



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: March 2, 2023

TO: Development Services and Capital Projects, Attn: Chris Motta, Principal Planner
Development Services and Capital Projects, Current Planning, Attn: David A. Randall, Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn: Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn: Daniel Gutierrez/James Anders
Development Services and Capital Projects, Site Plan Review, Attn: Tawanda Mtunga
Development Services and Capital Projects, Building & Safety/Plan Check, CASp, Attn: Dan Mather
Resources Division, Solid Waste Attn: Daniel Amann, Christopher Bump
Development Engineering, Attn: Kevin Nehring, Senior Engineer
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: rdmaint@fresnocountyca.gov
Design Division, Attn: Mohammad Alimi, Design Division Engineer
Transportation Planning, Attn: Hector Luna, Brody Hines, Senior Planner
Water and Natural Resources Division, Attn: Augustine Ramirez, Division Manager; Roy Jimenez, Senior Planner
Department of Public Health, Environmental Health Division, Attn: Kevin Tsuda/Deep Sidhu
Fresno County Fire Protection, [FKU.Prevention- Planning@fire.ca.gov](mailto:FKU.Prevention-Planning@fire.ca.gov)
Fresno Metropolitan Flood Control District, developmentreview@fresnofloodcontrol.org
Pacific Gas & Electric Company, Attn: pgeplanreview@pge.com

FROM: Alyce Alvarez, Planner
Development Services and Capital Projects Division

SUBJECT: Director Review and Approval Application No. 4735

APPLICANT: Meenu Mann

DUE DATE: **March 20, 2023**

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject application proposing to allow an existing accessory living quarters to be converted into a permanent second residence, not to exceed 2,000 square feet of living space on a 2.64-acre parcel in the R-R (Rural Residential) Zone District.

The subject parcel is located on the north side of Shepherd Ave, approximately 642-feet east of Fowler Ave, and northerly adjacent from the City of Clovis. (APN: 557-051-06) (5640 E Shepherd Ave.) (Sup. Dist. 5).

We must have your comments by **March 20, 2023**. Any comments received after this date may not be used.

If you do not have comments, please provide a “NO COMMENT” response to our office by the above deadline (e-mail is also acceptable; see email address below).

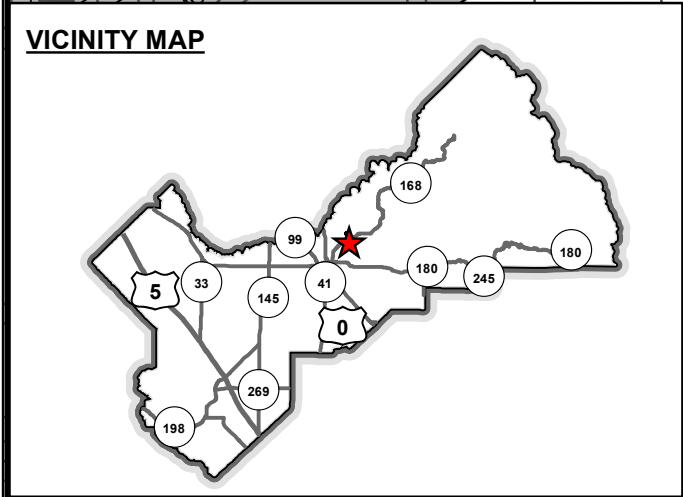
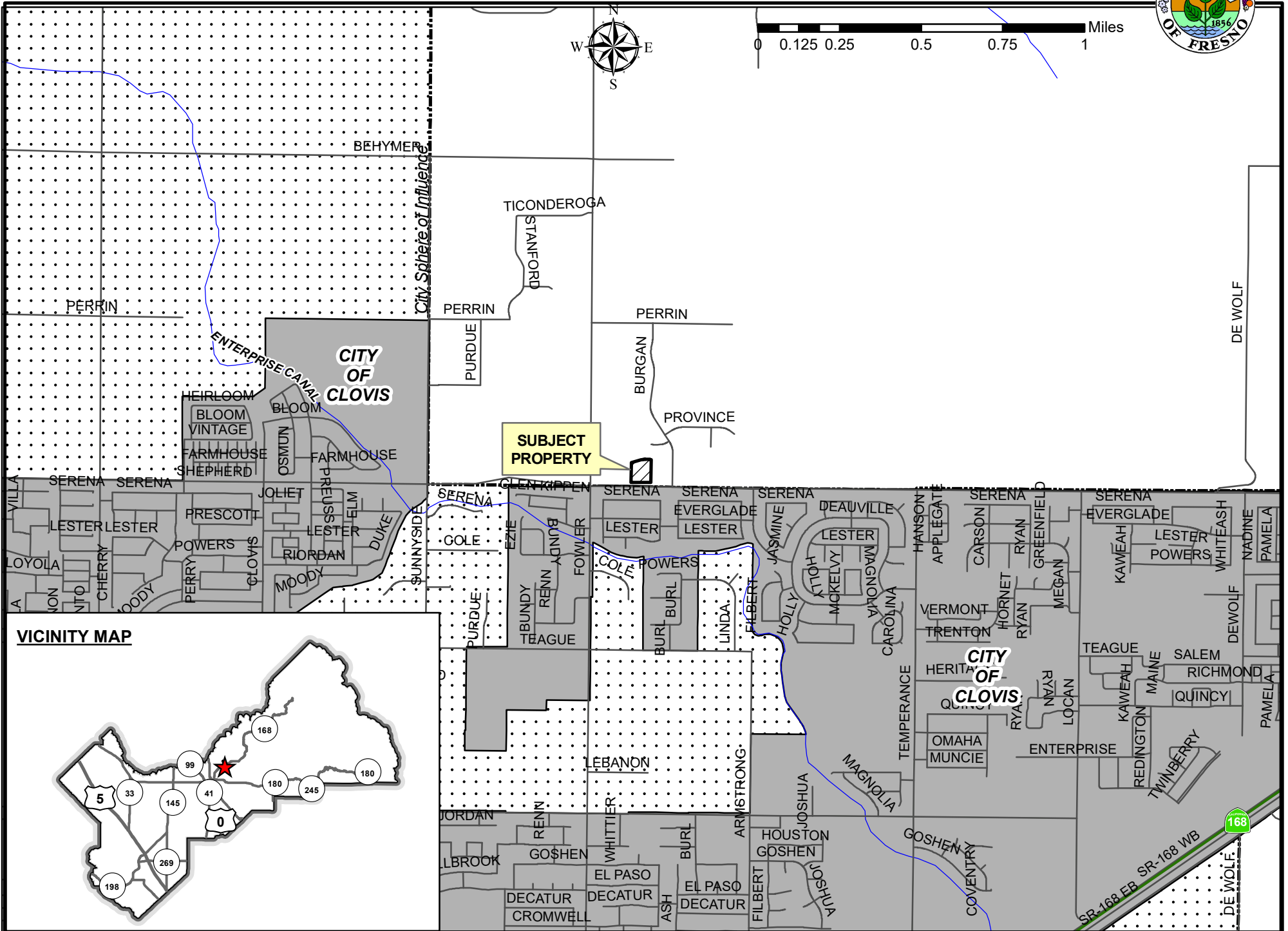
Please address any correspondence or questions related to environmental and/or policy/design issues to me, Alyce Alvarez, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, STE. A Street Level, Fresno, CA 93721, or call (559) 600-9669 or alyalvarez@fresnocountyca.gov via email.

