



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: April 18, 2024

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Development Services and Capital Projects, Attn: William M. Kettler,
Deputy Director
Development Services and Capital Projects, Attn: Chris Motta, Division Manager
Development Services and Capital Projects, Attn: Tawanda Mtunga,
Principal Planner
Development Services and Capital Projects, Current/Environmental
Planning, Attn: David Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, Attn:
Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review,
Attn: James Anders, Senior Planner/Daniel Gutierrez, Senior
Planner
Development Services and Capital Projects, Development Engineering,
Attn: Laurie Kennedy, Office Assistant III
Water and Natural Resources Division, Attn: Augustine Ramirez, Division
Manager
Water and Natural Resources Division, Attn: Roy Jimenez, Senior Planner
Water and Natural Resources Division, Transportation Planning, Attn:
Hector Luna, Senior Planner
Water and Natural Resources Division, Community Development, Attn:
Yvette Quiroga, Principal Planner
Design Division, Attn: Mohammad Alimi, Division Manager;
Erin Haagenson, Principal Staff Analyst
Resources Division, Attn: Daniel Amann, Interim Division Manger
Resources Division, Special Districts, Attn: Christopher Bump, Principal
Staff Analyst,
Road Maintenance and Operations Division, Attn: Wendy Nakagawa,
Supervising Engineer
Department of Public Health, Environmental Health Division, Attn: Deep
Sidhu, Supervising Environmental Health Specialist; Kevin Tsuda,
Environmental Health Specialist;
Pacific Gas and Electric, Centralized Review Team, Attn: PGEPlanReview@pge.com

FROM: Elliot Racusin, Planner
Development Services and Capital Projects Division

SUBJECT: DRA 4767

APPLICANT: Josh Francis

DUE DATE: **May 4, 2024**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow a permanent 1,990 square foot proposed secondary conventional residence with an existing 7,605 square foot conventional residence on a 20-acre parcel in the RR (Rural Residential, two-acre minimum) Zone District.

The subject parcel is located on the south side of Summit Mountain Road, 0.50-miles south of its intersection from Auberry Road, approximately 2.93-miles north from the city limits of the City of Clovis. (APNs: 300-360-21 & 22) (16311 Summit Mountain Rd.) (Sup. Dist. 5).

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **May 4, 2024**. Any comments received after this date may not be used.

If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Elliot Racusin, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4245, or email eracusin@fresnocountyca.gov

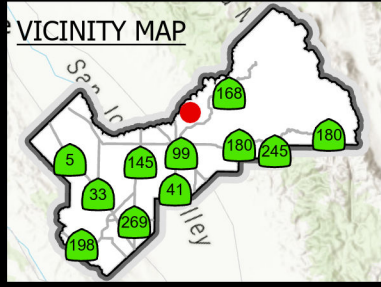
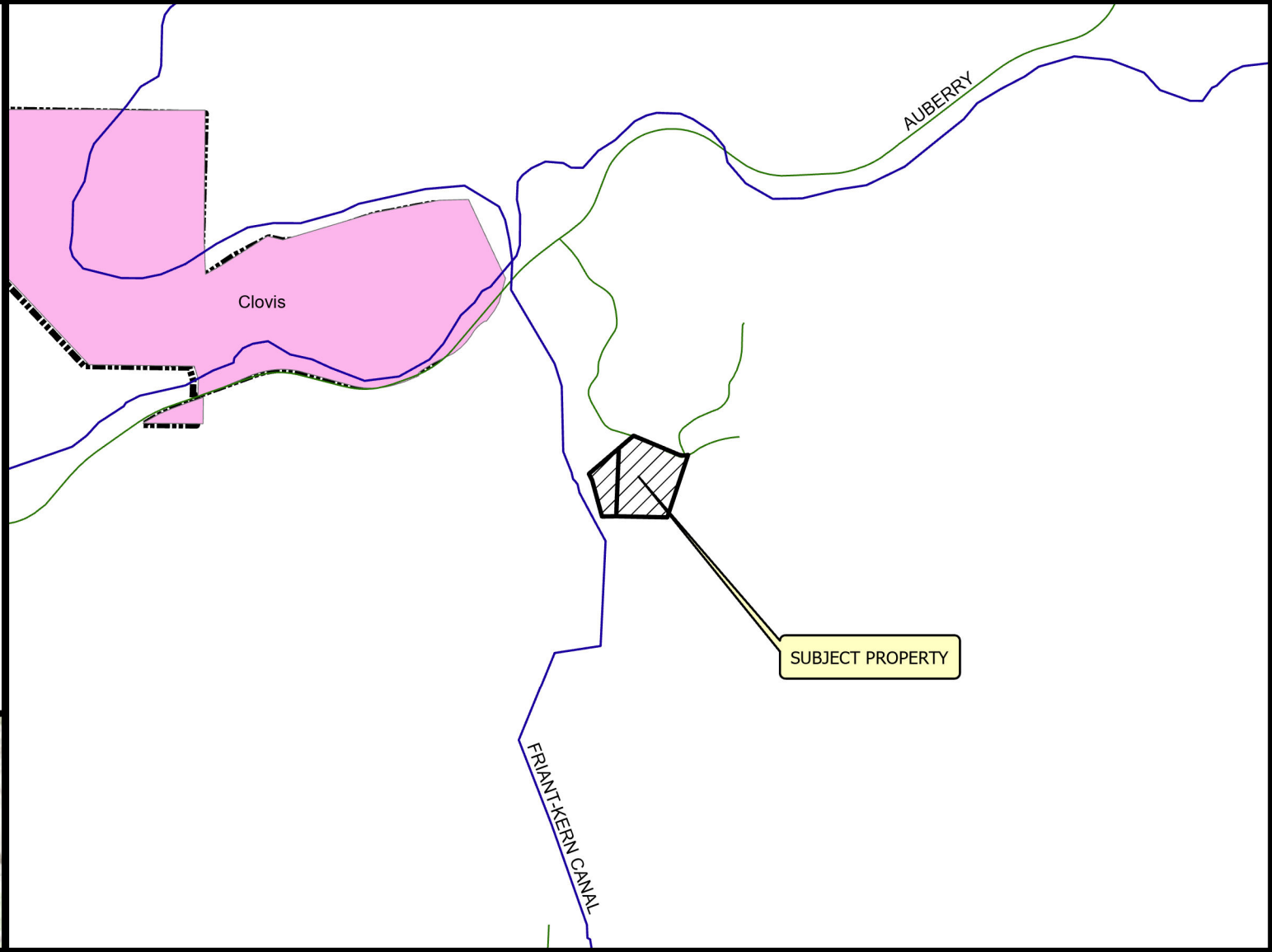
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Activity Code (Internal Review): 2392

Enclosures

Legend

-  Clovis
-  City Sphere of Influence
-  Subject Property

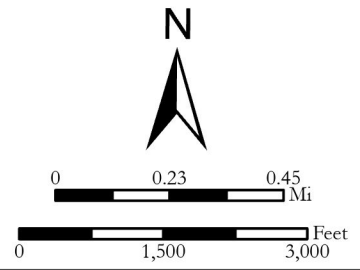


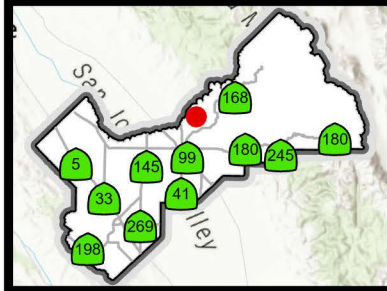
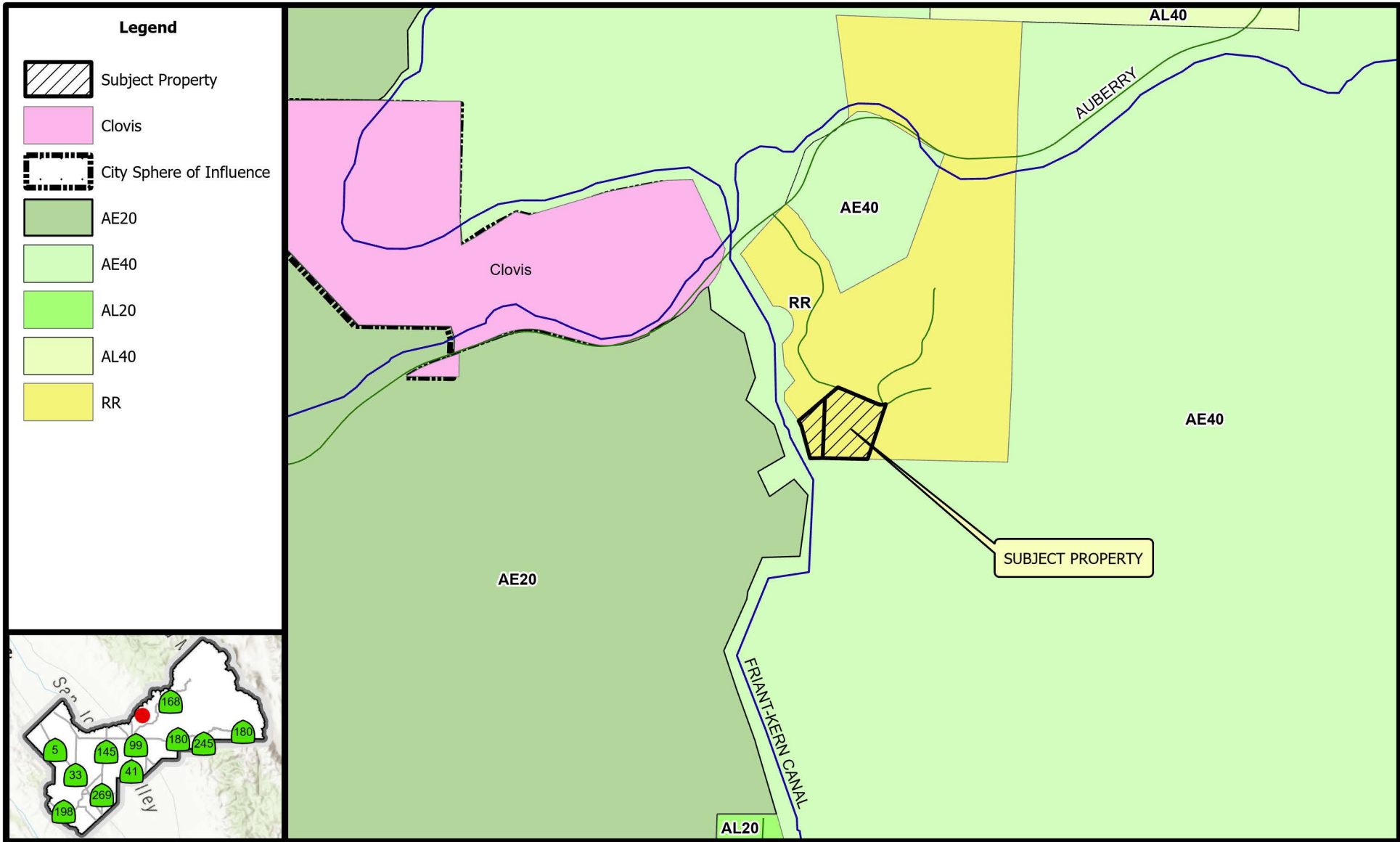
LOCATION MAP

DRA4767

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : jocervantes
 On Date : 4/16/2024



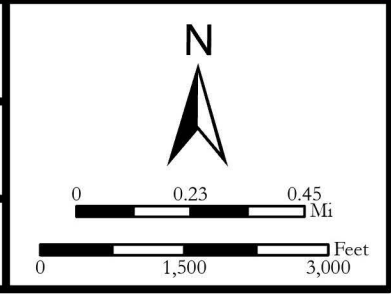


Existing Zoning Map

DRA4767
STR 34 - 11S / 21E

2024

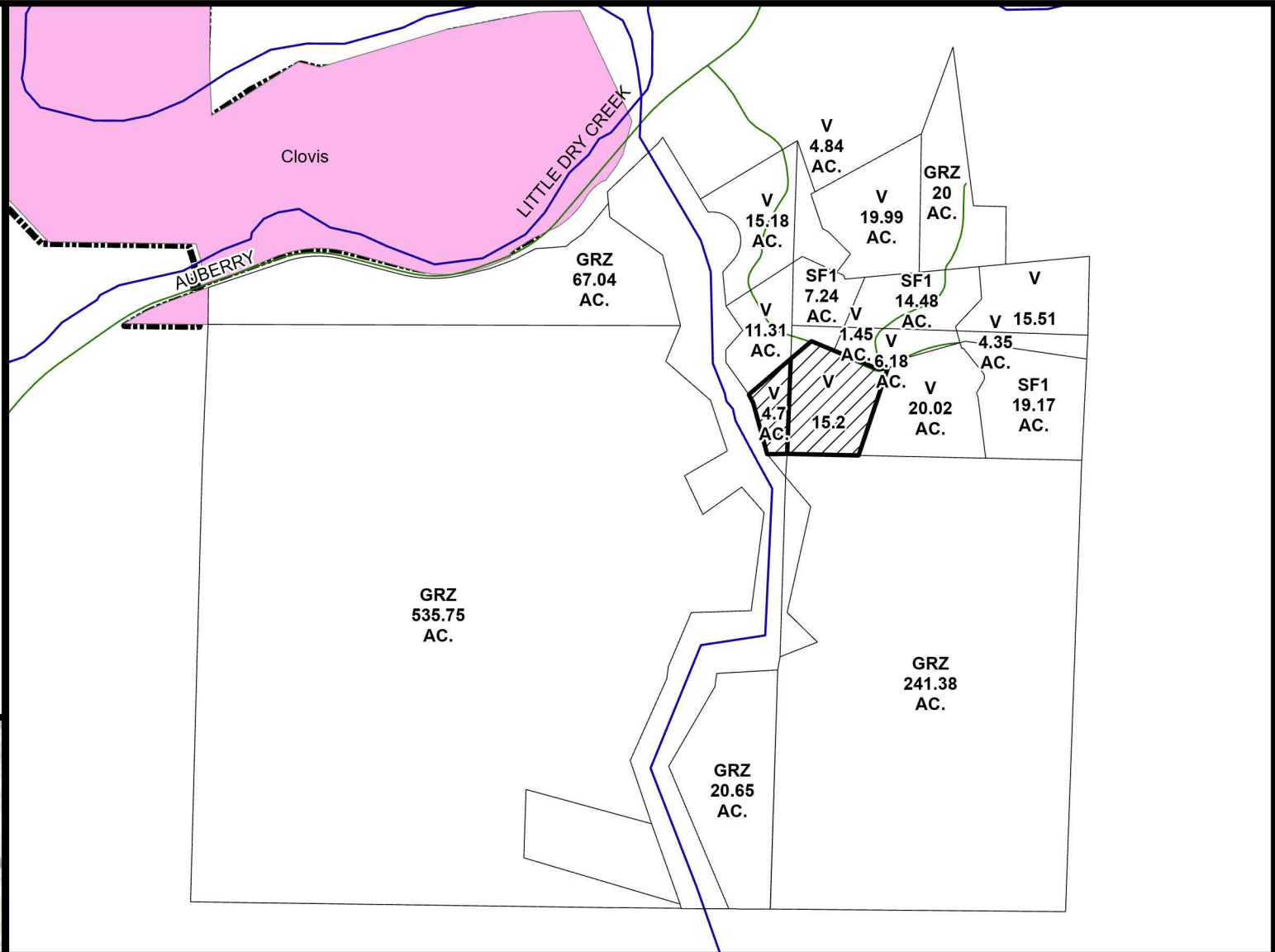
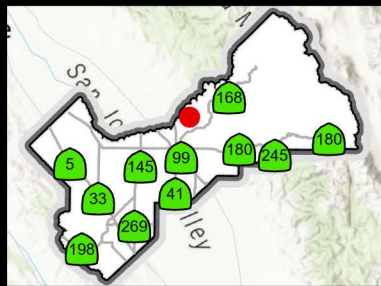
Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : jocervantes
 On Date : 4/16/2024



LEGEND:

 Subject Property

LEGEND
GRZ - GRAZING
SF#- SINGLE FAMILY RESIDENCE
V - VACANT

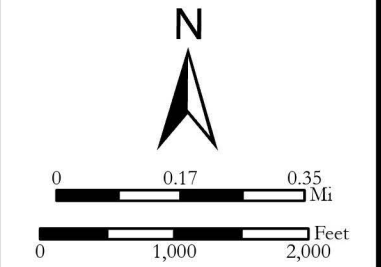


Existing Land Use Map

DRA4767

2024

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : jocervantes
 On Date : 4/16/2024





County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

PRE-APPLICATION REVIEW DISCLOSURE/DISCLAIMER

Completion of a Pre-Application Review is no longer a mandatory step necessary in order to submit a land use or mapping application to the Fresno County, Department of Public Works and Planning, Development Services Division for processing. The purpose of the Pre-Application Review is to allow the customer and staff to exchange information and confirm the necessary application process, required fees, and submittal material prior to the customer paying the actual application fees. Specifically, during the Pre-Application Review process, staff researches and provides the following information:

- If the proposed use is allowed based on the zoning of the subject parcel; the type(s) of application(s) required to permit the proposal to be processed.
- If the subject site is a legal parcel (Note: If the parcel is not legally created, no land use/mapping application can be processed until the legality issue is resolved).
- The anticipated level of environmental review.
- If the project site is under the Williamson Act Contract and if the proposed use is permitted under the Contract.
- If the site is located within a special district and if special considerations may be applicable to the project.
- Required application forms, filing fees, and filing requirements/materials.

