



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

DATE: September 19, 2023

TO: Department of Public Works and Planning, Attn: Steven E. White, Director
Department of Public Works and Planning, Attn: Bernard Jimenez,
Planning and Resource Management Officer
Development Services and Capital Projects, Attn: William M. Kettler,
Deputy Director of Planning
Development Services and Capital Projects, Attn: Chris Motta,
Division Manager
Development Services and Capital Projects, Current Planning, Attn: David Randall,
Senior Planner
Development Services and Capital Projects, Policy Planning, ALCC, Attn:
Mohammad Khorsand, Senior Planner
Development Services and Capital Projects, Zoning & Permit Review, Attn:
Daniel Gutierrez/James Anders, Senior Planners
Development Services and Capital Projects, Site Plan Review, Attn:
Daniel Mendez/Tawanda Mtunga
Development Services and Capital Projects, Building & Safety/Plan Check, Attn:
Arnold Valdivia, Supervising Building Inspector
Development Engineering, Attn: Laurie Kennedy, Grading/Mapping
Road Maintenance and Operations, Attn: Wendy Nakagawa/Nadia Lopez
Design Division, Transportation Planning Unit, Attn: Hector Luna
Water and Natural Resources Division, Attn: Augustine Ramirez/Roy Jimenez
Department of Public Health, Environmental Health Division, Attn:
Deep Sidhu/Kevin Tsuda
Alta Irrigation District; Attn: Chad Wegley; info@altaid.org
Consolidated Mosquito District; Attn: smulligan@mosquitobuzz.net;
jholeman@mosquitobuzz.net
Kings River Conservation District; Attn: Paul Peschel; cgallock@krcd.org;
ppeschel@krcd.org
Sierra Resource Conservation District; Attn: Steve haze; stevehaze007@gmail.com;
admin@sierrarc.com
U.S. Fish and Wildlife Service, San Joaquin Valley Division, Attn: Matthew Nelson,
Biologist
CA Regional Water Quality Control Board, Attn:
centralvalleyfresno@waterboards.ca.gov
Fresno Metropolitan Flood Control District, Attn:
developmentreview@fresnofloodcontrol.org
CA Department of Fish and Wildlife, Attn: R4CEQA@wildlife.ca.gov
State Water Resources Control Board, Division of Drinking Water, Fresno District,
Attn: Cinthia Reyes
Dumna Wo Wah Tribal Government, Attn: Robert Ledger, Tribal Chairman/Eric
Smith, Cultural Resources Manager/Chris Acree, Cultural Resources Analyst
Picayune Rancheria of the Chukchansi Indians, Attn: Heather Airey/Cultural
Resources Director

Santa Rosa Rancheria Tachi Yokut Tribe, Attn: Ruben Barrios, Tribal Chairman/
Hector Franco, Director/Shana Powers, Cultural Specialist II
Table Mountain Rancheria, Attn: Robert Pennell, Cultural Resources Director/Kim
Taylor, Cultural Resources Department/Sara Barnett, Cultural Resources
Department
San Joaquin Valley Unified Air Pollution Control District (PIC-CEQA Division),
Attn: PIC Supervisor
Kings River East GSA, Attn: Chad Wegley; cw@altheid.org
Fresno County Fire Protection District, Attn: FKU.Prevention-Planning@fire.ca.gov

FROM: Ejaz Ahmad, Planner
Development Services and Capital Projects Division

SUBJECT: Initial Study Application No. 8421, Amendment Application No. 3858; Classified
Conditional Use Permit Application No. 3767

APPLICANT: Jesus Vargas

DUE DATE: October 3, 2023

The Department of Public Works and Planning, Development Services and Capital Projects Division is reviewing the subject applications proposing to allow conditional rezone of a 2.8-acre parcel from the AL-20 (Limited Agriculture) Zone District to the AE-20 (Exclusive Agriculture) Zone District and a Conditional Use Permit to allow an Agricultural Commercial Center on the subject parcel consisting of a grocery store, automobile service station and a restaurant. The subject parcel is located on the southwest corner of State Route 180 and S. Reed Road-(18266 E. Kings Canyon Road, Sanger). (APN 333-220-58).

The Department is also reviewing for environmental effects, as mandated by the California Environmental Quality Act (CEQA) and for conformity with plans and policies of the County.

Based upon this review, a determination will be made regarding conditions to be imposed on the project, including necessary on-site and off-site improvements.

We must have your comments by **October 3, 2023**. Any comments received after this date may not be used.

NOTE - THIS WILL BE OUR ONLY REQUEST FOR WRITTEN COMMENTS. If you do not have comments, please provide a "NO COMMENT" response to our office by the above deadline (e-mail is also acceptable; see email address below).

Please address any correspondence or questions related to environmental and/or policy/design issues to me, Ejaz Ahmad, Planner, Development Services and Capital Projects Division, Fresno County Department of Public Works and Planning, 2220 Tulare Street, Sixth Floor, Fresno, CA 93721, or call (559) 600-4204, or email eahmad@fresnocountyca.gov

EA
G:\4360Devs&PIn\PROJSEC\PROJDOCS\IAA\3800-3899\3858 (AA, CUP)\Routing\AA 3858; CUP 3767 Routing Ltr.doc

Activity Code (Internal Review):2432

Enclosures

SECTION 816

"AE" EXCLUSIVE AGRICULTURAL DISTRICT

The "AE" District is intended to be an exclusive district for agriculture and for those uses which are necessary and an integral part of the agricultural operation. This district is intended to protect the general welfare of the agricultural community from encroachments of non-related agricultural uses which by their nature would be injurious to the physical and economic well-being of the agricultural district.

The "AE" District shall be accompanied by an acreage designation which establishes the minimum size lot that may be created within the District. Acreage designations of 640, 320, 160, 80, 40, 20, 5 are provided for this purpose. Parcel size regulation is deemed necessary to carry out the intent of this District.

(Amended by Ord. 490.38 adopted 11-21-67)

SECTION 816.1 - USES PERMITTED

The following uses shall be permitted in the "AE" Districts, except as otherwise provided in Subsection K of Section 816.2 for Interstate Interchange Impact Areas. All uses shall be subject to the Property Development Standards in Section 816.5.

(Amended by Ord. 490.95 adopted 11-27-73; Ord. 490.174 re-adopted 5-8-79)

- A. The maintaining, breeding, and raising of livestock of all kinds, except as provided in Sections 816.2 and 816.3.
(Amended by Ord. 490.117 adopted 10-5-76; Ord. T-038-306 adopted 5-22-90)
- B. The maintaining, breeding, and raising of poultry of all kinds, subject to the provisions of Section 868.
(Added by Ord. T-038-306 adopted 5-22-90)
- C. The raising of tree, vine, field, forage, and other plant life crops of all kinds.
(Amended by Ord. T-077-352, adopted 3-2-04)
- D. One family dwellings and accessory buildings and farm buildings of all kinds, when located upon farms and occupied or used by the owner, farm tenant or other persons employed thereon or the non-paying guests thereof; provided, however, that a residence once constructed and used for one of the foregoing uses, and no longer required for such use shall acquire a nonconforming status and may be rented for residential purposes without restriction.
- E. Home Occupations, Class I, subject to the provisions of Section 855-N.
(Amended by Ord. T-288 adopted 2-25-86)
- F. The harvesting, curing, processing, packaging, packing, shipping, and selling of agricultural products produced upon the premises, subject to the provisions of 855-N.32.
(Amended by Ord. T-077-352, adopted 3-2-04)
- G. When carried on as a clearly secondary occupation in conjunction with a bona fide agricultural operation, where no more than ten (10) percent of the total land is used and where no more than three (3) persons other than the owner are employed in such activities, and which are owned and operated by the owner or occupant of the premises, any of the following uses:

" USES PICKED BY APPLICANT "

1. The manufacturing, maintenance, repair, servicing, storage, sale or rental of agricultural machinery, implements and equipment of all kinds.
 2. The manufacture, storage or sale of farm supplies of all kinds, including but not limited to fertilizers, agricultural minerals and insecticides.
 3. The transportation of agricultural products, supplies or equipment together with the maintenance, storage, repair and servicing of the necessary trucks and equipment therefor.
 4. Horticultural and landscaping services, when operated in conjunction with horticultural nurseries.
(Added by Ord. 490.65 adopted 8-4-70)
- H. Farmworker Housing Complexes subject to the provisions of 855-O. (Amended by Ord. T-803-371 adopted 12-8-15)
- I. The use, storage, repair and maintenance of tractors, scrapers, and land leveling and development equipment when operated in conjunction with, or as part of, a bona fide agricultural operation.
(Amended by Ord. 490.117 adopted 10-5-76)
- J. Apiaries and honey extraction plants subject to the provisions of Section 855-N.
- K. Signs, subject to the provisions of Section 816.5-K.
- L. Temporary or permanent telephone booths.
- M. Storage of petroleum products for use by the occupants of the premises but not for resale or distribution.
- N. Trailer house occupancy consisting of one or more trailers, subject to the provisions of Section 856 and 816.1-C.
(Amended by Ord. 490.18 adopted 12-29-64; Ord. 490.81 adopted 10-24-72)
- O. Breeding and personal kennels.
(Added by Ord. 490.36 adopted 7-25-67)
- P. Historic and monument sites.
(Added by Ord. 490.117 adopted 10-5-76)
- Q. Water-well drilling or pump installation service.
(Added by Ord. 490.117 adopted 10-5-76; amended by Ord. 490.157 adopted 9-19-78)
- R. Welding and blacksmith shops and farm equipment and machinery sales, rental storage, and maintenance facilities when in conjunction with welding and blacksmith shops.
(Added by Ord. 490.117 adopted 10-5-76)

- S. Value-added agricultural uses and facilities subject to the provisions of Section 855-N.32 and Section 874.
(Added by Ord. T-077-352, adopted 3-2-04)
- T. Agricultural tourism uses subject to the provisions of Section 855-N.
(Added by Ord. T-078-353, adopted 12-7-04)
- U. Temporary Mill/Chipping Facilities subject to the provisions of Section 855-N.34.5. (Added by Ord. No. T-092-373 adopted 8-23-2016)
- V. Farmworker Dwelling Units subject to the provisions of 855-O. (Added by Ord. T-803-371 adopted 12-8-15)
- W. Temporary Farmworker Housing subject to the provisions of 855-O. (Added by Ord. T-803-371 adopted 12-8-15)
- X. Wholesale Limited Winery subject to the provisions of Section 855-N (Added by Ord. T-093-377 adopted 6-12-18)
- Y. Micro Winery subject to the provisions of Section 855-N (Added by Ord. T-093-377 adopted 6-12-18)
- Z. Minor Winery subject to the provisions of Section 855-N (Added by Ord. T-093-377 adopted 6-12-18)



Fresno County Department of Public Works and Planning

Date Received:

AA 3858
CUP3767

(Application No.)

MAILING ADDRESS:

Department of Public Works and Planning
Development Services Division
2220 Tulare St., 6th Floor
Fresno, Ca. 93721

LOCATION:

Southwest corner of Tulare & "M" Streets, Suite A
Street Level
Fresno Phone: (559) 600-4497
Toll Free: 1-800-742-1011 Ext. 0-4497

APPLICATION FOR:

- Pre-Application (Type) _____
- Amendment Application Director Review and Approval
- Amendment to Text for 2nd Residence
- Conditional Use Permit Determination of Merger
- Variance (Class)/Minor Variance Agreements
- Site Plan Review/Occupancy Permit ALCC/RLCC
- No Shoot/Dog Leash Law Boundary Other _____
- General Plan Amendment/Specific Plan/SP Amendment
- Time Extension for _____

DESCRIPTION OF PROPOSED USE OR REQUEST:

Allow re-zone of a 2.8-acre
Parcel from AL-20 to AE-20; &
CUP to allow a Agricultural
Commercial Center.

CEQA DOCUMENTATION: Initial Study PER N/A

PLEASE USE FILL-IN FORM OR PRINT IN BLACK INK. Answer all questions completely. Attach required site plans, forms, statements, and deeds as specified on the Pre-Application Review. Attach Copy of Deed, including Legal Description.

LOCATION OF PROPERTY: W/ side of 180 HIGHWAY (NEW)
between REED AV and 180 OLD RURAL WAY
Street address: 953 N. EUCLID AVE DINUBA, CA 93618

APN: 333-220-58 Parcel size: 2.83 AC Section(s)-Twp/Rg: S ___ - T ___ S/R ___ E

ADDITIONAL APN(s): _____

JENNY VARGAS (signature), declare that I am the owner, or authorized representative of the owner, of the above described property and that the application and attached documents are in all respects true and correct to the best of my knowledge. The foregoing declaration is made under penalty of perjury.

