



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

Planning Commission Staff Report Agenda Item No. 3 April 27, 2023

SUBJECT: Initial Study No. 8186 and Classified Conditional Use Permit
Application No. 3733

The project proposes to allow the expansion of a fruit packing and cold storage facility on a 59.85-acre parcel. The project will consist of constructing approximately 37,000 square feet of packing buildings, 34,000 square feet of cold storage buildings, 18,000 square feet of Canopies, 650, square feet of accessory structures, a 135,000 square feet fire water storage tank, and 0.66 acres of solar energy collection facilities. The parcel is within the AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District. The subject parcel size is 59.85-acres in size within the AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District.

LOCATION: The project site is located on the west side of Hill Avenue, 1,500 feet south of E. American Avenue, and is approximately 1.74-miles west of the City of Orange Cove (APN: 373-032-07) (5555 Hill Ave.) (Sup. Dist. 4).

OWNER: Ken Lee

APPLICANT: GMA Engineering (Sean Odom)

STAFF CONTACT: Elliot Racusin, Planner
(559) 600-4245

David Randall, Senior Planner
(559) 600-4052

RECOMMENDATION:

- Move to adopt the Mitigated Negative Declaration based on Initial Study No. 8186; and
- Move to determine the required Findings can be made as described in the staff report and move to approve Classified Conditional Use Permit Application No. 3733, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission’s action.

EXHIBITS:

1. Mitigation Monitoring, Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plans, Floor Plans, and Elevations
6. Applicant’s Operational Statement
7. Summary of Initial Study No. 8186
8. Draft Mitigated Negative Declaration
9. Site Photos

SITE DEVELOPMENT AND OPERATIONAL INFORMATION:

Criteria	Existing	Proposed
General Plan Designation	Agriculture	No change
Zoning	AE-20 (Exclusive Agricultural, 20-acre minimum parcel size)	No change
Parcel Size	59.85-acres	No change
Structural Improvements	Fruit packing facility: 20,543 square feet	Expanding fruit packing facility: Packing Building ‘A’ 21,450 square feet Packing Building ‘B’ 15,458 square feet Proposed Restrooms:

Criteria	Existing	Proposed
		<p>355 square feet</p> <p>Expand cold storage facility: 14,173 square feet</p> <p>Two canopies: Canopy 'A'; 3,500 square feet Canopy 'B'; 355 square feet</p> <p>Fire pump house: 256 square feet</p> <p>Fire-water storage tank: 135,000 gallons</p> <p>Relocation of 13 existing parking stalls with the addition of stalls totaling 75</p> <p>Addition of 5 truck parking spaces on site with loading docks</p>
Nearest Residence	Approximately 973-feet southeast	No change
Surrounding Development	Orchards	No change
Operational Features	Fruit packing facility: 20,543 square feet	Expanding fruit packaging facility to include cold storage facility
Employees	30 employees	No change
Customers	1-2 per day	No change
Traffic Trips	5-8 delivery trucks to the site per day	No change
Lighting	Outdoor lighting	Outdoor lighting with mitigation measures
Hours of Operation	The facility operation: October to May Monday – Sunday: 7 a.m. to 4 p.m. for a total of 8 hours a day.	No change

EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N

ENVIRONMENTAL ANALYSIS:

Initial Study No. 8186 was prepared for the project by County staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the Initial Study, staff has determined that a Mitigated Negative Declaration (Exhibit 8) is appropriate.

Notice of Intent to Adopt a Mitigated Negative Declaration publication date: March 14, 2023.

PUBLIC NOTICE:

Notices were sent to 28 property owners within 0.5-miles of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

PUBLIC COMMENT:

No public comment was received as of the date of preparation of this report.

PROCEDURAL CONSIDERATIONS:

A Classified Conditional Use Permit Application may be approved only if five Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission. The decision of the Planning Commission on a Classified Conditional Use Permit Application is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

BACKGROUND INFORMATION:

The project consists of expanding an already existing fruit packaging facility permitted by-right in 2000 to allow for a packing house with applicable offloading facilities. This application will allow the additional structures and improvements desired to facilitate altered operations of the current existing use. The existing buildings will be retrofitted to accommodate the proposed operation and bring them into compliance with current building and safety codes. The table below illustrates the existing and proposed uses concerning this project.

Finding 1: That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood.

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Setbacks	AE-20 (Exclusive Agricultural, 20-acre minimum parcel size) Zone District Front Yard: 35 feet Side Yard: 20 feet Rear Yard: 20 feet	Existing and proposed projects conform to setback requirements.	Y

	Current Standard:	Proposed Operation:	Is Standard Met (y/n)
Parking	One parking space per every two employees 13 existing parking stalls	Increase parking totaling 75 parking stalls. Proposed project also includes the addition of 5 truck parking spaces on-site in the proposed loading docks.	Y
Lot Coverage	No requirement.	N/A	N/A
Space Between Buildings	No animal or fowl pen, coop, stable, barn, or corral shall be located within forty feet of any dwelling or other building used for human habitation.	N/A	N/A
Wall Requirements	No requirement unless swimming pool is present.	N/A	N/A
Septic Replacement Area	100% replacement	New septic tank proposed	Y
Water Well Separation	Septic Tank: 100 feet Disposal Field: 100 feet Seepage Pit: 150 feet	The applicant has requested a Septic Demolition & Replacement Permit.	Y

Reviewing Agency/Department Comments Regarding Site Adequacy:

No significant comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

Finding 1 Analysis:

The project proposes to utilize the existing building on the subject site for the operation and expands the footprint of facilities as stipulated in the above Site Development Criteria.

Recommended Conditions of Approval:

See recommended Conditions of Approval attached as Exhibit 1.

Finding 1 Conclusion:

Finding 1 can be made as staff finds that the parcel is adequate in size and shape to accommodate the proposed use.

Finding 2: *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic*

generated by the proposed use.

		Existing Conditions	Proposed Operation
Private Road	No	No private road	No change
Public Road Frontage	Yes	Hill Ave	No change
Direct Access to Public Road	Yes	Good condition	No change
Road ADT		N/A	N/A
Road Classification		Local	No change
Traffic Trips		N/A	N/A
Traffic Impact Study (TIS) Prepared		Yes	N/A
Road Improvements Required		N/A	N/A

Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:

No comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

Finding 2 Analysis:

The subject parcel fronts Hill Ave., a County local road. The project anticipates a maximum of 30 employees and up to 5-8 delivery trucks entering and exiting the site a day. There will be no change in the number of trucks coming to the site with the proposed project. The max number of truck trips will be 16 trips per day. Based on the number of employee and truck-based trips, an estimated 36 trips a day can be expected.

The Design Division and Road Maintenance and Operations Division concurred that the project would not have a significant impact on County-maintained roadways and determined that the streets and highways are adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use. Further, Traffic Management Plan (TMP) was not required.

Recommended Conditions of Approval:

None.

Finding 2 Conclusion:

Finding 2 can be made based on staff’s review of the project, that the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.

Finding 3: *That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof.*

Surrounding Parcels				
	Size:	Use:	Zoning:	Nearest Residence:
North	9.87 acres	Agriculture	AE-20	N/A
South	120.61 acres	Agriculture	AE-20	N/A
East	24.93 acres 59.98 acres	Agriculture	AE-20	Approximately 850 feet
West	29.92 acres	Agriculture	AE-20	N/A

Reviewing Agency/Department Comments:

No comments specific to land use compatibility were expressed by reviewing Agencies or Departments.

Finding 3 Analysis:

No concerns were received from reviewing agencies and departments to indicate that the project proposal would result in adverse impacts. Advisory comments were provided by commenting agencies and departments relative to regulatory requirements, many have been included under Project Notes in Exhibit 1.

Recommended Conditions of Approval:

None

Finding 3 Conclusion:

Finding 3 can be made as there is no indication of any adverse impacts anticipated by the proposed project on abutting property and the surrounding neighborhood.

Finding 4: *That the proposed development is consistent with the General Plan.*

Relevant Policies:	Consistency/Considerations:
<p>General Plan Policy LU-A.3: <i>The County may allow by discretionary permit in areas designated Agriculture, special agricultural uses and agriculturally-related activities, including value-added processing facilities and certain non-agricultural uses. Approval of these and similar uses in areas designated Agriculture shall be subject to the following criteria:</i></p> <p><i>Criteria "a": The use shall provide a needed service to the surrounding agricultural area which cannot be provided more efficiently within urban areas or which requires location</i></p>	<p>Fruit packing and cold storage facility uses are allowed subject to a Conditional Use Permit in the AE-20 Zone District when they meet the criteria below. The AE-20 Zone District is compatible with the General Plan land use designation of "Agriculture."</p> <p>Per Criteria "a", the subject use intends to process agricultural products produced from the subject site and other agricultural products received from other farming operations. In considering the operational characteristics, the proposed use would be more efficient located in agricultural areas as</p>

Relevant Policies:	Consistency/Considerations:
<p><i>in a non-urban area because of unusual site requirements or operational characteristics.</i></p> <p><i>Criteria “b”:</i> <i>The use should not be sited on productive agricultural lands if less productive land is available in the vicinity.</i></p> <p><i>Criteria “c”:</i> <i>The operational or physical characteristics of the use shall not have a detrimental impact on water resources or the use or management of surrounding properties within at least one quarter (1/4) mile radius.</i></p> <p><i>Criteria “d”:</i> <i>A probable workforce should be located nearby or be readily available.</i></p> <p><i>Criteria “e”:</i> <i>For proposed agricultural commercial center uses the following additional criteria shall apply:</i></p> <ol style="list-style-type: none"> <i>1. Commercial uses should be clustered in centers instead of single uses.</i> <i>2. To minimize proliferation of commercial centers and overlapping of trade areas, commercial centers should be located a minimum of four (4) miles from any existing or approved agricultural or rural residential commercial center or designated commercial area of any city or unincorporated community.</i> <i>3. New commercial uses should be located within or adjacent to existing centers</i> <i>4. Sites should be located on a major road serving the surrounding area.</i> <i>5. Commercial centers should not encompass more than one-quarter (1/4) mile of road frontage, or one-eighth (1/8) mile if both sides of the road are involved, and should not provide potential for developments exceeding ten (1) separate business activities, exclusive of caretakers’ residences.</i> <p><i>Criteria “f”:</i> <i>For proposed value-added agricultural processing facilities, the evaluation under criteria “a” above shall consider the service requirements of the use and the capability and capacity of cities and</i></p>	<p>the length of trips associated with receipt of agricultural products would be located closer.</p> <p>For Criteria “b”, portions of the subject parcel are already utilized as an agricultural processing facility. The project intends to expand the facility to allow for cold storage. Review of aerials of the subject parcel and reference of the submitted site plan indicate that the expanded use would convert previously farmed land. The remaining land would still be in agricultural production. Based on the existing use and small portion of land in agricultural production, the proposed use and resulting conversion of agricultural producing land would not have a significant impact on available productive agricultural land.</p> <p>Under Criteria “c”, review of operational characteristics in terms of impacts on water resources determined that additional permitting and review with State and local agencies would occur to ensure consistency with State and local requirements for water resources.</p> <p>In regard to Criteria “d”, the subject parcel is located approximately 1.74-miles west of the City of Orange Cove. It can be assumed that a workforce is available from the City of Orange Cove.</p> <p>The project is for a proposed agricultural commercial center; therefore Criteria “e” does not apply.</p> <p>In considering criteria “f”, as noted, the use shall provide an agricultural processing facility. The Water and Natural Resources Division has reviewed the attached project and believes the proposed expansion will result in a minimal increase in water usage. Although the subject property is located within a low water area, staff believes the impact to water levels will be less than significant.</p>

Relevant Policies:	Consistency/Considerations:
<p><i>unincorporated communities to provide the required services.</i></p> <p><i>Criteria “g”: For proposed churches and schools, the evaluation under criteria LU-A.3.a shall include consideration of the size of the facility. Such facilities should be no larger than needed to service the surrounding agricultural community.</i></p> <p><i>Criteria “h”: When approving a discretionary permit for an existing commercial use, the criteria listed shall apply except for LU0A.3.b, e.2, e.4 and e.5.</i></p>	<p>The project does not propose a church, school, or existing commercial use and is not subject to Criteria “g” or “h”.</p>
<p>General Plan Policy LU-A.13: <i>The County shall protect agricultural operations from conflicts with non-agricultural uses by requiring buffers between proposed non-agricultural uses and adjacent agricultural operations.</i></p>	<p>The Applicant proposes to continue agricultural producing operations on the subject parcel and would be located as a buffer between adjacent properties and the proposed value-added processing facility.</p>
<p>General Plan Policy LU-A.14: <i>The County shall ensure that the review of discretionary permits includes an assessment of the conversion of productive agricultural land and that mitigation be required where appropriate.</i></p>	<p>The Initial Study determined that the conversion of productive agricultural land would be less than significant and not require mitigation.</p>
<p>General Plan Policy PF-A.17: <i>The County shall, prior to consideration of any discretionary project related to land use, undertake a water supply evaluation. The evaluation shall include the following:</i></p> <p><i>Criteria “a”: A determination that the water supply is adequate to meet the highest demand that could be permitted on the lands in question. If surface water is proposed, it must come from a reliable source and the supply must be made “firm” by water banking or other suitable arrangement. If groundwater is proposed, a hydrogeologic investigation may be required to confirm the availability of water in amounts necessary to meet project demand. If the lands in question lie in an area of limited groundwater, a hydrogeologic investigation shall be required.</i></p>	<p>The Water and Natural Resources Division has reviewed the attached project and believes the proposed expansion will result in a minimal increase in water usage. Although the subject property is located within a low water area, staff believes the impact to water levels will be less than significant.</p>

Relevant Policies:	Consistency/Considerations:
<p><i>Criteria “b”:</i> A determination of the impact that use of the proposed water supply will have on other water users in Fresno County. If use of surface water is proposed, its use must not have a significant negative impact on agriculture or other water users within Fresno County. If use of groundwater is proposed, a hydrogeologic investigation may be required. If the lands in question lie in an area of limited groundwater, a hydrogeologic investigation shall be required. Should the investigation determine that significant pumping-related physical impacts will extend beyond the boundary of the property in question, those impacts shall be mitigated.</p> <p><i>Criteria “c”:</i> A determination that the proposed water supply is sustainable or that there is an acceptable plan to achieve sustainability. The plan must be structured such that is it economically, environmentally, and technically feasible. In addition, its implementation must occur prior to long-term and/or irreversible physical impacts, or significant economic hardship, to surrounding water users.</p>	

Reviewing Agency Comments:

Policy Planning Section of the Department of Public Works and Planning: The subject site has a land use designation of “Agriculture” in the General Plan and is not under a Williamson Act Contracted.