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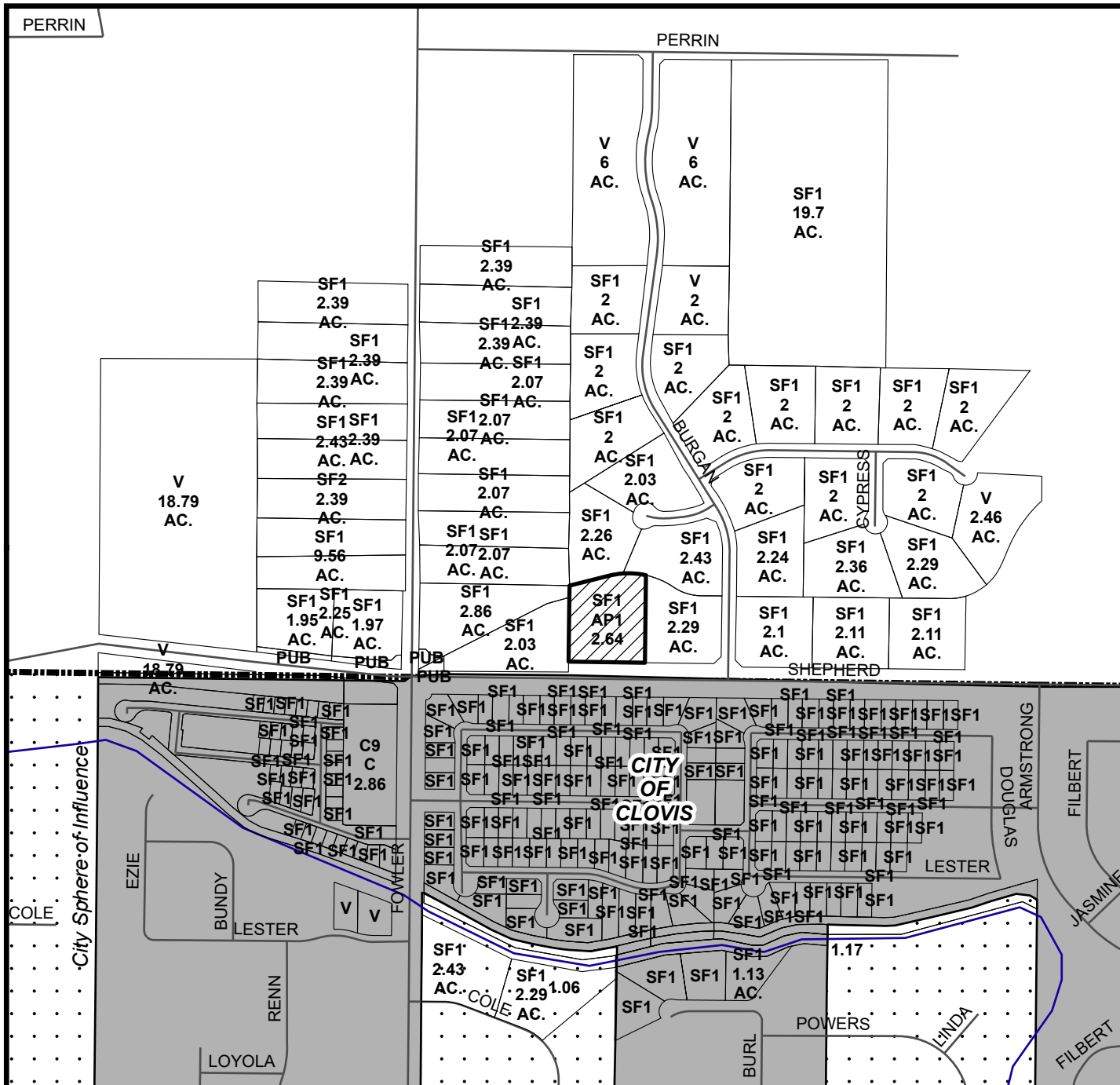
Activity Code (Internal Review): 2392

Enclosures

LOCATION MAP






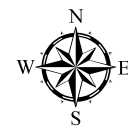
EXISTING LAND USE MAP



LEGEND	
AP1	- APARTMENT
C#	- COMMERCIAL
PUB	- PUBLICLY OWNED
SF#	- SINGLE FAMILY RESIDENCE
V	- VACANT

LEGEND:

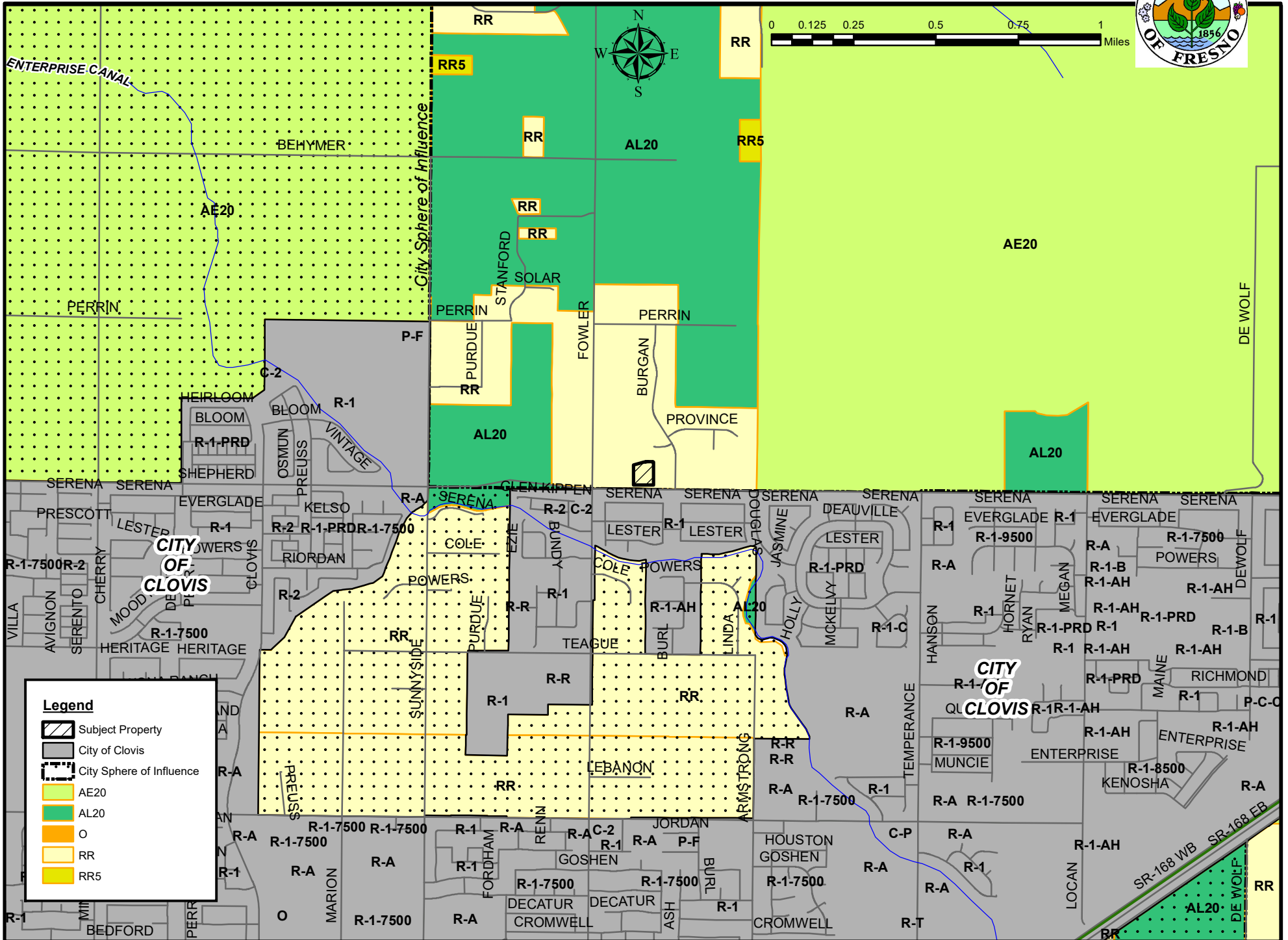
-  Subject Property
-  City of Clovis
-  City Sphere of Influence



