTION AREA
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25. RELOCATE RECEPTION TABLE FROM RECEPTION TO RECEPTION AREA
26. RELOCATE RECEPTION TABLE FROM RECEPTION TO RECEPTION AREA
27. RELOCATE RECEPTION TABLE FROM RECEPTION TO RECEPTION AREA
28. RELOCATE RECEPTION TABLE FROM RECEPTION TO RECEPTION AREA
29. RELOCATE RECEPTION TABLE FROM RECEPTION TO RECEPTION AREA
30. RELOCATE RECEPTION TABLE FROM RECEPTION TO RECEPTION AREA

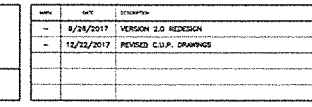
**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF FRESNO ORDINANCES AND
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF FRESNO ORDINANCES AND
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF FRESNO ORDINANCES AND



PROPOSED ADDITION TO:  
**THE WELL COMMUNITY CHURCH - FIG GARDEN CAMPUS**  
 4545 NORTH PALM AVENUE  
 FRESNO, CA 93704

REV.	DATE	DESCRIPTION
1	8/29/2017	VERSION 2.0.0.0 REDESIGN
2	12/22/2017	REVISED C.U.P. DRAWINGS





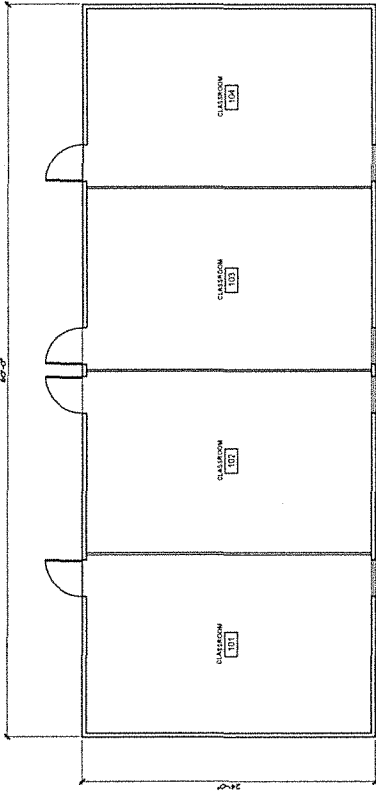
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12/12/2017	ISSUED CLP DRAWING
5/17/2017	ISSUED 2D DRAWING

PROPOSED ADDITION TO:  
 THE WELL COMMUNITY CHURCH - FIG GARDEN CAMPUS  
 4545 NORTH PALM AVENUE  
 FRESNO, CA 93704  
 COMMERCIAL COACH CLASSROOMS

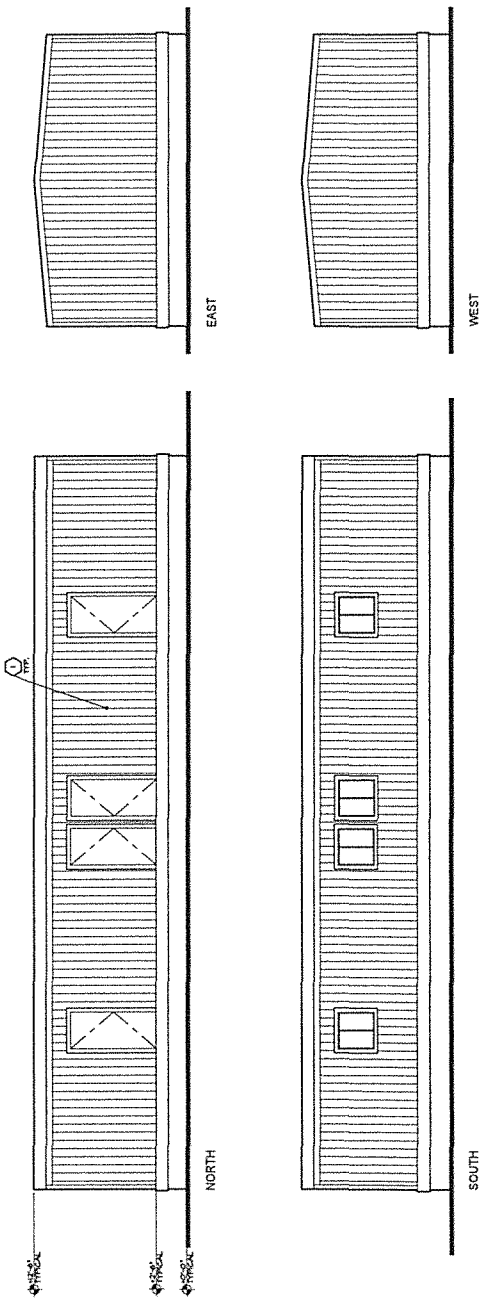
KEYNOTES

LEGEND

GENERAL NOTES



CLASSROOM FLOOR PLAN



CLASSROOM ELEVATIONS

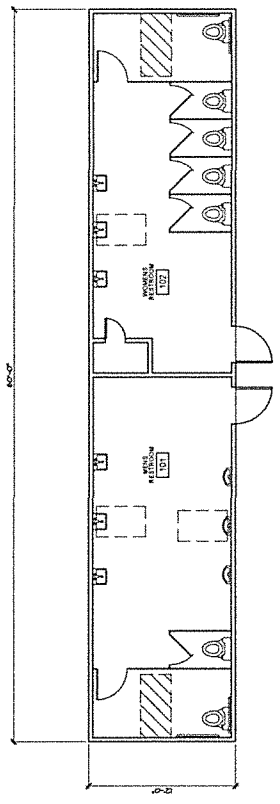
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12/15/2011	ISSUED FOR PERMITS
11/15/2011	ISSUED FOR PERMITS
11/15/2011	ISSUED FOR PERMITS

PROPOSED ADDITION TO:  
 THE WELL COMMUNITY CHURCH - FIG GARDEN CAMPUS  
 4545 NORTH PALM AVENUE  
 FRESNO, CA 93708  
 COMMERCIAL COACH RESTROOMS

NO.	MATERIAL	DESCRIPTION
1.	SUSPENSION SYSTEM	4" X 8" PERIMETER BRICK WALL FINISH
2.	CONCRETE FLOORING	TYPE AT (1) PLASTER WALL FINISH
3.	CONCRETE FLOORING	TYPE AT (2) PLASTER WALL FINISH
4.	ALUMINUM FASCIA	1/2" X 1" X 1/2" ALUMINUM FASCIA
5.	CONCRETE CURB	1/2" X 1" X 1/2" ALUMINUM FASCIA
6.	CONCRETE CURB	1/2" X 1" X 1/2" ALUMINUM FASCIA
7.	CONCRETE CURB	1/2" X 1" X 1/2" ALUMINUM FASCIA
8.	CONCRETE CURB	1/2" X 1" X 1/2" ALUMINUM FASCIA
9.	CONCRETE CURB	1/2" X 1" X 1/2" ALUMINUM FASCIA
10.	CONCRETE CURB	1/2" X 1" X 1/2" ALUMINUM FASCIA
11.	CONCRETE CURB	1/2" X 1" X 1/2" ALUMINUM FASCIA
12.	CONCRETE CURB	1/2" X 1" X 1/2" ALUMINUM FASCIA
13.	CONCRETE CURB	1/2" X 1" X 1/2" ALUMINUM FASCIA