No other significant comments specific to General Plan Policy were expressed by reviewing Agencies or Departments including the Agricultural Commission’s Office.

Finding 4 Analysis:

The proposed conditionally allowed in the AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District which is consistent with General Plan. The proposed project is consistent with all applicable General Plan policies as described in the table above the.

Recommended Conditions of Approval:

None

Finding 4 Conclusion:

Finding 4 can be made based on the above analysis, the project was found to be consistent with the Fresno County General Plan.

Finding 5: *That the conditions stated in the resolution are deemed necessary to protect the public health, safety, and general welfare.*

Finding 5 Analysis:

The proposed mitigation measures and conditions of approval were developed based on studies and consultation with specifically qualified staff, consultants, and outside agencies. They were developed to address the specific impacts of the proposed project and were designed to address the public health, safety, and welfare. Additional comments and project notes have been included to assist in identifying existing non-discretionary regulations that also apply to the project. The Applicant has signed an acknowledgement agreeing to the proposed mitigation measures and has not advised staff of any specific objection to the proposed conditions of approval.

Finding 5 Conclusion:

Finding 5 can be made based on staff's analysis. The conditions stated in the resolution are deemed necessary to protect the public health, safety, and general welfare.

SUMMARY CONCLUSION:

Based on the factors cited in the analysis, staff believes the required Findings for granting the Classified Conditional Use Permit Application can be made. Staff therefore recommends adoption of the Mitigated Negative Declaration and approval of Classified Conditional Use Permit Application No. 3733, subject to the recommended Conditions.

PLANNING COMMISSION MOTIONS:

Recommended Motion (Approval Action)

- Move to adopt the Mitigated Negative Declaration based on Initial Study No. 8186; and
- Move to determine the required Findings can be made as described in the staff report and move to approve Classified Conditional Use Permit Application No. 3733, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Alternative Motion (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Classified Conditional Use Permit Application No. 3733; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

Mitigation Measures, recommended Conditions of Approval and Project Notes:

See attached Exhibit 1.

ER:jp

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EXHIBIT 1

**Mitigation Monitoring and Reporting Program
Initial Study 8186 and Conditional Use Permit Application No. 3733
(Including Conditions of Approval and Project Notes)**

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Construction Emissions	To reduce impacts from construction-related diesel exhaust emissions, the Project should utilize clean off-road construction equipment, including the latest tier equipment as feasible.			
2.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	During ground-disturbing activities
3.	Aesthetics	All outdoor lighting shall be hooded and directed downward so as not to shine on adjacent properties or public right-of-way.	Applicant	Applicant / Department of Public Works and Planning (PW&P)	Ongoing

Conditions of Approval	
1.	Development and operation shall be in substantial conformance with the approved Site Plans, Elevation Drawings and Operational Statement.

Conditions of Approval	
2.	A Site Plan Review (SPR) Application shall be submitted for approval in accordance with Section 874 of the Fresno County Zoning Ordinance prior to issuance of Building Permits.
3.	Any existing or proposed driveway should be set back a minimum of 10 feet from the property line.
4.	Any existing or proposed entrance gate should be set back a minimum of 20 feet from the road right-of-way line or the length of the longest truck entering the site and shall not swing outward.
5.	For unpaved or gravel surface access roads, the first 100 feet off the edge of the road right-of-way must be graded and asphalt concrete paved or treated with dust palliative.
6.	If not already present, a 10 foot x 10 foot corner cut-off should be improved for sight distance purposes at any existing or proposed driveway accessing Hill Avenue.

Project Notes	
The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.	
1.	Prior to site development, all survey monumentation – Property Corners, Centerline Monumentation, Section Corners, County Benchmarks, Federal Benchmarks and Triangulation Stations, etc. - within the subject area shall be preserved in accordance with Section 8771 of the Professional Land Surveyors Act and Section 6730.2 of the Professional Engineers Act.
2.	According to FEMA FIRM Panel 2214H and 2225H, the southeast portion of the area of the subject property is found to be under Flood Zone A, subject to flooding from the 100-year storm. Any development within the Special Flood Hazard Area shall conform to provisions established in Fresno County Ordinance Code Title 15, Chapter 15.48 Flood Hazard Areas. Any proposed structure and associated electrical equipment/electrical system components (e.g., service panels, meters, switches, outlets, electrical wiring, walk-in equipment cabinets, generators, bottom of the lowest edge of the solar array, pool-associated motors and water heater, receptacles, junction boxes, inverter, transformers, etc.) including manure storage and drying location in the Special Flood Hazard Area must comply with the FEMA flood elevation requirements. All electrical wiring below the flood elevation shall be in a watertight conduit or approved direct burial cable. Grading import is not allowed within the flood zone. Any dirt material used for grading must be obtained within the designated flood area as to not cause an impact to the determined area of flooding. Manure pits and waste lagoons that are susceptible to flooding must be consulted with State departments of environmental management or natural resources on how to prevent overflow of these waste treatment facilities into local stream, rivers, or even drinking water supply. FEMA Elevation Certificate is required for every proposed structure to be constructed within the Special Flood Hazard Area. If the

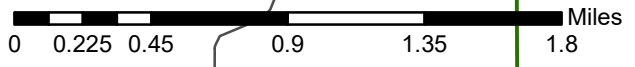
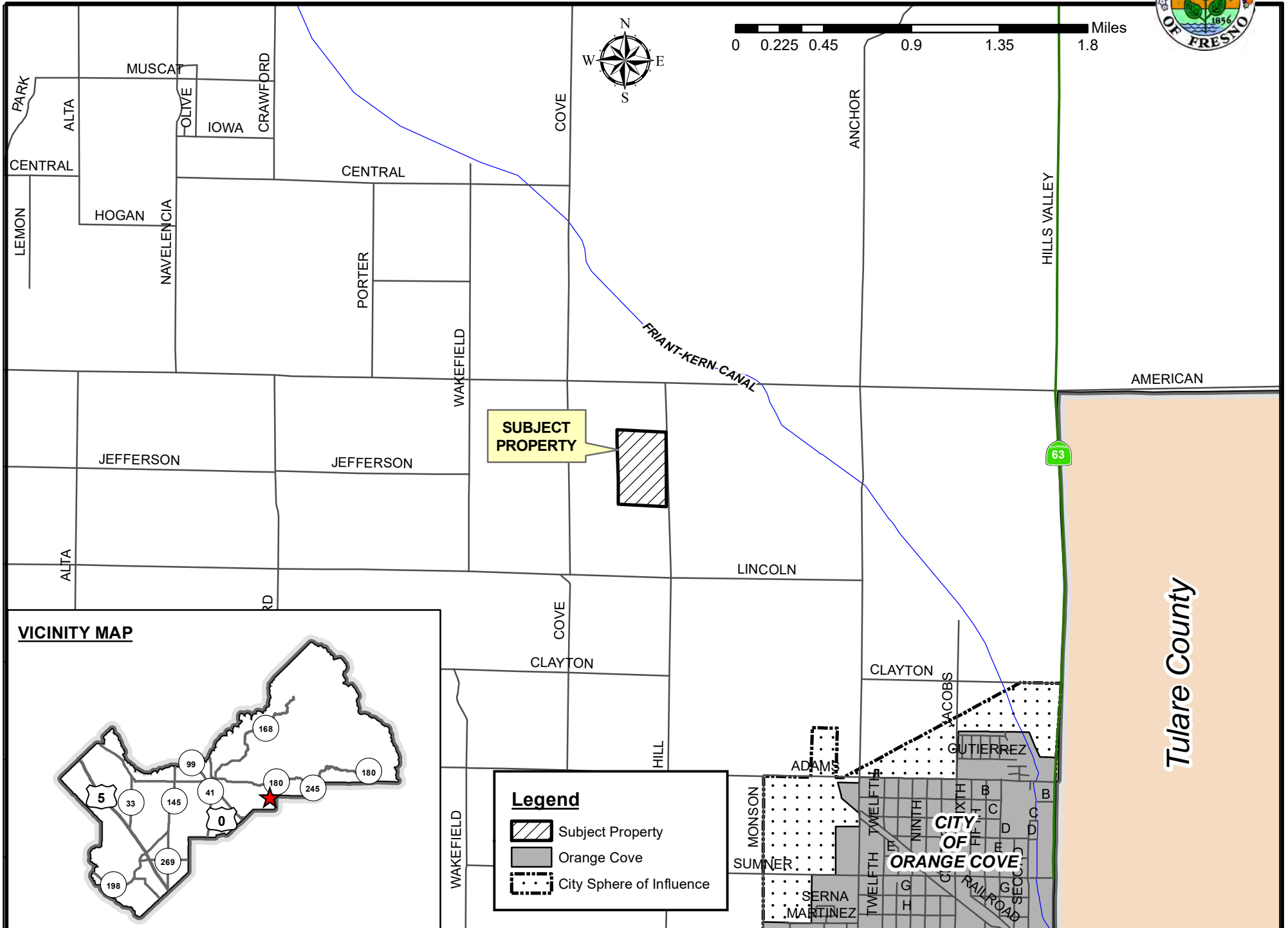
Project Notes	
	proposed building/structure is near the Special Flood Hazard Area, a certified Map of Survey/Map of Flood Hazard Area (MOS), stamped and signed by a Professional Land Surveyor delineating the distances from proposed structure(s) to the flood zone boundary and at least two property lines and existing structures may be required. The MOS must show spot elevations within the perimeter of the proposed structure and the flood zone for verification purposes.
3.	Any additional storm water runoff generated by the proposed development of this site cannot be drained across property lines or into the County road right-of-way, and must be retained on-site, per County Standards.
4.	An engineered grading and drainage plan is required to show how the additional storm water runoff generated by the proposed development will be handled without adversely impacting adjacent properties. The grading and drainage plan should provide calculations of the required basin storage capacity and the relocated basin design storage capacity for verification purposes.
5.	A Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) are required to be filed with State Water Resources Control Board (SWRCB) before the commencement of any construction activities disturbing 1.0 acre or more of area. Copies of completed NOI with WDID # and SWPPP shall be provided to Development Engineering prior to any grading work.
6.	Any existing or proposed parking areas should comply with the Fresno County Off-Street Parking Design Standards. Stalls should be 18 foot x 9 foot and backing distance must be a minimum of 29 feet for 90-degree parking stalls. Also 5 feet should be provided beyond the last stall in any row to provide for backing. Any proposed handicap accessible parking stalls and curb ramps shall comply with ADA standards and the maximum surface slope within the disabled parking space(s) and adjacent access aisle(s) shall not exceed 2% in any direction.
7.	Any work done within the County Road right-of-way to construct a new driveway or improve an existing driveway will require an Encroachment Permit from the Road Maintenance and Operations Division.
8.	Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan electronically pursuant to the HSC, Division 20, Chapter 6.95 (http://cers.calepa.ca.gov/). This facility may have to comply with either the California Accidental Release Prevention (Cal-ARP) Program or the Federal Risk Management Plan (RMP). For more information please contact the local Hazmat Compliance Program at (559) 600-3271.

Project Notes	
9.	As a measure to protect ground water, any water wells or septic systems that exist or that have been abandoned within the project area, not intended for future use and/or use by the project, shall be properly destroyed. Contact the Water Surveillance Program at (559) 600-3357 for more information.
10.	If any underground storage tank(s) are found during construction, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.
11.	All structures that will be utilized for indoor processing and storage will require a Change of Occupancy Permit.
12.	A Septic Demolition & Replacement Permit shall be required if existing septic system is replaced.

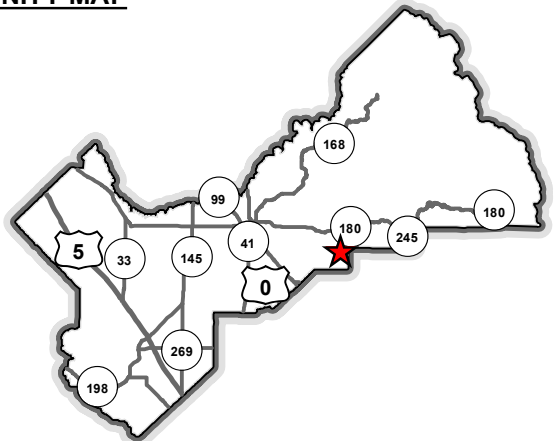
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LOCATION MAP