MOHAMED MUTLAG 953 N. EUCLID AV DINUBA CA 93618
Owner (Print or Type) Address City Zip Phone

JENNY VARGAS 445 S. MAPLE DR REEDLEY, CA 93654
Applicant (Print or Type) Address City Zip Phone

VARGAS CONST 445 S. MAPLE DR REEDLEY CA 93654 (559) 859-1931
Representative (Print or Type) Address City Zip Phone

CONTACT EMAIL: Vargasconstruction93654@gmail.com 859-1931

OFFICE USE ONLY (PRINT FORM ON GREEN PAPER)

| | | |
|---------------------------|--------------------|------------------|
| Application Type / No.: | _____ | Fee: \$ |
| Application Type / No.: | AA 3858 & CUP 3767 | Fee: \$ 8501.00 |
| Application Type / No.: | Pre-app. | Fee: \$ -247.00 |
| Application Type / No.: | _____ | Fee: \$ |
| PER/Initial Study No.: | IS 8421 | Fee: \$ 3,901.00 |
| Ag Department Review: | _____ | Fee: \$ 93.00 |
| Health Department Review: | _____ | Fee: \$ 1,834.00 |
| Received By: <u>Ejaz</u> | Invoice No.: | TOTAL: \$ 14,082 |

UTILITIES AVAILABLE:

WATER: Yes / No
Agency: PERSONAL WHEEL

SEWER: Yes / No
Agency: SEPTIC TANK EXISTING

STAFF DETERMINATION: This permit is sought under Ordinance Section:

Sect-Twp/Rg: ___ - T ___ S/R ___ E

Related Application(s): _____

APN # ___ - ___ - ___

Zone District: _____

APN # ___ - ___ - ___

Parcel Size: _____

APN # ___ - ___ - ___

APN # ___ - ___ - ___



**Development Services
and
Capital Projects
Division**

Mail To:
JESUS VARGAS
445 S. MAPLE DR.
REEDLEY, CA 93654

EMAIL TO:
VARGASCONSTRUCTIO
N93654@GMAIL.COM

Pre-Application Review

Department of Public Works and Planning

NUMBER: 22-013882
APPLICANT: JESUS VARGAS
PHONE: (559) 859-1931

PROPERTY LOCATION: 18266 E. KINGS CANYON RD., SANGER, California, 93657, USA
APN(s): 333-220-58 ALCC: No Yes # VIOLATION NO. N/A
CNEL: No Yes (level) LOW WATER: No Yes WITHIN 1/2 MILE OF CITY: No Yes
ZONE DISTRICT: AL-20; SRA: No Yes HOMESITE DECLARATION REQ'D.: No Yes
LOT STATUS:

Zoning: () Conforms; (X) Legal Non-Conforming lot; () Deed Review Req'd (see Form #236)
Merger: May be subject to merger: No Yes ZM# Initiated In process
Map Act: () Lot of Rec. Map; () On '72 rolls (X) Other COC 3545; () Deeds Req'd (see Form #236)

SCHOOL FEES: No Yes DISTRICT: Sanger Unified PERMIT JACKET: No Yes
FMFCD FEE AREA: (X) Outside () District No.: FLOOD PRONE: No Yes
PROPOSAL AA TO REZONE A 2.8-AC FROM AL-20 TO AE ZONING, & A CUP TO ALLOW AN AGRICULTURAL COMMERCIAL CENTER TO INCLUDE A GROCERY STORE, AUTOMOBILE SERVICE STATION, & RESTAURANT(S).

COMMENTS: open
ORD. SECTION(S): 816.5 BY: O. RAMIREZ DATE: 09/20/2022

GENERAL PLAN POLICIES:

LAND USE DESIGNATION: AGRICULTURE () GPA:
COMMUNITY PLAN: - () JAA:
REGIONAL PLAN: KINGS-RIVER () CUP:
SPECIFIC PLAN: - () DRA:
SPECIAL POLICIES: - () VA:
SPHERE OF INFLUENCE: - () AT:
ANNEX REFERRAL (LU-G17/MOU): () TT:

PROCEDURES AND FEES:

() MINOR VA:
() JHD: \$ 1,834.00
() AG COMM: \$ 93.00
() ALCC:
() IS/PER*: \$ 3,901.00
() Viol. (35%):
() Other:

COMMENTS: -

Filing Fee: \$ 14,329
Pre-Application Fee: -247.00
Total County Filing Fee: \$ 14,082.

FILING REQUIREMENTS:

- Land Use Applications and Fees
- This Pre-Application Review form
- Copy of Deed / Legal Description
- Photographs
- Letter Verifying Deed Review
- IS Application and Fees* * Upon review of project materials, an Initial Study (IS) with fees may be required.
- Site Plans - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Floor Plan & Elevations - 4 copies (folded to 8.5"x11") + 1 - 8.5"x11" reduction
- Project Description / Operational Statement (Typed)
- () Statement of Variance Findings
- () Statement of Intended Use (ALCC)
- () Dependency Relationship Statement
- () Resolution/Letter of Release from City of
- () Nitrogen Loading Analysis or RWQCB supplemental treatment

OTHER FILING FEES:


- Archaeological Inventory Fee: \$75 at time of filing
(Separate check to Southern San Joaquin Valley Info. Center)
- CA Dept. of Fish & Wildlife (CDFW): (\$50+\$2,548)
(Separate check to Fresno County Clerk for pass-thru to CDFW.
Must be paid prior to IS closure and prior to setting hearing date.)

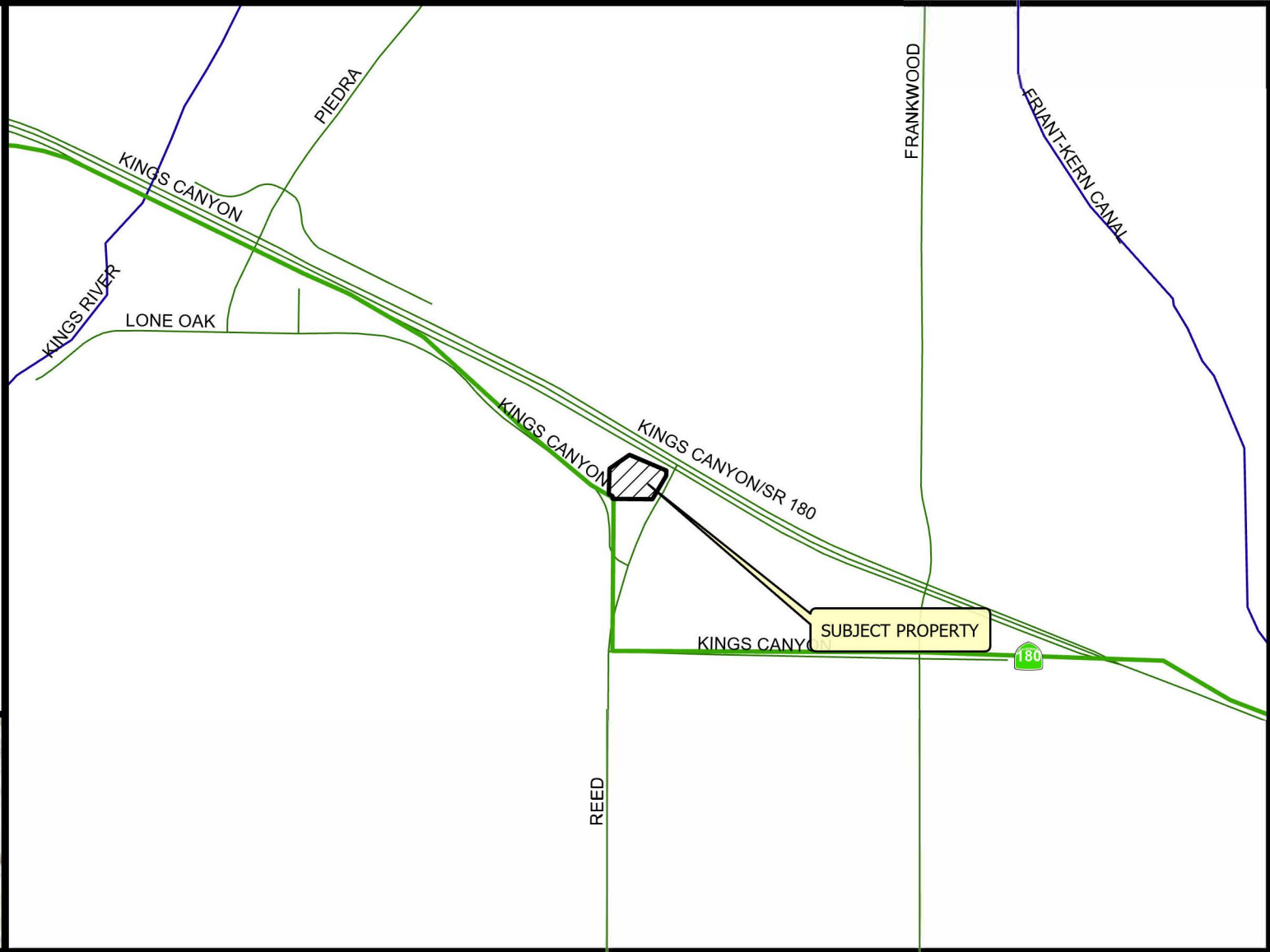
BY: Falshamas EJAZ AHMAD DATE: 10-19-22
PHONE NUMBER: (559) 600-4204

NOTE: THE FOLLOWING REQUIREMENTS MAY ALSO APPLY:
() COVENANT () SITE PLAN REVIEW
() MAP CERTIFICATE () BUILDING PLANS
() PARCEL MAP () BUILDING PERMITS
() FINAL MAP () WASTE FACILITIES PERMIT
() FMFCD FEES () SCHOOL FEES
() ALUC or ALCC () OTHER (see reverse side)

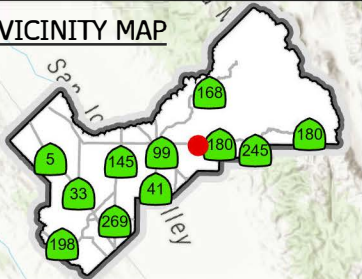
PLU # 113 Fee: \$247.00
Note: This fee will apply to the application fee if the application is submitted within six (6) months of the date on this receipt.

Legend

 Subject Property



VICINITY MAP



LOCATION MAP

AA3858

2023

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
Person Prepared by : chuang
On Date : 7/5/2023



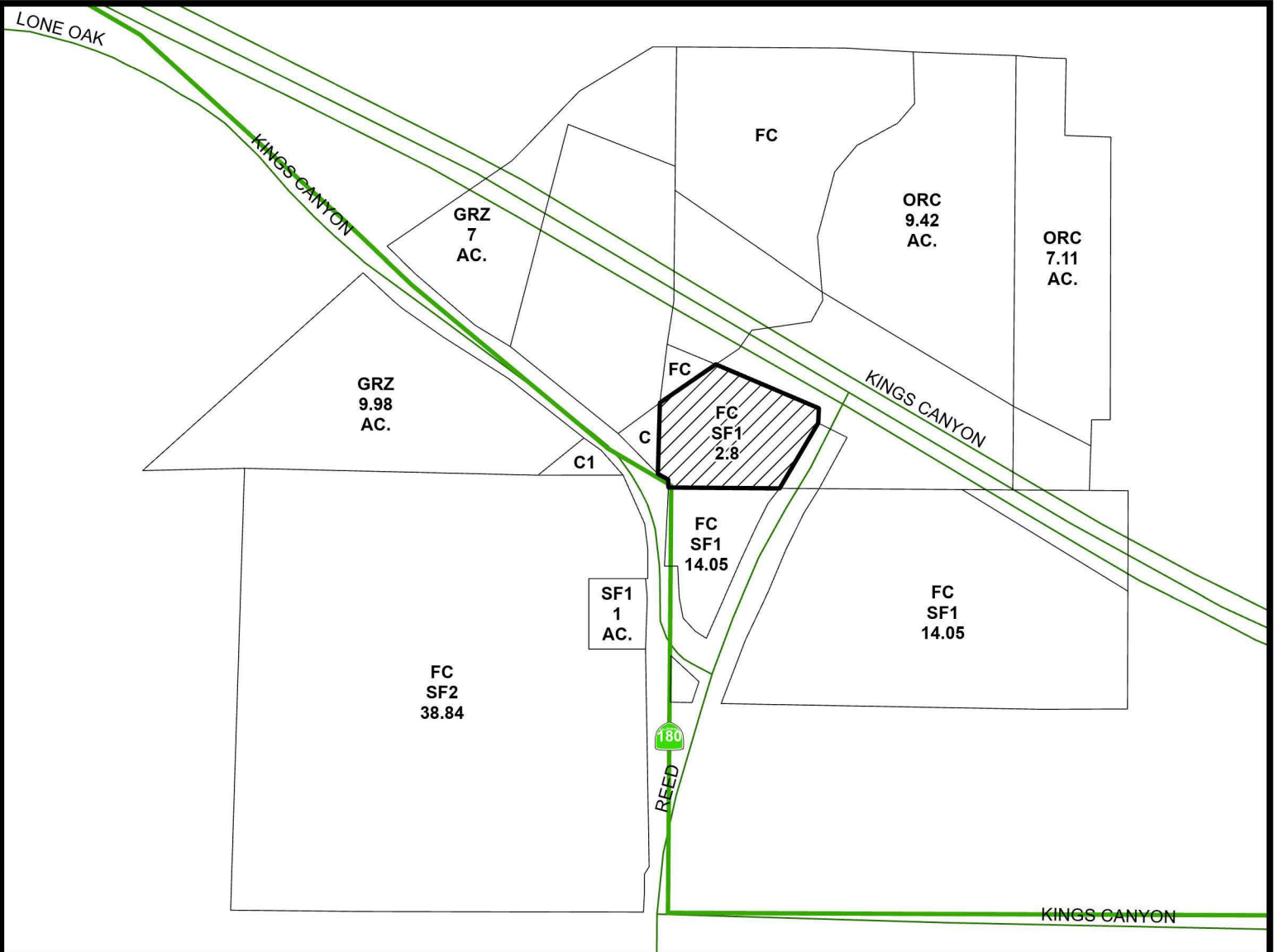
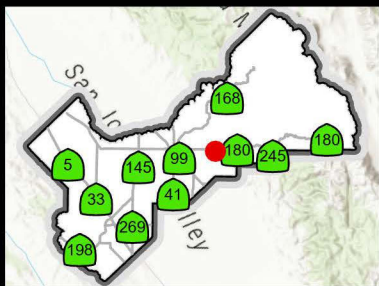
0 0.15 0.3 Mi