LEGEND

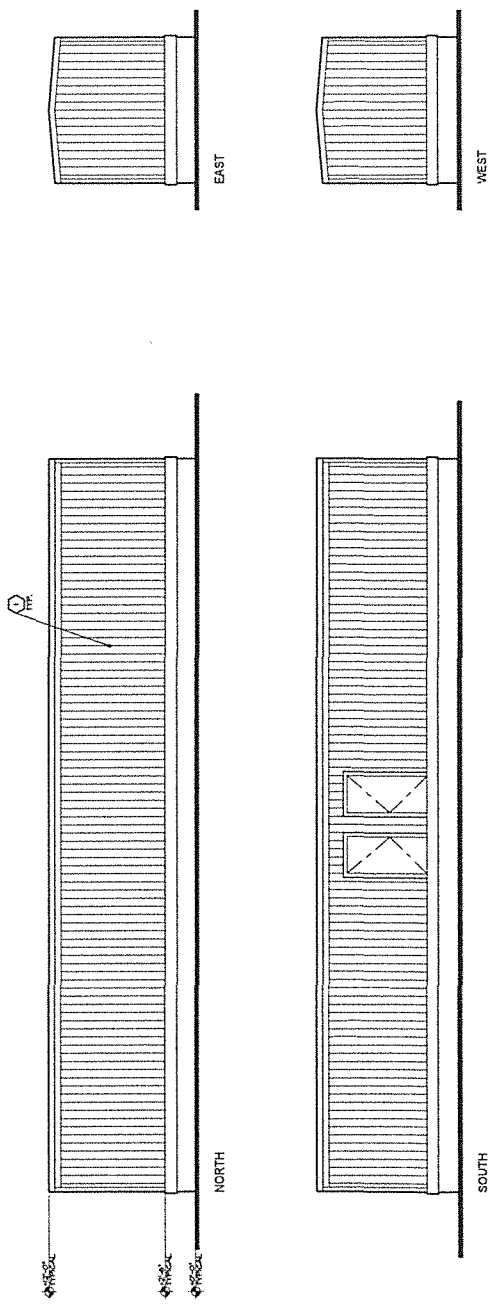
GENERAL NOTES



PROJECT NORTH

RESTROOM FLOOR PLAN

SCALE: 1/8" = 1'-0"

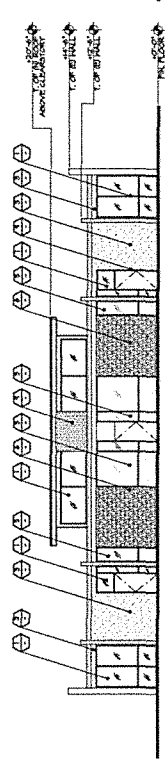


RESTROOM ELEVATIONS

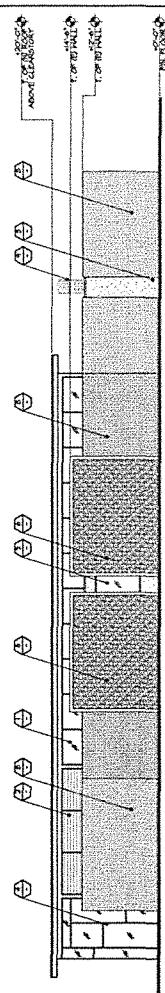


DATE	DESCRIPTION
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1/2/2017	REVISION TO PERMIT
1/2/2017	REVISION TO PERMIT

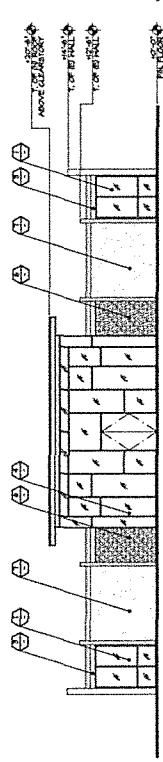
PROPOSED ADDITION TO:  
 THE WELL COMMUNITY CHURCH - FIG GARDEN CAMPUS  
 1545 NORTH PALM AVENUE  
 WEST PALM BEACH, FL 33411  
 EXTERIOR ELEVATIONS - UNITS 'C' & 'D'



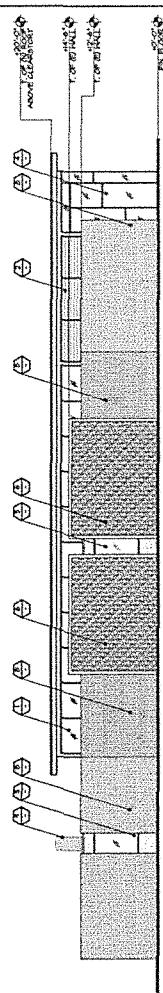
A UNIT 'C' - NORTH ELEVATION



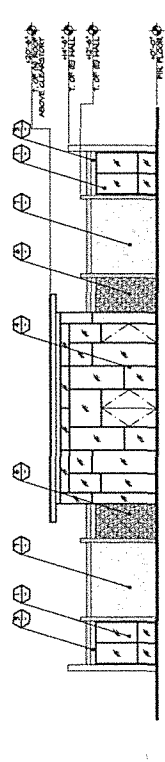
B UNIT 'C' - EAST ELEVATION



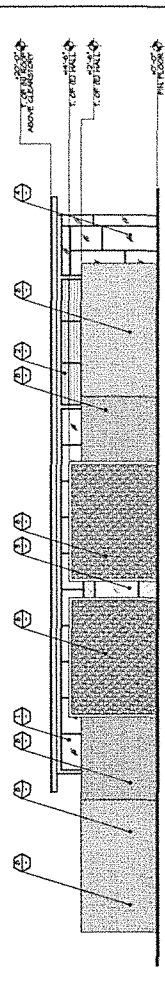
C UNIT 'C' - SOUTH ELEVATION



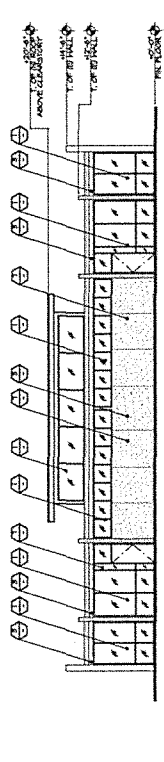
D UNIT 'C' - WEST ELEVATION



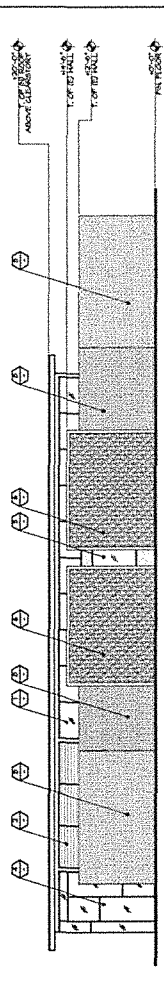
E UNIT 'D' - NORTH ELEVATION



F UNIT 'D' - EAST ELEVATION



G UNIT 'D' - SOUTH ELEVATION



H UNIT 'D' - WEST ELEVATION

**EXTERIOR PAINTING SCHEDULE**

THE FOLLOWING ITEMS SHALL BE PAINTED:

- ALL EXTERIOR SURFACES EXCEPT ROOF, GUTTERS, DOWNSPUTTERS, AND CURBS.
- CONCRETE: ALL EXTERIOR SURFACES SHALL BE PAINTED WITH A QUALITY CONCRETE PAINT.
- WOOD: ALL EXTERIOR SURFACES SHALL BE PAINTED WITH A QUALITY WOOD PAINT.
- METAL: ALL EXTERIOR SURFACES SHALL BE PAINTED WITH A QUALITY METAL PAINT.
- PLASTER: ALL EXTERIOR SURFACES SHALL BE PAINTED WITH A QUALITY PLASTER PAINT.
- EIFS SYSTEM: ALL EXTERIOR SURFACES SHALL BE PAINTED WITH A QUALITY EIFS SYSTEM PAINT.

**EXTERIOR FINISH SCHEDULE**

NO.	DESCRIPTION	UNIT	MATERIAL
1	ALUMINUM STOREFRONT SYSTEM	12	-
2	FACTORY FINISH ALUMINUM WINDOW AND DOOR	13	-
3	FACTORY FINISH ALUMINUM WINDOW AND DOOR	14	-
4	FACTORY FINISH ALUMINUM WINDOW AND DOOR	15	-
5	FACTORY FINISH ALUMINUM WINDOW AND DOOR	16	-
6	FACTORY FINISH ALUMINUM WINDOW AND DOOR	17	-
7	FACTORY FINISH ALUMINUM WINDOW AND DOOR	18	-
8	FACTORY FINISH ALUMINUM WINDOW AND DOOR	19	-
9	FACTORY FINISH ALUMINUM WINDOW AND DOOR	20	-
10	FACTORY FINISH ALUMINUM WINDOW AND DOOR	21	-

- NOTES:**
- ALL DETAIL PLASTER JOINTS TO BE FINISHED WITH A QUALITY PLASTER.
  - SEE DETAIL FOR CEILING FINISH FOR ALL INTERIORS.
  - PROVIDE EXPANSION JOINTS AT EACH FLOOR LINE, TYP. NOT NEAR FOR CLAY.
  - ALL EXTERIOR SURFACES SHALL BE PAINTED WITH A QUALITY PAINT.
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DATE	DESCRIPTION
3/11/2017	REVISED DRAWINGS

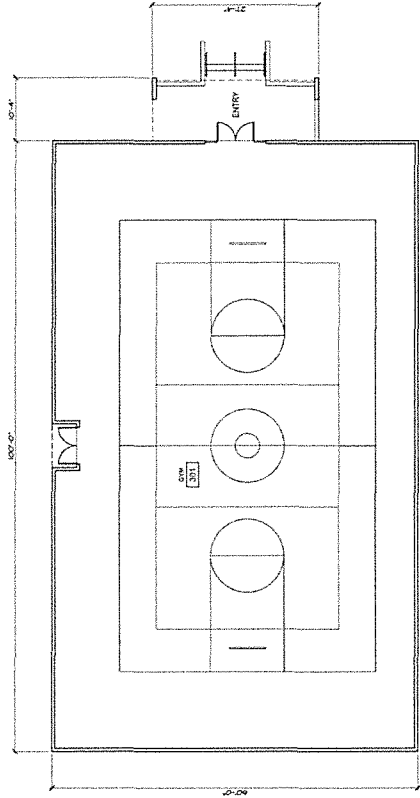
PROPOSED ADDITION TO:  
 THE WELL COMMUNITY CHURCH - FIG GARDEN CAMPUS  
 455 NORTH PALM AVENUE  
 FRENO, CA 93724

GYM FLOOR PLAN

A202

KEYNOTES

GENERAL NOTES



REQUIREMENTS:  
 OCCUPANCY CLASSIFICATION  
 OCCUPANTS PER TABLE CODE 101  
 OCCUPANTS PER TABLE CODE 102  
 OCCUPANTS PER TABLE CODE 103  
 OCCUPANTS PER TABLE CODE 104  
 OCCUPANTS PER TABLE CODE 105  
 OCCUPANTS PER TABLE CODE 106  
 OCCUPANTS PER TABLE CODE 107  
 OCCUPANTS PER TABLE CODE 108  
 OCCUPANTS PER TABLE CODE 109  
 OCCUPANTS PER TABLE CODE 110



SCALE: 1/4" = 1'-0"

FLOOR PLAN - GYM

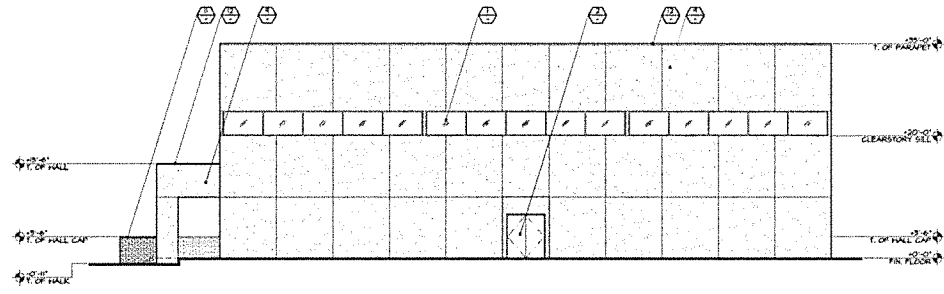


DATE	3/17/2017	REVISION	REVISIONS
NO.			
BY			
CHECKED			

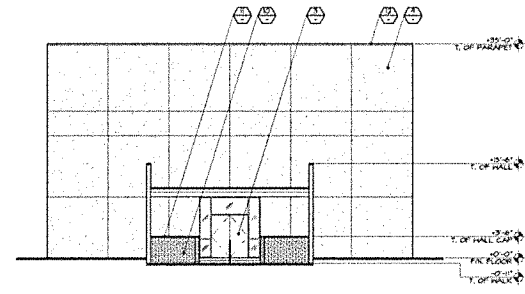
PROPOSED ADDITION TO:  
 THE WELL COMMUNITY CHURCH - FIG GARDEN CAMPUS  
 4545 NORTH PALM AVENUE  
 PLEASANTON, CA 94588