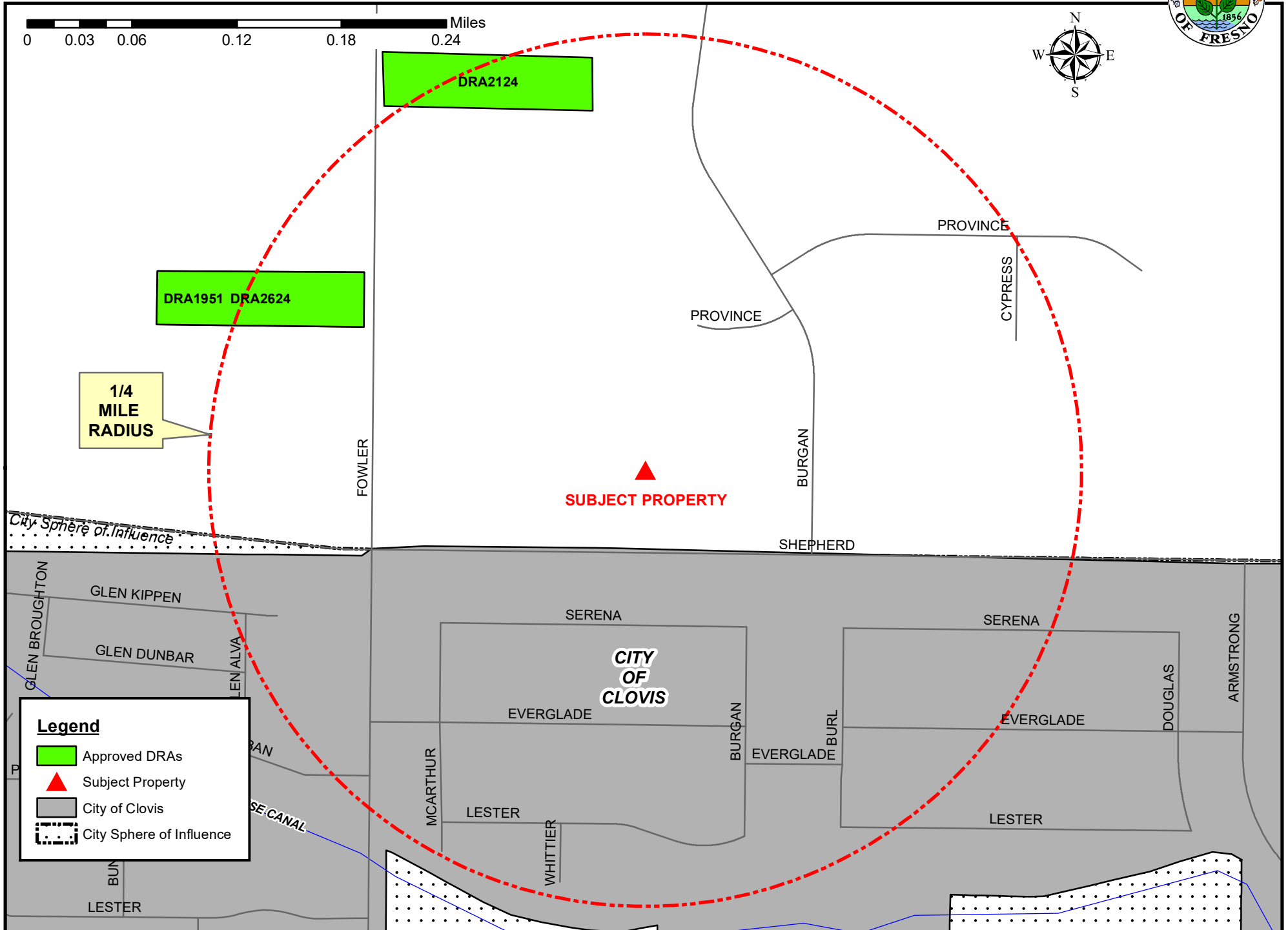
0 162.5 325 650 975 1,300 Feet

Department of Public Works and Planning
Development Services Division

EXISTING ZONING MAP



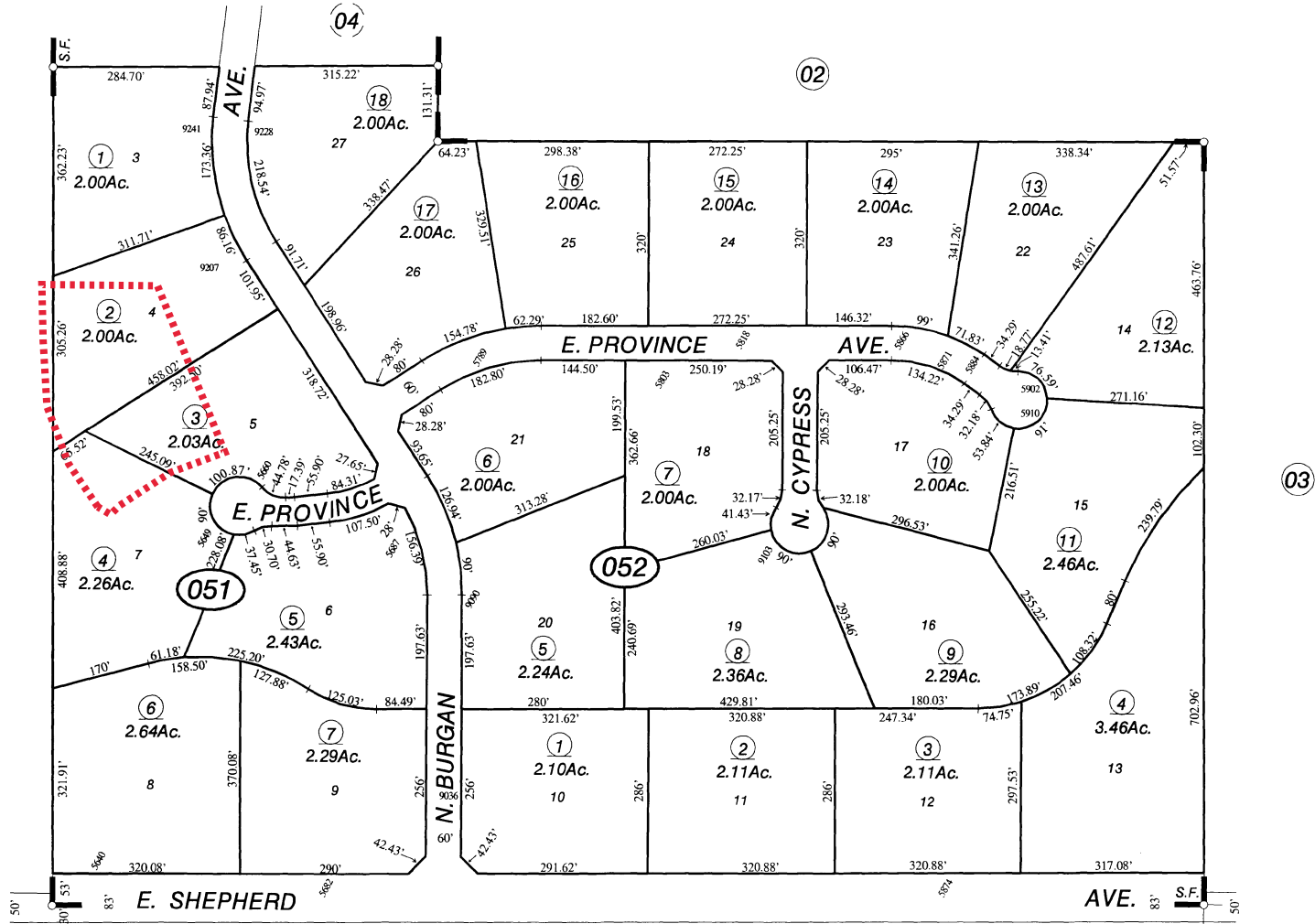
APPROVED DIRECTOR REVIEWS WITHIN A QUARTER MILE RADIUS



Legend

- Approved DRAs
- Subject Property
- City of Clovis
- City Sphere of Influence

--- NOTE ---
This map is for Assessment purposes only.
It is not to be construed as portraying
legal ownership or divisions of land for
purposes of zoning or subdivision law.



Shenandoah Farms, Tract No. 4614 - Plat Bk. 58, Pgs. 63-65

Bk.
559

Assessor's Map Bk. 557 - Pg. 05
County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.





Fresno County Department of Public Works and Planning

Date Received: 2/21/23

DRA 4735

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services and Capital Projects Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497

APPLICATION FOR:

- Pre-Application (Type)
Amendment Application
Amendment to Text
Conditional Use Permit
Variance (Class)/Minor Variance
Site Plan Review/Occupancy Permit
No Shoot/Dog Leash Law Boundary
General Plan Amendment/Specific Plan/SP Amendment
Time Extension for
Director Review and Approval
for 2nd Residence
Determination of Merger
Agreements
ALCC/RLCC
Other

DESCRIPTION OF PROPOSED USE OR REQUEST:

Convert existing ADU to Airbnb.