0 1,000 2,000 Feet

LEGEND:

 Subject Property

| |
|------------------------------|
| LEGEND |
| C - COMMERCIAL |
| C# - COMMERCIAL |
| FC - FIELD CROP |
| GRZ - GRAZING |
| ORC - ORCHARD |
| SF#- SINGLE FAMILY RESIDENCE |
| V - VACANT |

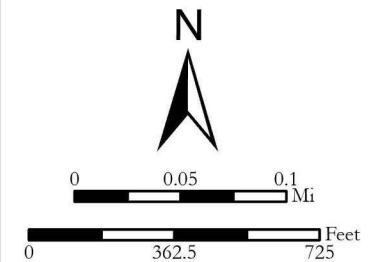


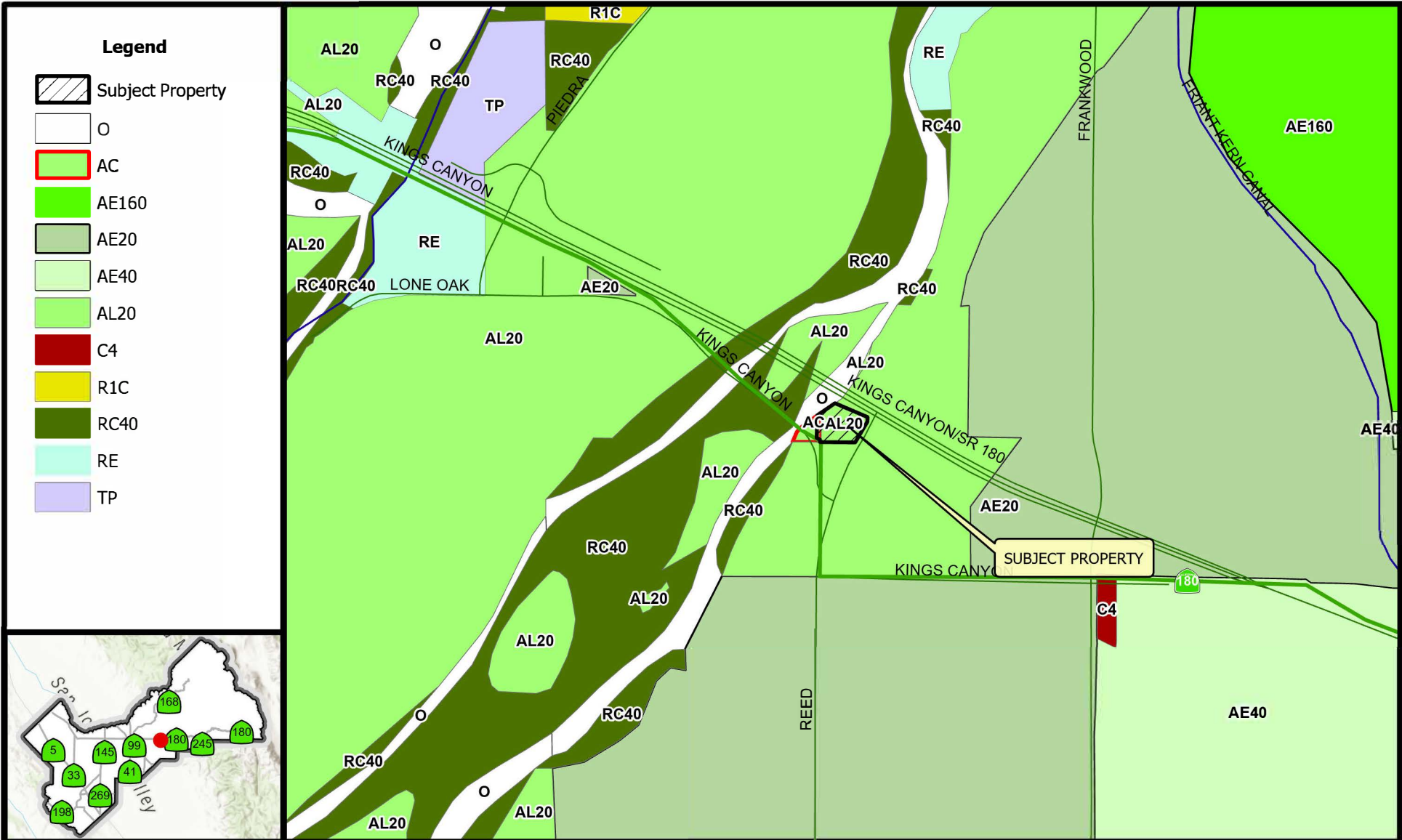
Existing Land Use Map

AA3858

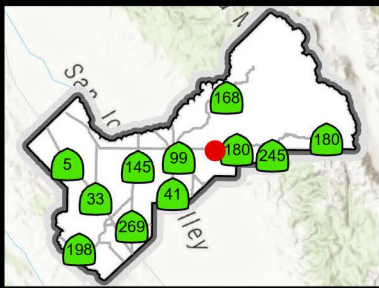
2023

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : chuang
 On Date : 7/5/2023





- Legend**
- Subject Property
 - O
 - AC
 - AE160
 - AE20
 - AE40
 - AL20
 - C4
 - R1C
 - RC40
 - RE
 - TP

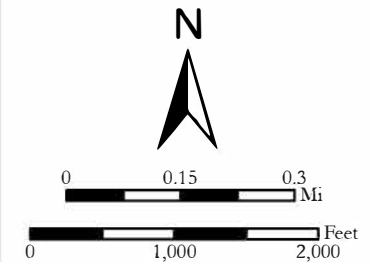


Existing Zoning Map

AA3858
STR 13 - 15/20

2023

Prepared by : County of Fresno, Department of Public Works and Planning, Development Services Division
 Person Prepared by : chuang
 On Date : 7/5/2023





County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

INITIAL STUDY APPLICATION

INSTRUCTIONS

Answer all questions completely. An incomplete form may delay processing of your application. Use additional paper if necessary and attach any supplemental information to this form. Attach an operational statement if appropriate. This application will be distributed to several agencies and persons to determine the potential environmental effects of your proposal. Please complete the form in a legible and reproducible manner (i.e., USE BLACK INK OR TYPE).

OFFICE USE ONLY

IS No. ~~8022~~ 8421
Project No(s). AA 3858; AUP 3767
Application Rec'd.: 6-16-23

GENERAL INFORMATION

- Property Owner : MOHAMED MUTLAG Phone/Fax: (559) 308-8230
Mailing Address: 953 N. EUCLID AVE DINUBA, CA, 93618
Street City State/Zip
- Applicant : JESUS VARGAS Phone/Fax: 559-859-1931
Mailing Address: 445 S. MAPLE DR REEDLEY, CA 93654
Street City State/Zip
- Representative: JESUS VARGAS Phone/Fax: 559-859-1931
Mailing Address: 445 S. MAPLE DR REEDLEY, CA 93654
Street City State/Zip
- Proposed Project: CONVENIENT STORE W GAS / DIESEL PUMPS
- Project Location: 18266 E KINGS CANYON RD
SANGER CALIFORNIA 93657
- Project Address: 18266 E KINGS CANYON RD SANGER, CA
- Section/Township/Range: / /
- Parcel Size: 2.03 AC.
- Assessor's Parcel No. 333-220-58

RECEIVED

BY OVER.....

JUN 16 2023

10. Land Conservation Contract No. (If applicable): N/A

11. What other agencies will you need to get permits or authorization from:

- | | |
|--|--|
| <input type="checkbox"/> LAFCo (annexation or extension of services) | <input type="checkbox"/> SJVUAPCD (Air Pollution Control District) |
| <input type="checkbox"/> CALTRANS | <input type="checkbox"/> Reclamation Board |
| <input type="checkbox"/> Division of Aeronautics | <input type="checkbox"/> Department of Energy |
| <input type="checkbox"/> Water Quality Control Board | <input type="checkbox"/> Airport Land Use Commission |
| <input type="checkbox"/> Other _____ | |

12. Will the project utilize Federal funds or require other Federal authorization subject to the provisions of the National Environmental Policy Act (NEPA) of 1969? Yes No

If so, please provide a copy of all related grant and/or funding documents, related information and environmental review requirements.

13. Existing Zone District¹: _____

14. Existing General Plan Land Use Designation¹: _____

ENVIRONMENTAL INFORMATION

15. Present land use: VACANT, EMPTY LOT

Describe existing physical improvements including buildings, water (wells) and sewage facilities, roads, and lighting. Include a site plan or map showing these improvements:

EXISTING RESIDENCE TO BE REMOVED, AND EXISTING STORAGE TO REMAIN, EXISTING WELL TO REMAIN AND EXISTING SEPTIC RETAIN

Describe the major vegetative cover: _____

Any perennial or intermittent water courses? If so, show on map: N/A

Is property in a flood-prone area? Describe:

N/A

16. Describe surrounding land uses (e.g., commercial, agricultural, residential, school, etc.):

North: 180 HIGHWAY FOUR LANE

South: EXISTING RESIDENCE

East: REED AVENUE 2 LANE COUNTRY ROAD

West: 180 OLD HIGHWAY 2 LANE

17. What land use(s) in the area may be impacted by your Project?: NONE

18. What land use(s) in the area may impact your project?: NONE

19. Transportation:

NOTE: The information below will be used in determining traffic impacts from this project. The data may also show the need for a Traffic Impact Study (TIS) for the project.

A. Will additional driveways from the proposed project site be necessary to access public roads?
 Yes No

B. Daily traffic generation:

I. Residential - Number of Units
Lot Size
Single Family
Apartments

N/A
2.8 AC

N/A

II. Commercial - Number of Employees
Number of Salesmen
Number of Delivery Trucks
Total Square Footage of Building

9

3486 S.F

III. Describe and quantify other traffic generation activities: NONE

20. Describe any source(s) of noise from your project that may affect the surrounding area: NONE

21. Describe any source(s) of noise in the area that may affect your project: NONE

22. Describe the probable source(s) of air pollution from your project: NONE

23. Proposed source of water:

private well

community system³--name: _____ OVER.....

24. Anticipated volume of water to be used (gallons per day)²: 2 400 GAL
25. Proposed method of liquid waste disposal:
 septic system/individual
 community system³-name EXISTING SEPTIC
26. Estimated volume of liquid waste (gallons per day)²: 3 GAL. PER DAY
27. Anticipated type(s) of liquid waste: CARD BOARD
28. Anticipated type(s) of hazardous wastes²: NONE
29. Anticipated volume of hazardous wastes²: NONE
30. Proposed method of hazardous waste disposal²: PROPOSED WASTE DISPOSAL PLACE
31. Anticipated type(s) of solid waste: CARD BOARD
32. Anticipated amount of solid waste (tons or cubic yards per day): 2 TONS PER WEEK
33. Anticipated amount of waste that will be recycled (tons or cubic yards per day): 1 TON WEEK
34. Proposed method of solid waste disposal: LOCAL COMPANY
35. Fire protection district(s) serving this area: SACER
36. Has a previous application been processed on this site? If so, list title and date: NO
37. Do you have any underground storage tanks (except septic tanks)? Yes No
38. If yes, are they currently in use? Yes No

TO THE BEST OF MY KNOWLEDGE, THE FOREGOING INFORMATION IS TRUE.

JENNY VARGAS
SIGNATURE

6/9/23
DATE

¹Refer to Development Services and Capital Projects Conference Checklist

²For assistance, contact Environmental Health System, (559) 600-3357

³For County Service Areas or Waterworks Districts, contact the Resources Division, (559) 600-4259

NOTICE AND ACKNOWLEDGMENT

INDEMNIFICATION AND DEFENSE

The Board of Supervisors has adopted a policy that applicants should be made aware that they may be responsible for participating in the defense of the County in the event a lawsuit is filed resulting from the County's action on your project. You may be required to enter into an agreement to indemnify and defend the County if it appears likely that litigation could result from the County's action. The agreement would require that you deposit an appropriate security upon notice that a lawsuit has been filed. In the event that you fail to comply with the provisions of the agreement, the County may rescind its approval of the project.