While the Pre-Application Review is an option for any prospective application, in those cases where an applicant opts not to file for completion of a Pre-Application Review; the information research noted above that typically results from the Pre-Application Review process may not be realized until after the application fees have been accepted and the project has been routed for comment. This being the case, unexpected issues may arise that could impact the processing timeline and cost of the application and/or impact the determination as to whether the application can even continue to be processed as originally submitted. *Please note that if the application cannot be processed as submitted, the processing fees expended thus far will not be refunded.*

By opting out of the Pre-Application Review process, I hereby acknowledge the potential for additional application processing delays and costs.

Josh Francis

PRINT NAME

SIGNATURE

PRINT NAME

SIGNATURE

4-12-2024

DATE

DATE

G:\4360Devs&PIn\FORMS\F227 Pre-Application Review Waiver.doc



Fresno County Department of Public Works and Planning

Date Received:	(Application No.)
----------------	-------------------

MAILING ADDRESS:
 Department of Public Works and Planning
 Development Services Division
 2220 Tulare St., 6th Floor
 Fresno, Ca. 93721

LOCATION:
 Southwest corner of Tulare & "M" Streets, Suite A
 Street Level
 Fresno Phone: (559) 600-4497
 Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type) _____
- Amendment Application Director Review and Approval
- Amendment to Text for 2nd Residence
- Conditional Use Permit Determination of Merger
- Variance (Class)/Minor Variance Agreements
- Site Plan Review/Occupancy Permit ALCC/RLCC
- No Shoot/Dog Leash Law Boundary Other _____
- General Plan Amendment/Specific Plan/SP Amendment)
- Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. **Attach Copy of Deed, including Legal Description.**

LOCATION OF PROPERTY: _____ side of _____
 between _____ and _____
 Street address: _____

APN: _____ Parcel size: _____ Section(s)-Twp/Rg: S ____ - T ____ S/R ____ E

ADDITIONAL APN(s): _____

I, Justin (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Owner (Print or Type)	Address	City	Zip	Phone
Applicant (Print or Type)	Address	City	Zip	Phone
Representative (Print or Type)	Address	City	Zip	Phone

CONTACT EMAIL:

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
Application Type / No.:	Fee: \$
PER/Initial Study No.:	Fee: \$
Ag Department Review:	Fee: \$
Health Department Review:	Fee: \$
Received By: _____ Invoice No.:	TOTAL: \$

UTILITIES AVAILABLE:

WATER: Yes / No
 Agency: _____

SEWER: Yes / No
 Agency: _____

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: ____ - T ____ S /R ____ E

Related Application(s): _____

APN # ____ - ____ - ____

Zone District: _____

APN # ____ - ____ - ____

Parcel Size: _____

APN # ____ - ____ - ____

APN # ____ - ____ - ____

**REQUIRED FINDINGS NECESSARY FOR GRANTING A
CONDITIONAL USE PERMIT APPLICATION
AS SPECIFIED IN ZONING ORDINANCE SECTION 873**

1. That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood.
2. That the site for proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.
3. That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof.
4. That the proposed development is consistent with the General Plan.

**REQUIRED FINDINGS NECESSARY FOR THE GRANTING
OF A VARIANCE APPLICATION AS SPECIFIED IN ZONING
ORDINANCE SECTION 877**

1. There are exceptional or extraordinary circumstances or conditions applicable to the property involved which do not apply generally to other property in the vicinity having the identical zoning classification.
2. Such variance is necessary for the preservation and enjoyment of a substantial property right of the applicant, which right is possessed by other property owners under like conditions in the vicinity having the identical zoning classification.
3. The granting of a variance will not be materially detrimental to the public welfare or injurious to property and improvement in the vicinity in which the property is located.
4. The granting of such variance will not be contrary to the objectives of the General Plan.

**REQUIRED FINDINGS NECESSARY FOR THE GRANTING
OF A DIRECTOR REVIEW AND APPROVAL APPLICATION
AS SPECIFIED IN ZONING ORDINANCE SECTION 872**

1. That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping and other features required by this Division, to adjust said use with land and uses in the neighborhood.
2. That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.
3. That the proposed use will not be detrimental to the character of the development in the immediate neighborhood or the public health, safety, and general welfare.
4. That the proposed development be consistent with the General Plan.

**REQUIREMENTS FOR SUBMITTING SITE PLANS TO THE
FRESNO COUNTY PUBLIC WORKS AND PLANNING
DEPARTMENT**

The purpose of the site (or plot) plan is to enable the Development Services Division to determine whether or not a proposed development conforms to Zoning Ordinance regulations. The requirements below are necessary to ensure proper and timely review based on complete information, and to prevent unnecessary delays in the processing of applications. Improper or incomplete site plans will not be accepted.

General Requirements

1. The plan must be drawn on a sheet having the following minimum dimensions:
 - 18" x 24" for CUPs and SPRs
 - 8.5" x 11" for Variances and DRAs
2. The plan must show the entire parcel of property described in the application. If only a portion of an existing parcel is to be developed, a key map shall be included showing the entire parcel.
3. The plan must be drawn to scale, and the scale must be clearly shown. (Scale should also be large enough to adequately show required information). Parking and circulation plans must be drawn to a scale of 1"= 30', 1/32"= 1', or larger.
4. The plan shall be drawn so that north is at the top of the page and shall include a north arrow.
5. Each plan shall be folded individually, with the bottom right- hand corner facing up. Maximum acceptable folded size shall be 8.5" x 11"

Specific Information to be Shown

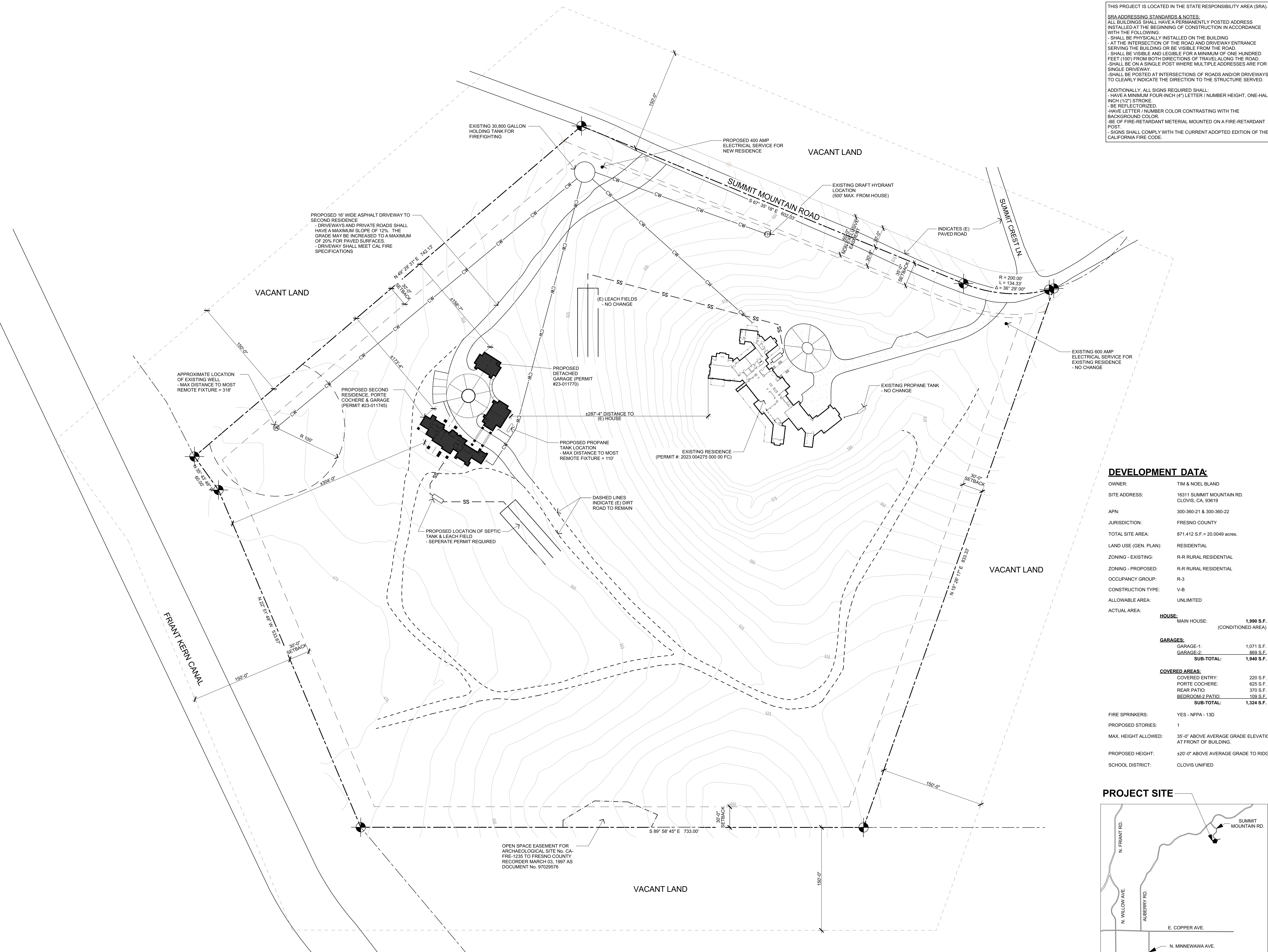
1. All existing and proposed building and structures, including buildings to be removed. Buildings should be labeled as either existing (E) or proposed (P).
2. The proposed use of all buildings and structures.
3. All adjacent streets and roads and their names
4. Access to the property: pedestrian, vehicular, and service.
5. Proposed street improvements and dedications.

6. Existing and proposed off-street parking and loading areas: location and type of paving, number of spaces (including detailed layout) and internal circulation pattern.
7. Existing and proposed signs: location, type of lighting, face area (text) and height.
8. Existing and proposed on-site lighting: location, type of fixtures, height and method of controlling glare and illumination.
9. The following measurements:
 - All dimensions of the site (or sites)
 - All dimensions of buildings and structures (including height).
 - All dimensions of off-street parking and loading areas.
 - The distance of all buildings and structures from property lines.
 - The distance between all buildings and structures.
10. Walls and fences: location, height and type of material.
11. Landscaping: location and type of plant material.
12. Pedestrian walkways: location, width and type of paving.
13. Existing wells and private sewage disposal systems.
14. Such other information as may be pertinent to the application.

THIS PROJECT IS LOCATED IN THE STATE RESPONSIBILITY AREA (SRA).
 SRA ADDRESSING STANDARDS & NOTES:
 ALL BUILDINGS SHALL HAVE A PERMANENTLY POSTED ADDRESS INSTALLED AT THE BEGINNING OF CONSTRUCTION IN ACCORDANCE WITH THE FOLLOWING:
 - SHALL BE PHYSICALLY INSTALLED ON THE BUILDING
 - AT THE INTERSECTION OF THE ROAD AND DRIVEWAY ENTRANCE SERVING THE BUILDING OR BE VISIBLE FROM THE ROAD.
 - SHALL BE VISIBLE AND LEGIBLE FOR A MINIMUM OF ONE HUNDRED FEET (100') FROM BOTH DIRECTIONS OF TRAVEL ALONG THE ROAD.
 - SHALL BE ON A SINGLE POST WHERE MULTIPLE ADDRESSES ARE FOR A SINGLE DRIVEWAY.
 - SHALL BE POSTED AT INTERSECTIONS OF ROADS AND/OR DRIVEWAYS TO CLEARLY INDICATE THE DIRECTION TO THE STRUCTURE SERVED.
 ADDITIONALLY, ALL SIGNS REQUIRED SHALL:
 - HAVE A MINIMUM FOUR-INCH (4") LETTER / NUMBER HEIGHT, ONE-HALF INCH (1/2") STROKE.
 - BE REFLECTORIZED.
 - HAVE LETTER / NUMBER COLOR CONTRASTING WITH THE BACKGROUND COLOR.
 - BE OF FIRE-RETARDANT MATERIAL MOUNTED ON A FIRE-RETARDANT POST.
 - SIGNS SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF THE CALIFORNIA FIRE CODE.

R.L. Davidson, Inc.
 ARCHITECTS
 EST. 1987

415 PARK CREEK DRIVE
 CLOVIS, CA 93611
 559 - 4335 - 3303
 WWW.RLDAVIDSON.COM



DEVELOPMENT DATA:

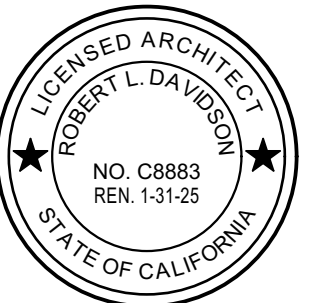
OWNER: TIM & NOEL BLAND
 SITE ADDRESS: 16311 SUMMIT MOUNTAIN RD. CLOVIS, CA 93619
 APN: 300-360-21 & 300-360-22
 JURISDICTION: FRESNO COUNTY
 TOTAL SITE AREA: 871,412 S.F. = 20,0049 acres.
 LAND USE (GEN. PLAN): RESIDENTIAL
 ZONING - EXISTING: R-R RURAL RESIDENTIAL
 ZONING - PROPOSED: R-R RURAL RESIDENTIAL
 OCCUPANCY GROUP: R-3
 CONSTRUCTION TYPE: V-B
 ALLOWABLE AREA: UNLIMITED
 ACTUAL AREA:

HOUSE:
 MAIN HOUSE: 1,990 S.F.
 (CONDITIONED AREA)

GARAGES:
 GARAGE-1: 1,071 S.F.
 GARAGE-2: 869 S.F.
 SUB-TOTAL: 1,940 S.F.

COVERED AREAS:
 COVERED ENTRY: 220 S.F.
 PORTE COCHERE: 625 S.F.
 REAR PATIO: 370 S.F.
 BEDROOM-2 PATIO: 109 S.F.
 SUB-TOTAL: 1,324 S.F.