EXTERIOR ELEVATIONS - GYMNASIUM

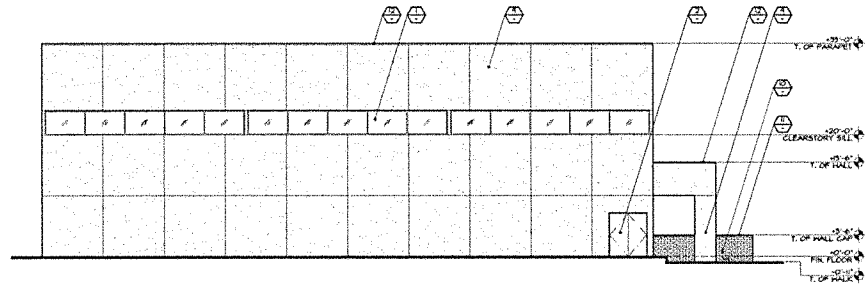
DATE: 3/17/2017  
 TIME: 10:00 AM  
 PROJECT: THE WELL COMMUNITY CHURCH - FIG GARDEN CAMPUS  
 SHEET: EXTERIOR ELEVATIONS - GYMNASIUM  
 DRAWN BY: J. TAYLOR  
 CHECKED BY: J. TAYLOR  
 SCALE: 1/8" = 1'-0"



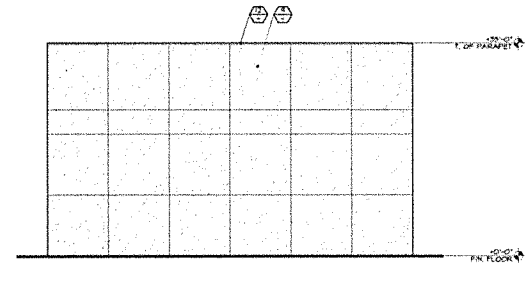
J GYMNASIUM - NORTH ELEVATION



K GYMNASIUM - EAST ELEVATION



L GYMNASIUM - SOUTH ELEVATION



M GYMNASIUM - WEST ELEVATION

EXTERIOR PAINTING SCHEDULE	
THE FOLLOWING ITEMS SHALL BE PAINTED: UNLESS OTHERWISE INDICATED, PAINTING REQUIRED AT ALL IN AND OUT OF EA. ITEM LISTED	THE FOLLOWING ITEMS DO NOT REQUIRE FIELD PAINTING, ENDOFF FOR TOUCHUP AS REQUIRED IN SPECIFICATIONS
EXPOSED BRK FLASHING & CAPS EXPOSED CONCRETE FOUNDATION/BEAM/HEAD HOLLOW METAL DOORS & FRAMES WOOD ACCESS MATCH STEEL TRUSS & IRON DECORATIVE STEEL BARS STEEL CORNICE, SPOUTS BRACK ENCLASURE BARS ORNAMENTAL IRON GRASS EXPOSED WALTER HEAVY BODY STAIN HOLLOW METAL DOOR SHIMBLE SIDING CONCRETE WOOD TRIM EXPOSED THE BRK HEAVY BODY STAIN EXPOSED INTERIOR GRAY AT ENCLASURE WOOD DRAIN OVERFLOW PIPES CONVENTIONAL WOOD FLOORING SPY WINTER & SPOUT/POUT	STOREFRONT SYSTEM CONCRETE ROOF TILE CALUMED PLUMB VESSEL (DEALER) BRICK CAPS (DEALER) EXTERIOR GEMENT PLASTER EPS SYSTEM
EXPANSION JOINTS IN EXT. GEMENT PLASTER OF PLITHOOD SIBR. OF HOOD STIPS - SEE DETAIL X1400X	

- NOTES:
- ALL SHEET METAL FLASHING TO BE MIN 24 GA. UNLESS OTHERWISE INDICATED.
  - SEE REFLECTED CEILING PLANS FOR SOFFIT MATERIALS.
  - PROVIDE EXPANSION JOINTS AT EACH FLOOR LINE, TYP. NOT SHOWN FOR CLARITY.
  - PROVIDE GYP. SHTG. BELOW ALL EXT. GEMENT PLASTER AT ALL VERT. SURFACES, NO GYP. SHTG. REQ'D. AT HORIZ. SURFACES (SPOUTS) UNLESS OTHERWISE INDICATED, SEE SECTION AND DETAILS FOR LOCATIONS WHERE REQ'D.
  - FOR TYPICAL PLASTER ACCESSORIES, SEE DETAIL X1400X.
  - FOR FLASHING AROUND DOOR PENETRATIONS AT PLASTER, SEE DETAIL X1400X.
  - ALL EXPOSED STEEL HELDS TO MEET AISHA VOLUNTARY JOINT FINISH STANCHARD FROM NO. 2, UNLESS OTHERWISE INDICATED.
  - ANTI-RAPRAFI COATING TO BE APPLIED TO PLASTER, STONE, CONCRETE, & BRICK BELOW FIRST HORIZ. JOINT (4'-11" O" APPLIED CONT. AROUND ENTIRE BUILDING).

EXTERIOR FINISH SCHEDULE		MATERIAL INC.			
MARK	MATERIAL	DESCRIPTION	MARK	MATERIAL	DESCRIPTION
1	ALUMINUM STOREFRONT SYSTEM	4-1/2" THERMAL BREAK, DARK BRONZE ANODIZED FINISH	12	GALV. SHEET METAL CAP FLASHING	
2	HOLLOW METAL DOOR & FRAME	FACTORY PRIMED	13		
3	STEEL DOOR/HOOD SYSTEM	FACTORY PRIMED	14		
4	ALUMINUM FOLDING SLIDING WINDOW PANEL SYSTEM	ANODIZED TO MATCH STOREFRONT WINDOW SYSTEM	15		
5	IRJ WINDOW DOOR	-	16		
6	IRJ PRECAST CONCRETE PANEL W/ EXPOSED AGGREGATE	-	17		
7	IRJ GEMENT PLASTER WALL FINISH	-	18		
8	IRJ 4" X 8" X 1/2" SPLIT-FACED CHU	-	19		
9	EXT. CON. PLASTER OF SHEATHING OF STUDS	INTEGRAL COLOR, SMOOTH FINISH AIR BARRIER (TYVEK SYSTEM & SLIP SHEET), ACRYLIC FINISH COAT, TEXTURE TO MATCH (E)	20		
10	4" X 8" X 1/2" SPLIT-FACED CHU TO MATCH SYSTEM	COLOR, SIZE, TEXTURE AND PORTAIR TO MATCH (E)	21		
11	PRECAST CONCRETE CAP				

EXTERIOR ELEVATIONS - GYMNASIUM

SCALE: 1/8" = 1'-0"

**Operational Statement**  
**The Well Community Church – Fig Garden Campus, Classroom and Gym Expansion**

**Overview:** The existing church campus is currently being used as it has been for years. In order to utilize the campus more effectively, additional classroom and gymnasium space is proposed to augment church services. The proposed scope of work involves two phases:

**Phase 1** includes building additions to existing classroom and office buildings and the use of 3 temporary commercial coach trailers for both additional classroom space and restrooms.