STATE FISH AND WILDLIFE FEE


State law requires that specified fees (effective January 1, 2022: \$3,539.25 for an EIR; \$2,548.00 for a Mitigated/Negative Declaration) be paid to the California Department of Fish and Wildlife (CDFW) for projects which must be reviewed for potential adverse effect on wildlife resources. The County is required to collect the fees on behalf of CDFW. A \$50.00 handling fee will also be charged, as provided for in the legislation, to defray a portion of the County's costs for collecting the fees.

The following projects are exempt from the fees:

- 1. All projects statutorily exempt from the provisions of CEQA (California Environmental Quality Act).*
- 2. All projects categorically exempt by regulations of the Secretary of Resources (State of California) from the requirement to prepare environmental documents.*

A fee exemption may be issued by CDFW for eligible projects determined by that agency to have "no effect on wildlife." That determination must be provided in advance from CDFW to the County at the request of the applicant. You may wish to call the local office of CDFW at (559) 222-3761 if you need more information.

Upon completion of the Initial Study you will be notified of the applicable fee. Payment of the fee will be required before your project will be forwarded to the project analyst for scheduling of any required hearings and final processing. The fee will be refunded if the project should be denied by the County.



Applicant's Signature



Date

OPERATIONAL STATEMENT
 FOR
 RANCHO MARKET CONDITIONAL USE PERMIT
 AT
 CORNER OF 180 & REED AVENUE REEDLEY CALIFNORIA 93654
 18266 E KINGS CANYON
 SEPTEMBER 16, 2022

AA 3858; CUP 3767

I. PROJECT DESCRIPTION:

Allow an agricultural commercial center consisting of a Food mart, fuel sales, sandwiches, and hot food to go or to be consumed outside at a few tables located at portal area.

Onsite structures and facilities constructed or installed in conjunction with the use area as follows and are shown on the Site plan:

1. 3,486 SQ. FT. stucco store building
2. 664 SQ. FT. stucco front portal
3. 2,517 SQ. FT. 4 gasoline pumps
4. 3 Underground gasoline tanks totaling 20,000 gallons of gasoline with approved containment facilities
5. 37 asphalt parking spaces with paved circulation lanes
6. 2 asphalt parking spaces for semi-trucks

The proposed Food & Gas Mart will be located on a 1.38 acres site that is part of a 2.80 gross acre parcel (APN 333-220-58) at the southwest corner of the intersection of 180 & Reed Avenue.

RECEIVED
 BY EJAZ
 JUN 16 2023

The remaining of the parcel has an existing house that is to remain. An empty area at Reed Avenue and 180 is where the new store will be built.

II. NATURE OF OPERATION:

The proposed operation is located at the intersection of 180 & Reed Avenue in the general vicinity of Reedley and Sanger. This facility will provide much needed services to surrounding agricultural areas in this large area including farm, homes, agricultural employees, and suppliers of agricultural products to the vicinity.

III. OPERATIONAL PERAMETERES:

1. Open year round, 7 days a week, 3 shifts per day, open 24 hours a day.
2. Number of customers per day is predicted to be 300 a day on average. 400 is to be the predicted maximum on busy holidays and can drop at any time, mostly during the early morning and afternoon.
3. Number of employees is predicted to be 3 persons per shift with a predicted of 9 persons in total per day.
4. Service and delivery are predicted to be 2 small trucks daily.
5. Site access is to be 1 per Reed Avenue from public road.
6. Number of parking spaces is to be 3 for cars and 2 for semi-trucks.
7. Goods sold on site include Fuel, Food, groceries, soda, beer, and other bottled products, check cashing, ATM.
8. Equipment used include walk in refrigerator and Freezer, Range, Grill, Fryers, deli cases, soda machines, cash registers and other office equipment.
9. Supplies include various packed food & dairy products, fruits & vegetables, beer, soda, & other cold drinks, deli supplies, and preparatory foods for onsite preparation.
10. Unsightly appearance of use to be none other than a few tables located at portal for food consumption.
11. Security precautions include outside security lighting at locations to prevent dark areas on premises, 24-hour video camera for recording site

activity, store windows for visibility, and strategically placed cash registers for continuous outside visibility.

IV. SITE LOCATION AND ACCESS:

The subject parcel has approximately 420 feet of frontage along Reed Avenue and 380 feet of frontage along 180 Road.

Reed Avenue is a two-lane county road, and 180 Highway is also a four-lane state highway.

Access to the proposed development will be 1 driveway located on Reed Avenue per Site Plan.

Encroachment permits for the driveway and any other required work within the right of ways will be obtained from Fresno County.

Visibility is excellent to and from the property and the traffic at the intersection of Reed Avenue and 180 Highway. Traffic is controlled by traffic signals that employ controlled left turns on Reed Avenue onto 180 Highway & 180 Highway onto Reed Avenue southbound only.

V. SURROUNDING EXISTING LAND USES:

The area surrounding the site in all directions is agricultural with mandarin trees, orchards, and other agricultural uses. Many of the parcels have farm homes and others used by agricultural workers that are employed by the farmers both year-round and seasonal.

A gas/mini mart by Sanger at the southeast corner of Academy Avenue & 180 Highway is present 6 miles west.

A gas/mini mart at the Southeast corner of Manning & Reed Avenues is present 8 miles south.

VI. EXISTING DEVELOPMENT:

North: Agricultural mandarins with occasional farm homes.

West: Agricultural vegetables and farm homes.

South: Peach and mandarins with existing shop and farm homes.

East: Empty lot and farm homes.

VII. WATER SERVICE:

The site has an existing water well. Either this well or a new one depending on whether current water requirements can be met will provide water service for the project. The applicant will be required to obtain a public water supply permit from the state department of public health regardless of which well is used. Peak domestic flow requirements are estimated at 2400 gallons per day or approximately 2 gallons per minute.

VIII. SEWER SERVICE:

Sewer service for the project will be provided with a 3,500-gallon standard septic leach field system with a 1500 grease interceptor as required by the health department to collect grease from cooking facilities installed for preparation fast food service included as part of the project.

The site of the proposed septic-leach field system together with a 100 percent replacement area required by current regulations is shown on the site plan.

VX. STORM DRAINAGE:

The site will be developed with its own storm drainage system. The site access roads will be graded.

X. FIRE STATION AND EMERGENCY MEDICAL SUPPORT:

Fresno County Fire Protection District presently provides fire protection and emergency support to the area inclusive of the subject property. The station can provide service to this site. Water storage facilities required to provide adequate fire protection will be provided if deemed necessary.

XI. SITE DEVELOPMENT THEME:

All facilities within the development will be constructed consistent with a Mediterranean theme with dark trim details. A free-standing sign not exceeding 20 feet in height will be provided at the intersection in accordance with the Fresno County sign ordinance. Signage on the project will use a common theme consistent with the project architecture.

XIII. BUILDING SETBACKS:

All structures on the site will conform to the maximum height of 35 feet allowed in the zone district.

Building setbacks shall all comply with dimensions shown on the Site Plan, all of which meet or exceed the required setbacks of the zoning districts.

XIII. SITE LANDSCAPING:

Landscaping shall be placed at locations shown on the Site Plan. Planting materials will be consistent with the Mediterranean architectural theme and will be coordinated with County staff as part of the Site Plan review.

XIV. SITE LIGHTING:

Site lighting will be provided at locations shown on the Site Plan to provide for adequate night visibility and customer/ employ safety. The lighting shall be placed so that there are no dark spots on the site where visibility is obscured.

The lighting shall be placed at heights and locations that are not obstructive to adjacent properties and shall be hooded to shine away from adjacent properties.

SITE NOTES :

- OVER EXCAVATE THE SITE AS NEEDED TO REMOVE DEBRIS, ORGANICS AND FILLS THAT MAY BE LEFT FROM A PREVIOUS DEMOLISHED HOME. REPLACE FILLS AS NECESSARY WITH 90% COMPACTION. COMPACTION REPORT REQUIRED.
- SURFACE WATER SHALL BE DRAINED AWAY FROM THE BUILDING AT A 5% SLOPE FOR AT LEAST THE FIRST 10' FEET FROM THE BUILDING CONCRETE PAD OR EXTERIOR FOUNDATION FOOTING WITH A MIN. FALL OF 6". CRC R401.3, CALGREEN 4.106.3
- IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING.
- LOT SHALL BE DRAINED FROM REAR TO FRONT W/ A MINIMUM OF 1% AND TO AN APPROVED DRAINAGE SYSTEM. INSTALLATION OF OBSTRUCTIONS, I.E., BLOCK FENCES, WOOD FENCES, ROCKS, LANDSCAPING, MOUNDS, ETC., CAN NOT BLOCK FLOW.
- DRIVEWAYS TO RESIDENTIAL GARAGES SHALL HAVE A MAXIMUM SLOPE OF TWELVE PERCENT (12%) FOR A MINIMUM DISTANCE OF TWENTY FEET (20') FROM THE GARAGE. NO PORTION OF THE DRIVEWAY SHALL EXCEED A GRADE OF EIGHTEEN PERCENT (18%).
- NO ON-SITE WATER RETENTION OR DRAINAGE INTO ADJACENT PROPERTIES / DRAIN TO THE STREET OR DESIGNED BASING.
- ANY VERTICAL CUT AND FILL DIFFERENTIAL IN EXCESS OF 12" BETWEEN ADJACENT PROPERTIES BY AN APPROVED RETAINING WALL. WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL. RETAINING WALLS THAT ARE 2 FEET IN HEIGHT MEASURED FROM THE BOTTOM OF THE FOOTINGS, POSTS, KEYS OR STRUCTURE TO THE TOP OF THE WALL AND THAT RETAINS 12 INCHES OR MORE OF SOIL, REQUIRES PERMITS AND INSPECTIONS. SUBMIT ENGINEERED DESIGN.
- REPAIR ALL DAMAGED AND/OR OFF GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS. ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA). CALL 1-800-624-2444.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20 (5%) WITHIN 48" OF THE BOTTOM OF THE CURB RAMP.

NOTES :

- APPROVED PLANS AND RELATED DOCUMENTS MUST AVAILABLE AT THE JOB SITE DURING ANY INSPECTIONS.
- TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENT ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT (USA) CALL 1-800-642-2444.
- REPAIR ALL DAMAGED AN/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY - TWO WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENT ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICE ALERT (USA) CALL 1-800-642-2444.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSE TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
- CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL.

SEPARATE SUBMITTALS :

ALL SEPARATE SUBMITTALS SHALL FIRST BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. CBC 107.3.4.2 THE FOLLOWING ELEMENTS ARE TO BE CLASSIFIED AS DEFERRED:

- FIRE SPRINKLER SYSTEM

GOVERNING CODES :

ALL WORK AND MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE FOLLOWING CODES AS ADOPTED AND AMENDED BY THE GOVERNING JURISDICTION. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ADMINISTRATIVE CODE
- 2022 CALIFORNIA ENERGY CODE & TITLE 24 AND 25, CALIFORNIA CODE OF REGULATIONS
- CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEEC) 2022
- SAFETY ORDERS OF THE STATE DIVISION OF INDUSTRIAL SAFETY
- COUNTY OF FRESNO ORDINANCES
- APPLICABLE SEC. OF THE CA. ENERGY CONSERVATION STANDARDS
- 2021 INTERNATIONAL BUILDING CODE

SEPARATE SUBMITTALS :

| NAME OF FORM | STATE OF CALIFORNIA, 2016 RESIDENTIAL COMPLIANCE FORM |
|----------------|---|
| CF - 1R FORM : | RESIDENTIAL PERFORMANCE CERTIFICATE OF COMPLIANCE (PERFORMANCE COMPLIANCE METHOD) FOR NEWLY CONSTRUCTED BUILDINGS, ADDITIONS, AND ALTERATIONS |
| CF - 2R FORM : | RESIDENTIAL CERTIFICATE OF INSTALLATION TO BE PROVIDED AND FILED BY AN APPROVED HERS RATER. |
| CF - 3R FORM : | RESIDENTIAL CERTIFICATE OF VERIFICATION FOR EACH ITEM INSTALLED PER THE FILED TITLE 24 ENERGY DOCUMENTATION. THIS FORM IS TO BE PROVIDED AND FILED BY AN APPROVED HERS RATER. |



GENERAL NOTES :

- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL NOTIFY THE OWNER AND THE DESIGNER OF ANY DISCREPANCIES PRIOR TO COMMENCING ANY WORK AND OR CONSTRUCTION. ALL BUILDING SUBCONTRACTORS SHALL PERFORM THEIR APPROPRIATE WORK TO CODES AND, REGULATIONS AND INDUSTRY STANDARDS.
- DO NOT SCALE DRAWINGS / ALL DIMENSIONS SHALL HAVE PRECEDENCE AT ALL TIMES.
- JOB CARD REQUIRED TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
- A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION. CBC 3305.1
- FINISH FLOOR ELEVATION IS TO BE 8" ABOVE THE CROWN OF THE STREET.
- A CONSTRUCTION WASTE MANAGEMENT PLAN IS REQUIRED FOR THIS PROJECT. THE PLAN IS TO BE FINALIZED PRIOR TO OCCUPANCY.
- PROVIDE CONSTRUCTION SITE ADDRESS : APPROVED NUMBERS OR ADDRESS SIGNS SHALL BE PROVIDED FOR ALL CONSTRUCTION SITES. THEY SHALL BE PAINTED ON THE FACE OF THE CURB ON THE FRONT SIDE OF THE LOT PRIOR TO THE FIRST INSPECTION. CURB NUMBERS SHALL BE MIN. OF 3" INCHES IN HEIGHT AND HAVE CONTRASTING OR REFLECTING BACKGROUND AND PERMANENTLY PAINTED ON THE CURB FACE. TEMPORARY STREET NAMES SHALL BE PAINTED ON THE CURBS OF ALL STREETS AND THE STREET INTERSECTIONS IN THE EVENT THAT NO CURB EXISTS. TEMPORARY CONSTRUCTION SITE ADDRESS SIGNS AND TEMPORARY STREET NAME SIGNS SHALL BE POSTED AT A HEIGHT OF BETWEEN 48" AND 72". SUCH TEMPORARY SIGNS SHALL BE WEATHER RESISTANT ON APPROVED MATERIAL. ALL NUMBERS AND NAME SIGNS SHALL BE MAINTAINED TO THE SATISFACTION OF THE FIRE MARSHAL AND BUILDING OFFICIAL.
- APPROVED ADDRESS NUMBERS SHALL COMPLY WITH THE ADDRESS STANDARD APPROVED BY THE FIRE MARSHAL AND THE BUILDING OFFICIAL. INSTALL STREET ADDRESS NUMERALS, AT LEAST 4 INCHES HIGH WITH MINIMUM 1/2" INCH STROKE, MOUNTED ON A CONTRASTING BACKGROUND COLOR CLEARLY VISIBLE FROM THE STREET AND IS REFLECTIVE. (VISIBLE TO TRAFFIC IN BOTH DIRECTIONS)
- ADDRESS NUMBERS SHALL BE DISPLAYED ON A BUILDING OR LAND IN SUCH A MANNER AS TO BE VISIBLE FROM THE STREET OR ROAD ON WHICH THE BUILDING OR LAND FRONTS. WHERE THE BUILDING IS LOCATED MORE THAN 50 FEET FROM THE MAIN ROADWAY, THE NUMBER SHALL BE DISPLAYED AT THE ENTRANCE OF THE DRIVEWAY AND BE READABLE FROM BOTH DIRECTIONS. ADDRESSES MOUNTED TO BUILDINGS SHALL USE SAME SIZE CONFIGURATION. ALL NUMBERS OR SIGNS SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER SO AS TO REMAIN READABLE.
- CHANGES FROM THE APPROVED PLANS DURING THE COURSE OF CONSTRUCTION SHALL CAUSE CONSTRUCTION TO BE SUSPENDED UNTIL SUCH TIME AS THE PLANS CAN BE AMENDED BY THE DESIGNER AND SUBMITTED TO THE COUNTY FOR REVIEW AND APPROVAL. CRC R106.4. CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN :
 - CABINET CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE.
 - INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN.
 - A SINGLE NON BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM.
 - INTERIOR NON STRUCTURAL WALL FINISHES; SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW FLOOR PLAN SHOWING CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.
- ANY VERTICAL CUT OR FILL DIFFERENTIAL IN EXCESS OF 12" BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL. WOOD RETAINING WALLS SHALL NOT BE USED TO RETAIN MORE THAN 24" OF SOIL. THE GRADE DIFFERENTIAL BETWEEN ADJACENT PROPERTIES MAY BE RELIEVED BY A SLOPED NOT TO EXCEED TWO HORIZONTAL TO ONE VERTICAL ON THE LOW PROPERTY IF APPROVED BY THE OWNER OF SAID LOW PROPERTY IN A FORM OF A RECORDED EASEMENT OR COVENANT RUNNING WITH THE LAND AS APPROVED BY THE CITY ATTORNEY.
- BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS AND CONSERVATION OF SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.
- AFTER OCTOBER 1, 2010, ANY LOW RISE RESIDENTIAL HOMES REQUIRING HERS VERIFICATION WILL BE REQUIRED TO SUBMIT A REGISTERED CF-1R.
- ALL NEW PIPING FOR WATER AND SEWER TO BE PVC SCH. 40 OR BETTER.
- INSTALL NON-REMOVABLE BACKFLOW PREVENTION DEVICES ON ALL HOSE BIBBS.
- THERE SHALL NOT BE ANY DEMOLITION TO EXISTING SHEAR WALLS, AND/OR STRUCTURAL FRAME, WITH OUT WRITTEN DIRECTION FROM ARCHITECT OR ENGINEER.

OWNER ADDRESS : LEGAL :
 OWNER SITE ADDRESS : APN: 333-220-58
 CITY CA (000)-420-0000

BUILDING DATA :

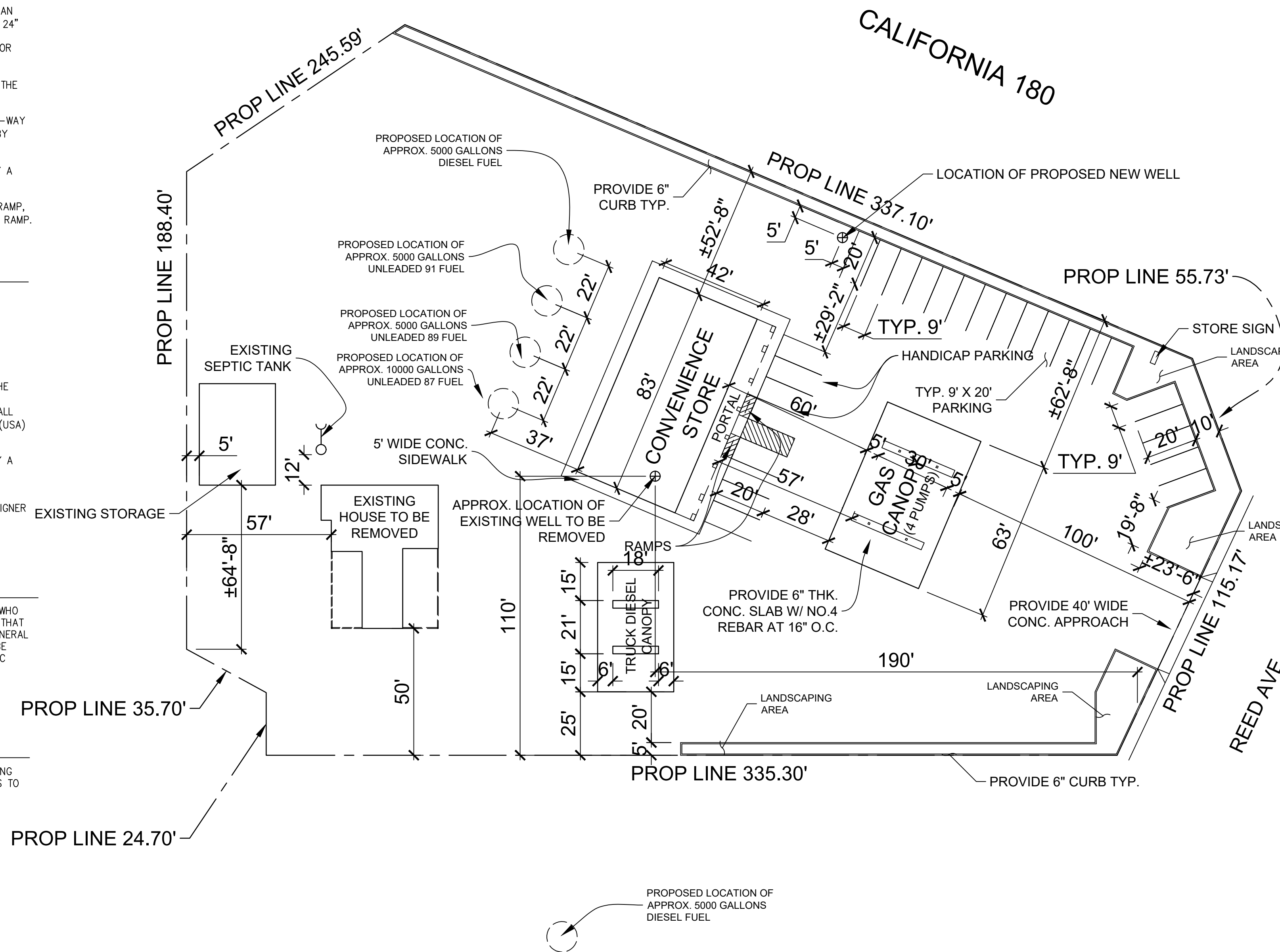
| | |
|-------------------------------|--------------------|
| BUILDING USE : | SINGLE FAMILY |
| EXISTING RESIDENCE & ADDITION | |
| OCCUPANCY : | R-3/U |
| CONSTRUCTION TYPE : | V - B |
| ZONING / CLASSIFICATION : | R-1-B, RESIDENTIAL |
| OCCUPANT LOAD : | LESS THAN 10 |
| NUMBER OF STORIES : | 1 |
| ALLOWABLE BLD'G HEIGHT : | 35'-0" |
| ----- : | --- SQ. FT. |
| ----- : | --- SQ. FT. |
| ----- : | --- SQ. FT. |
| TOTAL AREA : | ----- SQ. FT. |

SHEET INDEX :

| | |
|-----|--------------------------|
| A-1 | SITE PLAN |
| A-2 | FLOOR PLAN |
| A-3 | ELEVATIONS |
| A-4 | 2ND ELEVATIONS |
| A-5 | CANOPY FLOOR PLAN |
| A-6 | CANOPY ELEVATIONS |
| A-7 | DIESEL CANOPY FLOOR PLAN |
| A-8 | DIESEL CANOPY ELEVATIONS |

CODE & DESIGN LOADS :

| CODE: | | SNOW DATA | |
|---|--|--|------------------------------|
| ALL CONSTRUCTION SHALL CONFORM TO THE 2019 CBC, 2019 CRC, & THE 2018 IBC | | | |
| DESIGN LOADS: | | SNOW DATA | |
| ROOF : | 21.0 P.S.F. DEAD LOAD 16.0 P.S.F. LIVE LOAD | GROUND SNOW LOAD SNOW EXPOSURE FACTOR, C _e THERMAL FACTOR, C _t | 0.0 PSF N/A N/A |
| FLOOR : | 12.0 P.S.F. DEAD LOAD 40.0 P.S.F. LIVE LOAD | SNOW LOAD IMPORTANCE FACTOR, I SLIPPERY ROOF | N/A N/A |
| DECK : | 12.0 P.S.F. DEAD LOAD 40.0 P.S.F. LIVE LOAD | SNOW DENSITY FLAT ROOF SNOW LOAD, P _f | N/A N/A |
| EXT. WALLS : | 15.0 P.S.F. DEAD LOAD | WIND FORCES: ASCE 7-10 C.B.C. 1609.6 | ALTERNATE ALL HEIGHTS METHOD |
| CONSTRUCTION TYPE: SIMPLE | | BASIC WIND = 110 M.P.H. STRENGTH 85 MPH AWS | |
| SEISMIC: SOIL SITE CLASS: D SEISMIC DESIGN CATEGORY: D OCCUPANCY - STANDARD CONFIGURATION - REGULAR DESIGN CATEGORY CONSIDERATION - FLEXIBLE DIAPHRAGM STRUCTURAL SYSTEM - BEARING WALL: SHEAR PANELS | | EXPOSURE = C | |