FIRE SPRINKERS: YES - NFPA - 13D
 PROPOSED STORIES: 1
 MAX. HEIGHT ALLOWED: 35'-0" ABOVE AVERAGE GRADE ELEVATION AT FRONT OF BUILDING.
 PROPOSED HEIGHT: ±20'-0" ABOVE AVERAGE GRADE TO RIDGE
 SCHOOL DISTRICT: CLOVIS UNIFIED

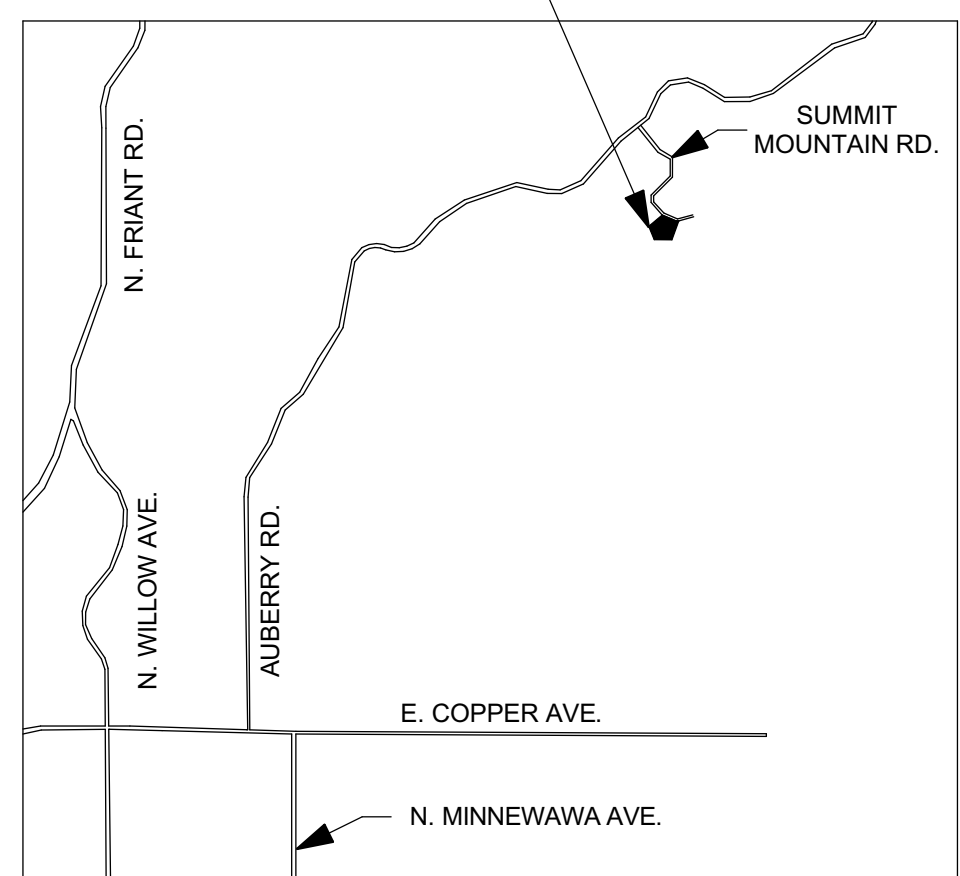


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BLAND RESIDENCE
 16311 SUMMIT MOUNTAIN RD.
 CLOVIS, CA 93619

NO.	DATE	ISSUE
1	8-14-2023	PLAN CHECK SUBMITTAL
2	2-09-2024	PLAN CHECK RESUBMITTAL

PROJECT SITE



VICINITY MAP

SITE PLAN

SCALE: 1" = 50'



NORTH



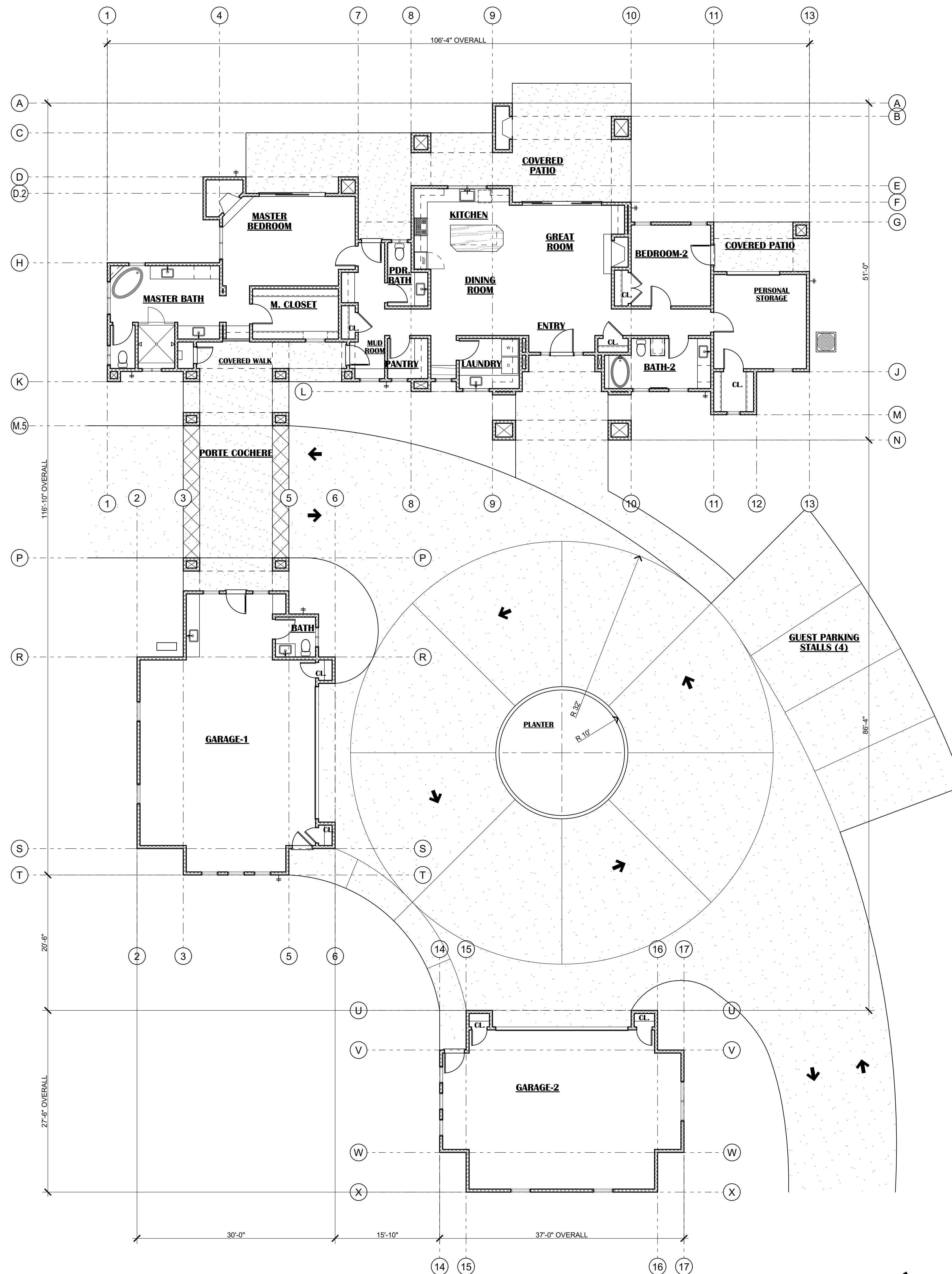
NORTH

DRA SITE PLAN

SCALE: AS NOTED
 SHEET NO:

A-101

PROJECT NO. 2215



MASTER FLOOR PLAN

SCALE: 1/8" = 1'-0"

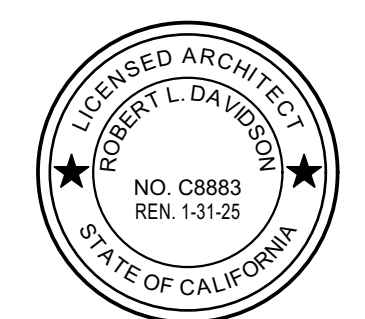


DEVELOPMENT DATA:

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 ZONING - PROPOSED: R-R RURAL RESIDENTIAL
 OCCUPANCY GROUP: R-3
 CONSTRUCTION TYPE: V-B
 ALLOWABLE AREA: UNLIMITED
 ACTUAL AREA:
 HOUSE: MAIN HOUSE: 1,990 S.F. (CONDITIONED AREA)
 GARAGES: GARAGE-1: 1,071 S.F. GARAGE-2: 869 S.F. SUB-TOTAL: 1,940 S.F.
 COVERED AREAS: COVERED ENTRY: 220 S.F. PORTE COCHERE: 625 S.F. REAR PATIO: 370 S.F. BEDROOM-2 PATIO: 109 S.F. SUB-TOTAL: 1,324 S.F.
 FIRE SPRINKERS: YES - NFPA - 13D
 PROPOSED STORIES: 1
 MAX. HEIGHT ALLOWED: 35'-0" ABOVE AVERAGE GRADE ELEVATION AT FRONT OF BUILDING.
 PROPOSED HEIGHT: ±20'-0" ABOVE AVERAGE GRADE TO RIDGE
 SCHOOL DISTRICT: CLOVIS UNIFIED

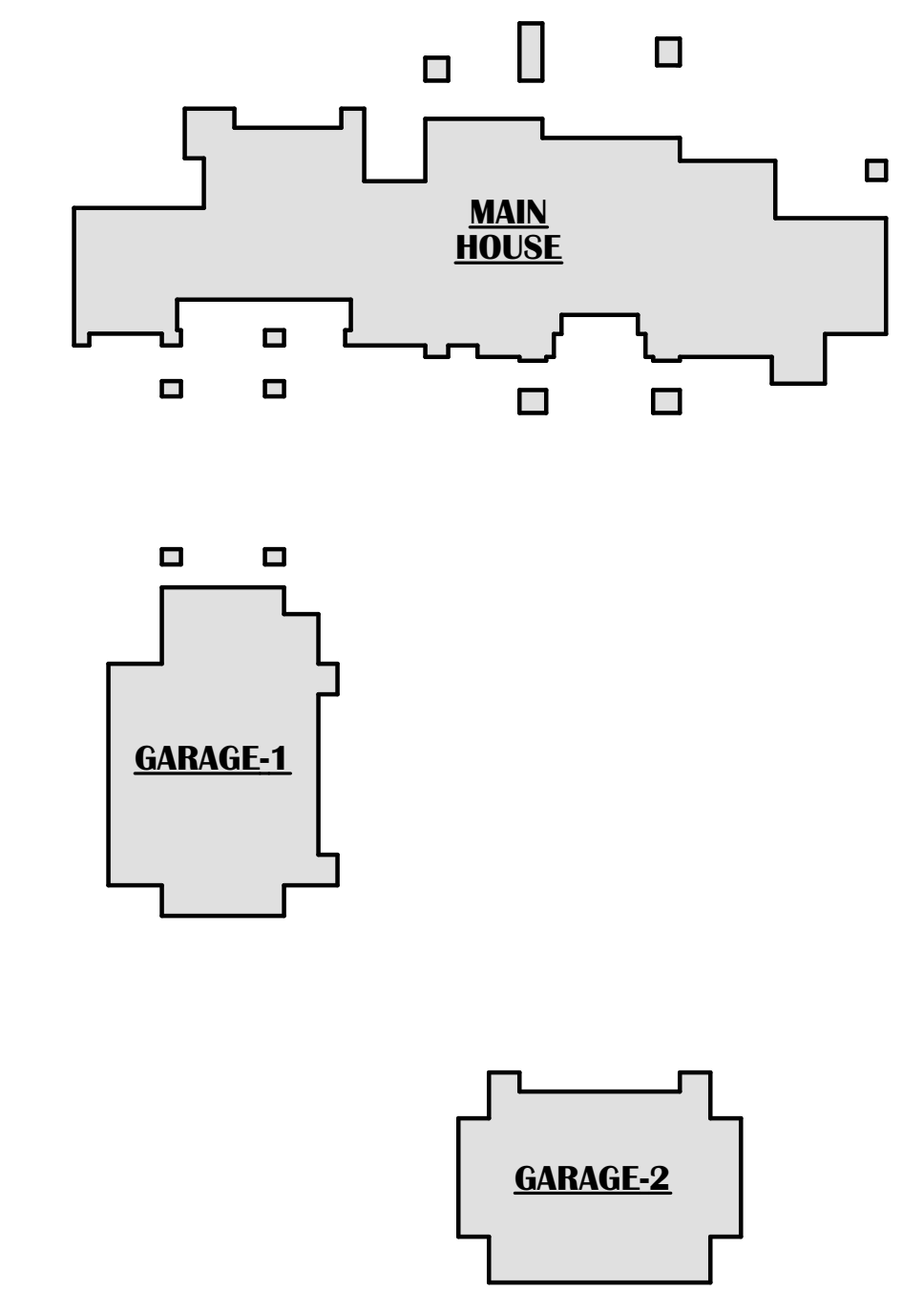


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BLAND RESIDENCE
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 CLOVIS, CA 93619



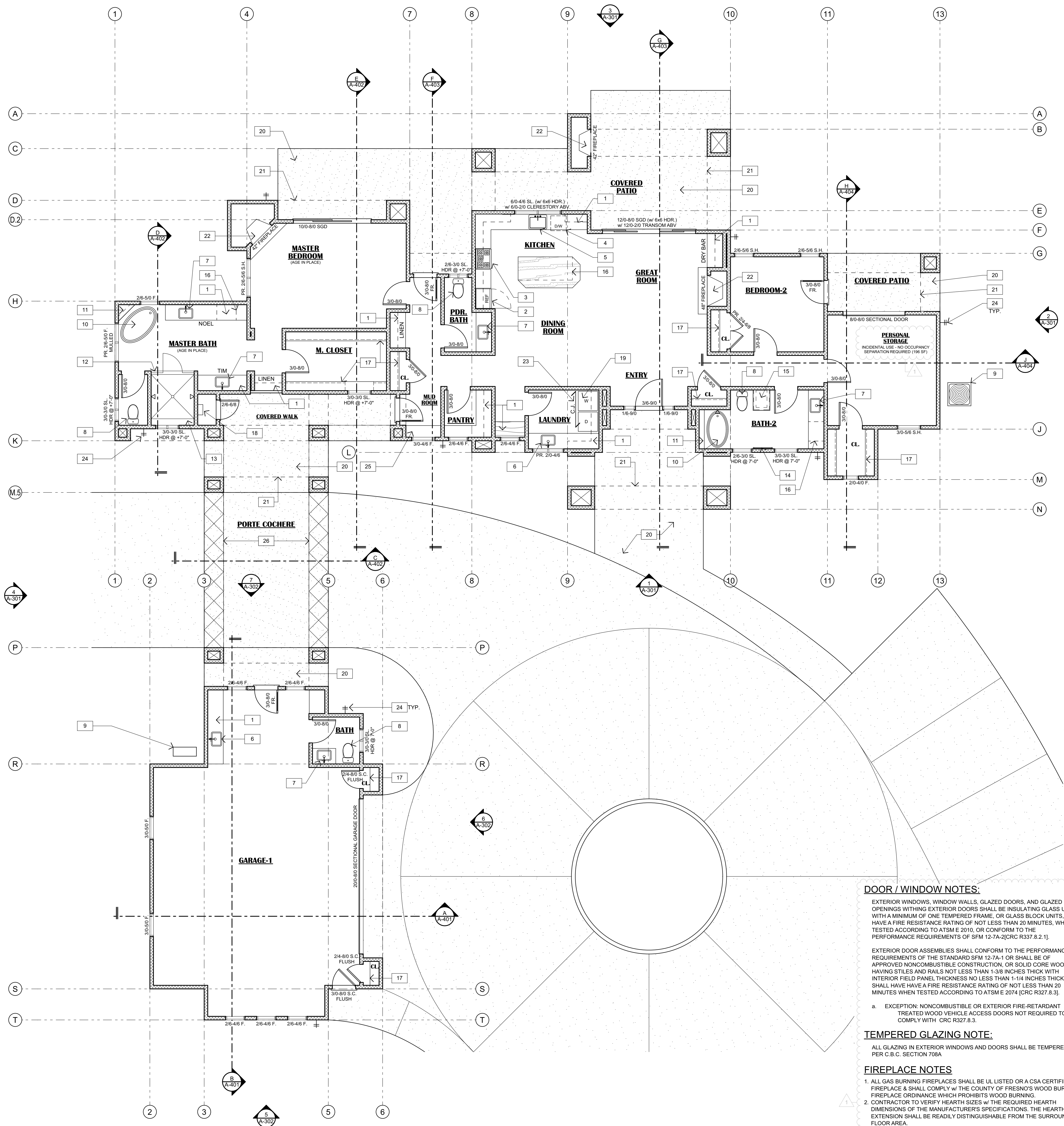
NO.	DATE	ISSUE
1	8-14-2023	PLAN CHECK SUBMITTAL
2	2-09-2024	PLAN CHECK RESUBMITTAL

SHEET TITLE:
MASTER FLOOR PLAN

SCALE: AS NOTED
 SHEET NO:

A-200

PROJECT NO: 2215



LEGEND	
MARK	DESCRIPTION
	2 x 4 D.F. #1 FRAMING @ 16" o.c.
	2 x 6 D.F. #1 FRAMING @ 16" o.c.
ENERGY DATA	
COORDINATE WITH ENERGY DOCUMENTS ON SHEETS T24-1 THRU T24-3	
EXTERIOR WALLS:	R-21 BATT INSULATION & R-4 CONT. RIGID INSULATION
ALL INTERIOR WALLS:	R-21 SOUND ATTENUATION BATTS
ATTIC:	R-38 @ CEILING w/ R-19 @ TOP CHORD
GLAZING:	U-VALUE = 0.30, SHGC = 0.23
NOTE: QUALITY INSULATION INSTALLATION VERIFICATION REQUIRED. REFER TO DETAILED REQUIREMENTS ON SHEET M-001	