**Phase 2** includes the removal of the 3 commercial coach trailers used in Phase 1 and construction of a permanent gymnasium building.

The proposed classroom expansion will serve as the Sunday School classrooms during the morning church services held weekly on Sunday mornings at 8:30AM, 10:00AM and 11:30AM, as well as providing child care facilities during special events and other programs. Services are typically 1 hour in length with a 30-minute buffer between services. Attendance numbers for three Sunday services include approximately 600 adults and 250 children, divided roughly equally between the three services.

The expansions to existing buildings, temporary trailers, and the Phase 2 gym will not create any additional or unusual noise, glare, dust or odor. Existing advertising and access will not be significantly affected. Existing access is from public streets.

The proposed new gymnasium will provide a facility for playing dodgeball, basketball and volleyball in support of the youth and adult programs.

**Storage:** Chairs/tables and equipment to support the staff and meeting spaces on site, additional office supplies. Books and curriculum will be stored as well.

**Deliveries:** No regularly scheduled deliveries are anticipated. Existing campus may have food deliveries for special events such as weddings.

**Classrooms:** Sunday School instruction by volunteer teachers during Sunday AM services. Child care will be provided when necessary during special events and other programs and will be staffed by volunteers. No special equipment is anticipated.

**Gymnasium:** This space would primarily be used to support the weekly middle school, high school, college group meetings with the addition of after school & weekend community group/sport activities.

- **Middle School**-Wednesday from 6pm-9pm for 7<sup>th</sup> and 8<sup>th</sup> graders meeting for games/activities/teaching.
- **High School**- Wednesday from 6pm-9pm for 9<sup>th</sup> and 12<sup>th</sup> graders meeting for games/activities/teaching.
- **College Ministry**-weekly meeting to gather for activities and teaching.

**Parking:** Parking provided for parishioners shall include 104 spaces, sufficient for the typical attendance at each service.

**EXHIBIT 6**

**Water:** No change to existing water usage is anticipated with this scope of work. Water is provided by the City of Fresno.



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT: Brad Bell/Bob Koury
- APPLICATION NOS.: Initial Study Application No. 7328 and Classified Conditional Use Permit Application No. 3583
- DESCRIPTION: Allow the addition of classrooms and a gymnasium to an existing church facility on a 6.99-acre parcel in the R-1-B (Single-Family Residential; 12,500 minimum parcel size) Zone District.
- LOCATION: The project site is located on southwest corner of E. Gettysburg and N. Palm Avenues within a County island in the City of Fresno (4545 N. Palm Avenue, Fresno, CA) (SUP. DIST. 2) (APN 426-020-09).

### I. AESTHETICS

- A. Would the project have a substantial adverse effect on a scenic vista; or
- B. Would the project substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a State scenic highway?

FINDING: NO IMPACT:

The project site is located in a fully developed residential neighborhood. The site is surrounded by single-family homes to the north, south and east and a middle school to the west and is not located along a designated scenic highway. No scenic vistas or scenic resources were identified on or near the property to be impacted by the proposal.

- C. Would the project substantially degrade the existing visual character or quality of the site and its surroundings?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is developed with improvements related to an existing church. The existing improvements include office and classroom buildings, a fellowship hall, worship center, storage building and shed, outdoor plaza and paved parking.

The subject proposal, comprised of two phases, would allow additional classrooms and a gymnasium to augment church services. Phase 1 of the project includes building additions to existing classroom and office buildings and the use of three (3) temporary commercial coach trailers for both additional classroom space and restrooms. Phase 2 of the project includes the removal of three commercial coach trailers used in Phase 1 and construction of a permanent gymnasium building. The proposal involves no other improvements.

The proposed classrooms and the gymnasium are 20 to 35 feet in height, match in height, design, and construction to the existing improvements, and are located on the property approximately 90 to 200 feet from abutting streets. The project will have a less than significant impact on the visual character or quality of the site and its surroundings.

- D. Would the project create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION INCORPORATED:

The project will utilize outdoor lighting that has the potential to generate new sources of light and glare in the area. To minimize lighting impact, a mitigation measure would require all lighting to be hooded and directed as to not shine toward adjacent properties and public streets.

\* **Mitigation Measure**

1. *All outdoor lighting shall be hooded and directed downward so as to not shine toward adjacent properties and public streets.*

## II. AGRICULTURAL AND FORESTRY RESOURCES

- A. Would the project convert prime or unique farmlands or farmland of state-wide importance to non-agricultural use; or
- B. Would the project conflict with existing agricultural zoning or Williamson Act Contracts; or
- C. Would the project conflict with existing zoning for or cause rezoning of forest land, timberland, or timberland zoned Timberland Production; or
- D. Would the project result in the loss of forest land or conversion of forest land to non-forest use; or
- E. Would the project involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland to non-agricultural uses or conversion of forest land to non-forest use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site is not an active farmland, forestland, or timberland, or encumbered by a Williamson Act Land Conservation Contract. The subject proposal is not in conflict with residential zoning on the property. Churches are allowed uses in the R-1-B Zone District with discretionary approval and adherence to the applicable General Plan Policies. The site is developed with an existing church with related facilities. The new improvements (additional classrooms and a gymnasium) proposed by this application are complimentary to the existing improvements on or near the site.

III. AIR QUALITY

- A. Would the project conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Would the project violate any air quality standard or contribute to an existing or projected air quality violation; or
- C. Would the project result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under a Federal or State ambient air quality standard; or
- D. Would the project expose sensitive receptors to substantial pollutant concentrations?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The San Joaquin Valley Air Pollution Control District (Air District) reviewed the proposal and requires the Applicant to contact the Air District's Small Business Assistance Office to identify District rules or regulations that apply to the project or to obtain information about District permit requirements. This requirement will be included as a Project Note.

- E. Would the project create objectionable odors affecting a substantial number of people?

FINDING: NO IMPACT:

The project will not create objectionable odors that would affect people in the area.