CUP 3733



VICINITY MAP



Legend


-  Subject Property
-  Orange Cove
-  City Sphere of Influence

EXHIBIT 2

EXHIBIT 3
EXISTING ZONING MAP

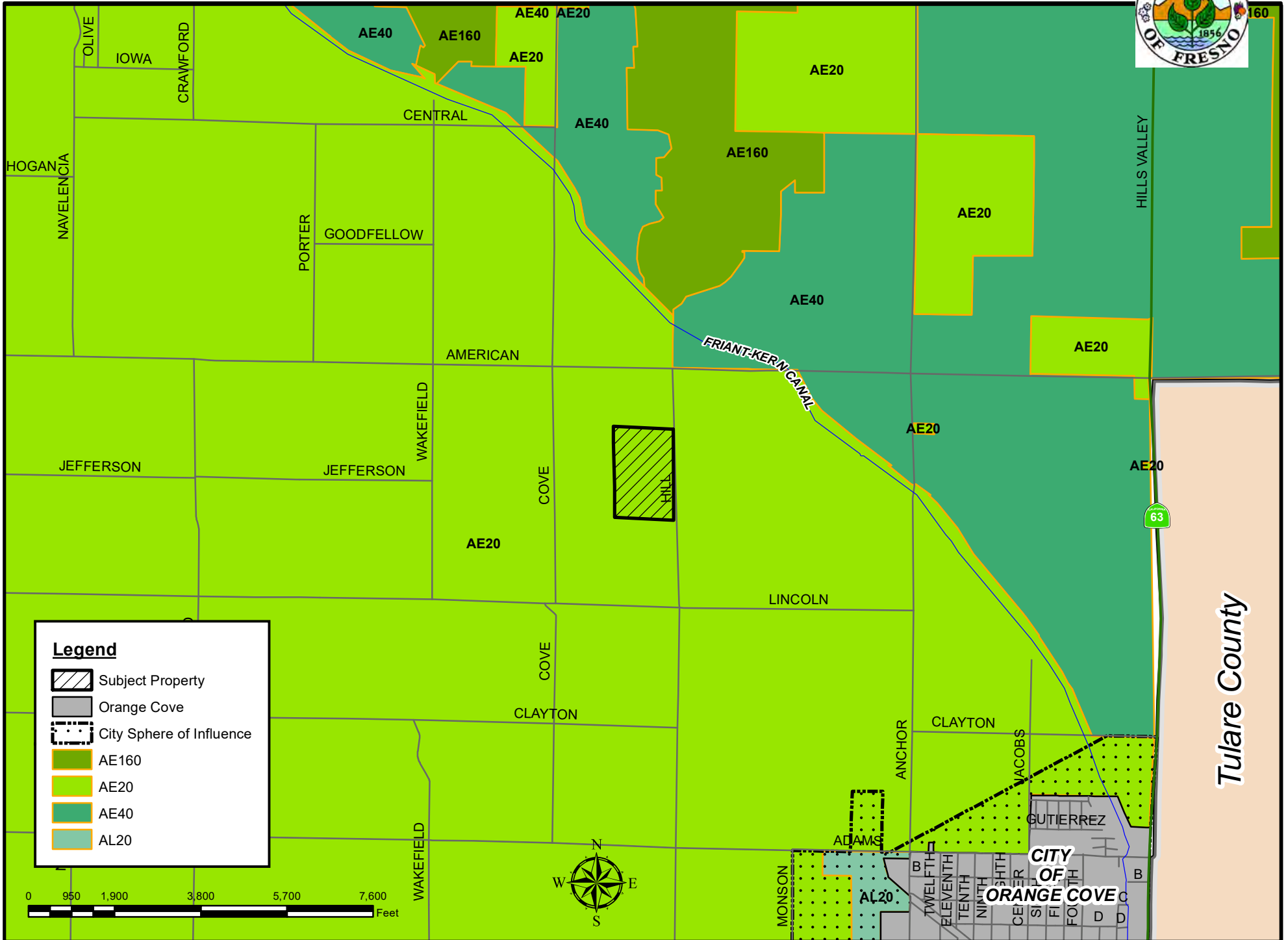
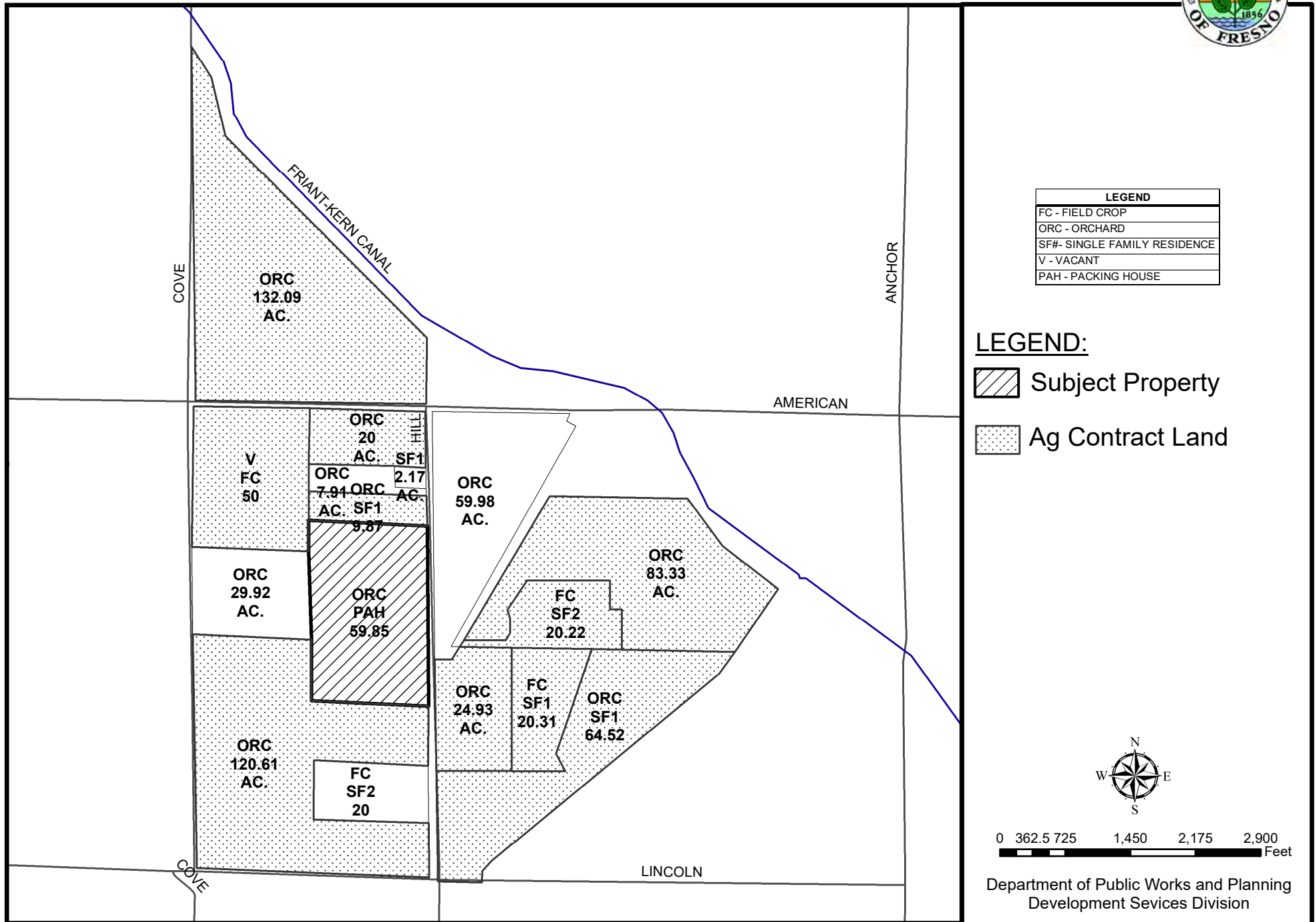


EXHIBIT 3

Tulare County

EXISTING LAND USE MAP

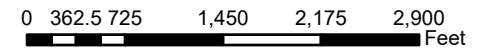
CUP 3733



LEGEND	
FC - FIELD CROP	
ORC - ORCHARD	
SF# - SINGLE FAMILY RESIDENCE	
V - VACANT	
PAH - PACKING HOUSE	

LEGEND:

- Subject Property
- Ag Contract Land



Department of Public Works and Planning
Development Services Division

EXHIBIT 5

APN: 373-032-07

SITE NOTES

- AT THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE INCH VERTICAL IN 20 INCHES HORIZONTAL (5% FOR A MINIMUM DISTANCE OF 10 FEET) TO THE FACE OF THE FOUNDATION OR AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION SHALL BE USED 30" PER FOOT = 3%
- NO WATER SHALL DRAIN TO ADJACENT PROPERTY WITH NO ON-SITE WATER RETENTION.
- ALL GRADINGS SHALL COMPLY WITH SECTION 1804 AND APPENDIX J OF THE 2018 CALIFORNIA BUILDING CODE.
- COMPACTION REPORT SHALL BE PREPARED BY AN APPROVED TESTING AGENCY UPON COMPLETION OF GRADING.
- PROVIDE SOIL COMPACTION FROM AN APPROVED TESTING LAB FOR ALL AREAS WHERE LOOSE FILL IS USED OR WHERE BUILDING FOOTINGS WILL OCCUR.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE SURVEYING IN THE STATE OF CALIFORNIA.
- INSTALL STREET ADDRESS NUMERALS AT LEAST FOUR (4) INCHES HIGH WITH MINIMUM 1/2"-INCH STROKE MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET (CBC 501.2).
- LIGHTING HERE PROVIDED TO ILLUMINATE PARKING AREAS SHALL BE ARRANGED AS SHOWN AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
- SUITABLE TOILET FACILITIES SHALL BE PROVIDED AND MAINTAINED IN A SANITARY CONDITION FOR THE USE OF WORKERS DURING CONSTRUCTION (CBC SECTION 412.7).
- FINISH FLOOR ELEVATION TO BE 6" ABOVE THE CROWN OF THE STREET.
- DRIVEWAYS AND PRIVATE ROADS SHALL HAVE A MAXIMUM SLOPE OF 12%. THE GRADE MAY BE INCREASED TO A MAXIMUM OF 20% FOR PAVED SURFACES.
- IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, GRADING, EXCAVATING OR CONSTRUCTION WORKS SHALL STOP IMMEDIATELY.
- IF THERE ARE SUSPECTED HUMAN REMAINS, THE FRESNO COUNTY CORONER SHALL BE IMMEDIATELY NOTIFIED. THE NATIVE AMERICAN HERITAGE COMMISSION (PH. (561) 373-3110) SHALL BE IMMEDIATELY NOTIFIED. THE CALIFORNIA HISTORICAL SOCIETY (PH. (916) 654-2284) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST FOR THE PROJECT. THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE COUNTY AS TO FURTHER INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
- IF ANIMAL FOSSILS ARE DISCOVERED, THE MUSEUM OF PALEONTOLOGY, UC BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS. A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT AND IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
- TEMPORARY FENCES TO SECURE PROJECTS UNDER CONSTRUCTION ARE ALLOWED. ANY TEMPORARY FENCE SHALL BE ADEQUATELY SECURED AND CONSTRUCTED TO PREVENT OVERTURNING DUE TO WIND, VANDALISM AND OTHER CAUSES. THE GENERAL PUBLIC SHALL BE PROHIBITED FROM ENTERING THE PROJECT IN SUCH A MANNER AS TO MINIMIZE ANY POTENTIAL SAFETY HAZARD WHICH MAY OCCUR AS A RESULT OF IMPROPER FENCE INSTALLATION OR DAMAGE TO THE FENCE.

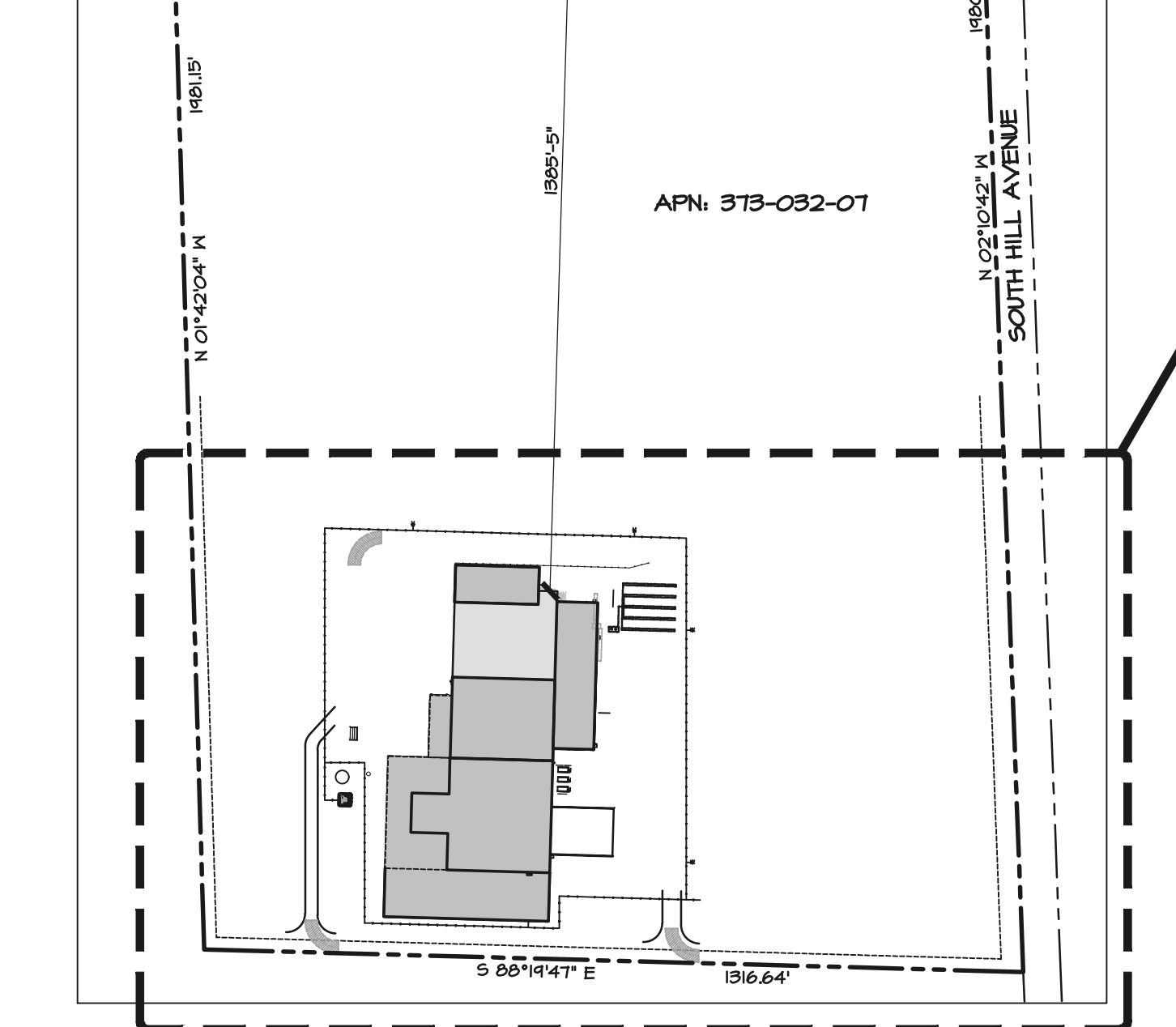
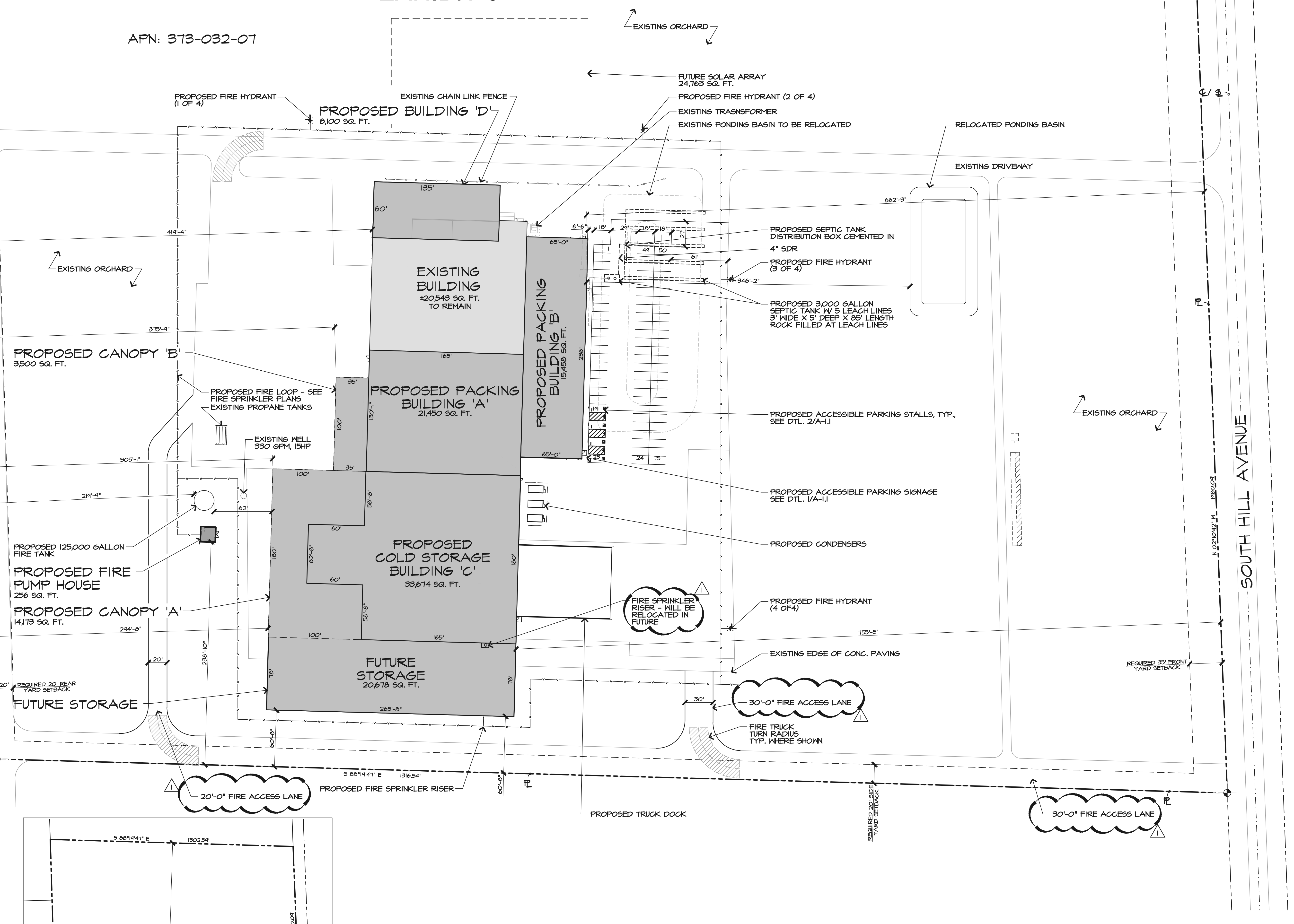
ACCESSIBILITY NOTES

- AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND SIDEWALKS AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE. THEY SHALL SERVE MORE THAN ONE ROUTE IF PROVIDED. ALL ROUTES MUST BE ACCESSIBLE (2018 CBC 11B-206.2).
- AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS, AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE, UNLESS THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS. (2018 CBC 11B-206.2.2)
- ACCESSIBLE ROUTES SHALL CONDUCE WITH OR BE LOCATED IN THE SAME AREA AS GENERAL CIRCULATION PATHS. WHERE CIRCULATION PATHS ARE INTERIOR, REQUIRED ACCESSIBLE ROUTES SHALL ALSO BE INTERIOR. (2018 CBC 11B-206.3)
- DIRECTIONAL SIGNS COMPLYING WITH 2018 CBC SECTION 11B-103.5, INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH 2018 CBC SECTION 11B-103.1.2.1, INDICATING THE ACCESSIBLE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE SHALL BE PROVIDED AT JUNCTIONS WHEN THE ACCESSIBLE ROUTE DEVIATES FROM THE REGULAR CIRCULATION PATH. (2018 CBC SECTION 11B-216.6)
- THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE GROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). WHEN THE SLOPE OF ANY WALKING SURFACE EXCEEDS 1:20 (5%), IT SHALL COMPLY WITH THE PROVISIONS OF 2018 CBC SECTION 11B-405. (2018 CBC SECTION 11B-405.3)
- THE RUNNING SLOPE OF CURB RAMPS SHALL NOT BE STEEPER THAN 1:12 (8.33%). THE RUNNING SLOPE OF BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 1:20 (5%) AND THE GROSS SLOPE OF CURB RAMPS AND BLENDED TRANSITIONS SHALL BE 1:48 (2%) MAX. (2018 CBC SECTION 11B-406.2.1, 11B-406.2.1, 11B-406.4.1) AND 11B-406.5.1.
- THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES, WHERE APPLICABLE, SHALL COMPLY WITH 2018 CBC SECTION 11B-302. FLOOR AND GROUND SURFACES, 11B-405.4 AND 11B-405.10. (2018 CBC SECTION 11B-406.3.4 AND 11B-406.5.3)
- DETECTABLE WARNING AT CURB RAMPS SHALL EXTEND 36 INCHES IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE RAMP RUN, EXCLUDING ANY FLARED SIDES AND BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MIN. AND 8 INCHES MAX. FROM THE LINE AT THE FACE OF THE CURB MARKING THE TRANSITION BETWEEN THE CURB AND GUTTER, STREET OR HIGHWAY. ON PARALLEL CURB RAMPS, DETECTABLE WARNING SHALL BE PLACED ON THE TURNING SPACE AT THE FLUSH TRANSITION BETWEEN STREET AND SIDEWALK. DETECTABLE WARNING SHALL CONSIST OF RAISED TRUNCATED DOMES PER 2018 CBC SECTION 11B-103.1.1 AND PER 11B-103.1.1 AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES. (2018 CBC SECTION 11B-406.5.2, 11B-103.1.3, AND 11B-103.1.2)
- ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO AN ACCESSIBLE ENTRANCE. (2018 CBC SECTION 11B-206.3.1)
- PROVIDE THE APPROPRIATE NUMBER OF ACCESSIBLE PARKING SPACES AS REQUIRED BY 2018 CBC TABLE 11B-206.2.
- ONE IN EVERY SIX ACCESSIBLE PARKING SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 48 INCHES WIDE MINIMUM PLACED ON THE SIDE OPPOSITE THE DRIVERS SIDE WHEN THE VEHICLE IS BOUND FORWARD INTO THE PARKING SPACE AND 48 INCHES WIDE MINIMUM WHEN ACCESSIBLE AS REQUIRED BY 2018 CBC SECTION 11B-302 (2018 CBC SECTION 11B-206.2.4)
- PARKING SPACES AND ACCESS AISLES SHALL BE DESIGNED SO THAT PERSONS USING THEM ARE NOT REQUIRED TO TRAVEL BEHIND PARKING SPACES OTHER THAN TO PASS BEHIND THE PARKING SPACE IN WHICH THEY PARKED. (2018 CBC SECTION 11B-502.1)
- THE MAXIMUM GROSS SLOPE IN ANY DIRECTION OF AN ACCESSIBLE PARKING SPACE OR THE ADJACENT ACCESS AISLE SHALL NOT EXCEED 1:48 (2%). (2018 CBC SECTION 11B-502.4)
- PROVIDE THE FOLLOWING INFORMATION FOR ACCESSIBLE PARKING:
 - EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A RECYCLED SYMBOL IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE LEAD END OF THE PARKING SPACE OR PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE CONSISTING OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. ADDITIONAL LANGUAGE OR AND ADDITIONAL SIGNS SHALL BE PROVIDED TO MINIMIZE THE CHANCE OF MISUSE. THE SYMBOL SHALL BE 20" TO 24" HIGH MIN. ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. SIGNS LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE A MIN. OF 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. (2018 CBC SECTION 11B-502.6)
 - THE SURFACE OF EACH ACCESSIBLE STALL SHALL HAVE A SURFACE IDENTIFICATION COMPLYING WITH EITHER 2018 CBC SECTION 11B-502.6.1 OR 11B-502.6.2 (2018 CBC SECTION 11B-502.6.4)
 - AN APPROVED SIGN TO BE POSTED IN CONSPICUOUS PLACE AT EACH ENTRANCE TO THE OFF-STREET PARKING FACILITY ADJACENT TO THE OFF-STREET ACCESSIBLE PARKING AND VISIBLE FROM THE PARKING SPACE WHICH DISPLAYS THE TOY-AWAY MARKING PER 2018 CBC SECTION 11B-502.2.2. (2018 CBC SECTION 502.8)
- THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH HIGH MAX. BETWEEN 1/4 INCH HIGH MIN. AND 1/2 INCH HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 (50%). CHANGE IN LEVEL GREATER THAN 1/2 INCH HIGH SHALL BE BEVELED AND SHALL COMPLY WITH 2018 CBC SECTION 11B-405 OR 11B-406. (2018 CBC SECTION 11B-404.2.3 AND 11B-303)
- A MINIMUM NUMBER OF ACCESSIBLE PARKING SPACES ARE REQUIRED FOR THE PROPOSED PROJECT PER STATE OF CALIFORNIA BUILDING CODE. DEVELOPER REQUIREMENTS FOR HIGHLY ADAPTED ACCESSIBILITY.

FIRE NOTES:

- AN APPROVED KNEX BOX SHALL BE INSTALLED IN AN APPROVED LOCATION AT A HEIGHT OF APPROXIMATELY 5 FEET ABOVE GRADE NEAR THE MAIN ENTRANCE TO THE BUILDING. OBTAIN AN ORDER FORM FROM FRESNO COUNTY FIRE PROTECTION DISTRICT THE KEY BOX SHALL CONTAIN LABELED KEYS TO GATE ACCESS TO PORTIONS OF THE BUILDING OR SPECIFIC PORTIONS OF THE BUILDING AS REQUIRED BY THE FIRE CODE OFFICIAL. THE OPERATOR OF THE BUILDING SHALL IMMEDIATELY NOTIFY THE FIRE CODE OFFICIAL AND PROVIDE A NEW KEY WHEN A LOCK IS CHANGED OR REKEYED. THE KEY TO SUCH LOCK BE SECURED IN THE KEY BOX BY THE FIRE CODE OFFICIAL. (CBC 504)
- THE FIRE ALARM PLANS WILL BE A SEPARATE SUBMITTAL.
- THE FIRE UNDERGROUND WATER SUPPLY SYSTEM PLANS WILL BE A SEPARATE SUBMITTAL.
- PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED SO THAT THE TOP IS NOT MORE THAN 5 FEET ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF THE PORTABLE FIRE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES.
- PORTABLE FIRE EXTINGUISHERS SHALL BE CURRENTLY SERVICED AND HAVE A CALIFORNIA STATE FIRE MARSHAL SERVICE TAG AFFIXED TO THEM.
- PROVIDE A FLOW TEST ON THE EXISTING HYDRANT ADJACENT THE PROPOSED BUILDING ADDITION.
- LAYOUT AND DETAILS OF THE FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED TO AND APPROVED BY THE FIRE PREVENTION BUREAU PRIOR TO SUBMITTING TO THE COUNTY OF FRESNO FOR PERMIT AND INSTALLATION. ONE SET OF APPROVED PLANS SHALL BE MAINTAINED ON THE JOB SITE AND ONE SET RETAINED BY THE COUNTY OF FRESNO. THE SPRINKLER SYSTEM SHALL BE INSTALLED BY LICENSED SPRINKLER CONTRACTOR AND INSPECTED AND APPROVED BY THE FIRE PREVENTION BUREAU PRIOR TO ISSUANCE OF OCCUPANCY PERMIT. THIS PROJECT HAS BEEN DESIGNED WITH A UNIFORM LOAD OF 5.0 POUNDS/S.F. TO SUPPORT THE FIRE SPRINKLER SYSTEM. ADDITIONALLY, I HAVE DESIGNED THE MAIN SUPPORT MEMBERS (PURLINS, FRAMES, JOIST, ETC.) TO SUPPORT CONCENTRATED LOADS OF LARGER SPRINKLER LINES.

- ALL SURFACE ACCESS ROADS SHALL BE INSTALLED AND MAINTAINED IN A SERVICEABLE CONDITION PRIOR TO AND DURING ALL PHASES OF CONSTRUCTION.
- ALL FIRE APPARATUS ACCESS LANES SHALL MAINTAIN A MINIMUM OF 13 FEET, 6 INCH VERTICAL CLEARANCE OVER THE ENTIRE WIDTH OF THE ACCESS.
- EACH HIGH-PRESSURE HYDRANT SHALL BE PAINTED PANTONE 288C BLUE PRIOR TO FINAL.
- EACH SECTIONAL CONTROL VALVE SHALL BE PAINTED PANTONE 288C BLUE PRIOR TO FINAL.
- WATER TANKS FOR PRIVATE FIRE PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH 2018 EDITION OF NFPA 22.
- COMPLETED NFPA 24 CONTRACTORS MATERIAL AND TEST CERTIFICATE TO BE PROVIDED TO OCCPPD AT FINAL.
- TRACER WIRE SHALL BE INSTALLED FOR ALL UNDERGROUND PERMITS ISSUED BY OCCPPD (PRIOR TO FINAL) AND SHALL BE AS FOLLOWS:
 - ALL TRACER WIRE SHALL BE SOLID COPPER WIRE, TYPE TB BLUE IN COLOR, MINIMUM #14 AWG, COATED IN HIGH DENSITY POLYETHYLENE (HDPE) OR HIGH MOLECULAR WEIGHT POLYETHYLENE (HMWPE), AND SHALL BE PLACED ON OR DIRECTLY ADJACENT TO THE WATER MAIN.
 - TRACER TAPE IS NOT ALLOWED, AND ALL WIRE-TO-WIRE CONNECTIONS SHALL BE PROTECTED TO PROVIDE CONTINUITY AND TAPED TO PREVENT ENTRY OF MOISTURE. ALL TRACER WIRE SHALL BE SECURELY ATTACHED TO EACH MAIN AND EACH FIRE HYDRANT IN ACCORDANCE WITH THE CGC 4 GFC.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE CORRECT WIRE FOR THE APPLICATION (I.E., OPEN TRENCH OR DITCH WITH DIRECT BURY, PIPE BURSTING OR DIRECTIONAL BORING).
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM A LOCATE AND/OR CONDUCTIVITY TEST TO VERIFY THE WIRE PERFORMS PER PROJECT SPECIFICATIONS AND THE CGC 4 GFC. OCCPPD DOES NOT PERFORM THIS TESTING.
- ALL TYPES OF ACCESS SHALL NOT EXCEED A 10 PERCENT GRADE OR CONTAIN ANY IRREGULARITY CREATING AN ANGLE OF APPROACH OR DEPARTURE IN EXCESS OF 10 PERCENT.
- OVERHEAD UTILITY, POWER LINES, LARGE TREES AND OTHER OBSTRUCTIONS SHALL NOT BE LOCATED OVER THE AERIAL FIRE APPARATUS ACCESS ROAD OR BETWEEN THE AERIAL FIRE APPARATUS ROAD AND THE BUILDING.
- NO NEW FENCING OR GATES WILL BE INSTALLED ACROSS ANY FIRE APPARATUS ACCESS LANES.