- FLOOR PLAN KEYNOTES:**
(SHALL APPLY WHERE SHOWN & AT SIMILAR CONDITIONS NOT SHOWN)
- INDICATES CABINETS - VERIFY WITH OWNER
 - INDICATES REFRIGERATOR / FREEZER SPACE - CONTRACTOR TO VERIFY SIZE PRIOR TO CABINET FABRICATION
 - INDICATES RANGE & OVEN w/ EXHAUST HOOD ABOVE - REFER TO MECHANICAL PLANS - CONTRACTOR TO VERIFY APPLIANCE SIZE w/ OWNER PRIOR TO CABINET FABRICATION
 - INDICATES DISHWASHERS - CONTRACTOR TO VERIFY SIZE / MAKE / MODEL w/ OWNER
 - INDICATES DOUBLE SINK w/ GARBAGE DISPOSAL
 - INDICATES PREP SINK / BAR SINK - REFER TO PLUMBING PLANS
 - INDICATES BATHROOM VANITY SINK - REFER TO PLUMBING PLANS
 - INDICATES WATER CLOSET - REFER TO PLUMBING PLANS
 - INDICATES GROUND-MOUNTED CONDENSING UNIT - REFER TO MECHANICAL PLANS
 - INDICATES FREE-STANDING SOAKING BATHTUB
 - INDICATES +30" TILE SHELF @ FREE-STANDING BATHTUB
 - INDICATES TEMPERED GLASS ENCLOSURE @ SHOWER - DOOR SHALL BE 22" MIN. WIDE - SHOWER TO HAVE WATERPROOF WALL FINISH UP TO 72" HIGH, MINIMUM.
 - INDICATES TILED SHOWER SHELF
 - INDICATES TOWEL BAR - VERIFY WITH OWNER
 - INDICATES +48" TILE SHELF
 - DASHED LINE INDICATES KNEE SPACE
 - INDICATES CLOSET SHELF AND POLE - REFER TO SHT. A-830 / DET. 3
 - INDICATES WATER HEATER - REFER TO PLUMBING PLANS
 - INDICATES WASHER AND DRYER SPACE
 - INDICATES CONCRETE FLATWORK
 - DASHED LINE INDICATES SOFFIT ABOVE - REFER TO REFLECTED CEILING PLANS
 - INDICATES ELECTRIC FIREPLACE, WIDTH AS SHOWN ON PLAN - DIMPLEX BF DELUXE MODEL BF450P - VERIFY MAKE & MODEL w/ OWNER AND INTERIOR DESIGNER PRIOR TO INSTALLATION
 - INDICATES DIRECTION OF CEILING JOIST FRAMING - 2x6 CEILING JOISTS @ 24" O.C., REFER TO SHT. A-831 / DET. 6 - AT LAUNDRY ROOM CEILING: PROVIDE 2x12 CEILING JOISTS @ 24" OC w/ R-38 BATT INSULATION BETWEEN JOISTS - COORDINATE WITH REFLECTED CEILING PLAN FOR HEIGHTS
 - INDICATES HOSE BIBB LOCATION - REFER TO PLUMBING PLANS
 - INDICATES +18" BUILT-IN WOOD BENCH
 - INDICATES STAMPED CONCRETE @ PORTE-COCHERE

- AGING-IN-PLACE GENERAL NOTES:**
- AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT TO ALLOW FOR THE INSTALLATION OF FUTURE GRAB BARS AT THE TUB, SHOWER AND WATER CLOSET. (CRC SECTION R327)
 - PROVIDE 2x8 MIN. BLOCKING, REFER TO SHT. A-812 / DET. 9 & 10
 - INTERIOR DOORS SERVING THE AGING-IN-PLACE BEDROOM AND BATHROOM SHALL PROVIDE A NET CLEAR OPENING OF NOT LESS THAN 32" MEASURED WITH THE DOOR OPEN AT 90 DEGREES
 - ELECTRICAL RECEPTACLES, SWITCHES AND CONTROLS INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISHED FLOOR.
 - THE DOORBELL BUTTON, OR CONTROLS, SHALL NOT EXCEED +48" ABOVE THE EXTERIOR FLOOR OR LANDING, AS MEASURED FROM THE TOP OF THE DOORBELL ASSEMBLY.

DOOR / WINDOW NOTES:

EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHING EXTERIOR DOORS SHALL BE INSULATING GLASS UNITS WITH A MINIMUM OF ONE TEMPERED FRAME, OR GLASS BLOCK UNITS, OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES, WHEN TESTED ACCORDING TO ATSM E 2010, OR CONFORM TO THE PERFORMANCE REQUIREMENTS OF SFM 12-7A-2(CRC R337.8.2.1).

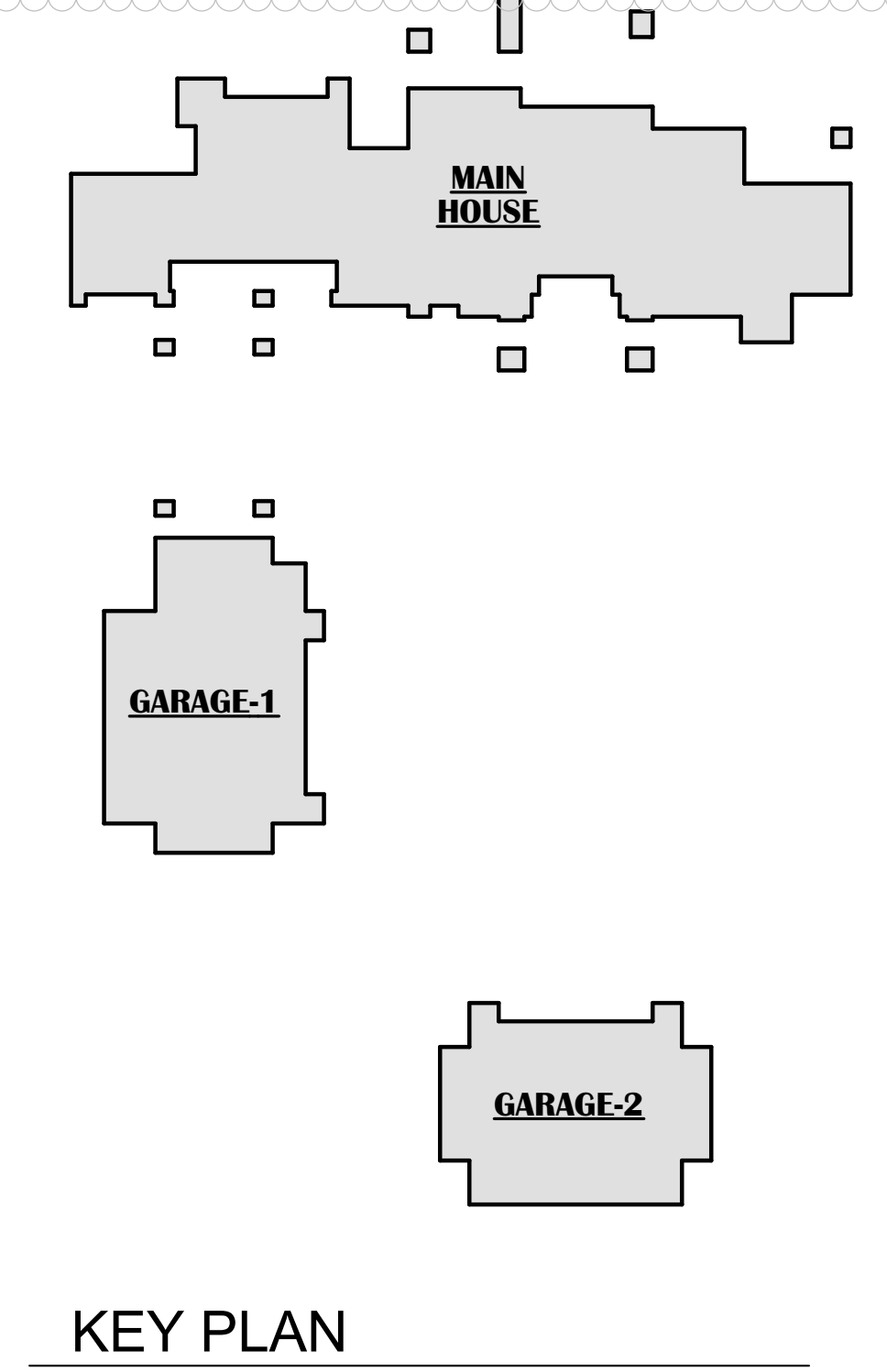
EXTERIOR DOOR ASSEMBLIES SHALL CONFORM TO THE PERFORMANCE REQUIREMENTS OF THE STANDARD SFM 12-7A-1 OR SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8 INCHES THICK WITH INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1-1/4 INCHES THICK, OR SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO ATSM E 2074 (CRC R327.8.3).

a. EXCEPTION: NONCOMBUSTIBLE OR EXTERIOR FIRE-RETARDANT TREATED WOOD VEHICLE ACCESS DOORS NOT REQUIRED TO COMPLY WITH CRC R327.8.3.

TEMPERED GLAZING NOTE:

ALL GLAZING IN EXTERIOR WINDOWS AND DOORS SHALL BE TEMPERED PER C.B.C. SECTION 708A

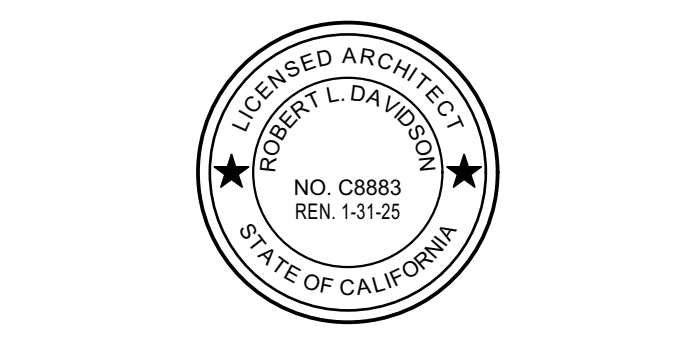
- FIREPLACE NOTES**
- ALL GAS BURNING FIREPLACES SHALL BE UL LISTED OR A CSA CERTIFIED FIREPLACE & SHALL COMPLY w/ THE COUNTY OF FRESNO'S WOOD BURNING FIREPLACE ORDINANCE WHICH PROHIBITS WOOD BURNING
 - CONTRACTOR TO VERIFY HEARTH SIZES w/ THE REQUIRED HEARTH DIMENSIONS OF THE MANUFACTURER'S SPECIFICATIONS. THE HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA
 - DECORATIVE APPLIANCES FOR INSTALLATION IN VENTED FIREPLACES SHALL NOT BE INSTALLED IN BATHROOMS OR BEDROOMS UNLESS THE APPLIANCE IS LISTED AND THE BATHROOMS OR BEDROOMS HAVE THE REQUIRED VOLUME IN ACCORDANCE WITH CMC SECTION 701.4 (PROVIDE VERIFICATION)
 - EXCEPTION: DIRECT-VENT GAS FIREPLACE. (NFPA 54-10.7.1)
 - PROVIDE MANUFACTURER'S INSTALLATION INSTRUCTIONS AT THE JOB SITE FOR INSPECTION OF THE FIREPLACES



NOTED FLOOR PLAN
SCALE: 3/16" = 1'-0"



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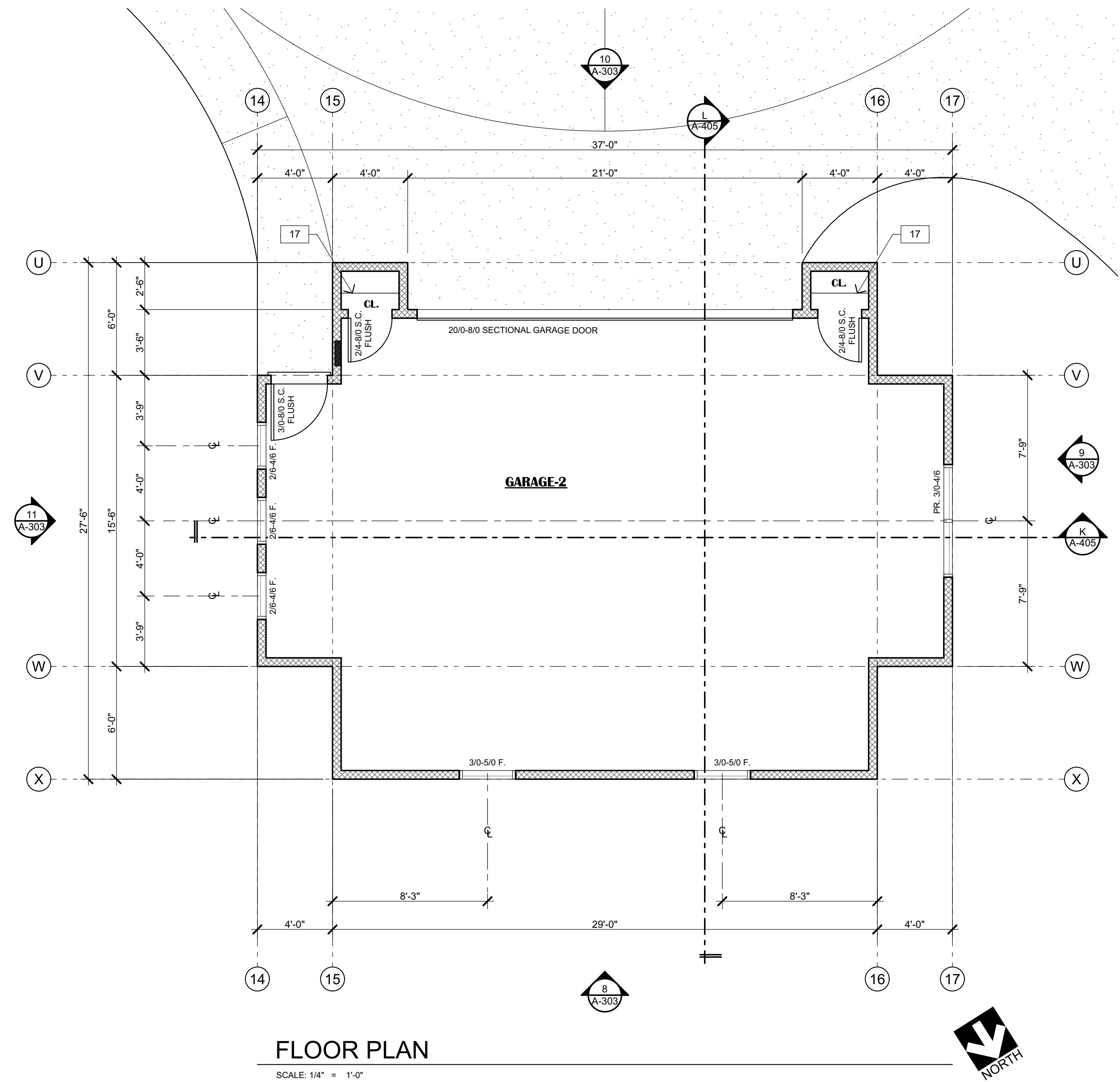
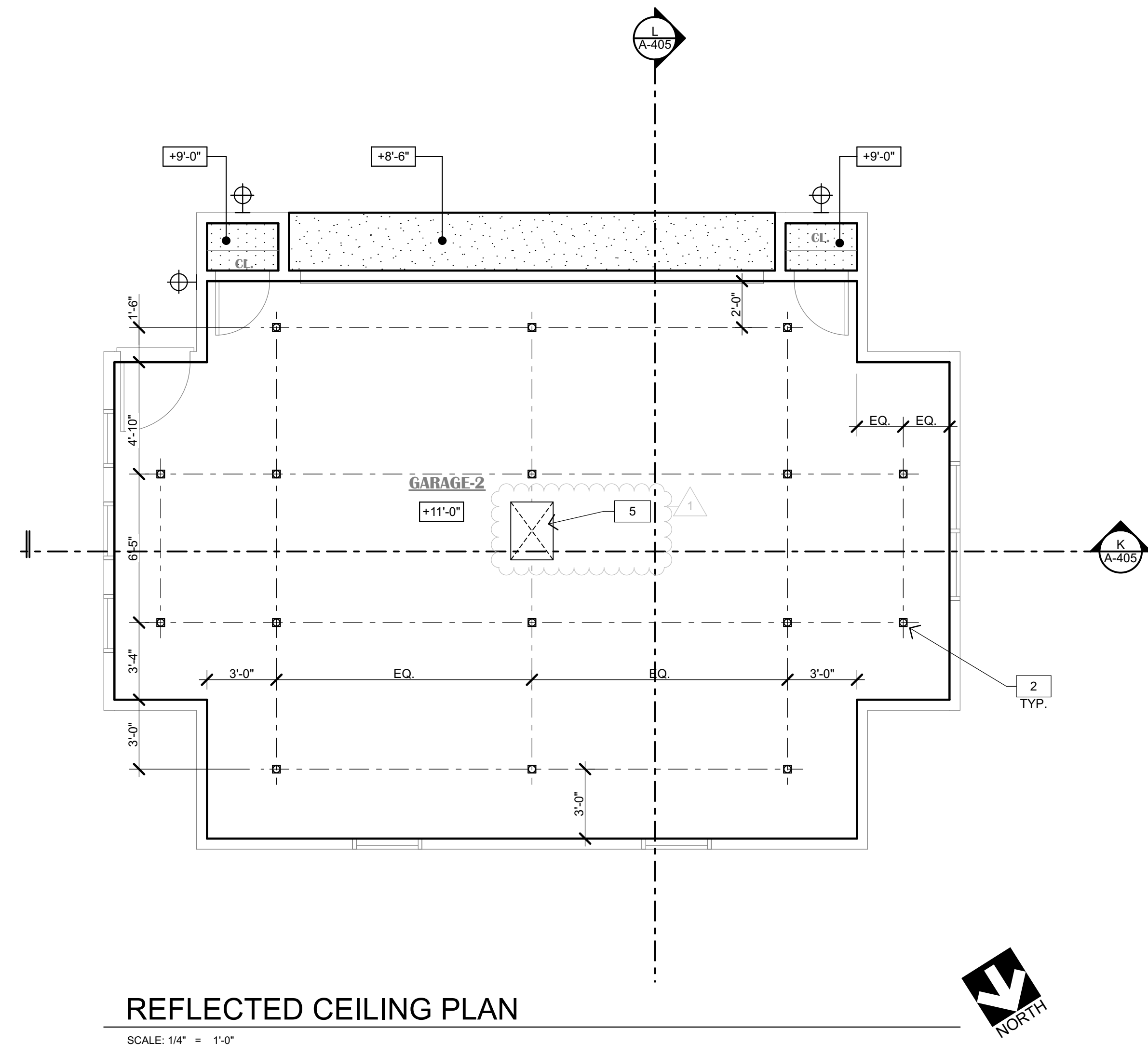
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NO.	DATE	ISSUE
8-14-2023		PLAN CHECK SUBMITTAL
2-09-2024		PLAN CHECK RESUBMITTAL

SHEET TITLE:
NOTED FLOOR PLAN

SCALE: AS NOTED
SHEET NO:
A-201

PROJECT NO: 2215



LEGEND	
MARK	DESCRIPTION
	2 x 4 D.F. #1 FRAMING @ 16" o.c.
	2 x 6 D.F. #1 FRAMING @ 16" o.c.