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: North side of E. Shepherd Ave
between Fowler and Armstrong
Street address: 5640 E. Shepherd Ave, Clovis, CA 93619

APN: 557-051-06 Parcel size: 2.7 Acre Section(s)-Twp/Rg: S - T S/R E

ADDITIONAL APN(s):

I, Meenu Mann (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

Meenu Mann 5640 E. Shepherd Ave, Clovis, CA 93619 559-917-1764
Owner (Print or Type) Address City Zip Phone

Same as above
Applicant (Print or Type) Address City Zip Phone

Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL: meenumann@sbcglobal.net

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

UTILITIES AVAILABLE:

Application Type / No.: DRA Application Fee: \$ 1,570.00
Application Type / No.: Pre-App credit Fee: \$ - 247.00
Application Type / No.: Fee: \$
Application Type / No.: Fee: \$
PER/Initial Study No.: Fee: \$
Ag Department Review: Fee: \$
Health Department Review: Fee: \$ 432.00
Received By: A. Alvarez Invoice No.: 256143 TOTAL: \$ 1,755.00

WATER: Yes [X] / No []
Agency:
SEWER: Yes [X] / No []
Agency: Fresno County

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: - T S/R E

Related Application(s):

APN # - - -

Zone District:

APN # - - -

Parcel Size:

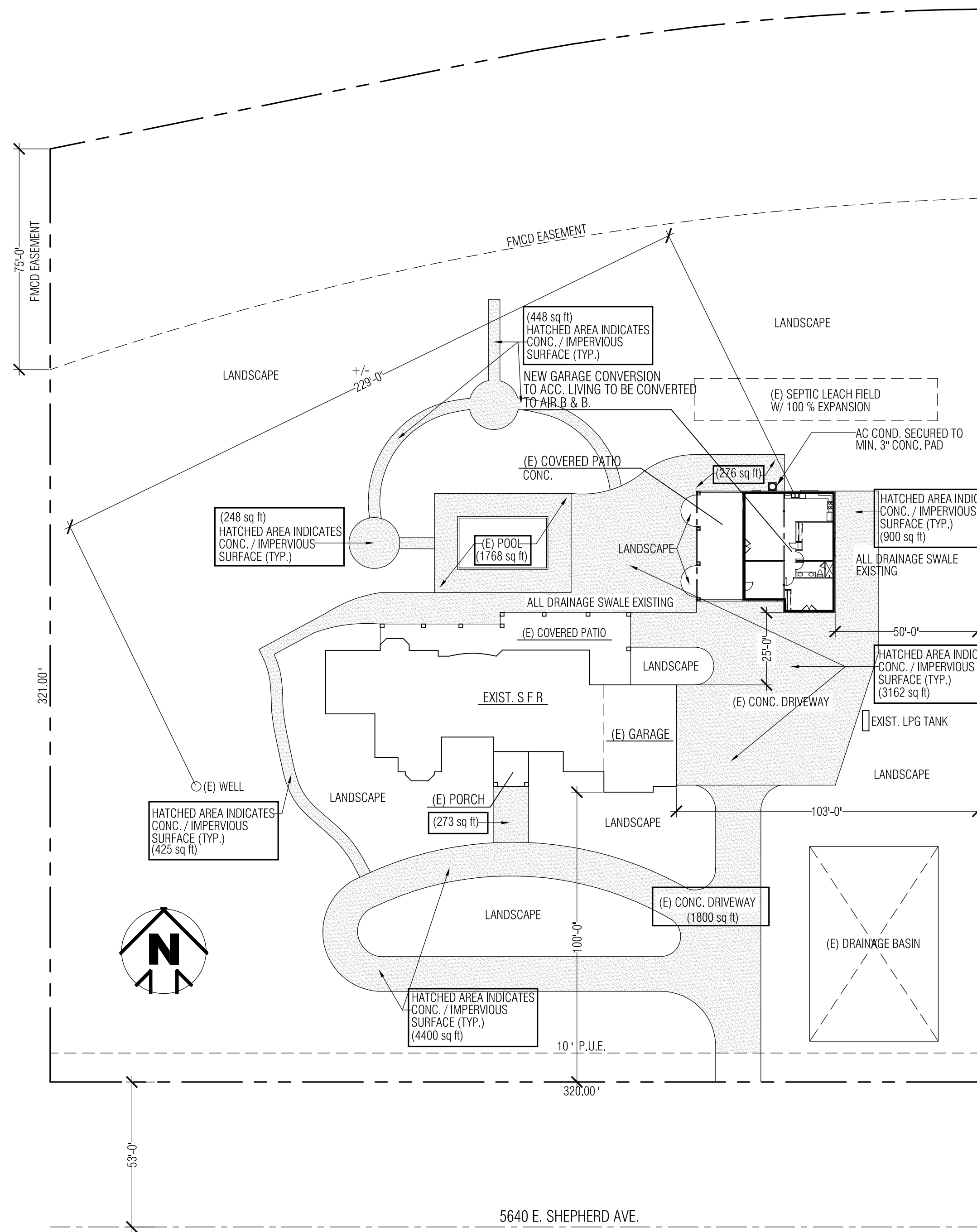
APN # - - -

APN # - - -

over.....

ABBREVIATION SCHEDULE			
DESCRIPTION		DESCRIPTION	
A.B.	ANCHOR BOLT	(N)	NEW
BM	BEAM	O.C.	ON CENTER
BLKG.	BLOCKING	O.H. CAB.	OVERHEAD CABINET
B.O.B.	BOTTOM OF BEAM	PNL.	PANEL
C.J.	CEILING JOIST	PL.	PLATE
CLG.	CEILING	RYSB	REARYARD SETBACK
CONC.	CONCRETE	REC.	RECESS
CONT.	CONTINUOUS	REF.	REFRIGERATOR
DW	DISHWASHER	(R)	RELOCATE
DN.	DOWN	1S-1P	1-SHELF, 1-POLE
(E)	EXISTING	SHLV.	SHELVES
F.J.	FLOOR JOIST	SYSB	SIDEYARD SETBACK
FYSB	FRONTYARD SETBACK	T.O.B.	TOP OF BEAM
G.D.O.	GARAGE DOOR OPENER	T.C.	TRASH COMPACTOR
HGR.	HANGER	(TYP.)	TYPICAL
HDR.	HEADER	(U.N.O.)	UNLESS NOTED OTHERWISE
H.B.	HOSE BIBB	W.P.	WATER PROOF
M.P.	MOISTURE PROOF		

CONSTRUCTION WASTE MANAGEMENT PLAN:
 A CONSTRUCTION WASTE MANAGEMENT PLAN IS REQUIRED TO BE INITIATED PRIOR TO PERMIT ISSUANCE. DOCUMENTATION OF COMPLIANCE WITH THE CONSTRUCTION WASTE MANAGEMENT PLAN IS REQUIRED TO BE SUBMITTED PRIOR TO CERTIFICATE OF OCCUPANCY. CONSTRUCTION WASTE MANAGEMENT PLAN MUST BE FINALIZED PRIOR TO OCCUPANCY.



NOTE TO GENERAL CONTRACTOR AND PROPERTY OWNER:
 THIS PLAN WAS PREPARED AND SUGGESTED TO BE BUILT BY THE LICENSED CONTRACTOR WHO IS FAMILIAR WITH THE CONSTRUCTION PLANS, MATERIALS, INSTALLATION AND CONSTRUCTION PRACTICES THAT OF A PROFESSIONAL CONTRACTOR TO VISIT AND VERIFY SITE AND BUILDING CONDITIONS PRIOR TO FINAL BID AND START OF CONSTRUCTION. THIS PLAN SHALL BE REVIEWED BY OWNER AND CONTRACTOR IN ITS ENTIRETY PRIOR TO CONSTRUCTION. DESIGNER SHALL BE NOTIFIED OF ANY DISCREPANCIES (STRUCTURAL OR ARCHITECTURAL) BEFORE CONSTRUCTION BEGINS.
 ANY STRUCTURAL CHANGE TO APPROVED PLAN DURING CONSTRUCTION SHALL BE MADE KNOWN TO DESIGNER FOR APPROVAL BEFORE CHANGES ARE MADE TO STRUCTURE. AN ADDENDUM MAY BE REQUIRED TO THE PLAN AND SUBMITTED TO CITY OR COUNTY PLANNING FOR REVIEW AND APPROVAL. ADDITIONAL PLAN ADDENDUM FEE MAY BE REQUIRED TO BE PAID BY OWNER OR CONTRACTOR.
 THE ISSUANCE OF A PERMIT BASED ON ANY APPROVED PLAN AND SUPPORT DOCUMENTS DOES NOT ALLOW CONSTRUCTION TO BE IN VIOLATION OF THE ADOPTED CODES OR ANY OTHER ORDINANCE OF THE JURISDICTION. EACH CONTRACTOR SHALL BE KNOWN, LEGGABLE OF THE CODES FOR THE TRADE OR TRADES BEING PERFORMED BY CONTRACTOR.
 FIELD OBSERVATIONS MADE BASED UPON EXISTING CONDITIONS PRESENT AT THE TIME OF THE INSPECTION AND UPON OBSERVABLE COMPONENTS, CONDITIONS NOT OBSERVED BASED UPON UNACCESSIBILITY ARE NOT A PART OF THIS PLAN AND ANY SUCH CONDITIONS WHICH MAY BE FOUND WHICH ARE CONTRARY TO THIS PLAN SHOULD BE THE SUBJECT OF FURTHER INVESTIGATION.