IV. BIOLOGICAL RESOURCES

- A. Would the project have a substantial adverse effect, either directly or through habitat modifications, on any candidate, sensitive, or special-status species; or
- B. Would the project have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife (CDFW) or U.S. Fish and Wildlife Service (USFWS); or

- C. Would the project have a substantial adverse effect on federally-protected wetlands as defined by Section 404 of the Clean Water Act through direct removal, filling, hydrological interruption or other means; or
- D. Would the project interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites; or
- E. Would the project conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

FINDING: NO IMPACT:

Developed with improvements related to an existing church, the project site does not provide suitable habitat for state and federally listed species and contains no riparian features.

This proposal was referred to the U.S. Fish and Wildlife Service (USFWS), which did not identify any concerns related to the project. This proposal was also referred to the California Department of Fish and Wildlife (CDFW), which also did not identify any concerns. Therefore, no impacts were identified in regard to: 1) any candidate, sensitive, or special-status species; 2) any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by CDFW or USFWS; 3) any Federally-protected wetlands as defined by Section 404 of the Clean Water Act; and 4) the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impediment of the use of native wildlife nursery sites.

- F. Would the project conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?

FINDING: NO IMPACT:

The project will not conflict with any biological resources related to tree preservation policies or any adopted Conservation Plans.

## V. CULTURAL RESOURCES

- A. Would the project cause a substantial adverse change in the significance of a historical resource as defined in Section 15064.5; or
- B. Would the project cause a substantial adverse change in the significance of an archeological resource pursuant to Section 15064.5; or
- C. Would the project directly or indirectly destroy a unique paleontological resource or site or unique geologic feature; or

- D. Would the project disturb any human remains, including those interred outside of formal cemeteries?

FINDING: NO IMPACT:

The project site is not within or near an area sensitive to historical, archeological or paleontological resources. No impact to these resources would occur.

- E. Would the project cause a substantial adverse change in the significance of a tribal cultural resource as defined in Public Resources Code Section 21074?

FINDING: NO IMPACT:

Per the discussion above, the project will have no impact on tribal cultural resources as defined in Public Resources Code Section 21074. The project was routed to the Picayune Rancheria of the Chuckchansi Indians, the Table Mountain Rancheria, Santa Rosa and Dumna Wo Wah Tribal Governments.

## VI. GEOLOGY AND SOILS

- A. Would the project expose people or structures to potential substantial adverse effects, including risk of loss, injury or death involving:

1. Rupture of a known earthquake; or
2. Strong seismic ground shaking; or
3. Seismic-related ground failure, including liquefaction; or
4. Landslides?

FINDING: NO IMPACT:

The project is not located within a fault zone. As such, it will not create a substantial risk or expose people or structures to earthquake rupture, strong seismic ground shaking, seismic-related ground failure, liquefaction or landslides.

- B. Would the project result in substantial erosion or loss of topsoil?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the Development Engineering Section of the Fresno County Department of Public Works and Planning: 1) an Engineered Grading and Drainage Plan may be required to show how additional storm water runoff generated by the proposal will be handled without adversely impacting adjacent properties; and 2) a Grading Permit or Voucher shall be required for any grading proposed with this application. These requirements will be included as Project Notes.



- C. Would the project result in on-site or off-site landslide, lateral spreading, subsidence, liquefaction or collapse; or
- D. Would the project be located on expansive soils, creating substantial risks to life or property?

FINDING: NO IMPACT:

The project is not located within an area of known risk of landslides, lateral spreading, subsidence, liquefaction, or collapse, or within an area of known expansive soils.

- E. Would the project have soils incapable of adequately supporting the use of septic tanks or alternative disposal systems where sewers are not available for wastewater disposal?

FINDING: NO IMPACT:

The project site is connected to the City of Fresno community sewer system. The proposed improvements will tie into that system.

The Fresno County Department of Public Health, Environmental Health Division reviewed the proposal and expressed no concerns related to sewage disposal for the project

## VII. GREENHOUSE GAS EMISSIONS

- A. Would the project generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Would the project conflict with any applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Comments received from the San Joaquin Valley Air Pollution Control District expressed no specific project-related concerns, supporting the determination that the project will not generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment. The project will adhere to the Air District comment discussed in Section III. A.B.C.D. Air Quality.

## VIII. HAZARDS AND HAZARDOUS MATERIALS

- A. Would the project create a significant public hazard through routine transport, use or disposal of hazardous materials; or
- B. Would the project create a significant public hazard involving accidental release of hazardous materials into the environment; or

- C. Would the project create hazardous emissions or utilize hazardous materials, substances or waste within one quarter-mile of a school; or
- D. Would the project be located on a hazardous materials site?

FINDING: NO IMPACT:

The project involves no transport, use, or disposal of hazardous materials and is not located on a former hazardous materials site. No concerns were expressed by the Department of Public Health, Environmental Health Division.

The Wawona Middle School which abuts the westerly boundary of the project site will not be impacted by this proposal.

- E. Would a project located within an airport land use plan or, absent such a plan, within two miles of a public airport or public use airport, result in a safety hazard for people residing or working in the project area; or
- F. Would a project located within the vicinity of a private airstrip result in a safety hazard for people residing or working in the project area?

FINDING: NO IMPACT:

The project site is not located within an Airport Land Use Plan area, two miles of a public use airport, or in the vicinity of a private airstrip. The nearest airport, Fresno-Yosemite International Airport in the City of Fresno is approximately 4.1 miles southeast of the site.

- G. Would the project impair implementation of or physically interfere with an adopted Emergency Response Plan or Emergency Evacuation Plan; or
- H. Would the project expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

FINDING: NO IMPACT:

The project will not result in interference with any emergency response plan and is not within or adjacent to a wildlands fire area.

## IX. HYDROLOGY AND WATER QUALITY

- A. Would the project violate any water quality standards or waste discharge requirements or otherwise degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section VI. E. GEOLOGY AND SOILS.

According to the Central Valley Regional Water Quality Control Board, the project proponent shall obtain permit coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity (Construction General Permit). This requirement will be included as a Project Note.

The State Water Resources Control Board, Division of Drinking Water (SWRCB-DDW) reviewed the proposal and expressed no concerns. According to the SWRCB-DDW, the project site is connected to the City of Fresno community water system and therefore is not regulated by the agency.

- B. Would the project substantially deplete groundwater supplies or interfere substantially with groundwater recharge so that there would be a net deficit in aquifer volume or a lowering of the local groundwater table?

FINDING: NO IMPACT:

The project will not utilize groundwater. The City of Fresno currently provides potable water to the existing church on the property. The proposed improvements will connect to the same source of water supply.

The City of Fresno Utilities Department, and Water and Natural Resources Division of the Fresno County Department of Public Works and Planning reviewed the proposal and expressed no concerns related to water sustainability for the project.