ENERGY DATA	
COORDINATE WITH ENERGY DOCUMENTS ON SHEETS T24-1 THRU T24-3	
EXTERIOR WALLS:	R-21 BATT INSULATION & CONT. RIGID INSULATION
ALL INTERIOR WALLS:	R-21 SOUND ATTENUATION BATTS
ATTIC:	R-38 @ CEILING w/ R-19 @ TOP CHORD
GLAZING:	U-VALUE = 0.30, SHGC = 0.23
NOTE: QUALITY INSULATION INSTALLATION VERIFICATION REQUIRED. REFER TO DETAILED REQUIREMENTS ON SHEET M-001	

R.L. Davidson, Inc.
ARCHITECTS
EST. 1987

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- FLOOR PLAN KEYNOTES:**
(SHALL APPLY WHERE SHOWN & AT SIMILAR CONDITIONS NOT SHOWN)
- INDICATES CABINETS - VERIFY WITH OWNER
 - INDICATES REFRIGERATOR / FREEZER SPACE - CONTRACTOR TO VERIFY SIZE PRIOR TO CABINET FABRICATION
 - INDICATES RANGE & OVEN w/ EXHAUST HOOD ABOVE - REFER TO MECHANICAL PLANS - CONTRACTOR TO VERIFY APPLIANCE SIZE w/ OWNER PRIOR TO CABINET FABRICATION
 - INDICATES DISHWASHERS - CONTRACTOR TO VERIFY SIZE / MAKE / MODEL w/ OWNER
 - INDICATES DOUBLE SINK w/ GARBAGE DISPOSAL
 - INDICATES PREP SINK / BAR SINK - REFER TO PLUMBING PLANS
 - INDICATES BATHROOM VANITY SINK - REFER TO PLUMBING PLANS
 - INDICATES WATER CLOSET - REFER TO PLUMBING PLANS
 - INDICATES GROUND-MOUNTED CONDENSING UNIT - REFER TO MECHANICAL PLANS
 - INDICATES FREE-STANDING SOAKING BATHTUB
 - INDICATES +30" TILE SHELF @ FREE-STANDING BATHTUB
 - INDICATES TEMPERED GLASS ENCLOSURE @ SHOWER - DOOR SHALL BE 22" MIN. WIDE - SHOWER TO HAVE WATERPROOF WALL FINISH UP TO 72" HIGH, MINIMUM.
 - INDICATES TILED SHOWER SHELF
 - INDICATES TOWEL BAR - VERIFY WITH OWNER
 - INDICATES +48" TILE SHELF
 - DASHED LINE INDICATES KNEE SPACE
 - INDICATES CLOSET SHELF AND POLE - REFER TO SHT. A-830 / DET. 3
 - INDICATES WATER HEATER - REFER TO PLUMBING PLANS
 - INDICATES WASHER AND DRYER SPACE
 - INDICATES CONCRETE FLATWORK
 - DASHED LINE INDICATES SOFFIT ABOVE - REFER TO REFLECTED CEILING PLANS
 - INDICATES ELECTRIC FIREPLACE, WIDTH AS SHOWN ON PLAN - DIMPLEX SF DELUXE MODEL BF450P - VERIFY MAKE & MODEL w/ OWNER AND INTERIOR DESIGNER PRIOR TO INSTALLATION
 - INDICATES DIRECTION OF CEILING JOIST FRAMING - 2x6 CEILING JOISTS @ 24" O.C. REFER TO SHT. A-831 / DET. 6 - AT LAUNDRY ROOM CEILING: PROVIDE 2x12 CEILING JOISTS @ 24" OC w/ R-38 BATT INSULATION BETWEEN JOISTS - COORDINATE WITH REFLECTED CEILING PLAN FOR HEIGHTS
 - INDICATES HOSE BIBB LOCATION - REFER TO PLUMBING PLANS
 - INDICATES +18" BUILT-IN WOOD BENCH - REFER TO PLUMBING PLANS
 - INDICATES STAMPED CONCRETE @ PORTE-COCHERE

ROOF PLAN LEGEND:

MARK	DESCRIPTION
	INDICATES DIRECTION OF ROOF SLOPE - SLOPE SHALL BE 4:12 @ ALL ROOF AREAS, U.N.O.
	INDICATES O'HAGIN CONCRETE 'S' TILE ROOF VENT - REFER TO ATTIC VENT CALCULATIONS THIS SHEET
	INDICATES 22" x 3" EAVE VENT - REFER TO ATTIC VENT CALCULATIONS THIS SHEET

FIRE SPRINKLER REQUIREMENTS:
THE BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH THE CURRENT CBC AND NFPA 13 REQUIREMENTS. ATTIC SPRINKLERS SHALL BE PROVIDED.

IF THE ATTIC SPACE IS COMPLETELY FILLED WITH NONCOMBUSTIBLE INSULATION, THE ATTIC SPRINKLERS CAN BE OMITTED.

- GENERAL ROOF NOTES:**
- ALL ROOFING MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - REFER TO SHEET A-823 FOR ROOFING DETAILS
 - ALL VENTS TO BE LOCATED A MINIMUM OF 2'-0" FROM ANY ROOF FLASHING CONDITION.
 - ATTIC VENTILATION SHALL BE PROVIDED PER THE CBC AND AS SHOWN ON THE ATTIC VENT CALCULATIONS ON THIS SHEET.
 - ALL PLUMBING VENTS, ROOF JACKS, AND ATTIC VENTS TO BE PAINTED TO MATCH ADJACENT ROOFING COLOR.
 - ALL GALV. SHEET METAL FLASHING SHALL BE A MIN. OF 26 GAUGE. THE VALLEY FLASHINGS SHALL BE INSTALLED OVER A 36" MIN. WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72# CAP SHEET, RUNNING THE FULL LENGTH OF THE VALLEY. ALL FLASHING SHALL BE PAINTED TO MATCH ADJACENT FINISH.
 - VENT OPENINGS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE STRUCTURE. OPENINGS SHALL BE SCREENED WITH A WILDFIRE FLAME AND EMBER-RESISTANT VENTS, APPROVED BY THE CALIFORNIA STATE FIRE MARSHAL. MESH DIMENSIONS SHALL BE A MIN. OF 1/16" AND SHALL NOT EXCEED 1/8" IN DIAMETER. MESH SHALL BE CORROSION-RESISTANT AND NONCOMBUSTIBLE.
 - ROOF GUTTERS (IF INSTALLED) SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (CRC SECTION R337.5.4)

ROOF PLAN KEYNOTES:
THE FOLLOWING KEYNOTES SHALL APPLY WHERE INDICATED ON THIS PLAN.

- ROOFING MATERIAL, (MINIMUM CLASS 'A') - ALL PITCHED ROOF AREAS SHALL HAVE A CONCRETE 'S' TILE ROOFING SYSTEM (U.N.O.) PER THE EXTERIOR FINISH & MATERIAL SCHEDULE or FONTANA VULCASEAL G40 UNDERLAYMENT or PLYWOOD SHEATHING
- INDICATES TAPERED WOOD FRAMED CRICKETS AS SHOWN - REFER TO DETAIL SHT. A-823 / DET. 6
- DASHED LINES INDICATES WALLS BELOW
- PROVIDE GALVANIZED SHEET METAL FLASHING AT ALL ROOF / WALL CONDITIONS - REFER TO SHT. A-823 / DET. 3, 4 & 6

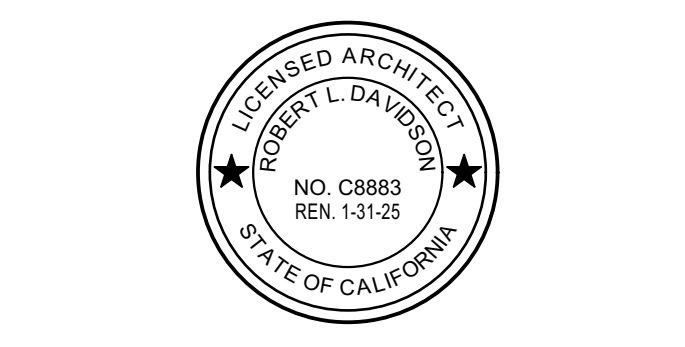
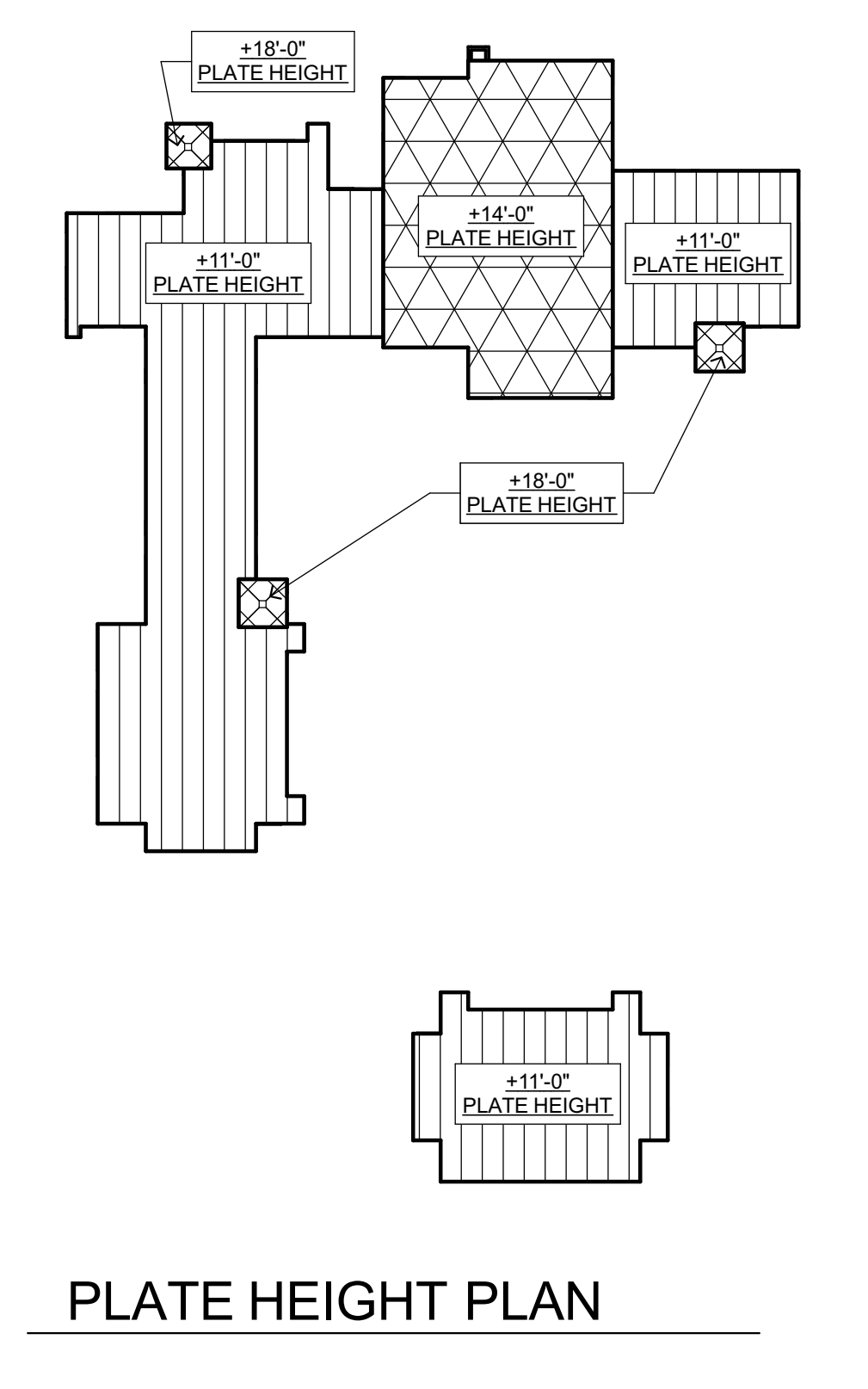
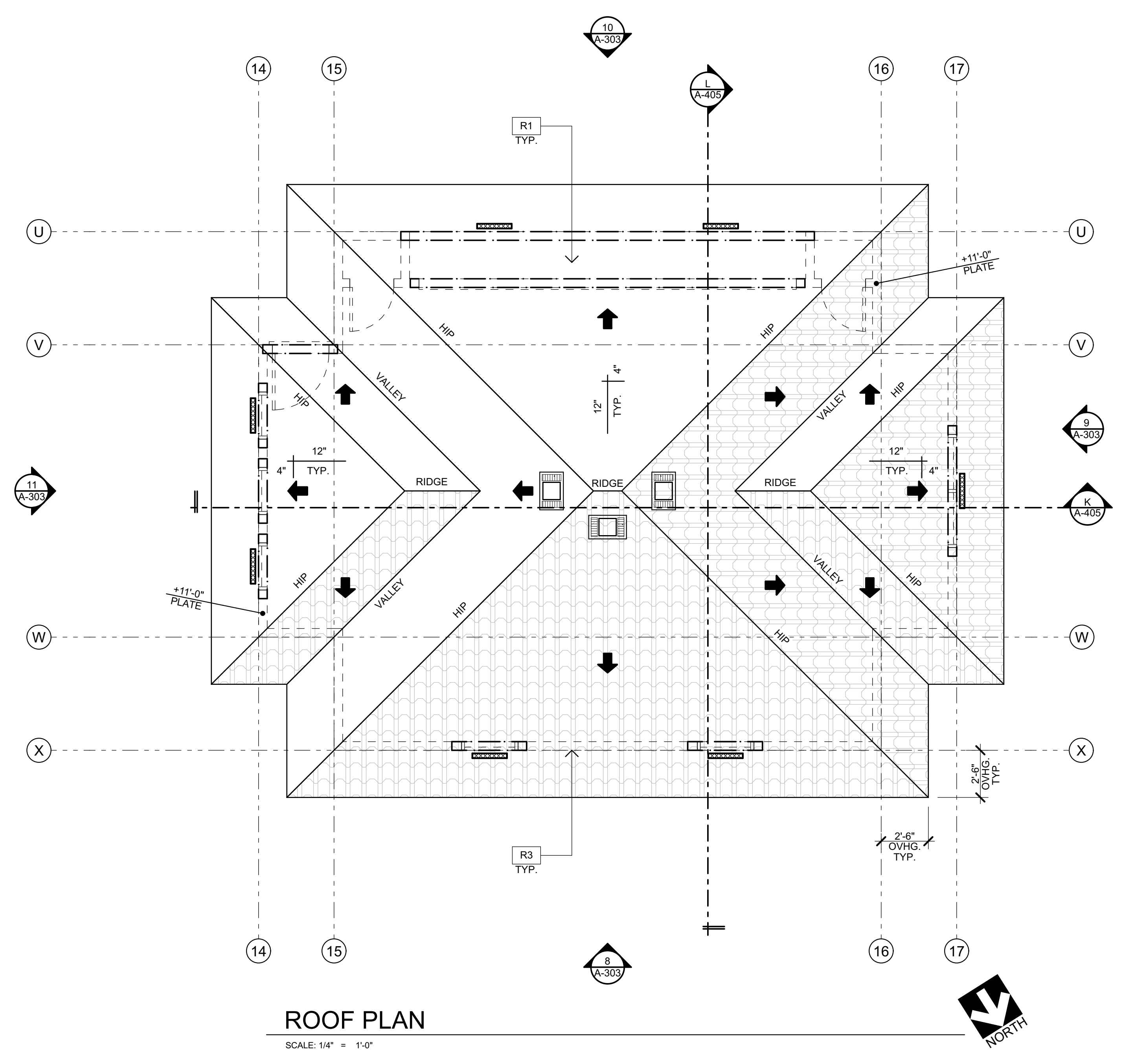
REFLECTED CEILING GENERAL NOTES