SEE SHEET A-1 FOR PARTIAL SITE PLAN

- LEGEND:**
- PROPOSED
 - EXISTING
- RELOCATED PARKING PROVIDED:**
- STANDARD: 71 STALLS
 - HANDICAPPED: 4 STALLS
 - TOTAL: 75 STALLS

OVERALL SITE PLAN
SCALE: N.T.S.

VICINITY MAP:



MASTER SITE DEVELOPMENT PLAN

CONTRACTOR:
DBKO
8839 NORTH CEDAR #374
FRESNO, CA 93720
(559) 930-0800

DESIGNER:
GMA
GERALD MELE & ASSOCIATES, INC.
7337 N FIRST ST, SUITE 110
FRESNO, CA 93720
559-435-1411

ENGINEERS - ARCHITECTS

DATE: 07/25/22
SCALE: AS SHOWN
JOB NUMBER: 2021.070
SCALE: 1" = 50'-0"
DRAWN BY: S. ODOM
DATE: 04/06/2022
SHEET NUMBER: A-1

REGISTERED PROFESSIONAL ENGINEER
No. 2663
Exp. 12/31/22
STATE OF CALIFORNIA

04/22/22

MASTER SITE DEVELOPMENT PLAN

LEE FARMING
5555 SOUTH HILL AVENUE
ORANGE COVE, CA 93646

EXHIBIT 5

CONTRACTOR:
DBKO
8839 NORTH CEDAR #374
FRESNO, CA 93720
(559) 930-0800

DESIGNER:
GMA
GERALD MELE & ASSOCIATES, INC.
7337 N FIRST ST, SUITE 110
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Exp. 12/31/22
STATE OF CALIFORNIA

04/22/22

NO.	DATE	REVISION

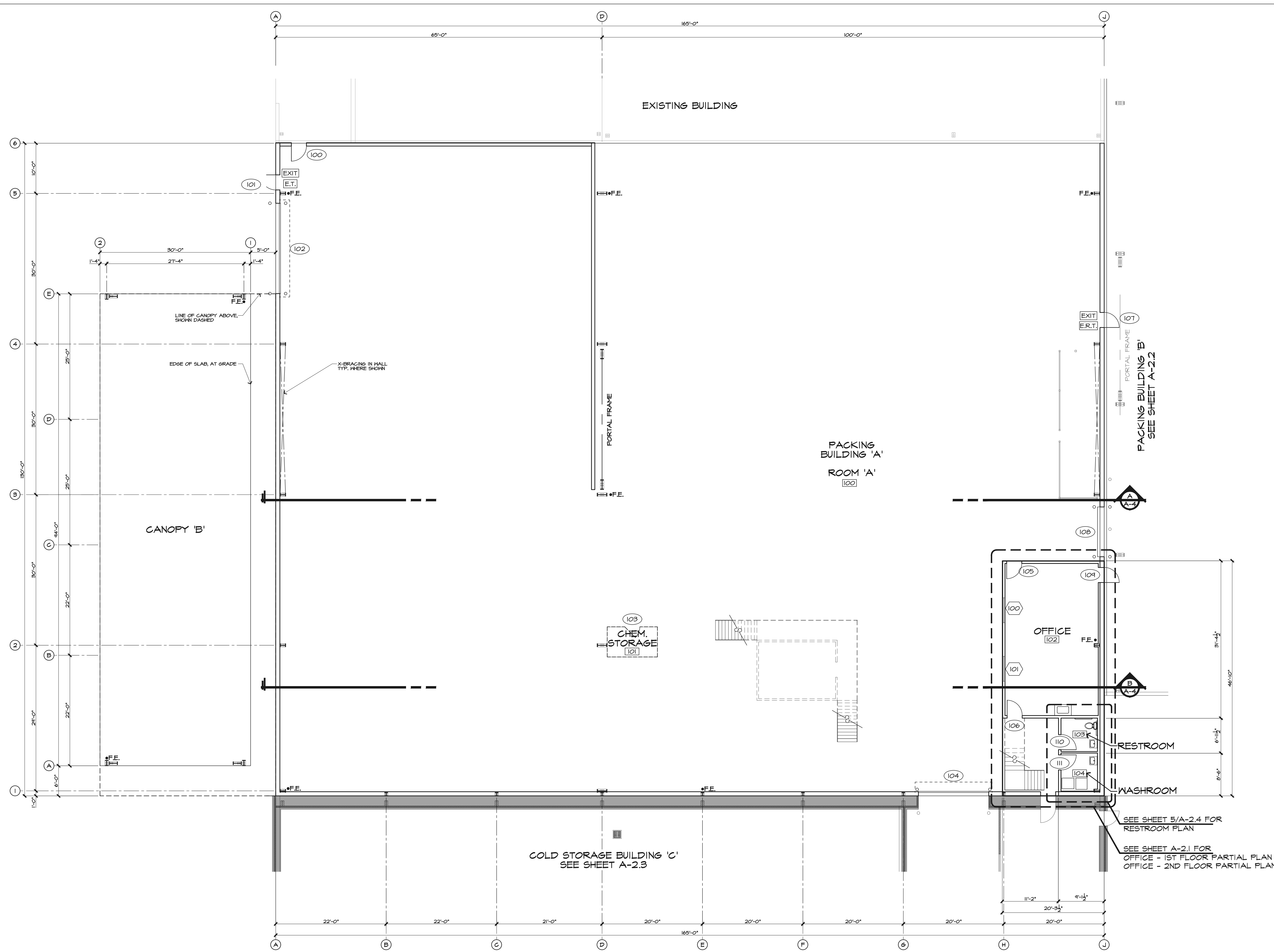
ANY INFORMATION OR DATA ON THIS DRAWING IS NOT INTENDED TO BE RELIABLE FOR RELIANCE BY ANY PERSON, FIRM, CORPORATION, OR ANY OTHERS ON EXTENSIONS OF THIS PROJECT OR FOR ANY OTHER PROJECTS. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADAPTATIONS FOR THE SPECIFIC PURPOSES INTENDED. THE USER SHALL BE RESPONSIBLE FOR ASSUMING ALL RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE ENGINEER.

JOB NUMBER: 2021.070
 SCALE: 1/8" = 1'-0"
 DRAWN BY: M. NERI
 DATE: 12/20/2021

SHEET NUMBER: **A-2.1**

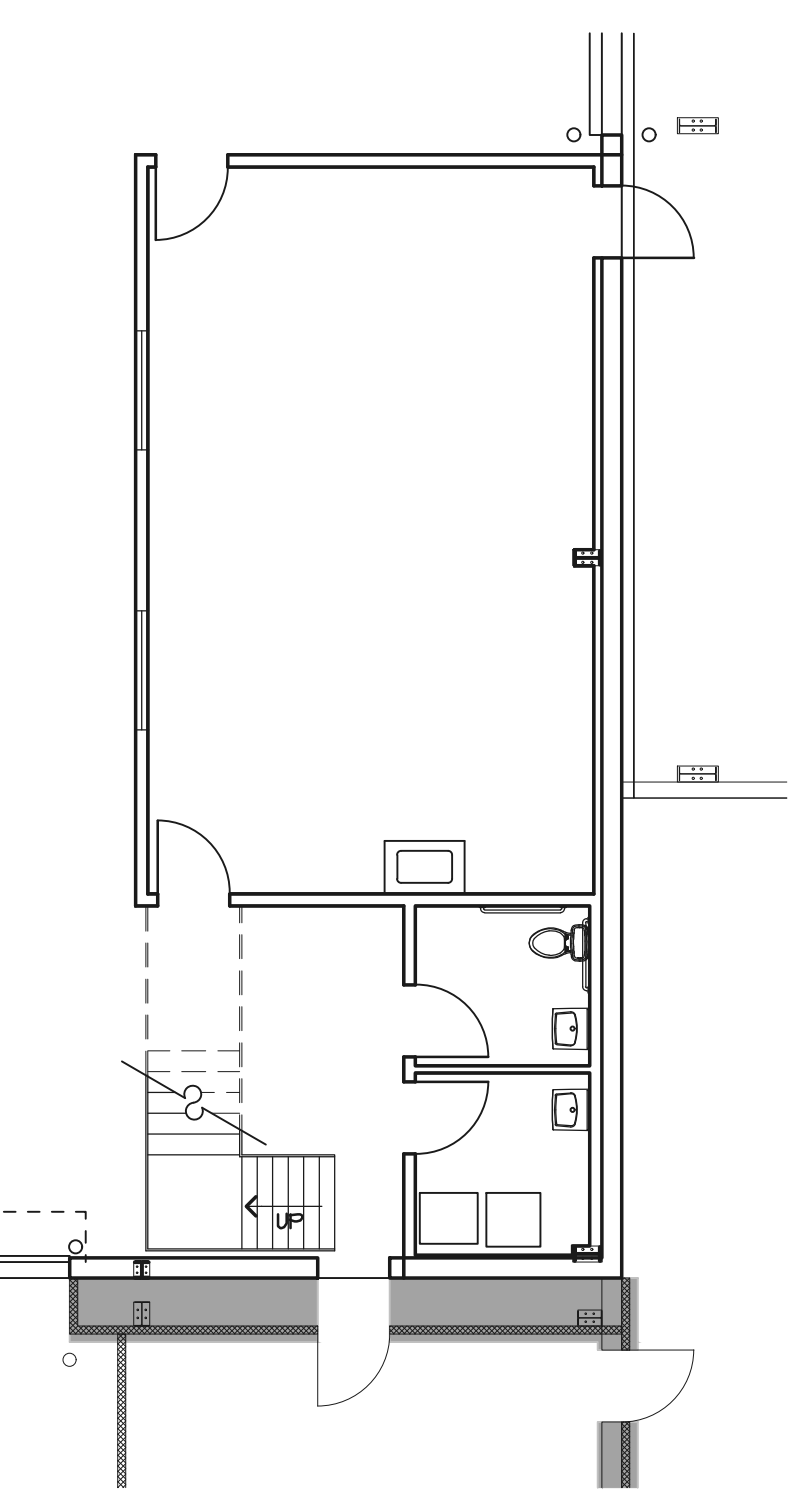
PACKING BUILDING 'A' AND CANOPY 'B' PARTIAL FLOOR PLAN

LEE FARMING
 5555 SOUTH HILL AVENUE
 ORANGE COVE, CA 93646

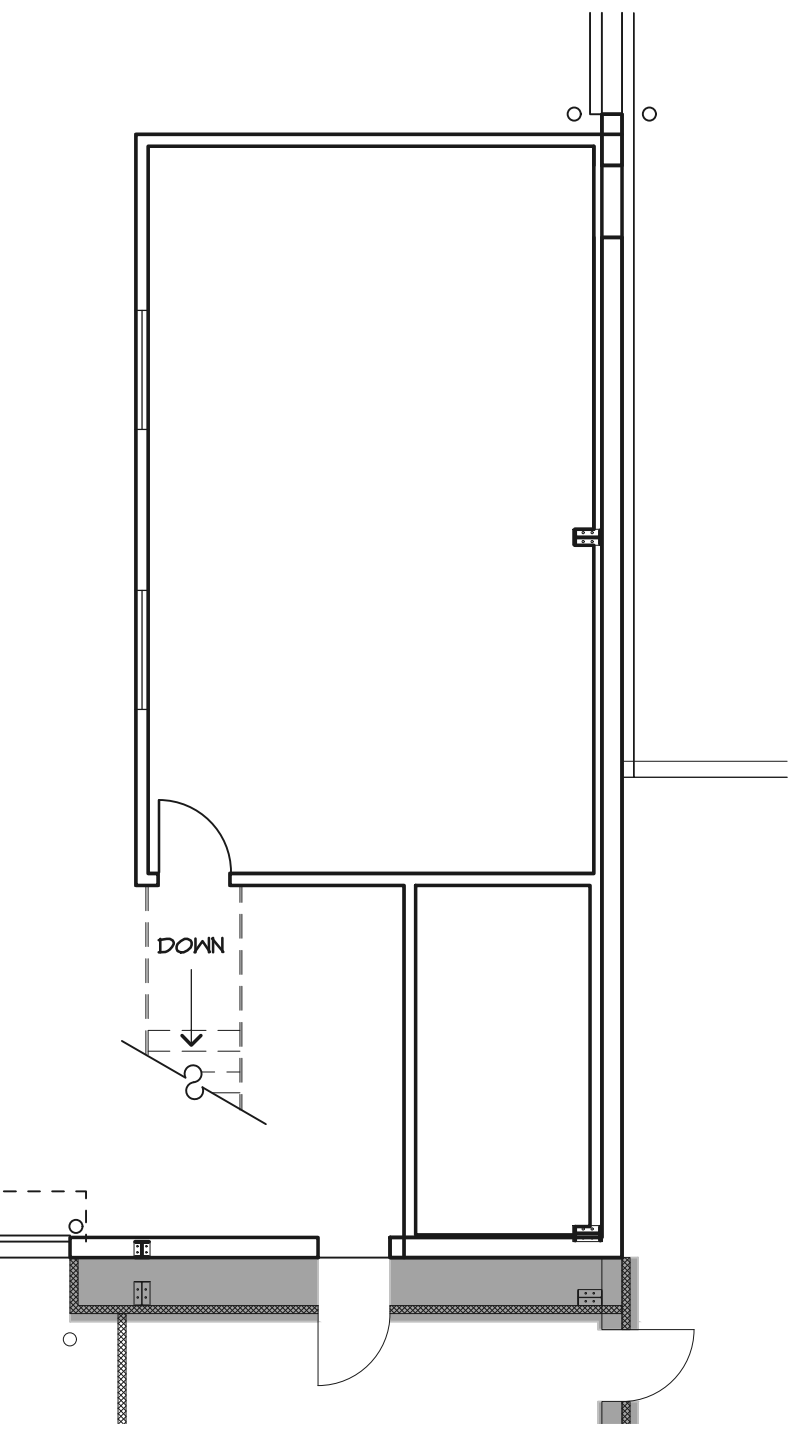


- LEGEND :**
- GIRTS - BY OTHERS
 - INSULATED METAL PANEL - BY M.B.M.
 - CHEMICAL STORAGE CAGE
 - F.E. — PORTABLE FIRE EXTINGUISHERS PER NFPA-10, 2A, 10B, C - SEE GEN. FLOOR PLAN NOTE 14/A-2
 - F.D. — INDICATES FLOOR DRAIN - SEE PLUMBING PLAN
 - ⊙ — INDICATES EXHAUST FAN - MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
 - P.E. — INDICATES PRIMARY ENTRANCE
 - (XXX) — DOOR MARK - SEE SCHEDULE ON SHEET A-5
 - XXX — ROOM FINISH MARK - SEE SCHEDULE ON SHEET A-5
 - (XXX) — WINDOW MARK - SEE SCHEDULE ON SHEET A-5
 - EXIT — INDICATES ILLUMINATED EXIT SIGN - SEE GENERAL FLOOR PLAN NOTE 28/A-2
 - E.T. — INDICATES TACTILE EXIT SIGN - SEE DETAIL 2/A-10
 - E.R.T. — INDICATES TACTILE EXIT ROUTE SIGN - SEE DETAIL 2/A-10