- C. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off site; or
- D. Would the project substantially alter existing drainage patterns, including alteration of the course of a stream or river, in a manner which would result in flooding on or off site?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Per the United States Geological Survey (USGS) Quad Maps, Fresno Irrigation District's (FID) Enterprise-Holland Colony No. 122 Canal runs northerly along the west side of the subject property and crosses Gettysburg Avenue. FID requires review and approval of plans for any improvements along the west side of the property or any street and/or utility improvements along Gettysburg Avenue or in the vicinity of the canal. This requirement will be included as a Condition of Approval.

- E. Would the project create or contribute run-off which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted run-off?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Per the discussion in Section VI. B. Geology and Soils, any changes to the existing drainage pattern resulting from this proposal would require review and approval of an

Engineered Grading and Drainage Plan and a Grading Permit or Voucher from the Development Engineering Section of the Fresno Department of Public Works and Planning.

According to the Fresno Metropolitan Flood Control District (FMFCD) review of the proposal, FMFCD shall approve the drainage and grading plan prior to its approval by the County, and on-site retention of storm water runoff is not required, provided the developer can verify to the County safe conveyance of runoff to the Master Plan inlet(s). These requirements will be included as Project Notes and addressed through Site Plan Review recommended as a Condition of Approval.

F. Would the project otherwise substantially degrade water quality?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in IX. A. above.

G. Would the project place housing within a 100-year floodplain?

FINDING: NO IMPACT:

No housing is proposed with this project.

H. Would the project place structures within a 100-year flood hazard area that would impede or redirect flood flows?

FINDING: NO IMPACT:

According to the Federal Emergency Management Agency (FEMA) FIRM Panel 1570H, the project site is not subject to flooding from the 100-year storm.

I. Would the project expose persons or structures to levee or dam failure?

FINDING: NO IMPACT:

The project is not exposed to potential levee or dam failure, as none are located near the project site.

J. Would the project cause inundation by seiche, tsunami or mudflow?

FINDING: NO IMPACT:

The project site is not near inland bodies of water, within a volcanically-active area, or adjacent to steep slopes. These conditions preclude the possibility of seiche, tsunami and mudflow inundations.

## X. LAND USE AND PLANNING

A. Will the project physically divide an established community?

FINDING: NO IMPACT:

The proposal will not physically divide an established community. The project site is within a County island in the City of Fresno.

B. Will the project conflict with any Land Use Plan, policy or regulation of an agency with jurisdiction over the project?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject property is designated as Low-Density Residential in the Fig Garden Neighborhood Plan and is located within a County island in the City of Fresno.

The City of Fresno reviewed the proposal and expressed no concerns with the project. The proposed church expansion will not conflict with any land use plan, policy, or regulation of the City of Fresno. This proposal meets the following General Plan policies:

General Plan Policy PF-C.17 requires that determination shall be made for discretionary land uses with respect to water quantity, sustainability, and impact on other water users. The church has an existing connection with the City of Fresno Community water system. The proposed improvements will connect to that system. The Water and Natural Resources Division reviewed the proposal and identified no concerns related to water.

General Plan Policy PF-D.6 requires that the County shall permit on-site sewage disposal systems on parcels that have the area, soils and other characteristics that permit installation of such systems without threatening groundwater quality or posing health hazards. The church has an existing connection with the City of Fresno community sewer system. The proposed improvements will connect to that system. The Fresno County Department of Public Health, Environmental Health Division reviewed the proposal and identified no concerns related to sewage disposal.

C. Will the project conflict with any applicable Habitat Conservation Plan or Natural Community Conservation Plan?

FINDING: NO IMPACT:

The project will not conflict with any Habitat Conservation or Natural Community Conservation Plans.

## XI. MINERAL RESOURCES

A. Would the project result in the loss of availability of a known mineral resource; or

- B. Would the project result in the loss of availability of a locally-important mineral resource recovery site designated on a General Plan?

FINDING: NO IMPACT:

No mineral resource impacts were identified in the analysis. The site is not located in a mineral resource area as identified in Policy OS-C.2 of the General Plan.

## XII. NOISE

- A. Would the project result in exposure of people to severe noise levels; or
- B. Would the project result in exposure of people to or generate excessive ground-borne vibration or ground-borne noise levels; or
- C. Would the project cause a substantial permanent increase in ambient noise levels in the project vicinity; or
- D. Would the project result in a substantial temporary or periodic increase in ambient noise levels?

FINDING: LESS THAN SIGNIFICANT IMPACT:

Noise impacts associated with construction are expected to be short-term. Construction noise is considered exempt from compliance with the Fresno County Noise Ordinance provided that noise-generating construction activity should be limited to the hours of 6:00 a.m. to 9:00 p.m. Monday through Friday, and 7:00 a.m. to 5:00 p.m. Saturday and Sunday.

The Fresno County Department of Public Health, Environmental Health Division reviewed the proposal and expressed no concerns related to noise.

- E. Would the project expose people to excessive noise levels associated with a location near an airport or a private airstrip; or
- F. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

FINDING: NO IMPACT:

The project site is not located near an airport nor will be impacted by airport noise. The nearest airport, Fresno-Yosemite International Airport, in the City of Fresno is approximately 4.1 miles southeast of the site.

## XIII. POPULATION AND HOUSING

- A. Would the project induce substantial population growth either directly or indirectly; or

- B. Would the project displace substantial numbers of existing housing; or
- C. Would the project displace substantial numbers of people, necessitating the construction of housing elsewhere?

FINDING: NO IMPACT:

The project will not result in an increase of housing, nor will it otherwise induce population growth.

#### XIV. PUBLIC SERVICES

- A. Would the project result in substantial adverse physical impacts associated with the provision of new or physically-altered public facilities in the following areas:

- 1. Fire protection?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno Fire Department (FFD) has jurisdiction over the project. The approved Site Plan would require FFD approval prior to the issuance of building permits by the County. This requirement will be included as a Project Note and addressed through Site Plan Review recommended as a Condition of Approval.

- 2. Police protection; or
- 3. Schools; or
- 4. Parks; or
- 5. Other public facilities?

FINDING: NO IMPACT:

The project will not have impacts on police services, schools, parks or any other public facilities.

#### XV. RECREATION

- A. Would the project increase the use of existing neighborhood and regional parks; or
- B. Would the project require the construction of or expansion of recreational facilities?

FINDING: NO IMPACT:

The project will not impact any existing or future parks or recreational facilities in the area.

## XVI. TRANSPORTATION/TRAFFIC

- A. Would the project conflict with any applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation; or
- B. Would the project conflict with an applicable congestion management program, including, but not limited to, level of service standards and travel demands measures?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject proposal would allow additional classrooms and a gymnasium to augment church services. Phase 1 of the project includes building additions to existing classroom buildings and the use of three (3) temporary commercial coach trailers for both additional classroom space and restrooms. Phase 2 of the project includes removal of three commercial coach trailers used in Phase 1 and construction of a permanent gymnasium building. No other improvements are proposed by this application.