- ALL FINISHED CEILING HEIGHTS INDICATED ON PLAN ARE FROM FINISHED FLOOR SLAB (U.N.O.)
- ALL GYPSUM BOARD CEILINGS AND SOFFITS SHALL BE PAINTED.
- EXTERIOR PLASTER TO HAVE FINISH COLOR COAT PER EXTERIOR FINISH & MATERIAL SCHEDULE

- REFLECTED CEILING PLAN KEYNOTES**
- INDICATES CROWN MOLDING - G.C. TO COORDINATE w/ OWNER FOR STYLE OF CROWN MOLDING
 - INDICATES LIGHT FIXTURES - REFER TO ELECTRICAL PLANS
 - INDICATES CEILING FANS - REFER TO ELECTRICAL PLANS FOR MAKE AND MODEL.
 - INDICATES 30" x 36" FLUSH ATTIC ACCESS HATCH - BEST ACCESS DOOR MODEL BA-F2A OR EQUAL - REFER TO SHT. A-831 / DET. 10
 - INDICATES 22" x 30" FLUSH ATTIC ACCESS HATCH - BEST ACCESS DOOR MODEL BA-F2A OR EQUAL - REFER TO SHT. A-831 / DET. 10

REFLECTED CEILING PLAN LEGEND

	EXTERIOR CEILING IND'S CEMENT PLASTER SOFFIT / CEILING - REFER TO SHEET A-831 / DET. 9
	INTERIOR CEILING IND'S CEILING AT PLATE w/ GYP. BD. FINISH.
	INTERIOR CEILING IND'S DROPPED / STEPPED / ARCHED SOFFITS - REFER TO SHT. A-831 / DET. 7
	INTERIOR CEILING IND'S SHELF w/ GYP. BD. FINISH.
	INTERIOR CEILING IND'S BOXED BEAMS (SIZE PER PLAN) - REFER TO SHT. A-831 / DET. 8
	+X'-X" - IND'S CEILING HEIGHT ABOVE SLAB



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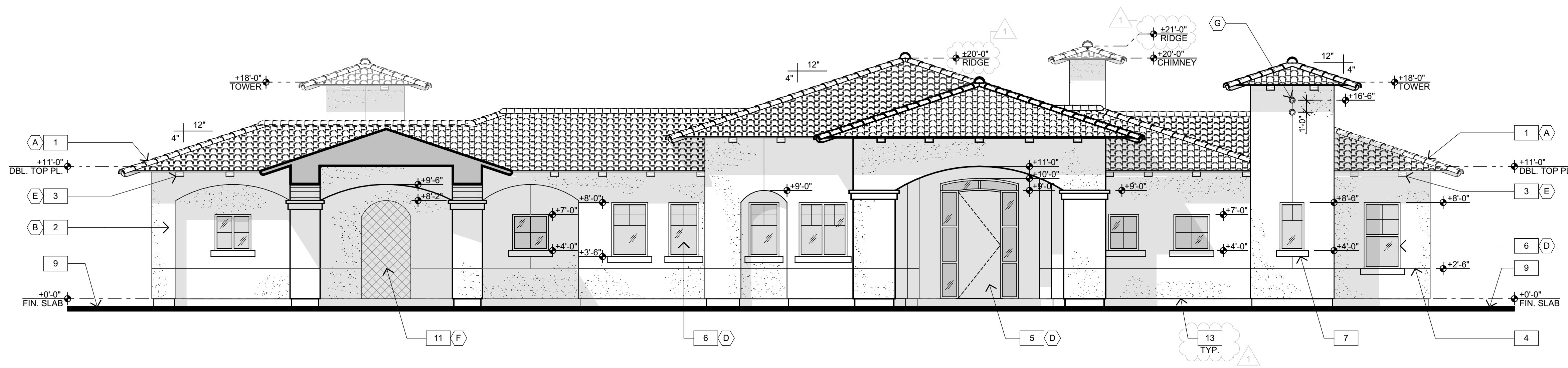
NO.	DATE	ISSUE
1	8-14-2023	PLAN CHECK SUBMITTAL
2	2-09-2024	PLAN CHECK RESUBMITTAL

SHEET TITLE: **GARAGE-2 PLANS**

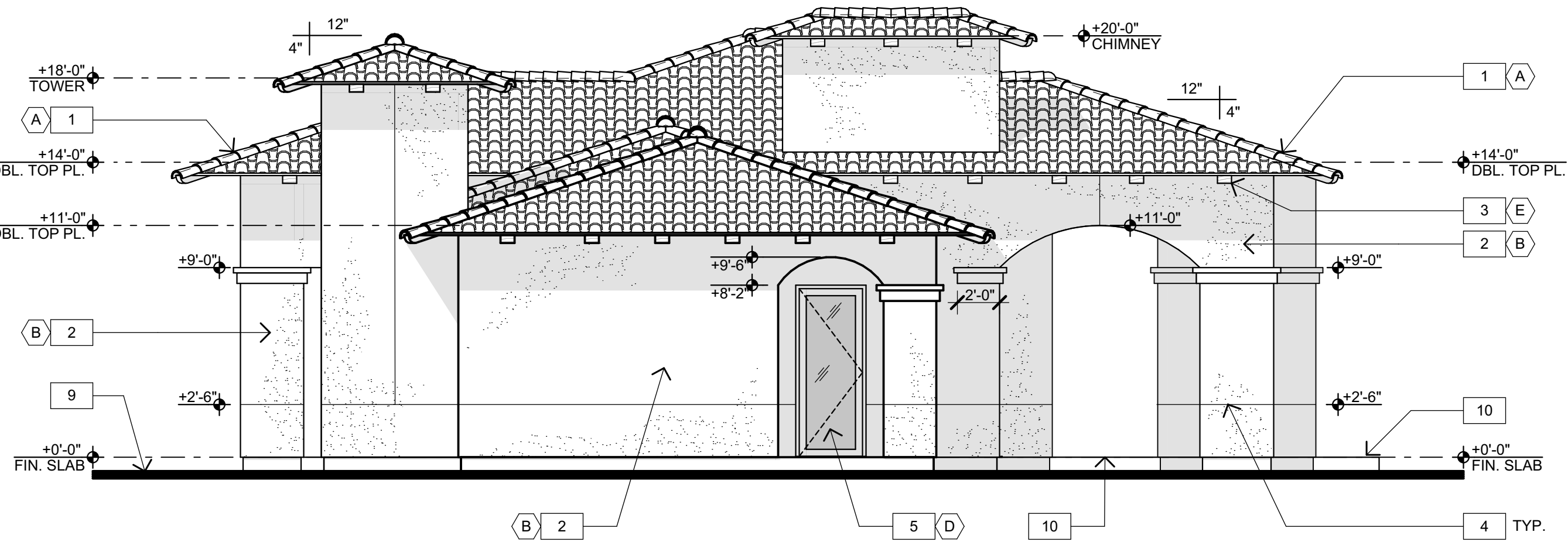
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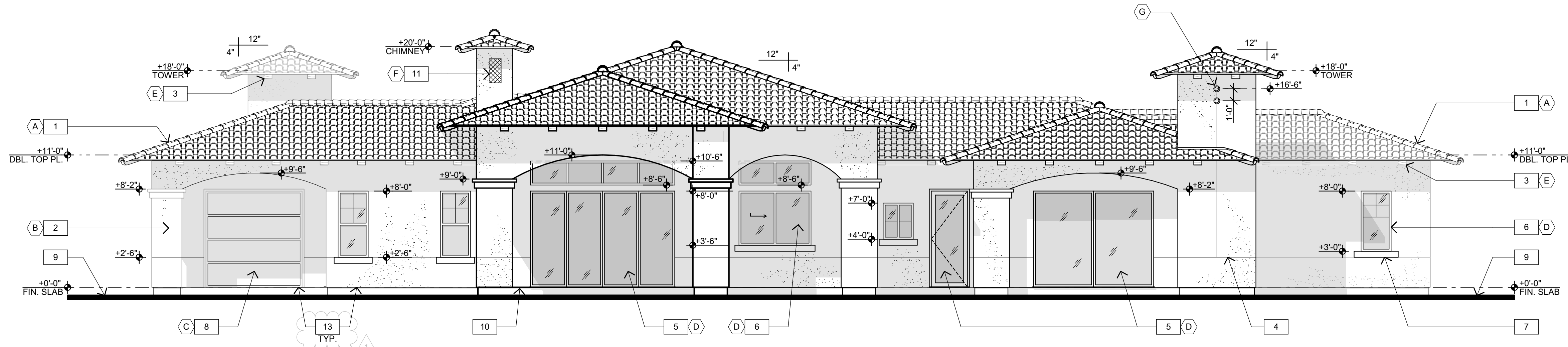
PROJECT NO: 2215



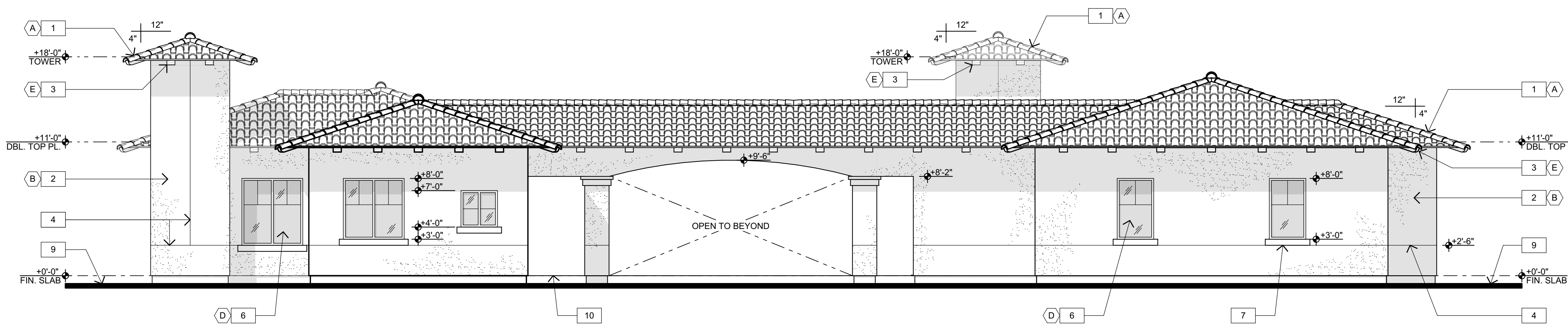
1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



3 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



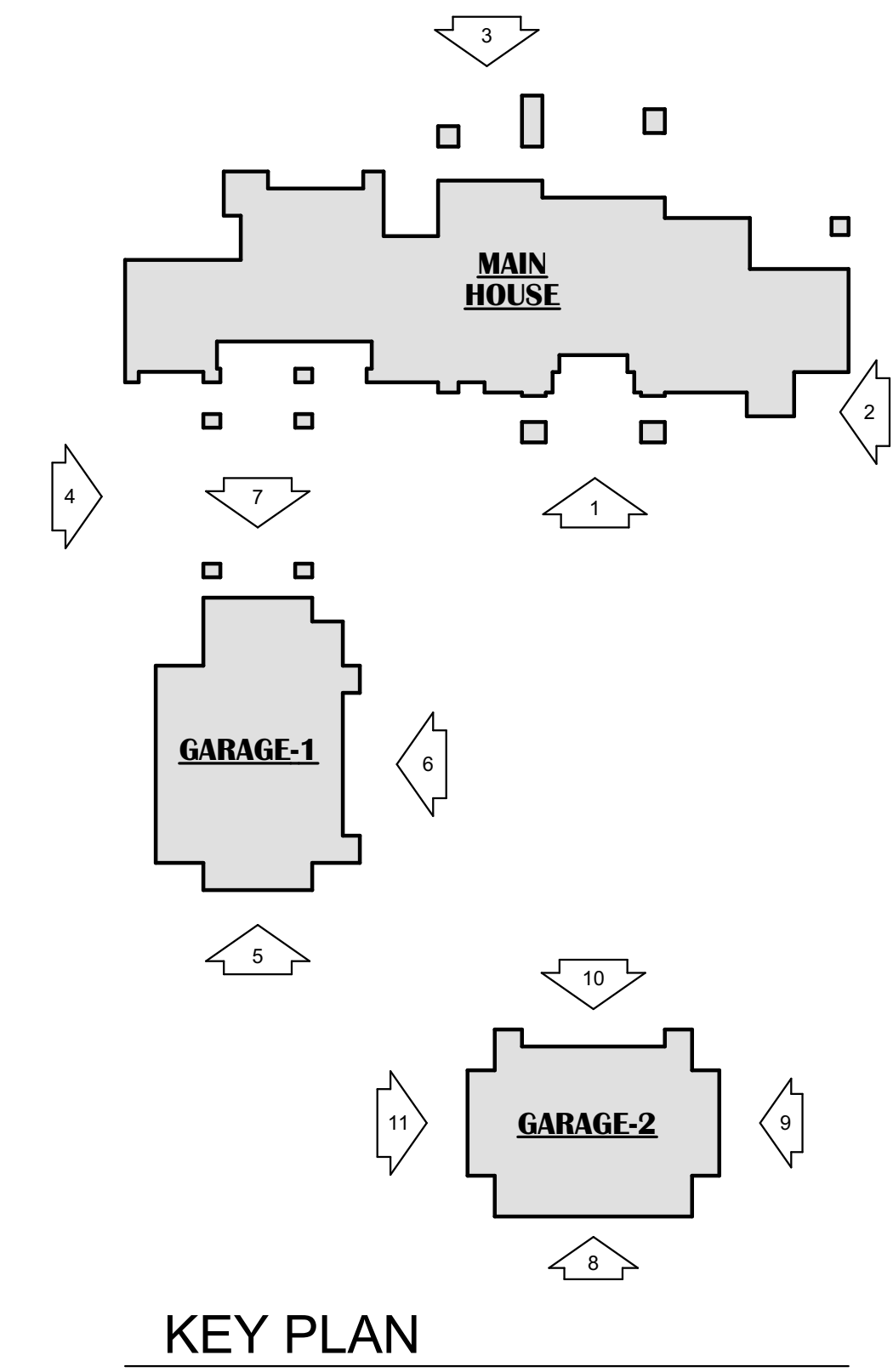
4 EAST ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH & MATERIAL SCHEDULE	
(A) ROOFING	EAGLE ROOFING #3636 PIEDMONT BLEND
(B) CEMENT PLASTER:	SMOOTH TROWEL w/ PRIMER AND PAINT SHERWIN WILLIAMS: # SW 752 'ROMAN COLUMN'
(C) OVERHEAD GARAGE DOOR:	T.B.D.
(D) DOORS / WINDOWS	ALUMINUM CLAD WOOD w/ FACTORY FINISH COLOR: WHITE
(E) FASCIAS / RAFTER TAILS	COLOR TO MATCH: SHERWIN WILLIAMS
(F) TILE INSERTS	PROV. 6" SQ. PORCELAIN TILE - SET ON TO SCRATCH COAT. FLOAT BROWN & DASH COATS FLUSH. - G.C. TO SUBMIT SPANISH THEME TILE SAMPLES FOR ARCHITECT'S APPROVAL
(G) WALL VENTS	6" Ø TERRACOTTA WALL VENTS

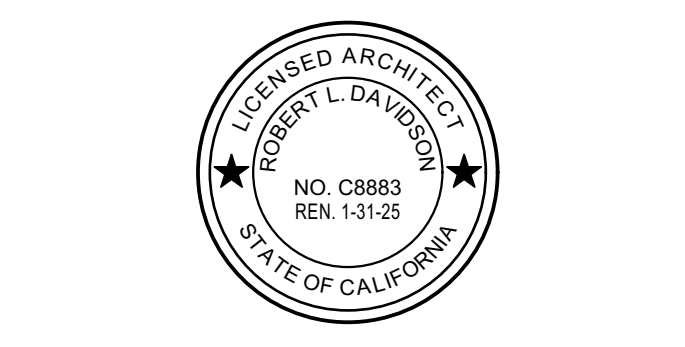
GENERAL EXTERIOR FINISH NOTES:

- ALL EXTERIOR WALL COLORS & MATERIALS SHALL TERMINATE AT INSIDE CORNERS.
- PAINT ALL EXPOSED SHEET METAL FLASHING TO MATCH ADJACENT SURFACE.
- PAINT ALL EXPOSED FASTENERS TO MATCH ADJACENT CONNECTED MATERIAL (IE, WROUGHT IRON RAILING, ETC.)
- THE EXTERIOR WALL FINISH (CEMENT PLASTER) SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF AND SHALL TERMINATE AT 2x NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS (CRC R337.7.2)

- ELEVATION KEY NOTES:**
SHALL APPLY WHERE SHOWN & AT SIMILAR CONDITIONS NOT SHOWN
- SPANISH 'S' CONCRETE ROOFING TILES & BATTENS of (1) LAYER 40# FONTANA G40 UNDERLAYMENT & ROOF SHEATHING
- INSTALL ROOF PER MANUFACTURER'S SPECIFICATIONS
- SEE EXTERIOR MATERIALS & FINISHES SCHEDULE.
 - INDICATES 1-COAT CEMENT PLASTER FINISH SYSTEM of 1" THICK CONTINUOUS INSULATION, or TWO LAYERS OF GRADE 'D' BLDG. PAPER
- REFER TO **SHT. A-812 / DET. 6**
 - INDICATES RAFTER TAILS @ 48" O.C.
REFER TO **SHT. A-823 / DET. 16**
 - INDICATES EXPANSION JOINT, TYPICAL HEIGHT AS SHOWN.
- REFER TO DETAIL **SHT. A-812 / DET. 4**
 - INDICATES DOOR - OWNER TO SELECT
- REFER TO FLOOR PLAN & FLASHING DETAIL **SHT. A-810 / DET. 25**
 - INDICATES WINDOW - OWNER TO SELECT
- REFER TO FLOOR PLAN & FLASHING DETAIL **SHT. A-810 / DET. 25**
 - INDICATES SLOPED SILL AT WINDOWS - TYP.
- REFER TO **SHT. A-810 / DET. 13 (U.N.O.)**
 - INDICATES OVERHEAD GARAGE DOOR
- REFER TO FLOOR PLAN
 - INDICATES FINISHED GRADE
- REFER TO **SITE PLAN & CIVIL DRAWINGS**
 - INDICATES CONCRETE WALKS / PATIOS AND/OR LANDINGS
- REFER TO **SITE PLAN & CIVIL DRAWINGS**
 - INDICATES DECORATIVE TILES
- REFER TO **SHT. A-830 / DET. 7**
 - INDICATES WALL MOUNTED LIGHT FIXTURES
- REFER TO **ELECTRICAL DRAWINGS**
 - INDICATES CEMENT PLASTER WEEP SCREED
- REFER TO **SHEET A-812 / DETAILS 1, 2, 3**
- REFER TO FLOOR PLAN FOR LOCATIONS OF CONCRETE WALKS.