PROJECT DATA
 PROJECT: EXIST. CONVERTED GARAGE ACC. LIVING TO AIR B & B SITE ADDRESS: 5640 E. SHEPHERD AVE.
 LEGAL DESCRIPTION: A.P.N.: 557-051-06
 OWNER: MEENU MANN ADDRESS: 5640 E. SHEPHERD AVE.
 CITY: CLOVIS STATE: CA. ZIP: 93619 PHONE: 559-917-1764

DESIGNER: GREG KING, 870 BARBER WAY, GARDNERVILLE, NV, 89460, PHONE: 559-960-0258
CONTRACTOR: OWNER

- TYPICAL SITE PLAN NOTES:**
- POST STREET ADDRESS NUMERALS AT LEAST 4" HIGH WITH A 1/2" STROKE MOUNTED ON A CONSTRAINING BACKGROUND CLEARLY VISIBLE FROM THE STREET.
 - NO ON-SITE WATER RETENTION OR DRAINAGE ON TO ADJACENT SITES. PROVIDE MINIMUM .5% SLOPE FOR THE ENTIRE DEPTH OF THE SITE. (IF APPLICABLE)
 - PROVIDE A MINIMUM 2% GRADE SLOPE FOR A DISTANCE OF NOT LESS THAN 10' FROM BUILDING SURFACE DRAINAGE OVER DRIVEWAY APPROACHES AND SIDEWALKS IS PROHIBITED WHEN THE AREA TO BE DRAINED EXCEEDS 1/4 ACRE. IMPERVIOUS SURFACES WITHIN 10' OF BUILDING FOUNDATION SHALL BE SLOPED A MIN. OF 2% AWAY FROM BUILDING.
 - FINISHED FLOOR TO BE MINIMUM OF 8" OVER ADJACENT GRADE TO PROVIDE FOR AN APPROVED CLEARANCE TO NONE TREATED LUMBER. (IF TREATED.)
 - SURVEY MONUMENTS WITHIN THE CONSTRUCTION AREA SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA. STRING SIDEYARD PROPERTY LINES PRIOR TO FOUNDATION INSPECTION.
 - REPAIR DAMAGED OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY. (IF APPLICABLE)
 - 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND / OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (U.S.A.) CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THIS AGENCY.
 - CHEMICAL TOILET IS REQUIRED ON SITE AT START OF AND DURING CONSTRUCTION.
 - CHANGES FROM APPROVED PLANS DURING COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.
 - DISTURBED SOIL DUE TO TREE REMOVAL OR OTHER DEMOLITION WITHIN CONSTRUCTION AREA SHALL BE COMPACTED TO AN APPROVED COMPACTION PERCENTAGE.
 - JOB INSPECTION CARD TO BE ON JOB SITE & AVAILABLE FOR SIGNATURE
 - APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITHIN 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE. EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS AFTER ISSUANCE OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS.
 - ANY UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANTS WILL BE RELOCATED BY CITY FORCES. DEVELOPER IS RESPONSIBLE TO NOTIFY CITY WATER DIVISION AT 621-5300 TO ARRANGE AND COORDINATE WORK.

BUILDING DESCRIPTION / FOOTAGE WITH IMPERVIOUS AREAS

FIRST FLOOR AREA (EXIST.) MAIN HOUSE	3230 SQ FT
FIRST FLOOR AREA (EXIST.) GARAGE CONVERSION TO AIR B & B	1090 SQ FT
STORAGE AREA (EXIST.)	190 SQ FT
PATIO AREA (EXIST.)	1130 SQ FT
PATIO AREA (EXIST.)	592 SQ FT
PORCH AREA (EXIST.)	144 SQ FT
TOTAL COVERAGE AREA	6376 SQ FT
TOTAL CONC. FLAT WORK / IMPERVIOUS AREAS:	13824 SQ FT
TOTAL BUILDING COVERAGE AREA	6376 SQ FT
	20200 SQ FT

SHEET INDEX:

SHEETS IN SET	SHEETS SIGNED BY ENGINEER
A-1 SITE PLAN	

BUILDING INFORMATION
 OCCUPANCY TYPE: R-3, U, II, CONSTRUCTION TYPE: VB
 BUILDING TO CONFORM TO THE MOST CURRENT CODE: 2016 CRC, CEC, CPC, CMC AND CFC.
 CONFORM TO FRESNO COUNTY ORDINANCE CODE TITLE 15

ROOF LIVE LOADS _____
 FLOOR LIVE LOADS _____
 ROOF DEAD LOAD _____
 FLOOR DEAD LOAD _____
 BASIC WIND SPEED (3-SECOND GUST), MILES PER HOUR (MPH) (KM/HR) AND WIND EXPOSURE _____
 FLOOD DESIGN DATA _____
 ALLOWABLE SOIL BEARING PRESSURE _____
 CONCRETE DESIGN _____
 SITE CLASS _____

SEISMIC DESIGN CATEGORY

S _s _____	S ₁ _____
SD1 _____	SD _____
S _M _____	SDC = _____
SM1 _____	

LATITUDE = _____ LONGITUDE = _____

PROJECT ENGINEER: _____

ENERGY CALCULATION: CLIMATE ZONE: _____

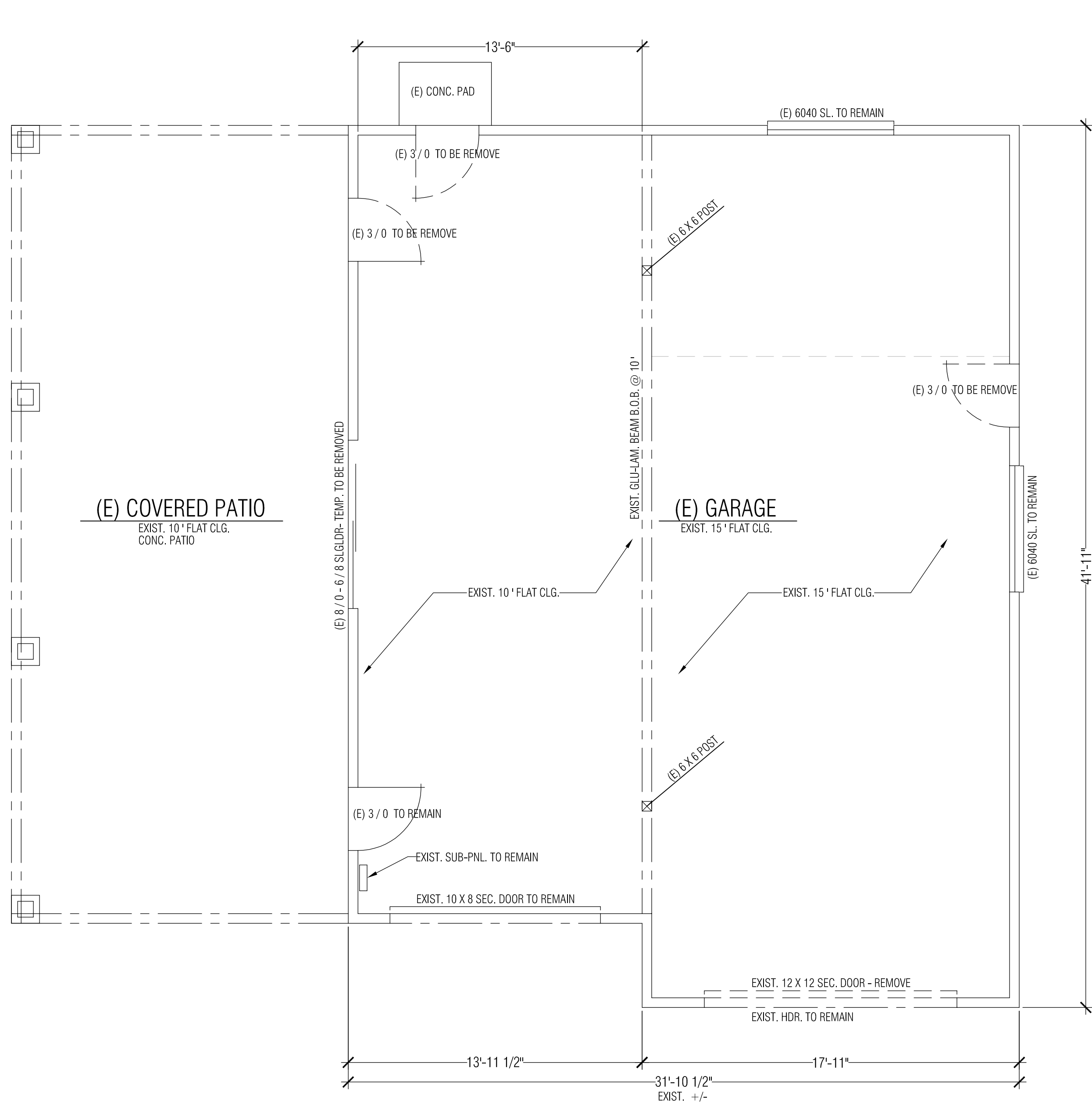
PROPOSED PROJECT FOR:

SITE PLAN
 SCALE: 1" = 30'-0"

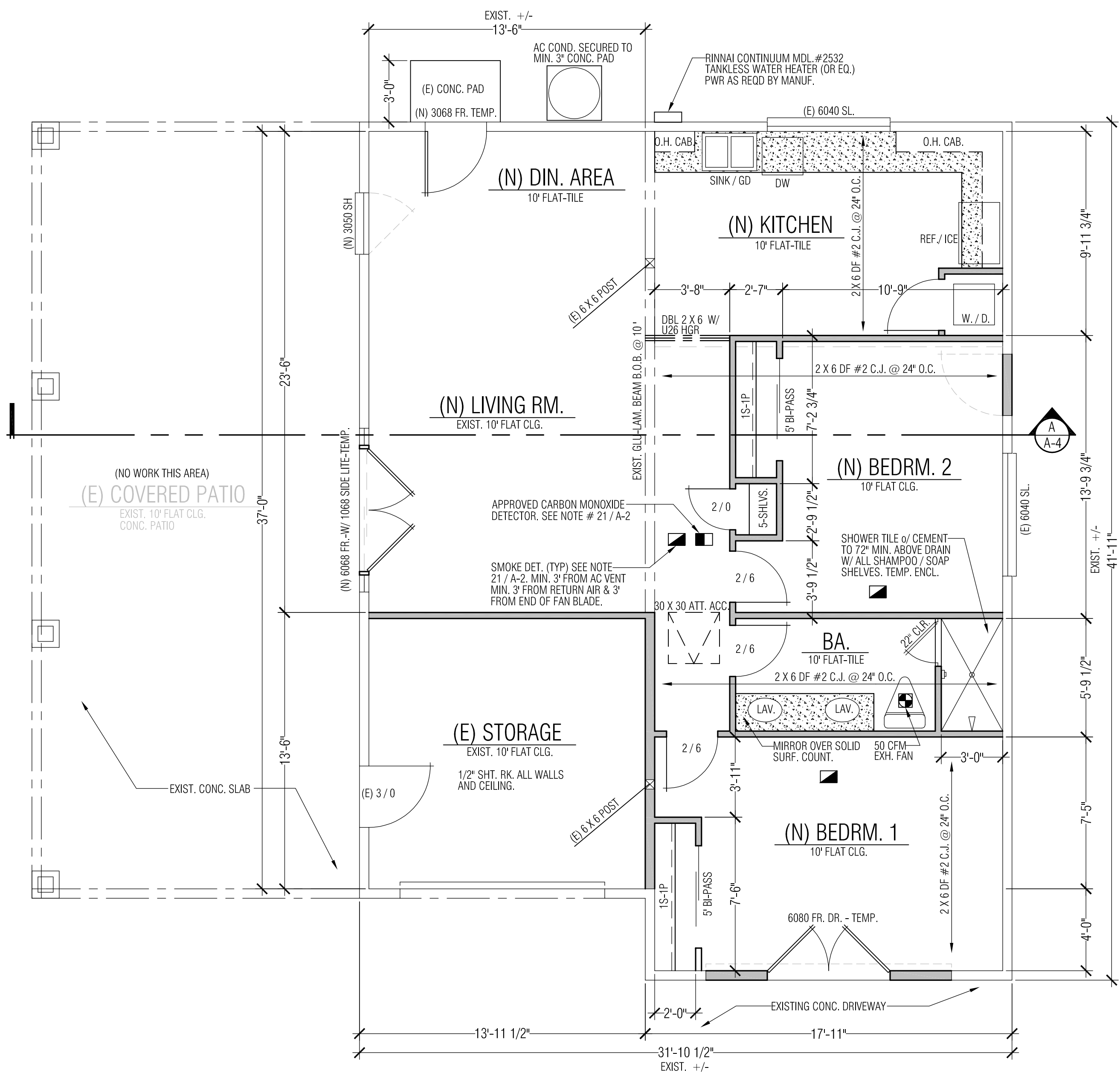
GREGORY P. KING
 RESIDENTIAL DESIGN & DRAFTING
 8735 N. CEDAR # 136 FRESNO, CA. 93720
 PHONE: 559-435-8840

ADDENDUM

A-1



EXIST. / DEMO. FLOOR PLAN
SCALE: 1/4" = 1'-0"



SEE SHT. S-1 FOR HEADER SCHEDULE
(INTERIOR ALTERATIONS)
CURRENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL DIMENSION NOTE

DIMENSIONS SHOWN ARE PLUS OR MINUS AND SHALL BE FIELD VERIFIED. DEMOLITION OF EXISTING INTERIOR / EXTERIOR WALL FINISHES AT AFFECTED AREA OF REMODEL / ADDITION WILL ALLOW VERIFICATION OF ACTUAL DIMENSIONS FOR THE ALIGNMENT OF NEW WALLS AS REQUIRED BY THIS PLAN.

WALL LEGEND

- NEW EXTERIOR WALL CONSTRUCTION 2 X 6 DF #2 STUDS @ 16" O.C., 2 X 4 DF #2 INTERIOR STUDS @ 16" O.C. UNLESS NOTED OTHERWISE (U.N.O.)
- EXISTING 2 X WALL CONSTRUCTION TO REMAIN
- EXISTING 2 X WALL CONSTRUCTION TO BE REMOVED

MECHANICAL SCHEDULE

AC SEER (EER 12.44)	.15
FURNACE AFUE	.81
DUCT R-VALUE	R-8
ATTIC INSULATION (AT BOTT. CHORD)	R-38
ATTIC BELOW ROOF INSUL. (AT TOP CHORD)	R-13
EXTERIOR WALL INSULATION	R-19
FLOOR INSULATION	N/A
STORAGE TANK WATER HEATER	N/A
ENERGY FACTOR	(1)
TANKLESS WATER HEATER	(1)
ENERGY FACTOR	.93

IT IS THE HVAC CONTRACTORS RESPONSIBILITY TO CONSIDER ALL FACTORS WHEN SELECTING THE HVAC EQUIPMENT, DUCT SIZING AND LOCATION OF ALL WITH RESPECT TO CURRENT MECHANICAL CODES.

SPECIAL FEATURES

INSULATION BELOW ROOF DECK
WINDOW OVERHANGS AND / OR FINIS

HERS FEATURES

IAQ MECHANICAL VENTILATION
• FAN EFFICACY WATTS / CFM (0.25)
COOLING SYSTEM VERIFICATIONS:
• MIN. AIRFLOW
• VERIFY SEER
• VERIFY REFRIGERANT CHARGE
• FAN EFFICACY WATTS / CFM 0.58
HVAC DISTRIBUTION SYSTEM VERIFICATIONS:
• DUCT SEALING & TESTING (1-HERS-DIST.)
HVAC DISTRIBUTION SYSTEM VERIFICATIONS:
• NONE

U-VALUE	SHGC	WINDOWS
.32	.25	

AFTER INSTALLING HVAC EQUIPMENT, FENESTRATION AND WATER HEATING SYSTEMS, THE INSTALLER SHALL SUBMIT AN INSTALLATION CERTIFICATE (IC-38 FORM), COMPLETED AND SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED (MANUF. MODEL AND EFFICIENCIES, U-VALUE AND SHGC-VALUES, ETC.) AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION. REGISTERED COPIES OF THE IC-38 & IC-29 FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED CERTIFIED BY THE INSTALLER FOR THE IC-38 FORM AND THE HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING ON THE IC-29 FORM (CALIF. ENERGY EFFICIENCY STANDARDS (CES) SECTION 10-103 (a)(5) AND 10-103 (a)(6)).

AFTER INSTALLING WALL, CEILING OR FLOOR INSULATION THE INSTALLER SHALL MAKE AVAILABLE TO THE ENFORCEMENT AGENCY OR POST IN A CONSPICUOUS LOCATION IN THE BLDG A CERTIF. SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION IS CONSISTENT WITH THE PLANS AND SPECS. AND MATERIAL IDENTIFICATION, THE R-VALUE, AND IN APPLICATIONS OF LOOSE-FILL INSULATION THE MRL INSTALLED WEIGHT PER SQ. FT. CONSISTENT WITH MANUF. LABELED INSTALLED DESIGN DENSITY FOR THE DESIRED R-VALUE.

JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CALLED, EQUIPPED WITH GASKETS, WEATHER-STRIPPED OR OTHERWISE SEALED TO LIMIT INTERNAL OR EXTERNAL AIR FILTRATION.
EVERY MANUFACTURED AND SITE-BUILT FENESTRATION PRODUCT OR FENESTRATION SYSTEM INSTALLED IN CONSTRUCTION SUBJECT TO TITLE 24, PART 6 SHALL HAVE ATTACHED TO IT A CLEARLY VISIBLE TEMPORARY LABEL OR HAVE AN ASSOCIATED LABEL, CERTIFICATE THAT LISTS THE U-FACTOR, SOLAR HEAT GAIN COEFFICIENT (SHGC) OF THAT PRODUCT AND THE METHOD USED TO DETERMINE THESE VALUES, AND CERTIFIES COMPLIANCE WITH AIR LEAKAGE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE SECTION 116 (b) 1. THE LABEL SHALL NOT BE REMOVED UNTIL APPROVED BY THE BUILDING INSPECTOR.

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FIELD OBSERVATIONS MADE BASED UPON EXISTING CONDITIONS PRESENT AT THE TIME OF THE INSPECTION AND UPON OBSERVABLE COMPONENTS. CONDITIONS NOT OBSERVED BASED UPON UNACCESSIBILITY ARE NOT A PART OF THIS PLAN AND ANY SUCH CONDITIONS WHICH MAY BE FOUND WHICH ARE CONTRARY TO THIS PLAN SHOULD BE THE SUBJECT OF FURTHER INVESTIGATION.

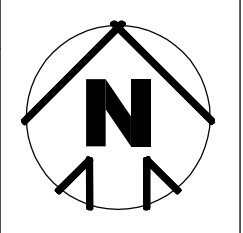
FLOOR PLAN FOOTAGE AND NOTES

FIRST FLOOR AREA (EXIST.)	—	50 SF
FIRST FLOOR AREA (NEW)	GARAGE CONVERSION	1090 SF
TOTAL LIVING AREA	(EXIST.)	190 SF
STORAGE AREA	(EXIST.)	190 SF
PATIO AREA (EXIST.)	REMAINDER OF (E) GARAGE	592 SF
TOTAL COVERAGE AREA	(EXIST.)	—

- ALL WORK SHALL COMPLY TO MOST CURRENT, IN USE: 2016 C.R.C., C.P.C., C.M.C., C.E.C. AND LOCAL MUNICIPAL CODES.
- ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE.
- INSULATION SHALL COMPLY WITH FLAME SPREAD RATING AND SMOKE DENSITY REQUIREMENTS.
- AFTER INSTALLING INSULATION THE INSTALLER OR GENERAL CONTRACTOR SHALL POST IN A CONSPICUOUS PLACE A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION CONFORMS WITH THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53 & THAT MATERIALS CONFORM WITH REQUIREMENTS OF TITLE 24, CHAPTER 2.
- ALL WEATHER STRIPPING, CAULKING AND SEALING OF EXTERIOR DOORS, WINDOWS AND BUILDING ENVELOPE OPENINGS AS REQUIRED BY BUILDING CODES SHALL BE SUBJECT TO FIELD INSPECTION.
- ALL WINDOWS IN CONDITIONED LIVING AREAS SHALL BE GLAZED. GLAZING SHALL BE AS FOLLOWS: SH - SINGLE HUNG; SL - SLIDING GLASS DOOR; F - FIXED UNIT; SLGR - SLIDING GLASS DOOR, ALL TO BE CERTIFIED & LABELED.
- ALL SLEEPING ROOMS SHALL BE PROVIDED WITH A MINIMUM 20" WIDE AND 24" HIGH CLEAR EMERGENCY EXIT WITH AN OPENABLE AREA OF AT LEAST 5.7 SF AT SECOND FLOOR LEVEL AT FIRST FLOOR AND FINISHES SHALL BE AT LEAST 48" MINIMUM INCLUDING WINDOW FRAME.
- ALL SHOWER / BATH ENCLOSURES AND BATHROOM WINDOWS LARGER THAN 5 SQ. FT. SHALL BE TEMPERED / SAFETY GLASS.
- ALL GLASS IN DOORS AND WINDOWS ADJACENT TO AND WITHIN 2' OF DOOR, SHALL BE TEMPERED / SAFETY GLASS.
- STRUCTURE MUST COMPLY WITH SECURITY CODE ORDINANCE: A) PEEL HOLE OR VIBRON PANEL; B) PROVIDE DEAD BOLT, STEEL PLATE AT DEAD BOLT STRIKER, SOLID SHIM 6" ABOVE AND BELOW WITH 2 #8 X 2" SCREWS.
- HABITABLE ROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF 7'-6"; HALLS, BATHROOMS LAUNDRY SHALL BE 7'-0" MINIMUM CEILING HEIGHT.
- INTERIOR WALL FINISH TO BE FLAME SPREAD INDEX PER MOST CURRENT CRC, WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX LESS THAN 450.
- ALL CEILING JOISTS TO BE MINIMUM 2 X 6 DF AT 24" O.C. USE DOUBLE JOISTS AT COFFER CEILING EDGES; AND 2 X 12 CL. BELOW ATTIC MOUNTED MECHANICAL EQUIPMENT, (U.N.O.)
- PROVIDE AN APPROVED WATERPROOF BACKING FOR ALL EXTERIOR WALL FINISHES.
- PROVIDE A U.L. APPROVED SMOKE DETECTOR OF COMBUSTION OTHER THAN HEAT, 110 VOLT DIRECT WIRE, FIRE 4 X 425 UL K900 OR GEL INTERCONNECT WITH BATTERY BACK-UP TO BE STATE FIRE MARSHALL APPROVED. PROVIDE APPROVED CARBON MONOXIDE DETECTOR, MULTI-PURPOSE CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH SEC. 1015 AND ALL APPLICABLE STANDARDS FOR LISTING AND APPROVAL BY THE STATE FIRE MARSHALL.
- WATER CLOSET COMPARTMENTS SHALL BE MINIMUM 30" WIDE (CLEAR) AND 24" CLEARANCE IN FRONT OF FIXTURE.
- PROVIDE A MINIMUM OF 100 SQ. IN. OF COMBUSTION AIR WITHIN 12" OF FLOOR AND CEILING FOR GAS BURNING EQUIPMENT COMPARTMENTS. (PER CEILING TO 7'-0").
- WATER HEATER MUST BE SECURED TO STUDS IN WALL WITH A SHEET METAL STRAP (26 GA. 2" WIDE NAILS AS PER CODE WITH 16d NAILS. LOCATE AT TOP 1/3 OF TANK, AND BOTTOM 1/3).
- AIR CONDITIONING CONDENSOR SHALL BE SECURELY FASTENED TO A CONCRETE PAD W/ METAL "L" BRACKETS AT A MINIMUM OF 3" ABOVE FINISH GRADE.
- AFTER INSTALLING HVAC EQUIPMENT, FENESTRATION AND WATER HEATING SYSTEMS, THE INSTALLER SHALL SUBMIT AN INSTALLATION CERTIFICATE (IC-38 FORM), COMPLETED AND SIGNED BY THE INSTALLER, LISTING THE EQUIPMENT INSTALLED (MANUF. MODEL AND EFFICIENCIES, U-VALUE AND SHGC-VALUES, ETC.) AND THAT IT MEETS OR EXCEEDS THE REQUIREMENTS OF THE ENERGY DOCUMENTATION. REGISTERED COPIES OF THE IC-38 & IC-29 FORMS SHALL BE SUBMITTED PRIOR TO FINAL INSPECTION, SIGNED CERTIFIED BY THE INSTALLER FOR THE IC-38 FORM AND THE HERS RATER, FOR FIELD VERIFICATION AND DIAGNOSTIC TESTING ON THE IC-29 FORM (CALIF. ENERGY EFFICIENCY STANDARDS (CES) SECTION 10-103 (a)(5) AND 10-103 (a)(6)).
- PROVIDE MECHANICAL VENTILATION (EXHAUST FAN AS REQUIRED IN ROOMS CONTAINING BATHTUB AND SHOWERS).
- WATER RESISTANT GYPSUM BACKING BOARD SHALL BE USED WHERE THERE WILL BE CONTINUOUS HIGH HUMIDITY. WALL SURFACE BEHIND CERAMIC TILE OR OTHER FINISH WALL MATERIALS SUBJECT TO WATER SPILLS SHALL BE CONSTRUCTED OF MATERIALS NOT AFFECTED BY WATER. USE FIBER CEMENT, FIBER-GLASS REINFORCED CEMENT OR GLASS MATT GYPSUM BACKERS.
- THE LANDING ON EACH SIDE OF THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1'-1/2" LOWER THAN THE TOP OF THE THRESHOLD.
- WALL FRAMING LINDER TO BE STANDARD OR BETTER. SEE STUD HEIGHT TABLE SHT. S-1
- FINGER JOINT STUDS IN STRUCTURAL WALLS (BEARING OR SHEAR) SHALL BE 1 C.B.O. APPROVED AND ARE NOT ALLOWED AT SHEAR HOLDOWN LOCATIONS.
- AIR CONDITIONING EQUIPMENT DESIGNED TO BE IN A FIXED POSITION SHALL BE SECURELY FASTENED. PER MANUFACTURERS INSTALLATION INSTRUCTIONS. INSTALLATION INSTRUCTIONS SHALL BE PROVIDED TO THE INSPECTOR.