According to the Applicant's Operational Statement, the proposed classroom expansion will serve as the Sunday school classrooms during the morning church services held weekly on Sunday mornings, as well as providing childcare facilities during special events and other programs. Attendance numbers for three Sunday services include approximately 600 adults and 250 children, divided equally between the three services.

The project was reviewed by the Design Division of the Fresno County Department of Public Works and Planning. Given the number of children in the classrooms at any time is commensurate with the number of adults who attend the service, no new enrollment for class offered at the church, the gymnasium will only be used for church events on a sporadic basis, and no increase in the seating capacity of the main sanctuary, the Design Division expressed no concerns regarding traffic generated by the proposal and did not require a Traffic Impact Study.

- C. Would the project result in a change in air traffic patterns?

FINDING: NO IMPACT:

The project will not result in a change in air traffic patterns. The tallest proposed structure (gymnasium) will be 35 feet in height and be located approximately 4.1 miles southeast of the Fresno-Yosemite International Airport. The building height and the distance from the airport eliminate the possibility of altering air traffic patterns.

- D. Would the project substantially increase traffic hazards due to design features?

FINDING: LESS THAN SIGNIFICANT IMPACT:



The project site gains access from Gettysburg and Palm Avenues. No changes to the current site access are proposed by this application. The site is developed with curb and gutter, and sidewalks.

The Road Maintenance and Operations Division of the Fresno County Department of Public Works and Planning reviewed the proposal and requires that the Applicant shall irrevocably offer a 20-foot by 20-foot corner cutoff to facilitate ADA-compliant ramps at the corner of the Palm and Gettysburg intersection. This will be included as a Condition of Approval.

- E. Would the project result in inadequate emergency access?

FINDING: NO IMPACT:

The project would not result in on-site or off-site activities that would impair emergency vehicle movement or personnel. The existing site accesses off Gettysburg and Palm Avenues are of sufficient design and construction to accommodate emergency services response to the site.

- F. Would the project conflict with adopted plans, policies or programs regarding public transit, bicycle or pedestrian facilities or otherwise decrease the performance or safety of such facilities?

FINDING: NO IMPACT:

The project would not conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities.

## XVII. UTILITIES AND SERVICE SYSTEMS

- A. Would the project exceed wastewater treatment requirements?

FINDING: NO IMPACT:

See discussion in Section VI. E. Geology and Soils.

- B. Would the project require construction of or the expansion of new water or wastewater treatment facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

See discussion in Section IX. A. Hydrology and Water Quality.

- C. Would the project require or result in the construction or expansion of new storm water drainage facilities?

FINDING: LESS THAN SIGNIFICATION IMPACT:

See discussion in Section IX.E Hydrology and Water Quality.

- D. Would the project have sufficient water supplies available from existing entitlements and resources, or are new or expanded entitlements needed?

FINDING: NO IMPACT:

See discussion in Section IX. B. Hydrology and Water Quality.

- E. Would the project result in a determination of inadequate wastewater treatment capacity to serve project demand?

FINDING: NO IMPACT:

See discussion in Section VI.E Geology and Soils.

- F. Would the project be served by a landfill with sufficient permitted capacity; or
- G. Would the project comply with federal, state and local statutes and regulations related to solid waste?

FINDING: NO IMPACT:

Any solid waste generated by this proposal will be minimal and collected through regular trash collection service.

#### XVIII. MANDATORY FINDINGS OF SIGNIFICANCE

- A. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California prehistory or history?

FINDING: NO IMPACT:

No impacts on biological or cultural resources were identified in the project analysis.

- B. Does the project have impacts that are individually limited, but cumulatively considerable?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will adhere to the permitting requirements and rules and regulations set forth by the Fresno County Grading and Drainage Ordinance, San Joaquin Air Pollution Control District, and California Code of Regulations Fire Code. No cumulatively

considerable impacts were identified in the analysis other than aesthetics, which will be addressed with the Mitigation Measure discussed in Section I.D.

- C. Does the project have environmental impacts which will cause substantial adverse effects on human beings, either directly or indirectly?

FINDING: NO IMPACT:

No substantial impacts on human beings, either directly or indirectly, were identified in the analysis.

## **CONCLUSION/SUMMARY**

Based upon the Initial Study (IS 7328) prepared for Conditional Use Permit Application No. 3583, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to biological resources, cultural resources, hazards and hazardous materials, mineral resources, population and housing, or recreation.

Potential impacts related to agricultural and forestry resources, air quality, geology and soils, greenhouse gas emissions, hydrology and water quality, land use and planning, noise, public services, transportation/traffic, and utilities and service systems have been determined to be less than significant.

Potential impacts to aesthetics have been determined to be less than significant with the identified Mitigation Measure.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, Street level, located on the southwest corner of Tulare and "M" Streets, Fresno, California.

EA:ksn

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File original and one copy with: <b>Fresno County Clerk 2221 Kern Street Fresno, California 93721</b>		Space Below For County Clerk Only.  CLK-2046.00 E04-73 R00-00	
Agency File No: IS 7328	<b>LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION</b>	County Clerk File No: <b>E-</b>	
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Ejaz Ahmad, Planner	Area Code: 559	Telephone Number: 600-4204	Extension: N/A
Applicant (Name): Brad Bell/Bob Koury	Project Title: Classified Conditional Use Permit Application No. 3583		
Project Description: Allow the addition of classrooms and a gymnasium to an existing church facility on a 6.99-acre parcel in the R-1-B (Single-Family Residential; 12,500 minimum parcel size) Zone District. The project site is located on southwest corner of E. Gettysburg and N. Palm Avenues within a County island in the City of Fresno (4545 N. Palm Avenue, Fresno, CA) (SUP. DIST. 2) (APN 426-020-09).			
Justification for Mitigated Negative Declaration: Based upon the Initial Study (IS 7328) prepared for Classified Conditional Use Permit Application No. 3583, staff has concluded that the project will not have a significant effect on the environment.  No impacts were identified related to biological resources, cultural resources, hazards and hazardous materials, mineral resources, population and housing, or recreation.  Potential impacts related to agricultural and forestry resources, air quality, geology and soils, greenhouse gas emissions, hydrology and water quality, land use and planning, noise, public services, transportation/traffic, and utilities and service systems have been determined to be less than significant.  Potential impact related to aesthetics has been determined to be less than significant with the identified mitigation measure.  The Initial Study and MND is available for review at 2220 Tulare Street, Suite A, Street Level, located on the southeast corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – January 12 , 2018		Review Date Deadline: February 12, 2018	
Date: January 10, 2018	Type or Print Name: Marianne Mollring, Senior Planner	Submitted by (Signature):	

State 15083, 15085

County Clerk File No.: \_\_\_\_\_

**LOCAL AGENCY  
MITIGATED NEGATIVE DECLARATION**