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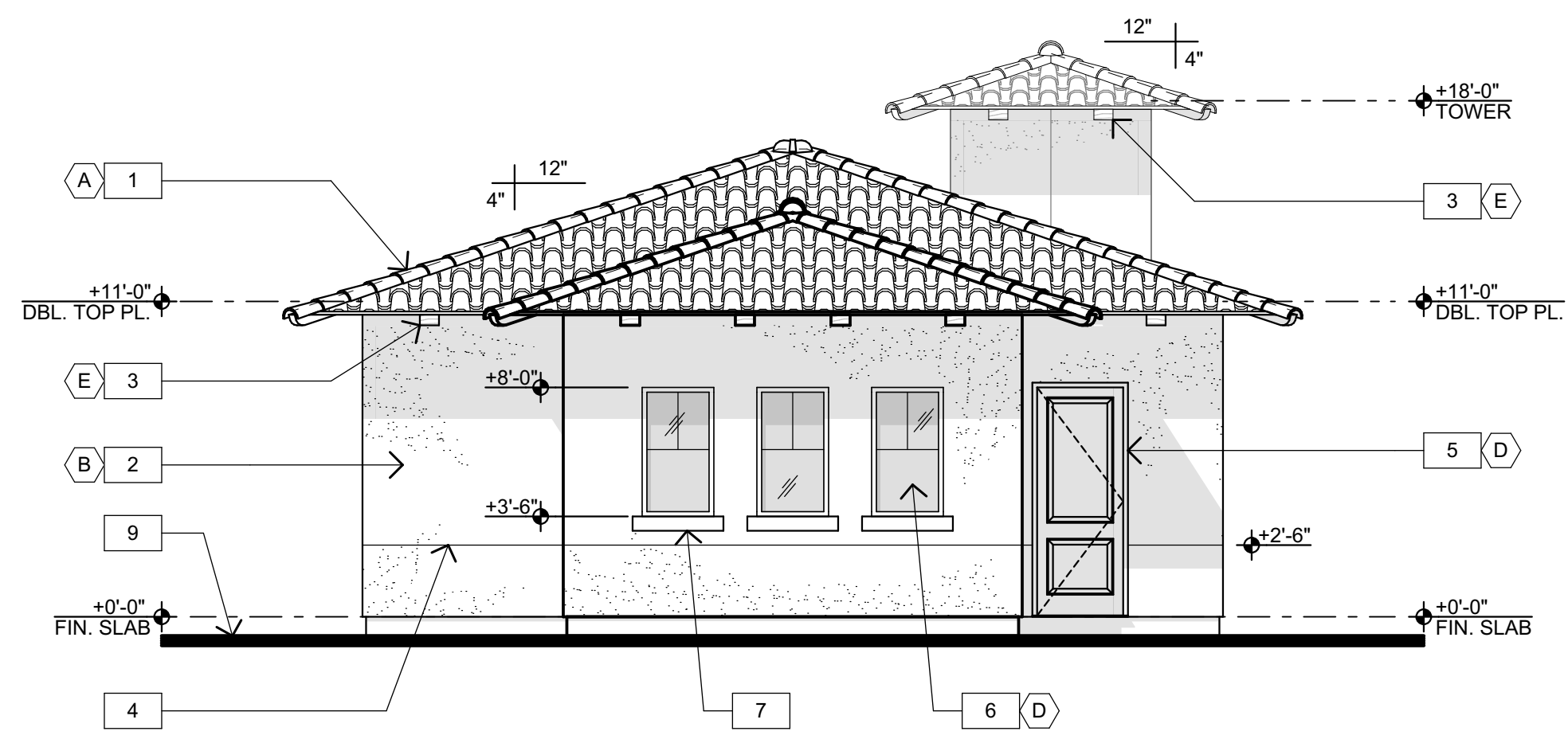
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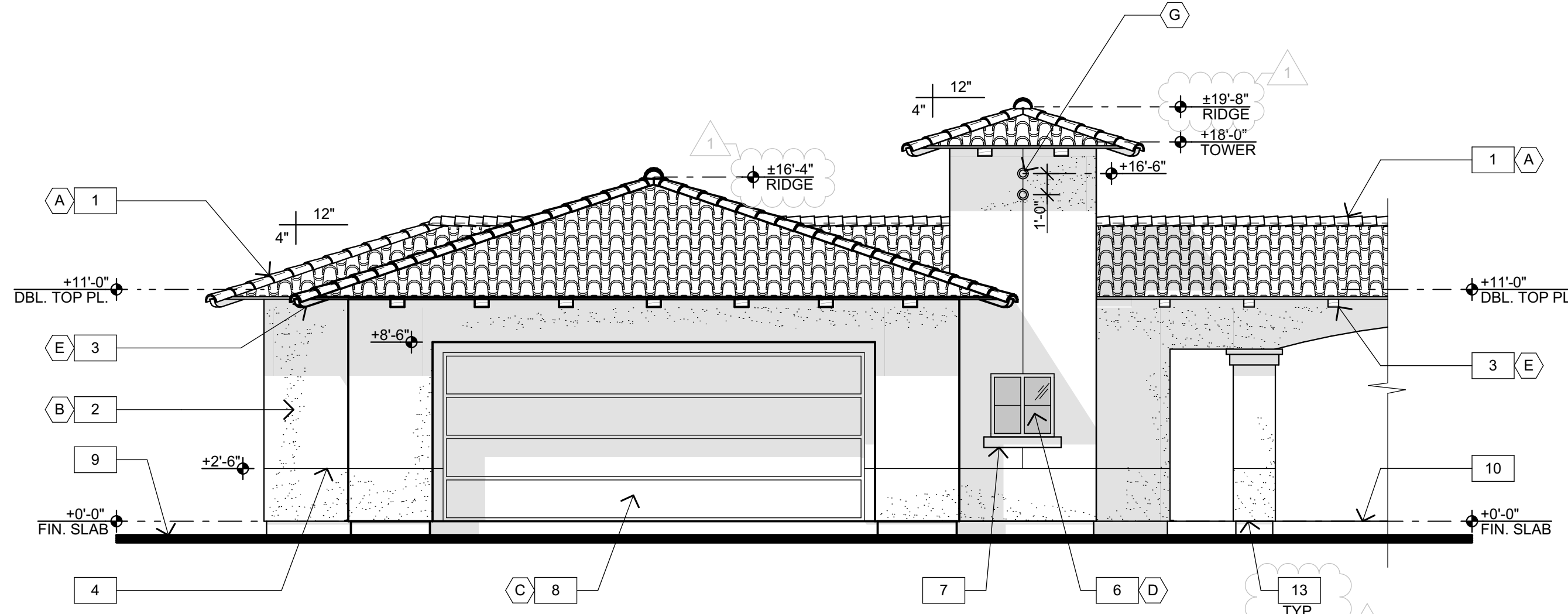
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EXTERIOR ELEVATIONS

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SHEET NO:
A-301

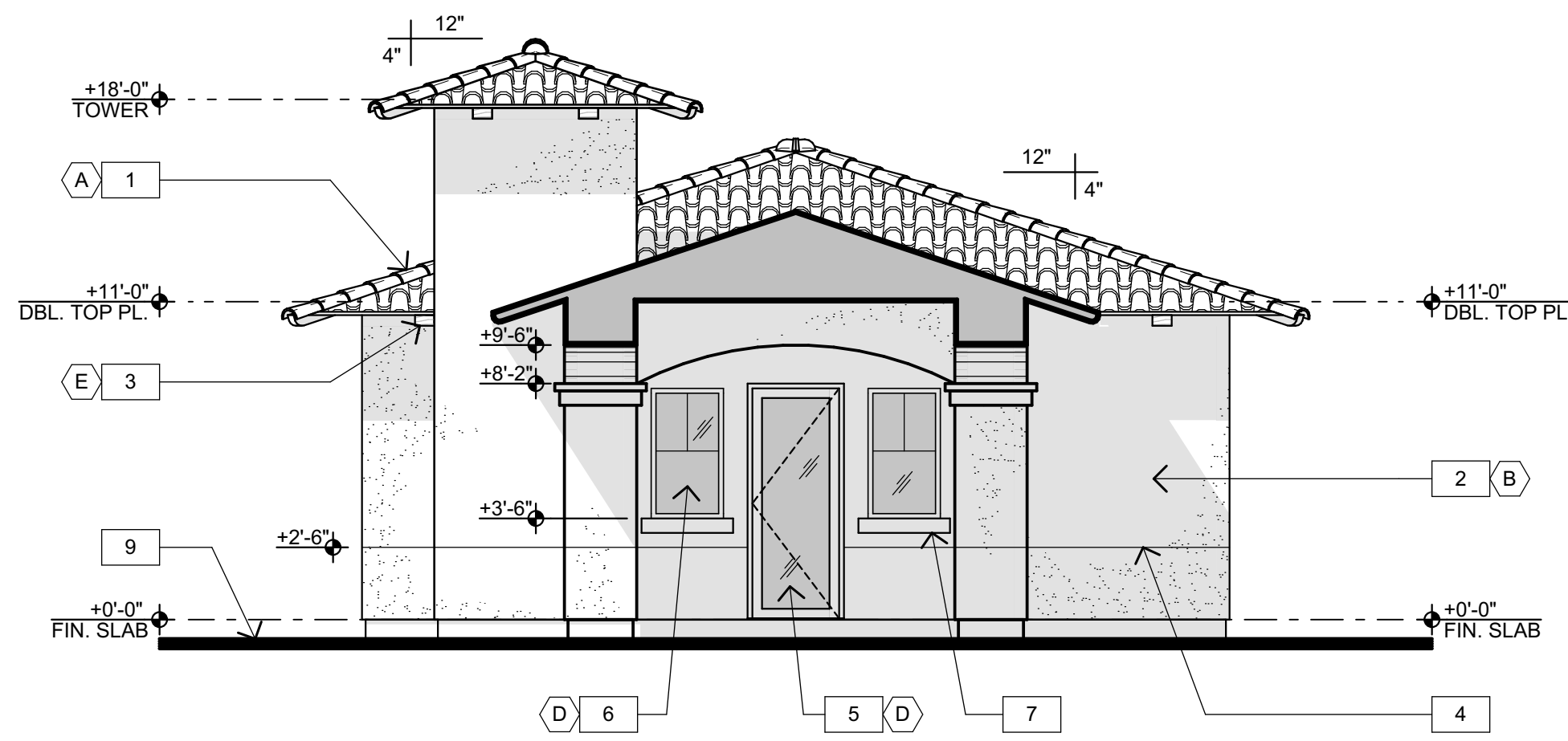
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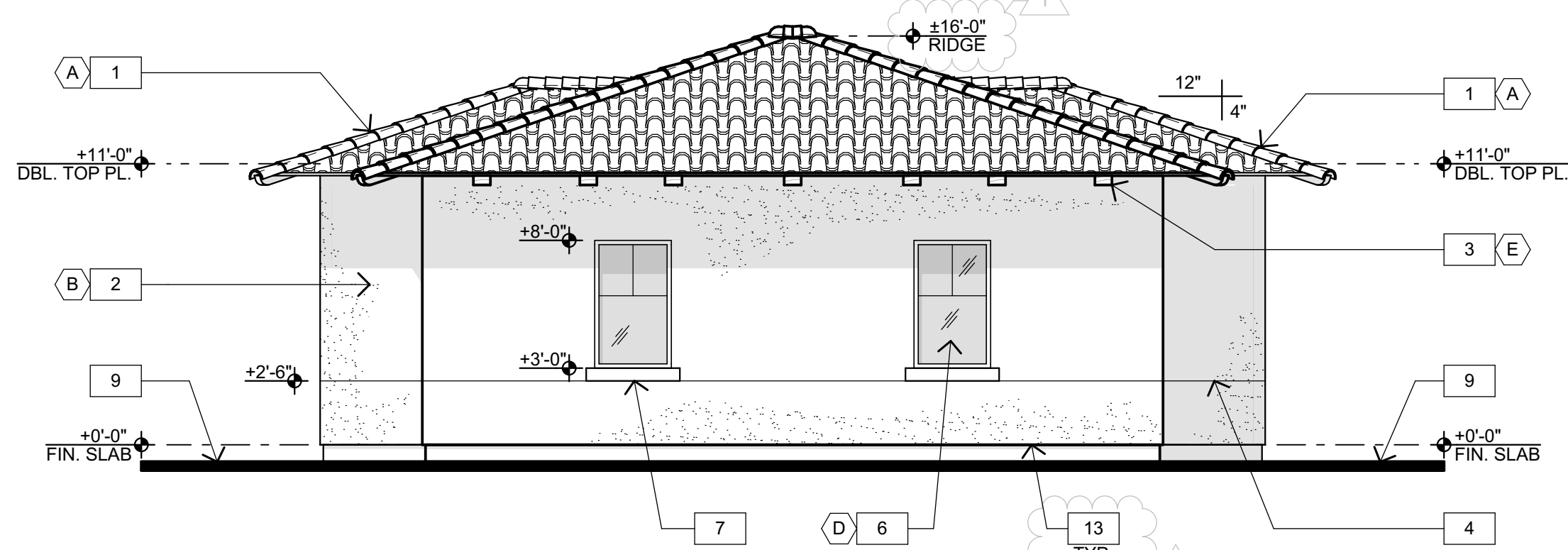
5 GARAGE-1 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