PLUMBING NOTES

- ALL PLUMBING WORK SHALL COMPLY WITH MOST CURRENT, ACCEPTED 2016 C.R.C., C.P.C., C.M.C. AND MUNICIPAL CODES.
- ALL TUB AND / OR SHOWER DRAIN OPENINGS SHALL BE ROOFED PROOF WITH A 1" CEMENT COVERING IN AN APPROVED MANNER.
- SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED.
- PROVIDE LOW-FLOW WATER CLOSURES (MAX. 1.28 GAL. PER FLUSH), BATHROOM FAUCETS TO HAVE MAX. FLOW RATE OF 0.8 GPM @ 20 PSI AND A MAX OF 1.2 @ 60 PSF. SHOWERHEAD 2.0 GPM @ 80 PSF. KITCHEN FAUCET 1.8 GPM AT 60 PSF.
- ALL HOSE BIBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS.
- ALL TUB AND SHOWER VALVES ARE TO BE SINGLE CONTROL PRESSURE BALANCING OR THERMOSTATIC ANTI-SCALD TYPE. THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD, SHOWERS AND TUB / SHOWER COMBO SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE THERMOSTATIC OR COMBINATION PRESSURE BALANCE, THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD AND THERMAL SHOCK PROTECTION FOR THE RATED FLOW RATE OF THE INSTALLED SHOWERHEAD. THESE VALVES SHALL BE INSTALLED AT THE POINT OF USE AND IN ACCORDANCE WITH ASSE OR ASME (120 (d) 7).
- PROVIDE A 1/2" X 1/2" TUB ACCESS, BRASS FERRULE OR WELDED PLASTIC DRAIN FITTING TYPICAL AT TUBS.
- PROVIDE MANUFACTURERS INSTALLATION INSTRUCTIONS AT THE JOB SITE FOR ALL CIRCULATING TYPE RISERS. SHOW THE LOCATION OF THE TUB EQUIPMENT ACCESS PANEL (12" X 12" MINIMUM REQUIRED).
- PROVIDE 1" UNDERCUT FOR EXTERIOR DOORS OF LPE WATER HEATER COMPARTMENTS. ALSO PUPR THE CEILING TO 7" (TOP VENTED DOOR).
- ALL EQUIPMENT IN THE POTABLE WATER DELIVERY SYSTEM MUST MEET CALIF. AB 193 LEAD FREE REQUIREMENTS. THIS APPLIES TO ALL PIPING, FIXTURES AND FITTINGS. ALL OF THE ABOVE NOTED ITEMS ARE NOT PERMITTED TO EXCEED 0.25% LEAD CONTENT. GALVANIZED MALLEABLE IRON, GALVANIZED WROUGHT IRON OR GALVANIZED STEEL ARE PROHIBITED MATERIALS FOR WATER SUPPLY AND BUILDING WATER PIPING BOTH UNDERGROUND AND IN BUILDINGS.
- ALL HOT WATER PIPING 1/2" AND LARGER SHALL BE INSULATED WITH 1" THICK INSULATION AND HAVE AN R-RATING OF R-4.2. THE ENTIRE CIRCULATING LOOP (IF APPLICABLE), THE FIRST 5' OF HOT & COLD WATER TO AND FROM HOT WATER HEATER. THE HOT WATER LINE FROM THE WATER HEATER TO THE KITCHEN SINK.
- ALL HOT & COLD WATER LINES TO BE PEX TUBING.
- WATER HAMMER ARRESTORS TO BE INSTALLED AT DEMAKER & DISHWASHER



DELERIO CONSTRUCTION LLC
DC

GARAGE CONVERSION PLAN
SCALE: 1/4" = 1'-0"



GREGORY P. KING
RESIDENTIAL DESIGN & DRAFTING
8735 N. CEDAR # 138 FRESNO, CA. 93720
559-435-8840

ADDENDUM

A-2

RECORDING REQUESTED BY
Harjit Mann and Meenu Mann
WHEN RECORDED MAIL TAX STATEMENT TO:

NAME Harjit Mann and Meenu Mann
ADDRESS 5640 East Shepherd Avenue
Clovis, CA 93619

FILE NO. 12718.00

FRESNO County Recorder

Paul Dictos, C.P.A.

DOC- 2018-0032095

Check Number 1415

Tuesday, MAR 20, 2018 08:05:25

Ttl Pd \$22.00

Rcpt # 0004962202

SFW/R7/1-2

SPACE ABOVE THIS LINE FOR RECORDER'S USE

GRANT DEED

APN: 557-051-06

THE UNDERSIGNED GRANTORS DECLARE:

DOCUMENTARY TRANSFER TAX IS \$ -0- R & T Code § 11930 (Grantee is a Trust for the benefit of the Grantors)

- ___ computed on the consideration or value of property conveyed, or
 ___ computed the consideration or value less liens or encumbrances remaining at time of sale.
 ___ City of _____
 ✓ unincorporated area of Clovis


TRANSFER IS EXEMPT FROM THE BUILDING HOMES AND JOBS ACT \$75 FEE PURSUANT TO GC § 27388.1(a)(2) Transfer of a residential dwelling to an owner-occupier

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged, HARJIT MANN and MEENU MANN, husband and wife as joint tenants, ("Grantors") hereby GRANT, CONVEY, AND TRANSFER all right, title, and interest to HARJIT S. MANN and MEENU MANN, as Co-Trustees of THE MANN FAMILY DECLARATION OF TRUST, established September 15, 2017, in the real property located in the Unincorporated Area of Clovis of the County of Fresno, State of California, commonly known as 5640 East Shepherd Avenue, Clovis, CA 93611, and more particularly described as follows:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA, COUNTY OF FRESNO, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

LOT 8 OF TRACT NO. 4614, SHENANDOAH FARMS, IN THE COUNTY OF FRESNO, STATE OF CALIFORNIA, ACCORDING TO THE MAP RECORDED IN BOOK 58 PAGES 63, 64, AND 65 OF PLATS, FRESNO COUNTY RECORDS.

Dated: March 16, 2018



Harjit Mann



Meenu Mann

CERTIFICATE OF ACKNOWLEDGEMENT OF NOTARY PUBLIC

A Notary Public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFORNIA)
) S.S.
COUNTY OF FRESNO)

On March 16, 2018, before me Laura E. Ward, a Notary Public, personally appeared HARJIT MANN and MEENU MANN who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand and official seal.



Laura E. Ward

Notary Public

CAPACITY CLAIMED BY SIGNER(S)

INDIVIDUAL(S) CORPORATE OFFICER(S): _____ (TITLE)
 PARTNER(S) ATTORNEY IN FACT TRUSTEE(S) and TRUSTOR(S)
 GUARDIAN/CONSERVATOR OTHER: _____

SIGNER IS REPRESENTING: (name of person(s) or entity(ies))

ATTENTION NOTARY: The information requested below is **OPTIONAL**. It could, however, prevent fraudulent attachment of this certificate to any unauthorized document.

THIS CERTIFICATE MUST BE ATTACHED TO THE DOCUMENT DESCRIBED BELOW:

Title or Type of Document: **Grant Deed for APN 557-051-06**
Number of Pages: **1** Date of Document: _____, 2018
Signer(s) Other Than Named Above: **NONE**

Front



side



side patio



side patio

