EXHIBIT 5 Page 2



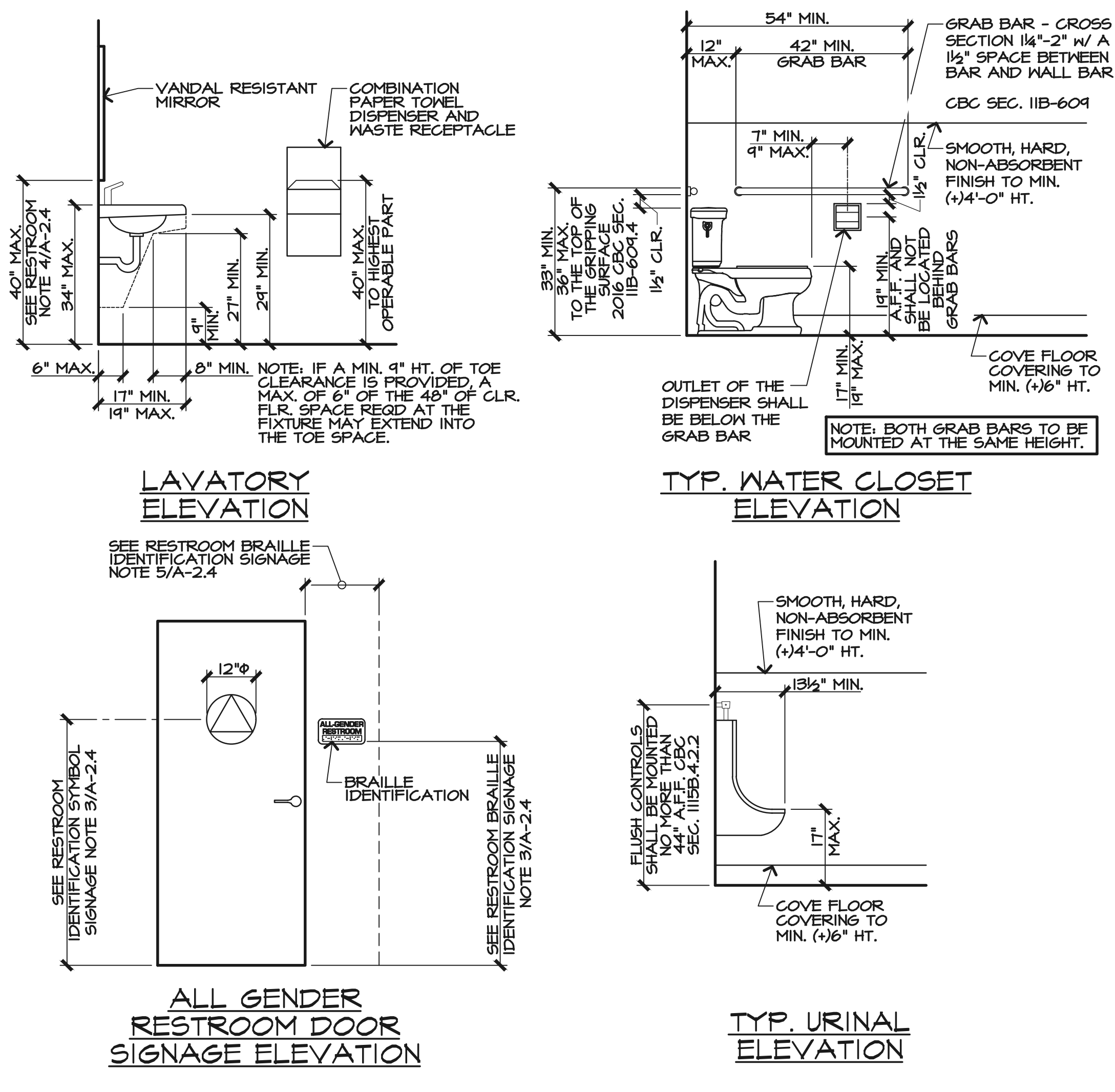
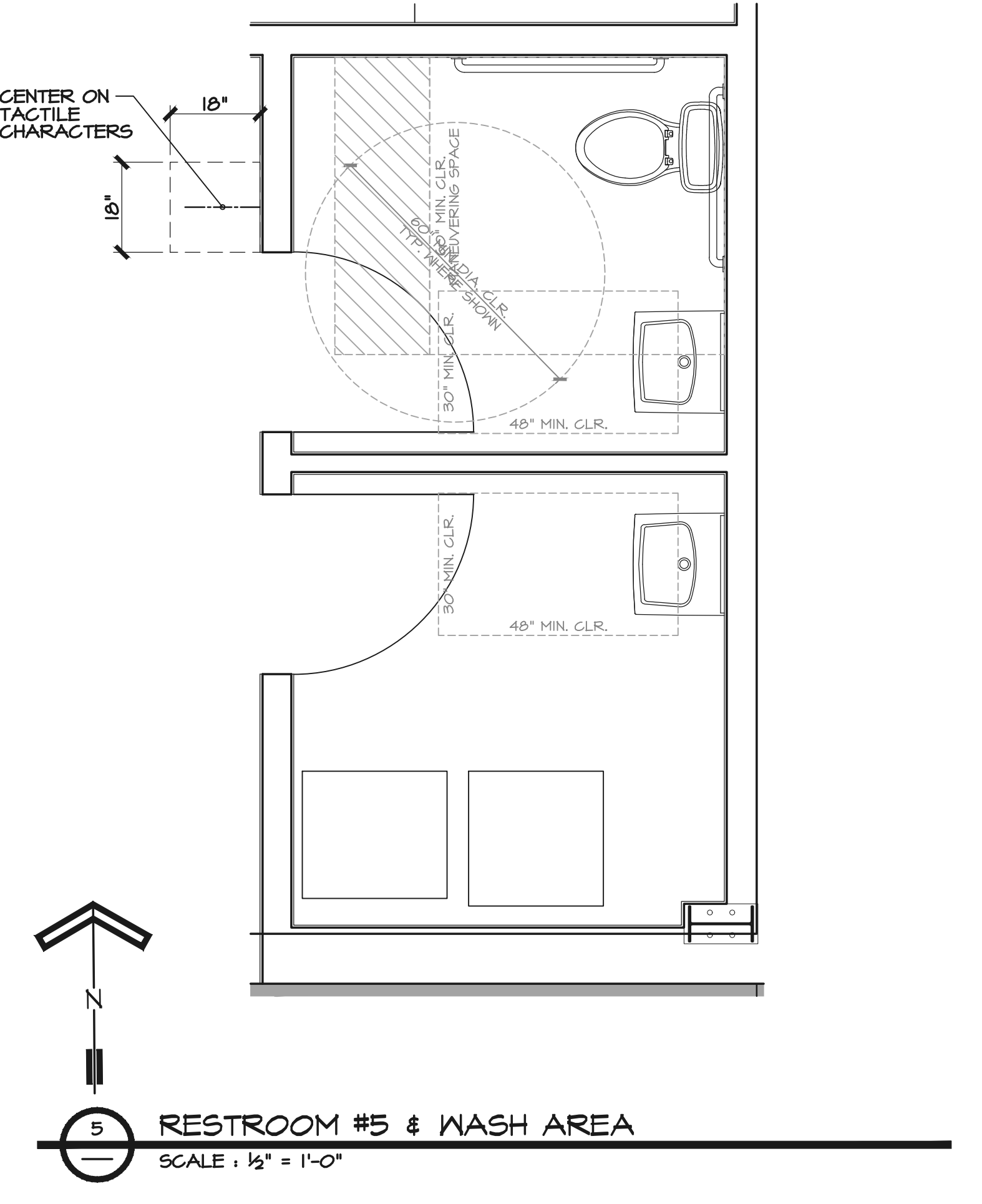
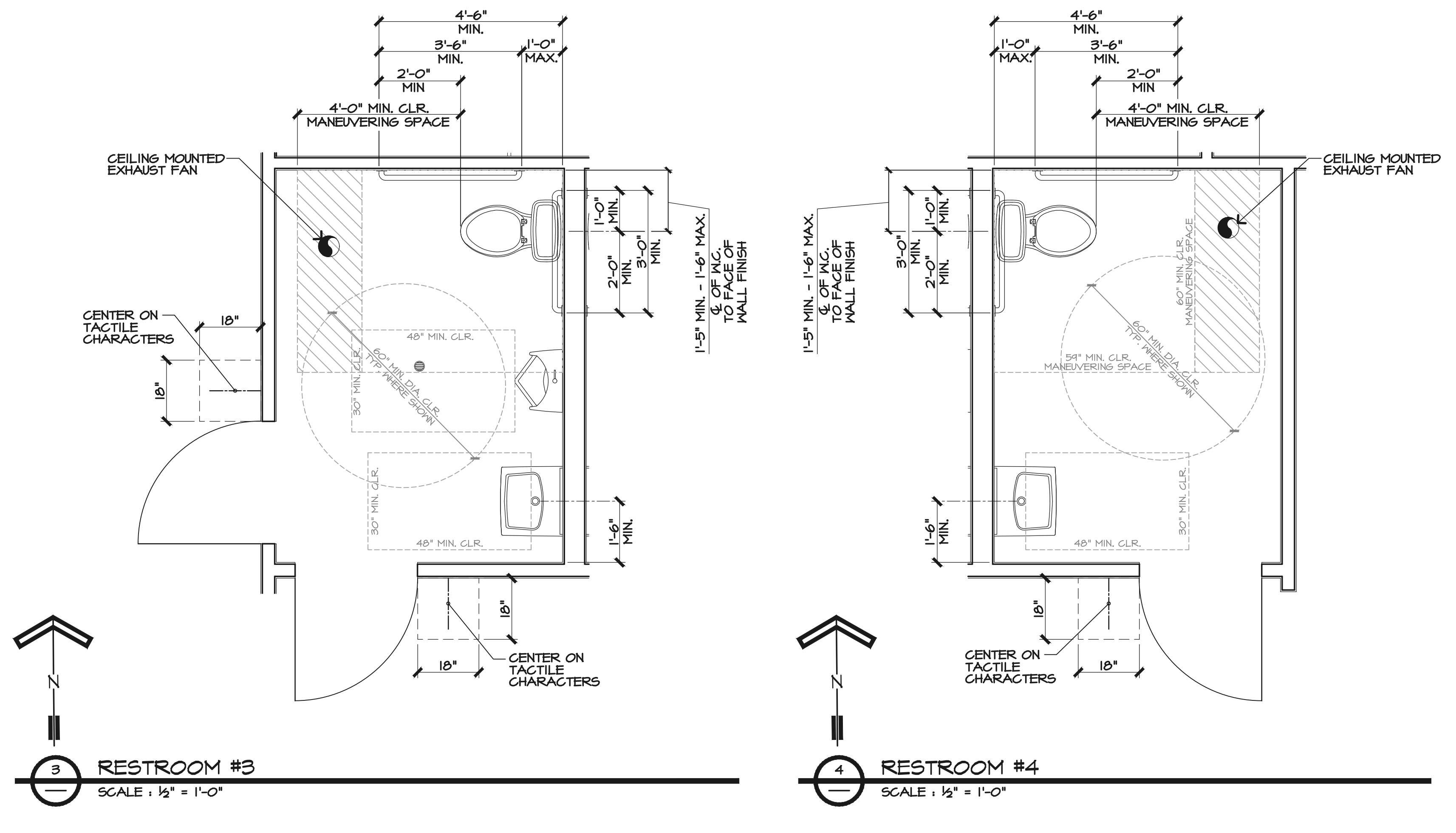
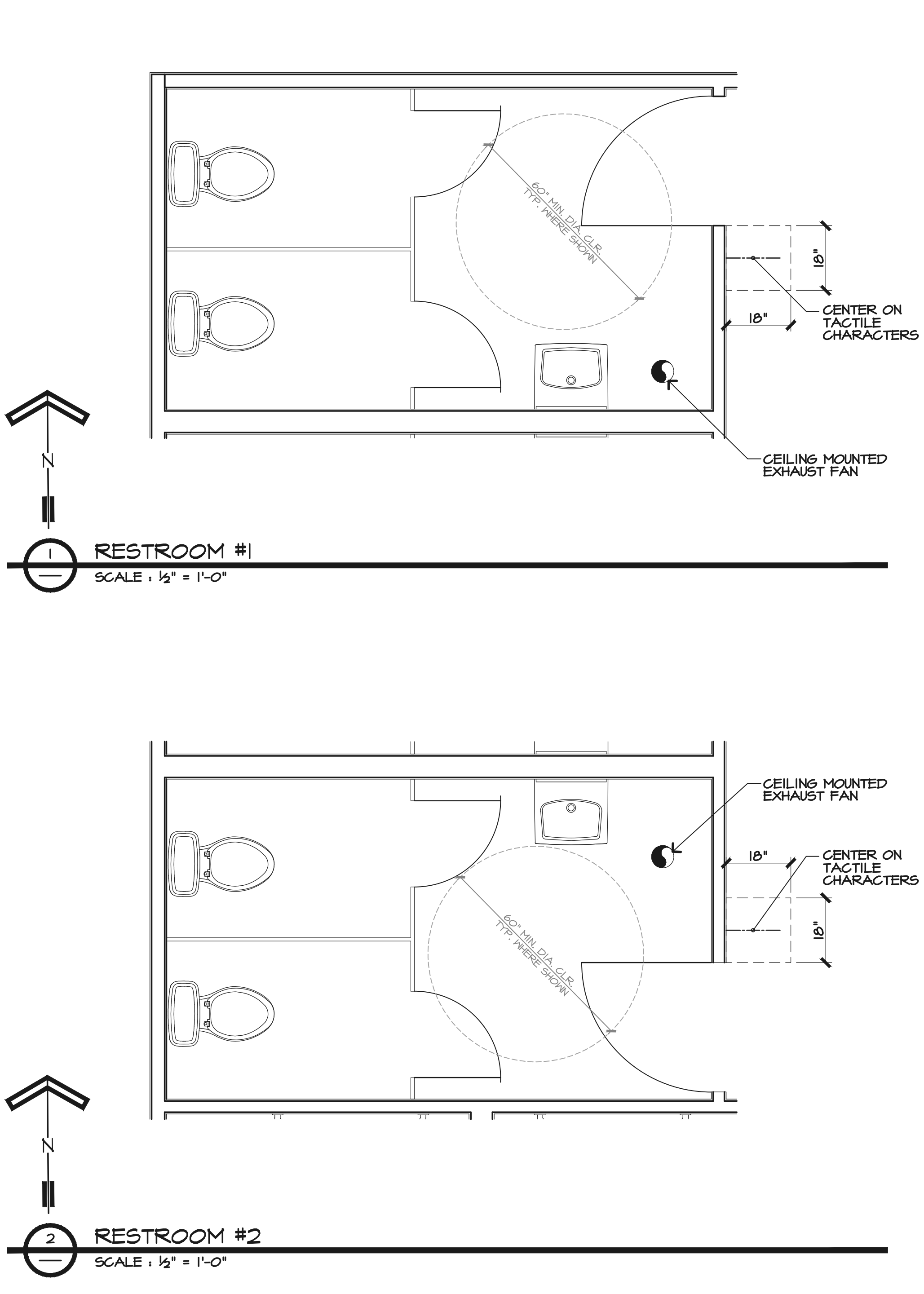
PACKING BLDG. 'A' OFFICE - 1ST FLOOR PARTIAL PLAN