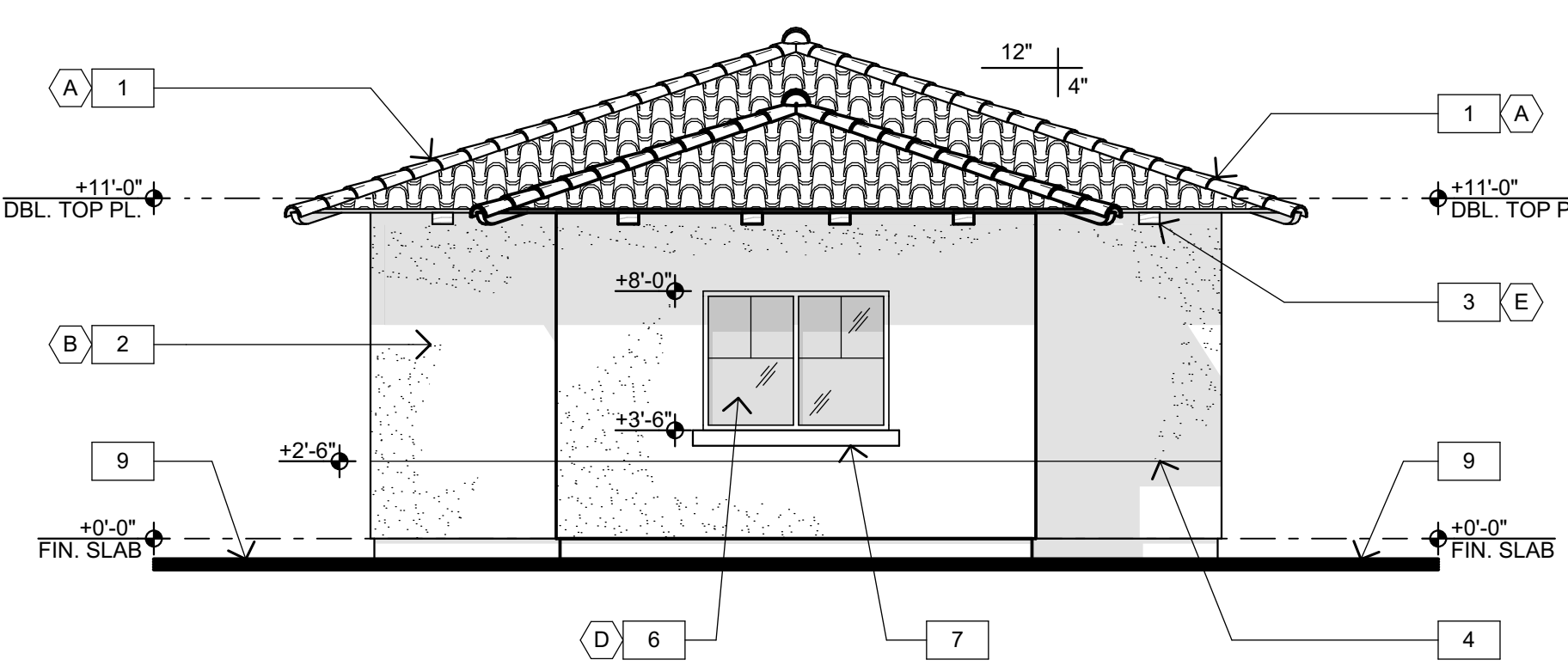
6 GARAGE-1 WEST ELEVATION
SCALE: 3/16" = 1'-0"



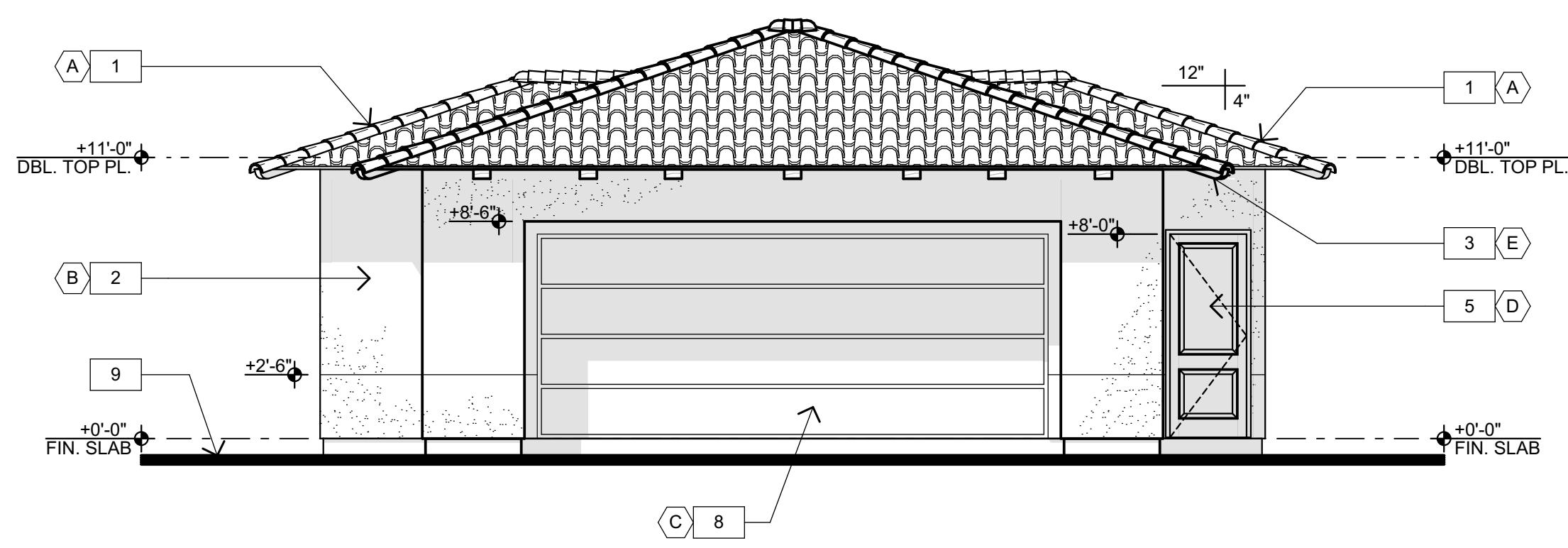
7 GARAGE-1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



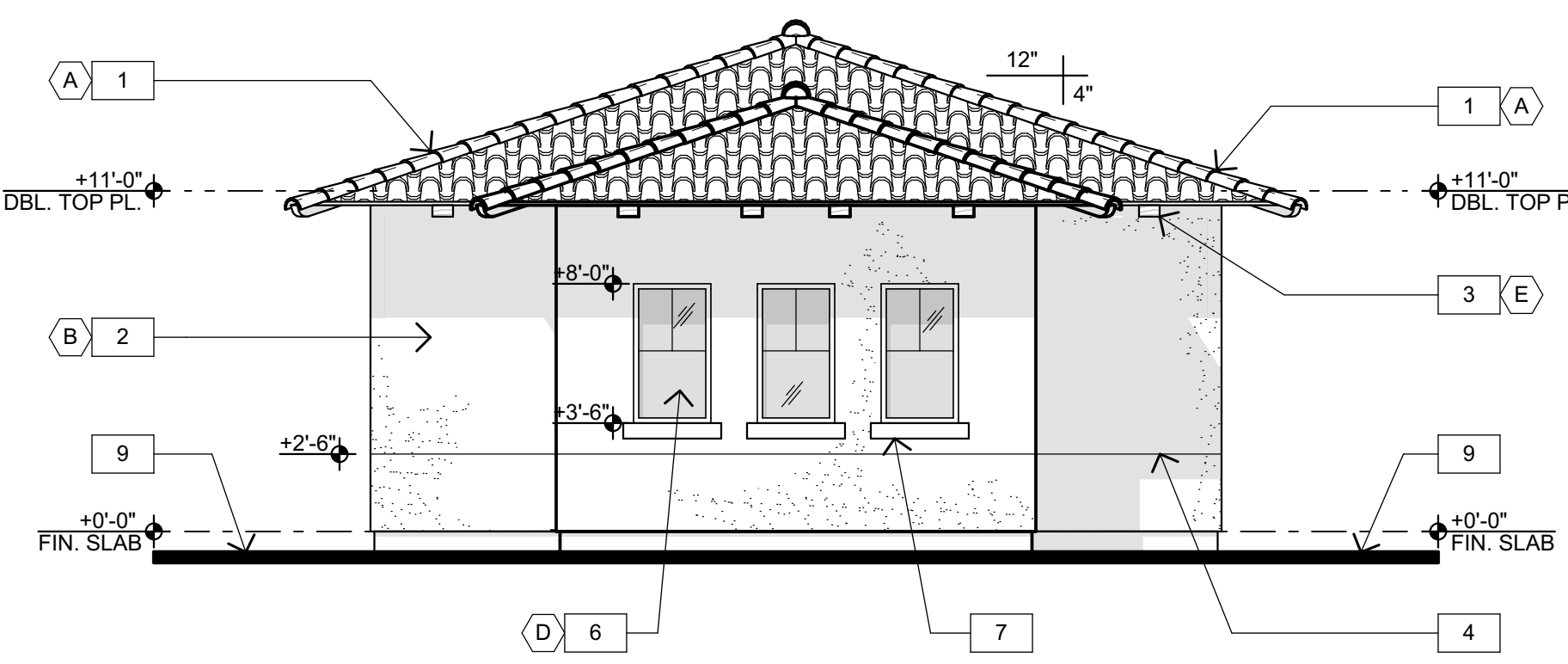
8 GARAGE-2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



9 GARAGE-2 WEST ELEVATION
SCALE: 3/16" = 1'-0"



10 GARAGE-2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



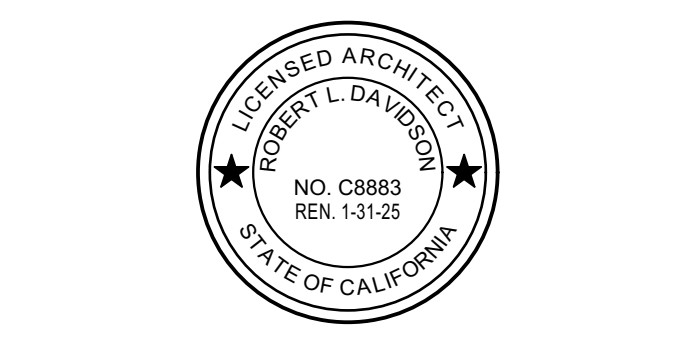
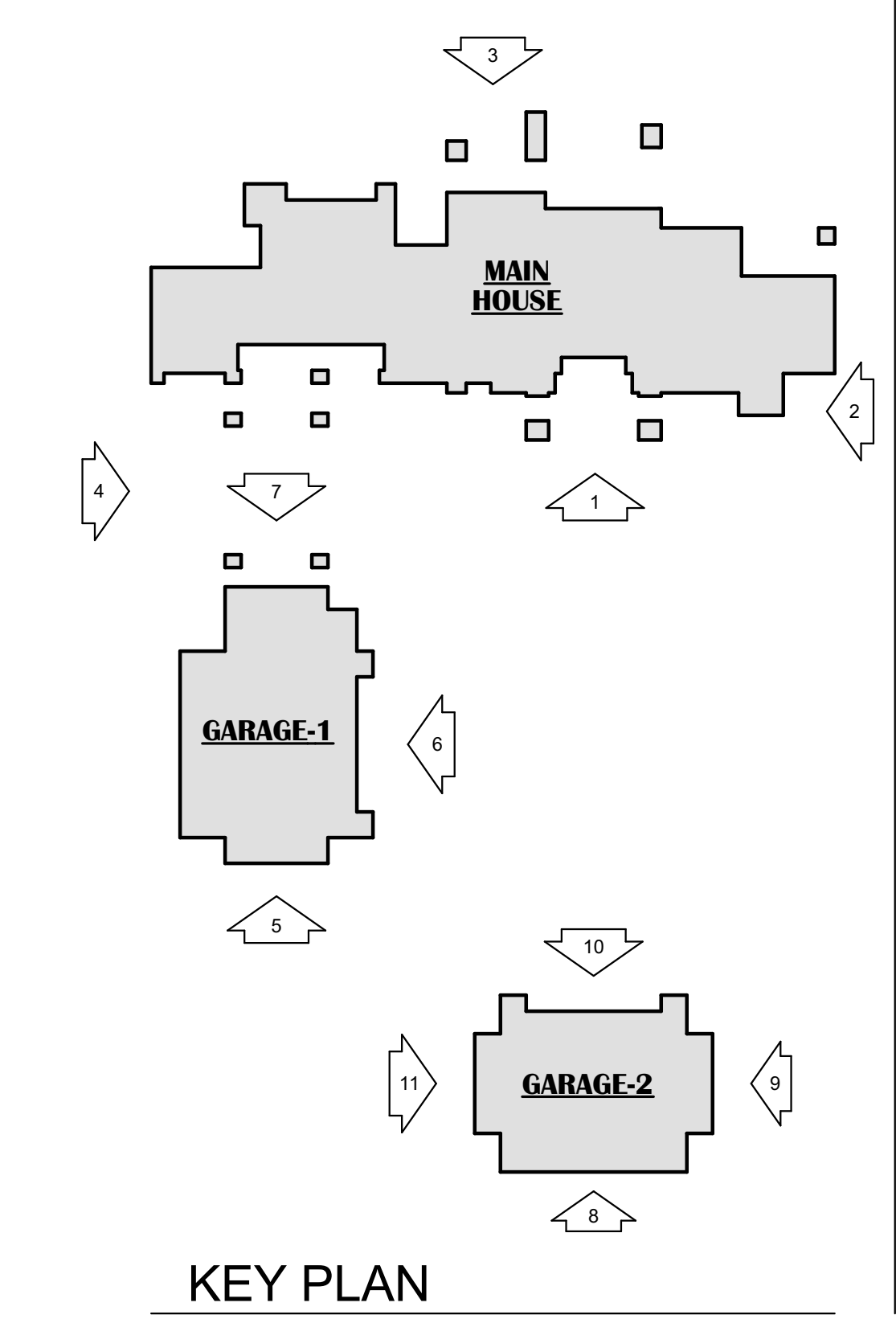
11 GARAGE-2 EAST ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISH & MATERIAL SCHEDULE		
(A)	ROOFING	EAGLE ROOFING #3636 PIEDMONT BLEND
(B)	CEMENT PLASTER:	SMOOTH TROWEL w/ PRIMER AND PAINT SHERWIN WILLIAMS: # SW 752 'ROMAN COLUMN'
(C)	OVERHEAD GARAGE DOOR:	T.B.D.
(D)	DOORS / WINDOWS	ALUMINUM CLAD WOOD w/ FACTORY FINISH COLOR: WHITE
(E)	FASCIAS / RAFTER TAILS	COLOR TO MATCH: SHERWIN WILLIAMS
(F)	TILE INSERTS	PROV. 6" SQ. PORCELAIN TILE - SET ONTO SCRATCH COAT. FLOAT BROWN & DASH COATS FLUSH. - G.C. TO SUBMIT SPANISH THEME TILE SAMPLES FOR ARCHITECT'S APPROVAL
(G)	WALL VENTS	6" Ø TERRACOTTA WALL VENTS

GENERAL EXTERIOR FINISH NOTES:

- ALL EXTERIOR WALL COLORS & MATERIALS SHALL TERMINATE AT INSIDE CORNERS.
- PAINT ALL EXPOSED SHEET METAL FLASHING TO MATCH ADJACENT SURFACE.
- PAINT ALL EXPOSED FASTENERS TO MATCH ADJACENT CONNECTED MATERIAL (IE, WROUGHT IRON RAILING, ETC.)
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- ELEVATION KEY NOTES:**
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- INSTALL ROOF PER MANUFACTURER'S SPECIFICATIONS
- SEE EXTERIOR MATERIALS & FINISHES SCHEDULE.
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- REFER TO SHT. A-812 / DET. 6
 - INDICATES RAFTER TAILS @ 48" O.C.
REFER TO SHT. A-823 / DET. 16
 - INDICATES EXPANSION JOINT, TYPICAL HEIGHT AS SHOWN.
- REFER TO DETAIL SHT. A-812 / DET. 4
 - INDICATES DOOR - OWNER TO SELECT
- REFER TO FLOOR PLAN & FLASHING DETAIL SHT. A-810 / DET. 25
 - INDICATES WINDOW - OWNER TO SELECT
- REFER TO FLOOR PLAN & FLASHING DETAIL SHT. A-810 / DET. 25
 - INDICATES SLOPED SILL AT WINDOWS - TYP.
- REFER TO SHT. A-810 / DET. 13 (U.N.O.)
 - INDICATES OVERHEAD GARAGE DOOR
- REFER TO FLOOR PLAN
 - INDICATES FINISHED GRADE
- REFER TO SITE PLAN & CIVIL DRAWINGS
 - INDICATES CONCRETE WALKS / PATIOS AND/OR LANDINGS
- REFER TO SITE PLAN & CIVIL DRAWINGS
 - INDICATES DECORATIVE TILES
- REFER TO SHT. A-830 / DET. 7
 - INDICATES WALL MOUNTED LIGHT FIXTURES
- REFER TO ELECTRICAL DRAWINGS
 - INDICATES CEMENT PLASTER WEEP SCREED
- REFER TO SHEET A-812 / DETAILS 1, 2, 3
- REFER TO FLOOR PLAN FOR LOCATIONS OF CONCRETE WALKS.



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BLAND RESIDENCE
16311 SUMMIT MOUNTAIN RD.
CLOVIS, CA 93619

NO.	DATE	ISSUE
1	8-14-2023	PLAN CHECK SUBMITTAL
2	2-09-2024	PLAN CHECK RESUBMITTAL

SHEET TITLE:
EXTERIOR ELEVATIONS

SCALE: AS NOTED
SHEET NO:
A-302

PROJECT NO: 2215

North Elevation



Northeast Elevation



East Elevation



Southeast Elevation



South Elevation



Southwest Elevation



West Elevation



Northwest Elevation