RANCHO MARKET

18266 E KINGS CANYON RD,
 SANGER, CA 93657

SITE PLAN
 SCALE : 1" = 10'-0"
JESSE VARGAS

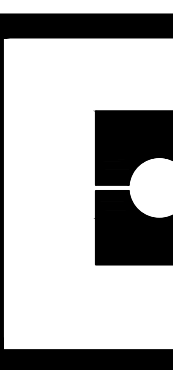
DATE : CURRENT DATE

JOB: PROJECT NAME

DRAWN BY: JESSE VARGAS

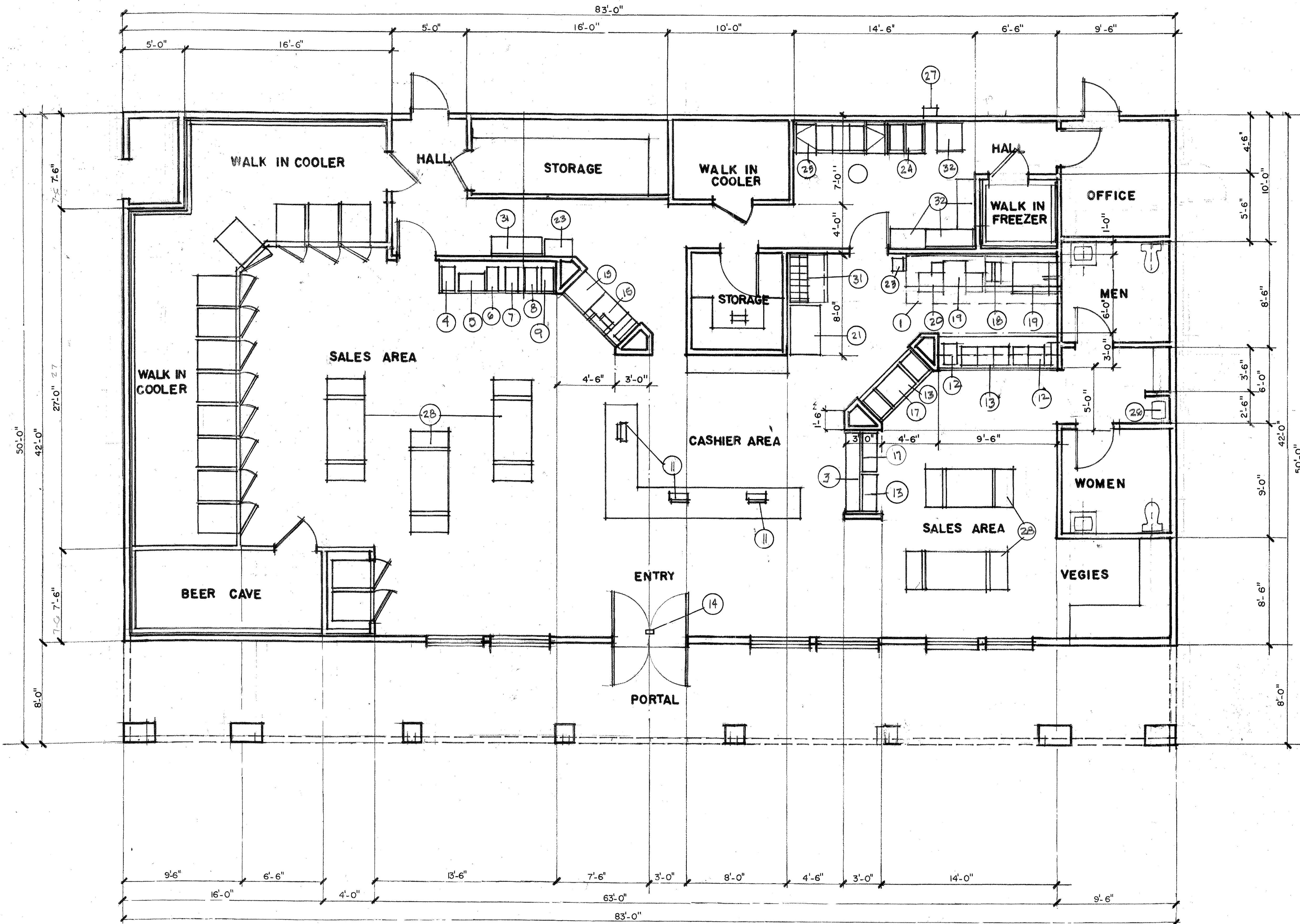
PROJECT ID: ##-AAA-##

VARGAS DESIGN
 REEDLEY, CA. 93654 (559)-859-1931
 445 S. MAPLE DR.



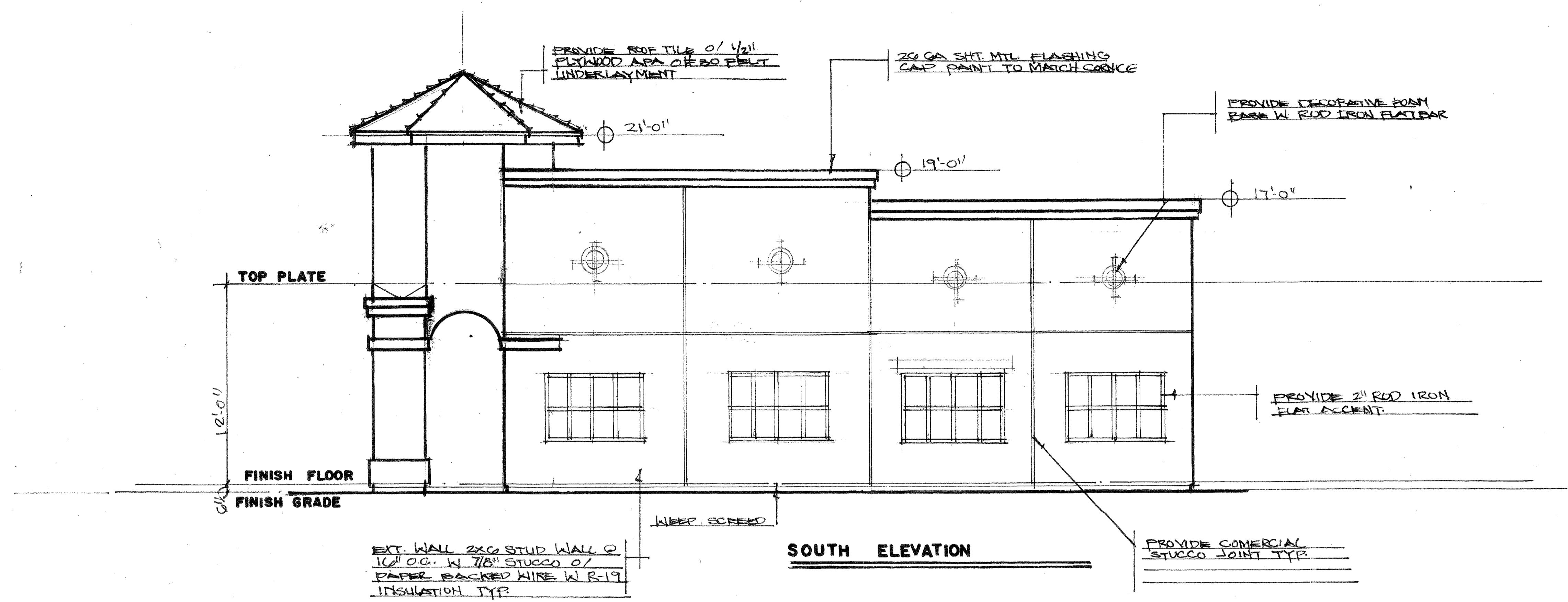
SHEET NO.

1

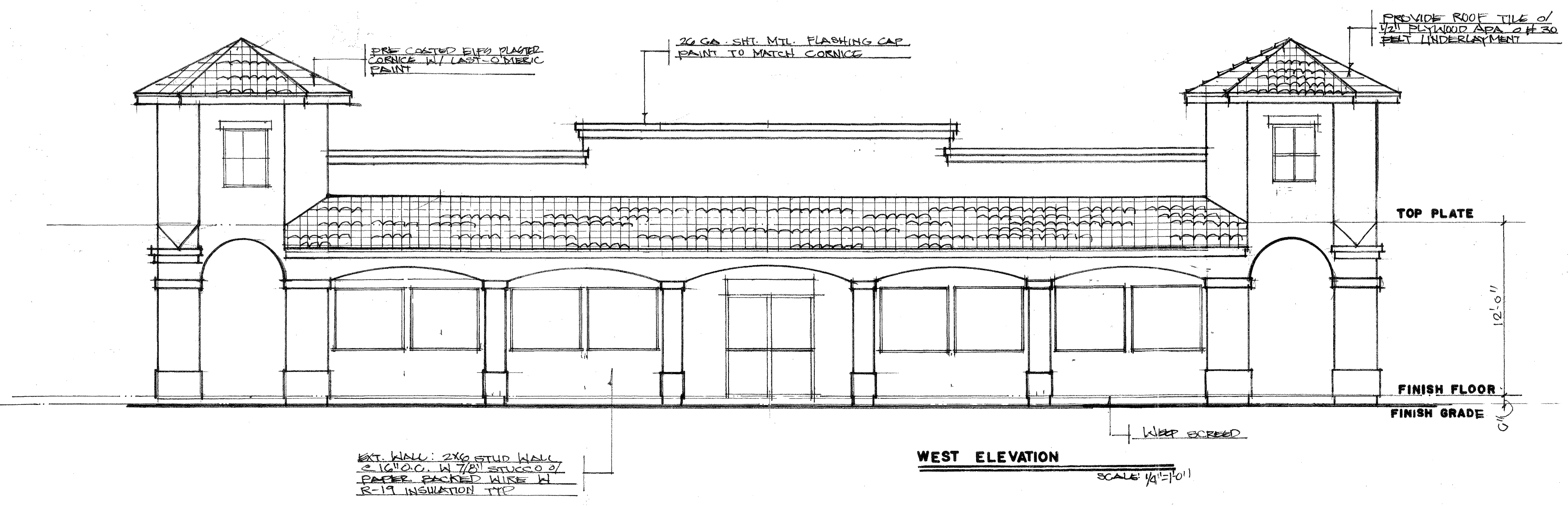


| ITEM | MODEL | VOLTS | AMPS | BTU |
|------|-------------------------|--------------------------|----------|------------|
| 1 | HOOD | | | |
| 2 | DELTA CASE | | | |
| 3 | LID DISPENSER | ALTO-SHAAM #HN2 72 | 208 | 19 |
| 4 | 12 HEAD @ 2 ICE FTN | | | |
| 5 | DRINK DISPENSER | ED300 | 115 | 2.6 |
| 6 | CAPPUCCINO MACHINE | SCPCTSF | 120 | 15 |
| 7 | CREAMER | INTERATON | 110 | 2.8 |
| 8 | COFFEE BREWER | DBVSA430 | 120/240 | 2.8 |
| 9 | COFFEE GRINDER | BUNN | 120/240 | 20 |
| 10 | FLAV'D COFFEE BREWER | DBVSA430 | 120/240 | 2.8 |
| 11 | REGISTER | | | |
| 12 | HOT UNITS | | | |
| 13 | SNEEZE GUARD | | | |
| 14 | PROPOSED O.H. SIGN | | | |
| 15 | COLD UNITS 1/5 HP | 120 | 412 | |
| 16 | CHIP WARMER | 1080 | 20 | |
| 17 | MERCHANDISER 36" WARMER | | | |
| 18 | FRYER | AMERICAN RANGE AF-45 | | 120,000 |
| 19 | CONVENTIONAL OVEN | AMERICAN RANGE AR36G-2B | | 178,000 |
| 20 | CONVEYOR OVEN | MIDDLEBY MARSHALL PS520G | 208/240 | 1.5 40,000 |
| 21 | PREP TABLE 4'x30" | | | |
| 22 | PIZZA PREP TABLE | TRUE TTP-44 | 115/60/1 | 8.6 |
| 23 | HAND SINK | | | |
| 24 | VEGETABLE SINK | | | |
| 25 | 3 COMPARTMENT SINK | | | |
| 26 | MOP SINK | | | |
| 27 | HOT WATER TANK | | | |
| 28 | CLEANING PRODUCT RACK | | | |
| 29 | STORAGE UNITS | | | |
| 30 | ICE MACHINE ABV SODA | MANITOWOL SY-0504 | | |
| 31 | FOOD PREP STATION T | | | |
| 32 | TABLE PREP | | | |
| 33 | SODA STORAGE | 115 | | |
| 34 | COKE DISP | | | |