PACKING BLDG. 'A' OFFICE - 2ND FLOOR PARTIAL PLAN

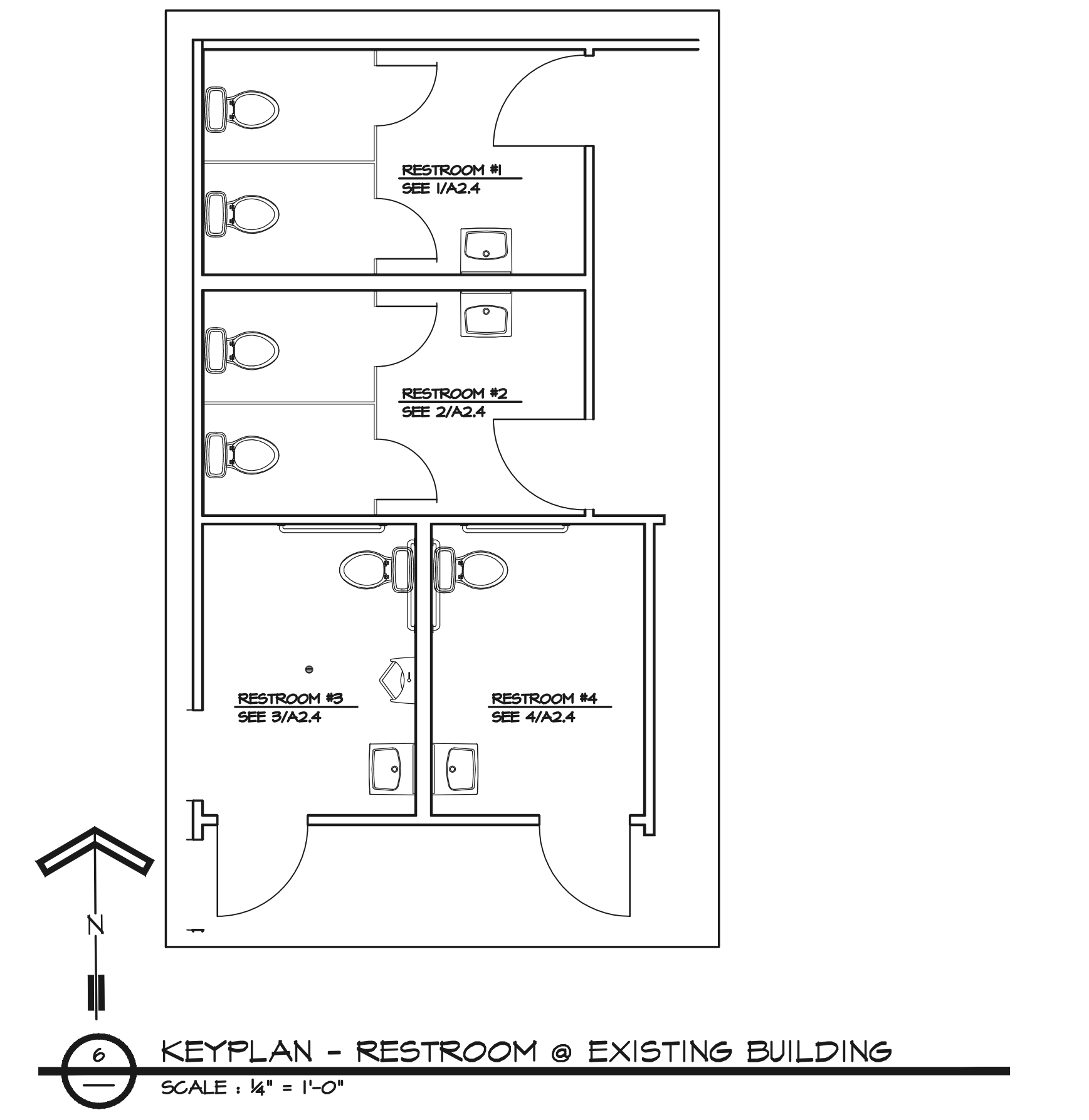
PACKING BUILDING 'A' AND CANOPY 'B' PARTIAL FLOOR PLAN

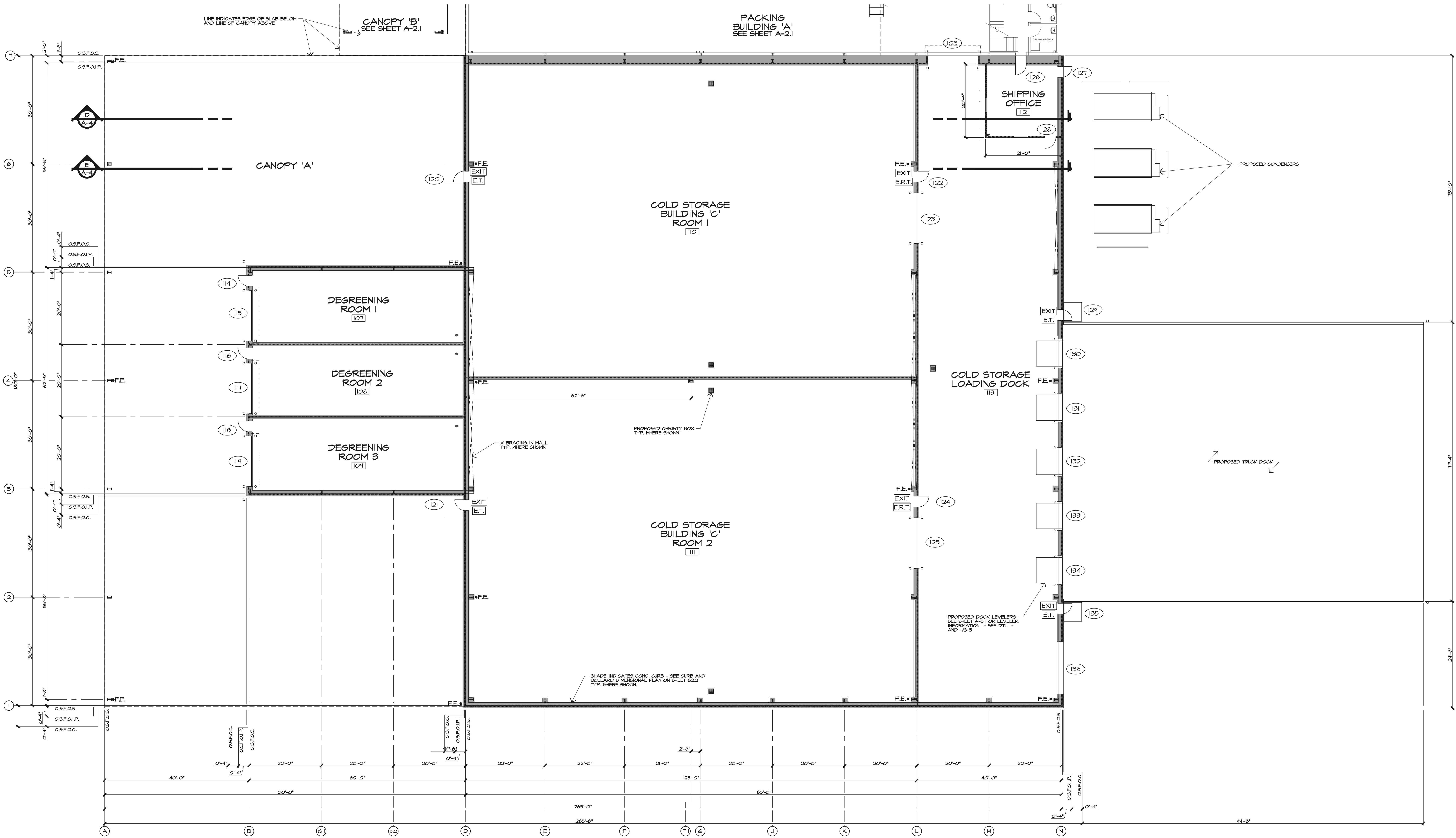
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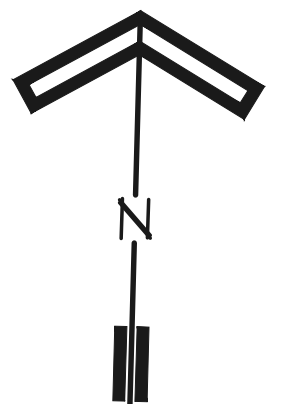
- RESTROOM BRAILLE IDENTIFICATION SIGNAGE NOTES:**
- RAISED LETTER CHARACTERISTICS:
 - 5/8" MIN. TO 2" MAX HEIGHT BASED ON THE UPPERCASE "I"
 - RAISED 1/32" MIN. ABOVE BACKGROUND
 - SANS SERIF, UPPERCASE
 - THE WIDTH OF UPPERCASE LETTER "O" IS 60% MIN. AND 110% MAX. OF THE HEIGHT OF THE UPPERCASE LETTER "I".
 - STROKE THICKNESS OF THE UPPERCASE LETTER "I" SHALL BE 15% MAX. OF THE HEIGHT OF THE CHARACTER.
 - NON-GLARE (ADAAG 4.30.4); LIGHT-ON-DARK OR DARK-ON-LIGHT.
 - BRAILLE, DOMED OR ROUNDED GRADE 2, DOTS = 1/10" ON CENTER IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS, RAISED 1/40".
 - PROVIDE APPROVED BRAILLE SIGNAGE ON STRIKE SIDE OF TOILET ROOM DOORS LOCATED 48" MINIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60" MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS.
 - OBSTACLES: MOUNTING LOCATION SHALL BE SUCH THAT A PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.
 - WHERE TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18 INCHES (457mm) MINIMUM BY 18 INCHES (457mm) MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.
- RESTROOM IDENTIFICATION SYMBOL SIGNAGE NOTES:**
- MEN'S DOOR IS TO HAVE A 12" PER SIDE TRIANGLE 1/4" THICK MOUNTED AT 58" MIN. TO 60" MAX. TO THE CENTERLINE OF THE SYMBOL AND WITHIN 1" OF THE VERTICAL CENTERLINE OF THE DOOR WITH THE INTERNATIONAL SYMBOL AS SHOWN IN THE TYP. RESTROOM DOOR SIGNAGE ELEVATIONS. (CBC 2019 IIB-103.1.2.6 & IIB-103.1.2.6.1)
 - WOMEN'S DOOR IS TO HAVE A 12" DIAMETER CIRCLE 1/4" THICK MOUNTED AT 58" MIN. TO 60" MAX. TO THE CENTERLINE OF THE SYMBOL AND WITHIN 1" OF THE VERTICAL CENTERLINE OF THE DOOR WITH THE INTERNATIONAL SYMBOL AS SHOWN IN THE TYP. RESTROOM DOOR SIGNAGE ELEVATIONS. (CBC 2019 IIB-103.1.2.6 & IIB-103.1.2.6.2)
 - ALL GENDER DOOR IS TO HAVE A 1/4" THICK CIRCLE, 12" IN DIAMETER WITH 1/4" THICK TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER, MOUNTED AT 58" MIN. TO 60" MAX. TO THE CENTERLINE OF THE SYMBOL AND WITHIN 1" OF THE VERTICAL CENTERLINE OF THE DOOR. THE COLOR OF THE TRIANGLE MUST CONTRAST WITH THAT OF THE CIRCLE ON WHICH IT IS SUPERIMPOSED. (CBC 2019 IIB-103.1.2.6 & IIB-103.1.2.6.3)
 - EDGES OF SIGNS SHALL BE ROUNDED, CHAMFERED, OR EASED TO MINIMUM RADIUS OF 1/4" (CBC 2019 IIB-103.1.2.6.4)
 - CONTRAST: COLOR DIFFERENT FROM DOOR.