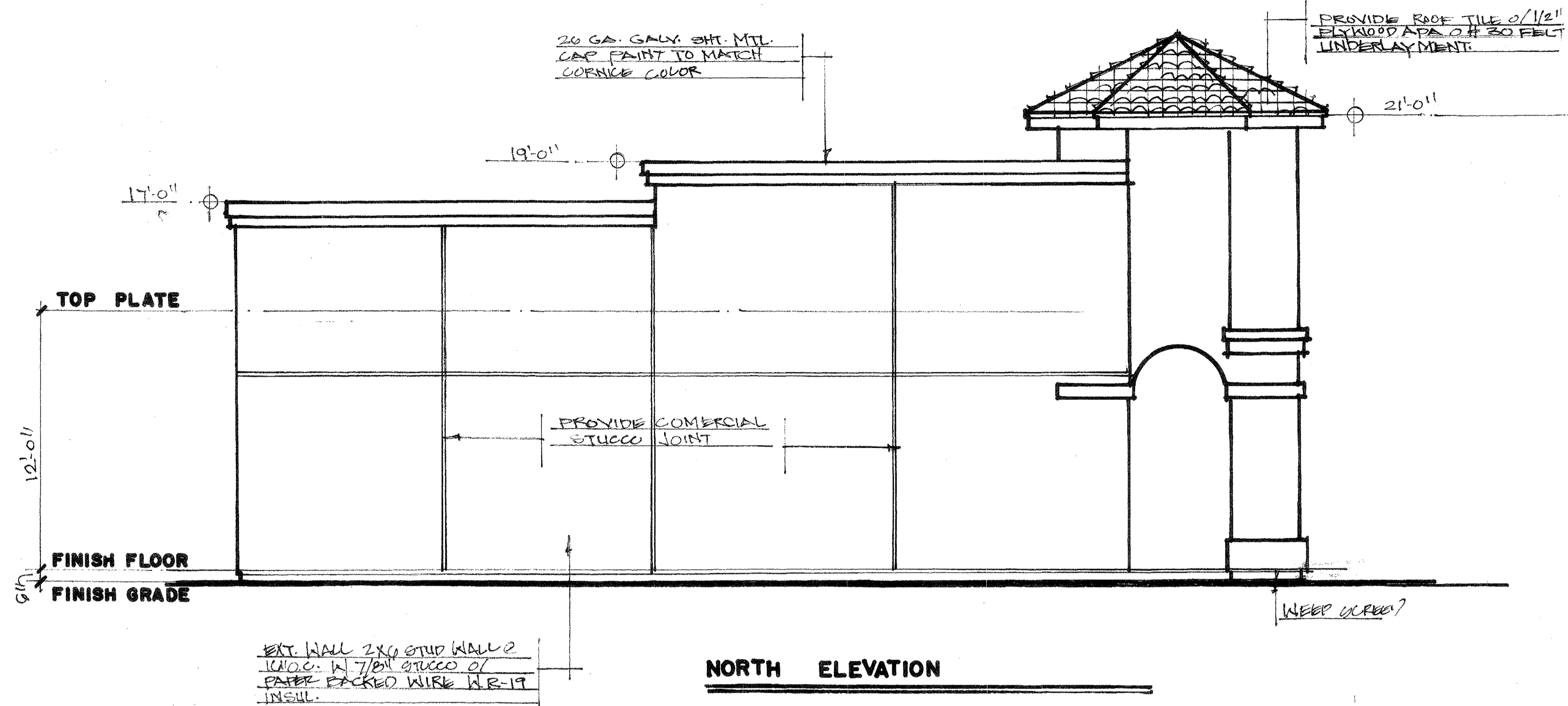
FLOOR PLAN 3486 SQ. FT. SCALE: 1/4" = 1'-0"



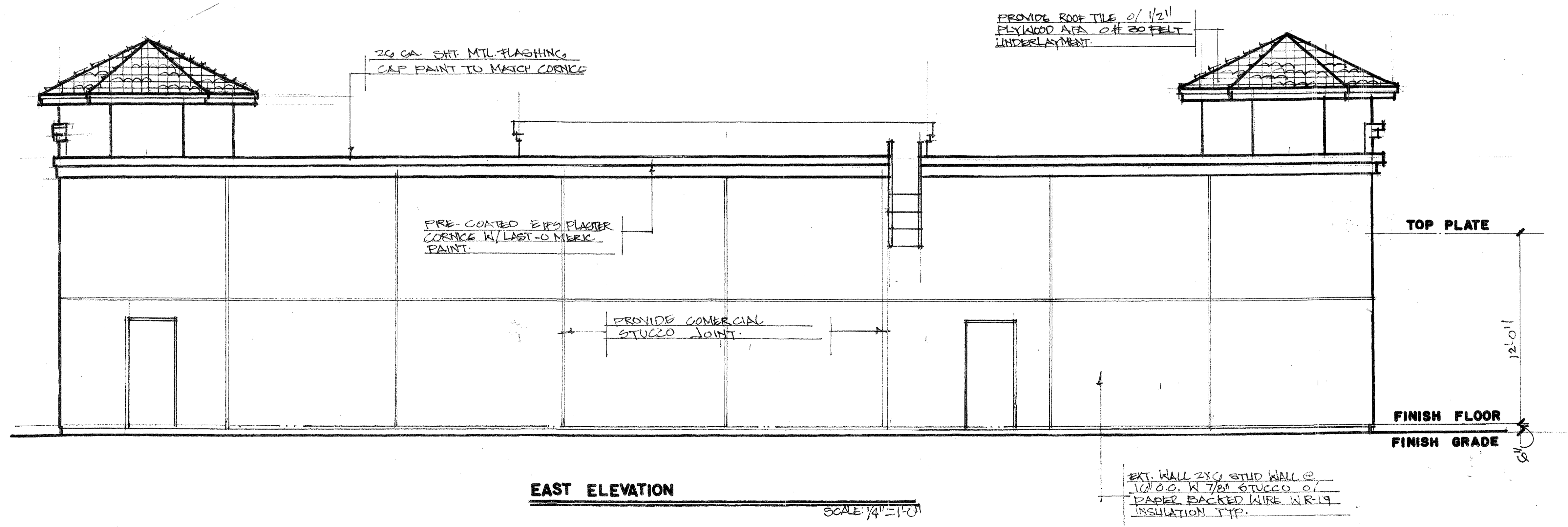
SOUTH ELEVATION



WEST ELEVATION

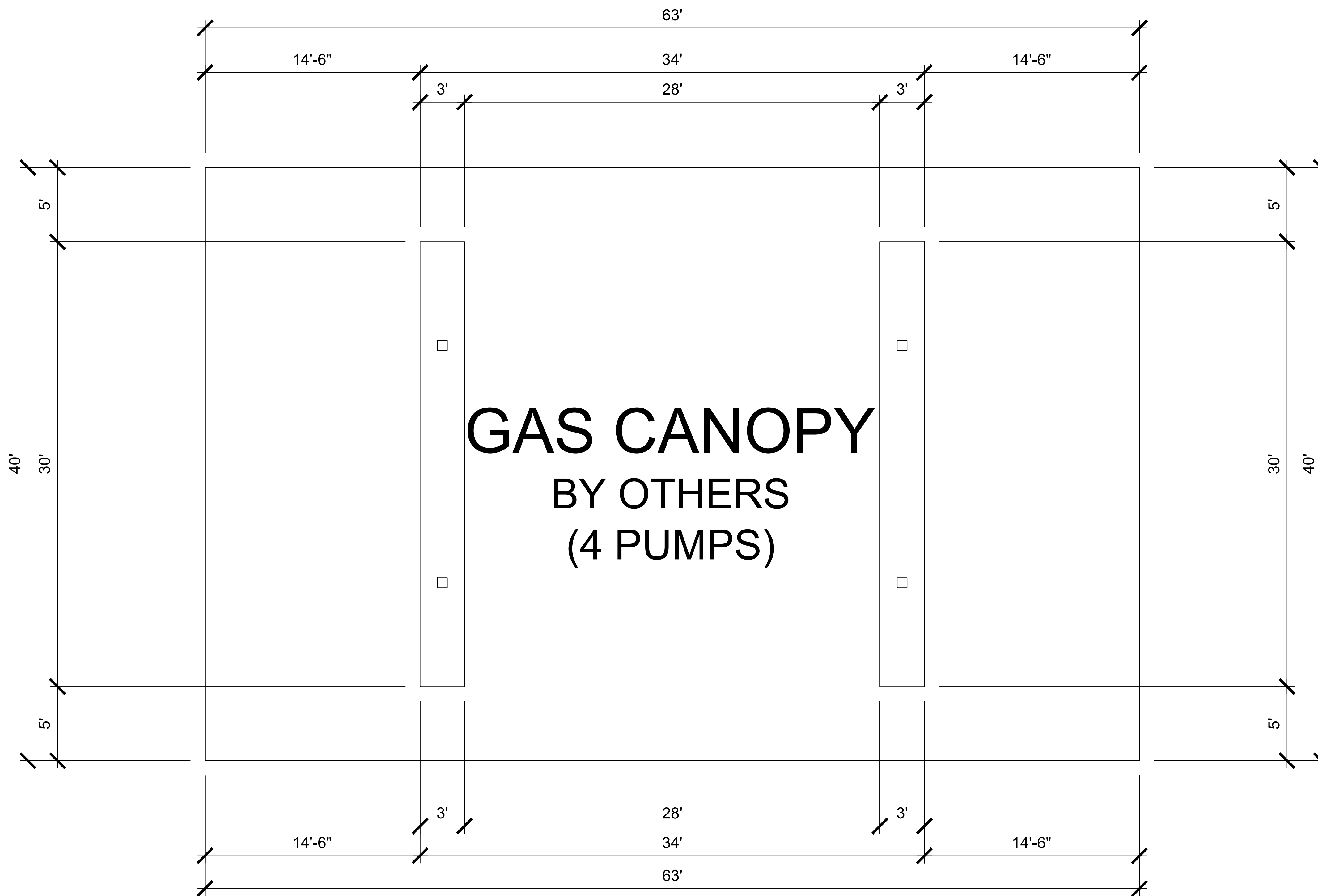


NORTH ELEVATION



EAST ELEVATION

SCALE 1/4"=1'-0"



**GAS CANOPY
BY OTHERS
(4 PUMPS)**

FLOOR PLAN
SCALE : 1/4" = 1'-0"
JESSE VARGAS

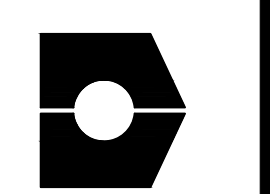
DATE : CURRENT DATE

JOB : PROJECT NAME

DRAWN BY :
JESSE VARGAS

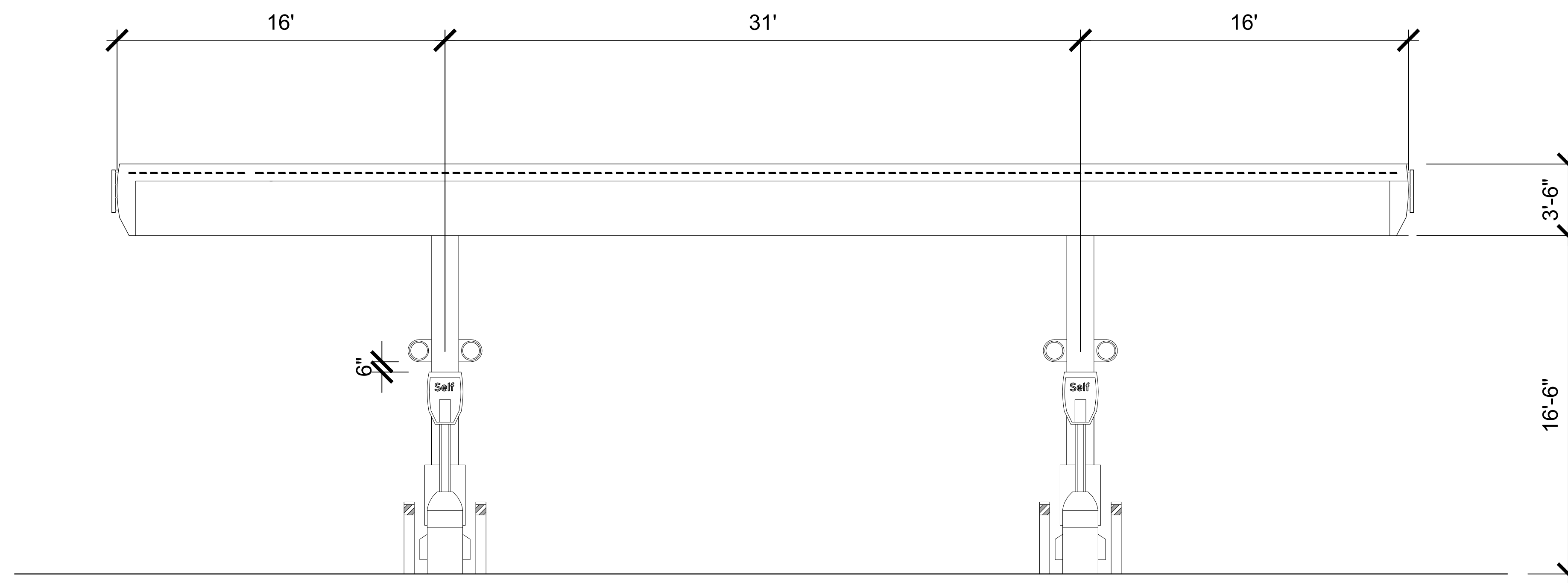
CONTENTS : FLOOR PLAN

VARGAS DESIGN
445 S. MAPLE DR. REEDLEY, CA. 93654 (559)-859-1931

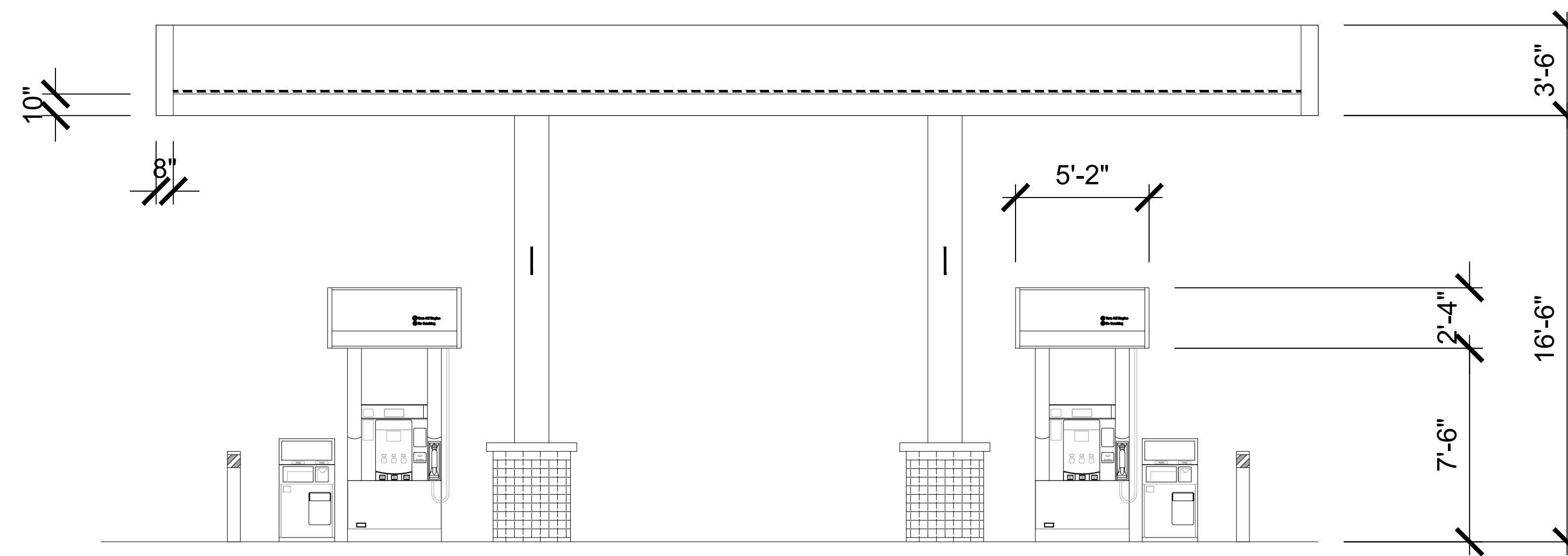


SHEET NO.

5



FRONT ELEVATION



SIDE ELEVATION

ELEVATION PLAN

SCALE : 1/4" = 1'-0"

JESSE VARGAS

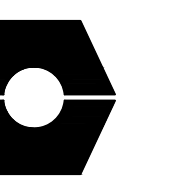
DATE : CURRENT DATE

JOB : PROJECT NAME

DRAWN BY : JESSE VARGAS

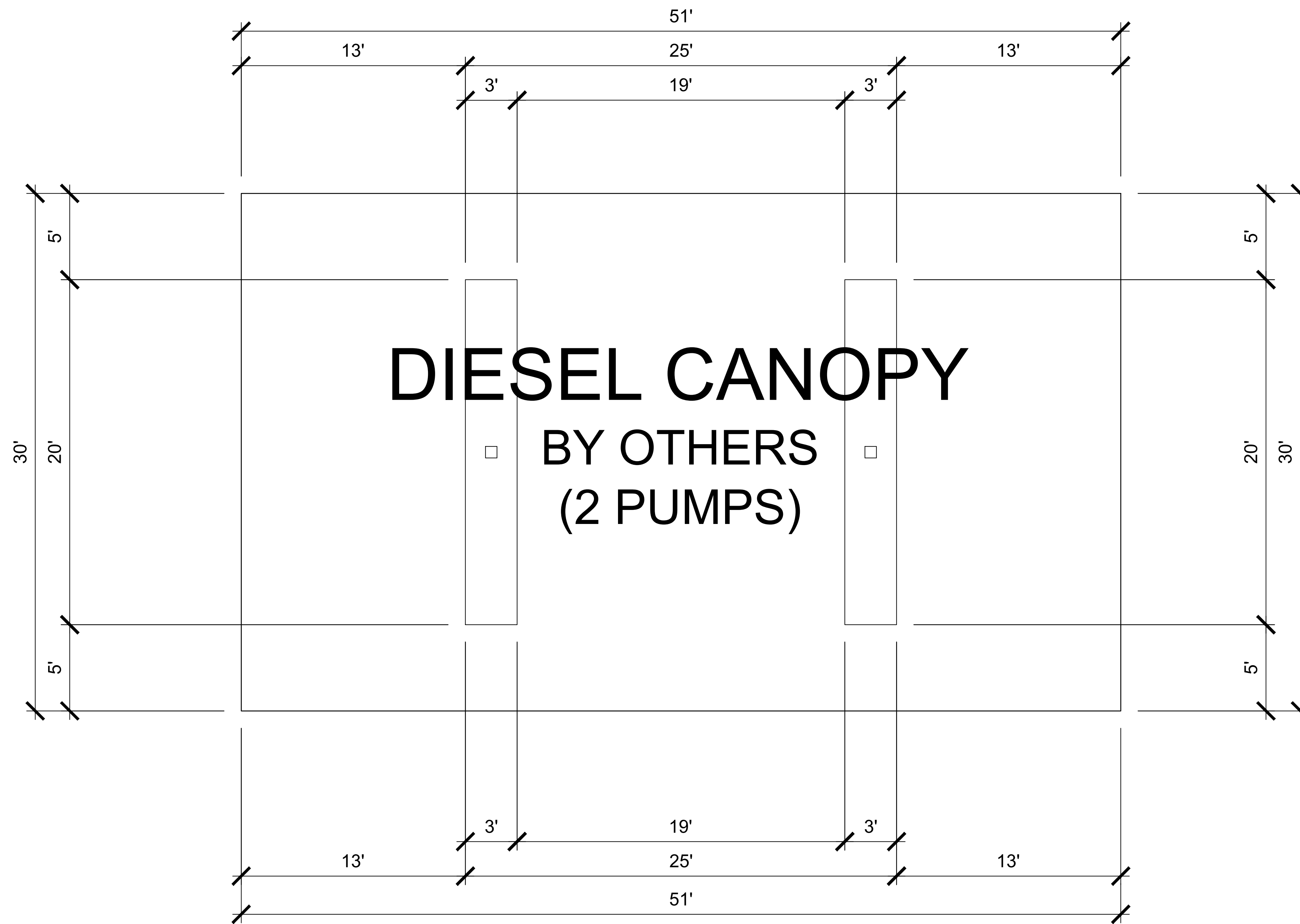
CONTENTS : ELEVATION PLAN

VARGAS DESIGN
 REEDLEY, CA - 93654
 445 S. MAPLE DR. (559)-859-1931



SHEET NO.

6



FLOOR PLAN
SCALE : 1/4" = 1'-0"
JESSE VARGAS

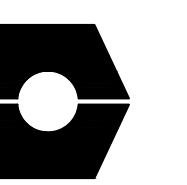
DATE : CURRENT DATE

JOB : PROJECT NAME

DRAWN BY :
JESSE VARGAS

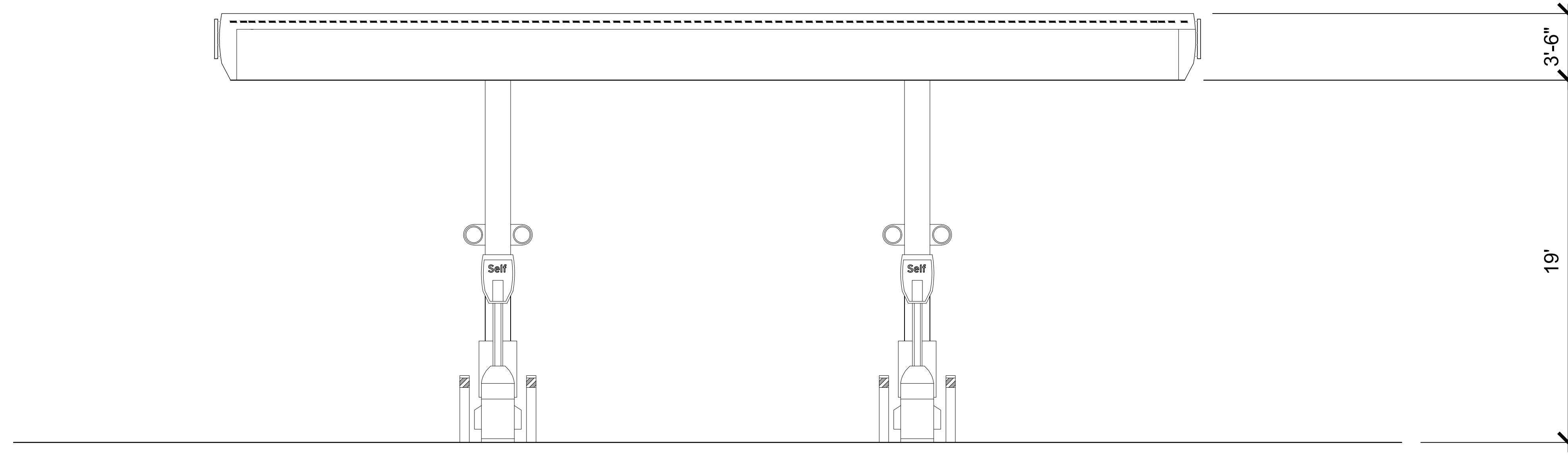
CONTENTS : FLOOR PLAN

VARGAS DESIGN
445 S. MAPLE DR.
REEDLEY, CA. 93654
(559)-859-1931

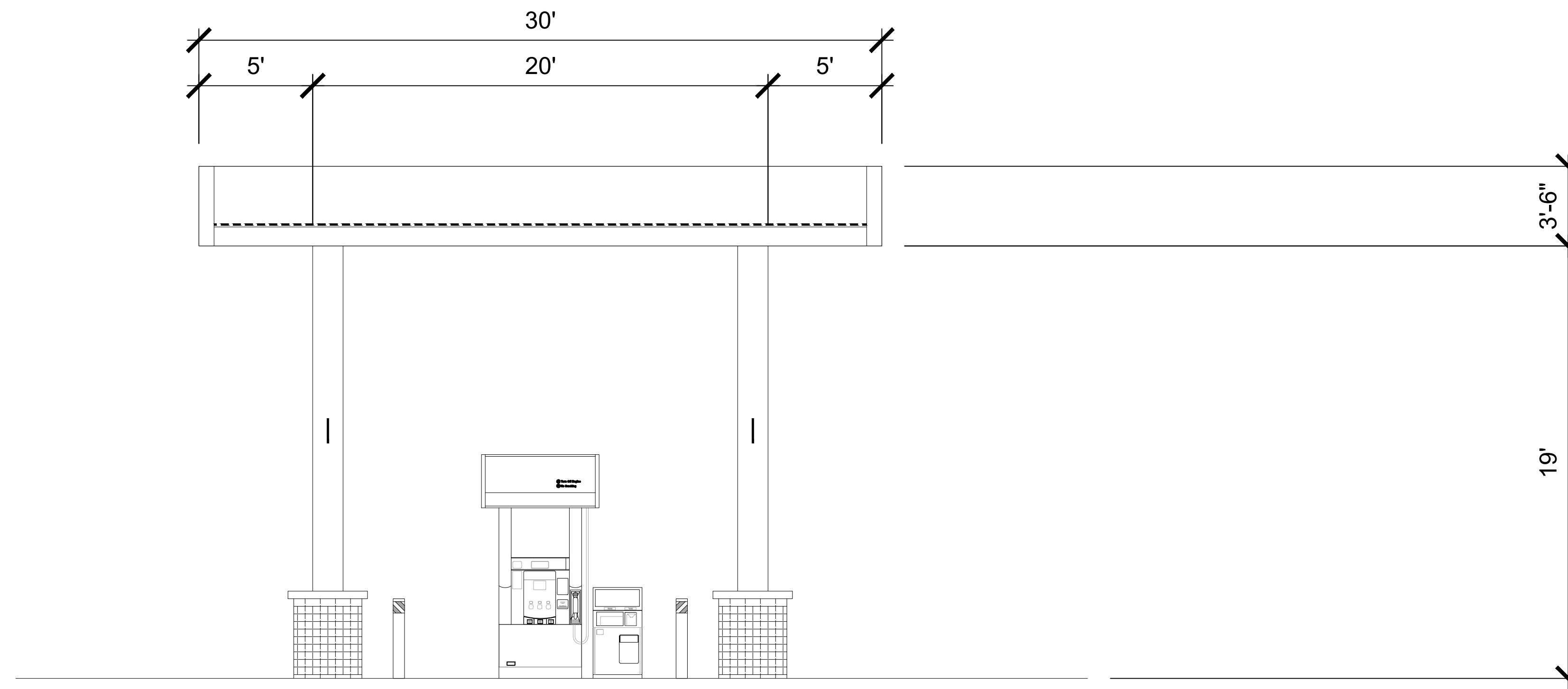


SHEET NO.

7



FRONT ELEVATION



SIDE ELEVATION

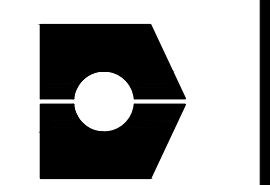
DATE : CURRENT DATE

JOB : PROJECT NAME

DRAWN BY :
JESSE VARGAS

CONTENTS : ELEVATION PLAN

VARGAS DESIGN
445 S. MAPLE DR. REEDLEY, CA. 93654 (559)-859-1931



SHEET NO.

08

ELEVATION DIESEL BY OTHERS

SCALE : 1/4" = 1'-0"

JESSE VARGAS