- RESTROOM NOTES:**
- INSULATE HOT AND COLD WATER PIPE AND DRAIN PIPE WITH INSULATION WRAP, TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS. (CBC 2019 IIB-606.5)
 - ALL TOILET ROOM ACCESSORIES SHALL BE MOUNTED PER CBC 2019 SEC. IIB-603.5.
 - A ROOM THAT HAS NOT MORE THAN ONE OF EACH TYPE OF SANITARY FIXTURE, IS INTENDED FOR USE BY ONLY ONE PERSON AT A TIME. PUBLIC WATER CLOSETS SHALL HAVE ELONGATED BOWLS AND OPEN FRONT SEATS.
 - PROVIDE RESTROOM ACCESSORIES PER TITLE 24 REQUIREMENTS. MOUNT AT (4) 40" MAX. TO OPERATING PARTS OF DISPENSER, MOUNT MIRROR W/ BOTTOM EDGE OF THE REFLECTED SURFACE NO MORE THAN (4) 40" FROM F.F. (CBC 2019 IIB-603.8)
 - THE MOTOR FOR THE EXHAUST FAN IN RESTROOM MUST BE RATED FOR CONTINUOUS USE.
 - FLOOR COVERING TO BE COVERED 6" MIN. UP WALL.
 - DISABLED WATER CLOSET FLUSH-METER VALVE HANDLES SHALL BE MOUNTED ON THE WIDE SIDE.
 - RESTROOM WALLS AND PARTITIONS FINISH TO BE A SMOOTH, HARD NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 4'-0" WITHIN 2'-0" OF THE FRONT AND SIDES OF SERVICE SINKS, WATER CLOSETS AND URINALS, AND EXCEPT FOR STRUCTURAL ELEMENTS, THE MATERIAL USED IN SUCH WALLS SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE. (CBC 2019 SEC. I210.2.2)
 - HANDICAP URINAL MOUNTED AT (4) 17" MAX. TO LIP. (CBC 2019 SEC. IIB-605.2)
 - ACCESSORIES PROVIDED ON OR WITHIN RESTROOM WALLS SHALL BE INSTALLED AND SEALED TO PROTECT THE STRUCTURAL ELEMENTS FROM MOISTURE. (2019 CBC I210.2)
 - AT THE URINAL, AN ADDITIONAL 6" SHALL BE PROVIDED AT THE CLEAR FLOOR SPACE AT THE URINAL. THE PARTITION EXTENDS 24" OR MORE FROM THE WALL PER (CBC 2019 SECTION IIB-305.1.1) AND FIGURE IIB-305.1.1)
 - AT MULTIPLE TOILET COMPARTMENTS, THE DOOR TO THE ACCESSIBLE WATER COMPARTMENT SHALL BE EQUIPPED WITH AN AUTOMATIC CLOSING DEVICE. A DOOR PULL AT 34" MIN. TO 44" MAX. ABOVE FINISH FLOOR OR GROUND SHALL BE PLACED ON BOTH SIDES OF THE DOOR NEAR THE LATCH. (CBC 2019 SEC. IIB-604.8.1.2)
 - FLUSH CONTROLS TO BE MOUNTED AT (4) 44" MAX. ABOVE FINISH FLOOR.
 - TOILET, BATHING AND SHOWER ROOM FLOORS SHALL HAVE A STABLE, FIRM, SLIP RESISTANT SURFACE IN COMPLIANCE WITH (2019 CBC SECTION IIB-302)
 - SLOPE(S) AT RESTROOM FLOOR(S) SHALL MAINTAIN ACCESSIBILITY MANEUVERABILITY BY NOT EXCEED 2% WHERE SLOPED TO ACCOMMODATE FLOOR DRAINS(S).
 - BOTH GRAB BARS ARE TO BE MOUNTED AT THE SAME HEIGHT.
 - HOT AND COLD WATER SUPPLY AND DRAIN PIPES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. (2019 CBC SECTION IIB-606.5)
 - LAVATORIES THAT ARE DESIGNATED TO BE ACCESSIBLE SHALL BE A MINIMUM OF 18 INCHES IN HORIZONTAL AND MOUNTED WITH THE RIM OR COUNTER EDGE NO HIGHER THAN 34 INCHES ABOVE THE FINISHED FLOOR AND WITH VERTICAL CLEARANCE MEASURED FROM THE BOTTOM OF THE APRON OR THE OUTSIDE BOTTOM EDGE OF THE LAVATORY OF 24 INCHES REDUCING TO 21 INCHES AT A POINT LOCATED 8 INCHES BACK FROM THE FRONT EDGE. TOE CLEARANCE SHALL EXTEND 14" MAX. UNDER LAVS REQUIRED TO BE ACCESSIBLE (CBC IIB-306.2.2)
 - TOILET TISSUE DISPENSER SHALL ALLOW FOR CONTINUOUS PAPER FLOW.





- LEGEND :**
- GIRTS - BY OTHERS
 - INSULATED METAL PANEL - BY M.B.M.
 - CHEMICAL STORAGE CAGE
 - F.E. PORTABLE FIRE EXTINGUISHERS PER NFPA-10, 2A/10B-G - SEE GEN. FLOOR PLAN NOTE 14/A-2
 - F.D. INDICATES FLOOR DRAIN - SEE PLUMBING PLAN
 - ⊙ INDICATES EXHAUST FAN - MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 5 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
 - P.E. INDICATES PRIMARY ENTRANCE
 - XXX DOOR MARK - SEE SCHEDULE ON SHEET A-5
 - XXX ROOM FINISH MARK - SEE SCHEDULE ON SHEET A-5
 - XXX WINDOW MARK - SEE SCHEDULE ON SHEET A-5
 - EXIT INDICATES ILLUMINATED EXIT SIGN - SEE GENERAL FLOOR PLAN NOTE 28/A-2
 - E.T. INDICATES TACTILE EXIT SIGN - SEE DETAIL 2/A-10
 - E.R.T. INDICATES TACTILE EXIT ROUTE SIGN - SEE DETAIL 2/A-10



**COLD STORAGE BUILDING 'C'
AND CANOPY 'A'
PARTIAL FLOOR PLAN**

CONTRACTOR:
DBKO
8839 NORTH CEDAR #374
FRESNO, CA 93720
(559) 930-DBKO

DESIGNER:
GMA
GERALD MELE & ASSOCIATES, INC.
7337 N FIRST ST, SUITE 110
FRESNO, CA 93720
559-435-1411

ENGINEERS - ARCHITECTS

OWNER:

REVISION:

DATE:

SCALE:

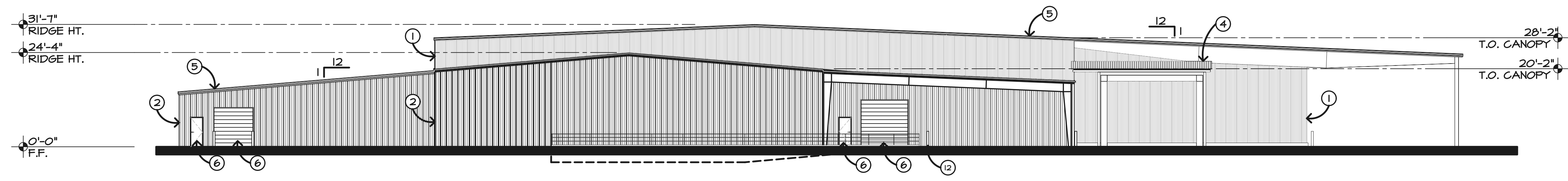
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COLD STORAGE BUILDING 'C' AND CANOPY 'A' PARTIAL FLOOR PLAN

LEE FARMING
5555 SOUTH HILL AVENUE
ORANGE COVE, CA 93646

JOB NUMBER: 2021.070
SCALE: 3/32" = 1'-0"
DRAWN BY: M. NERI
DATE: 12/20/2021
SHEET NUMBER: A-2.3

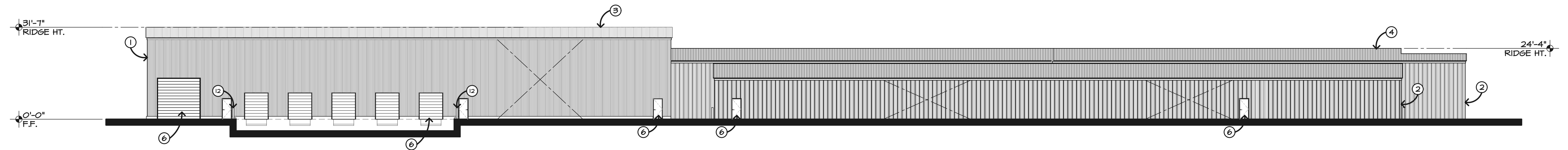
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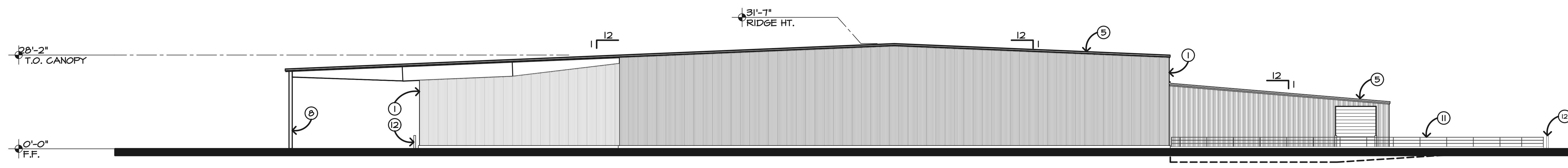
NORTH ELEVATION

EXTERIOR MATERIAL LIST:

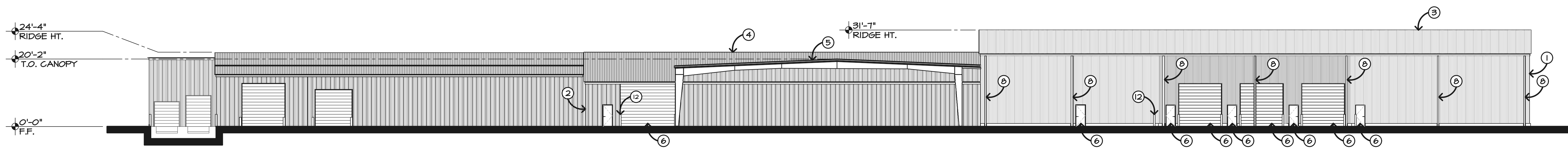
MARK	DESCRIPTION
①	AWIP 4" THICK INSULATED PANEL
②	METAL WALL PANEL
③	AWIP 5" THICK INSULATED ROOF PANEL
④	METAL ROOFING - BY M.B.M.
⑤	RAKE TRIM - BY M.B.M.
⑥	DOOR - SEE FLOOR PLAN
⑦	WINDOWS - SEE FLOOR PLAN
⑧	COLUMN - BY M.B.M.
⑨	TRUCK WELL
⑩	GUARDRAIL
⑪	BOLLARD - SEE PLAN
⑫	CURB



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

EXTERIOR ELEVATIONS

CONTRACTOR:
DBKO
 DESIGN ARCHITECTS
 8839 NORTH CEDAR #374
 FRESNO, CA 93720
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 GERALD MELE & ASSOCIATES, INC.
 7337 N FIRST ST, SUITE 110
 FRESNO, CA 93720
 559-435-1411

ENGINEERS - ARCHITECTS
 OWNER:

BY: _____
 DATE: _____
 SCALE: _____

REVISION:
 1. _____
 2. _____
 3. _____

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EXTERIOR ELEVATIONS
 LEE FARMING
 5555 SOUTH HILL AVENUE
 ORANGE COVE, CA 93646

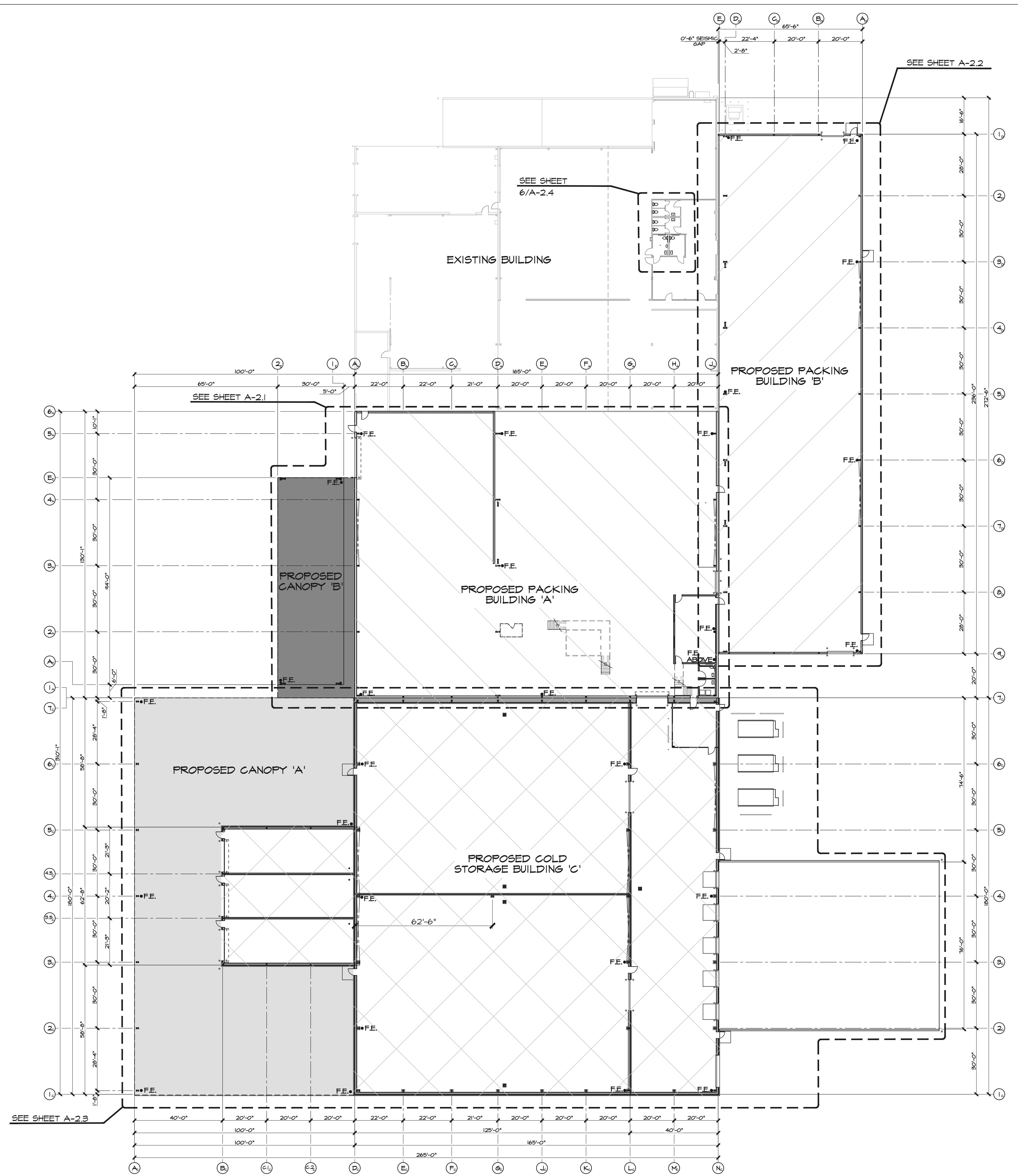
JOB NUMBER: 2021.070
 SCALE: 1" = 30'-0"
 DRAWN BY: M. NERI
 DATE: 11/30/2021
 SHEET NUMBER: A-3

GENERAL FLOOR PLAN NOTES :

1. ALL REQUIRED EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. (CBC 1009.1.1)
2. ALL DOOR OPENING HARDWARE SHALL BE EITHER LEVER, PANIC, PUSH/PULL OR A SIMILAR TYPE.
3. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY (DECAL) AT MAIN ENTRANCE DOOR (5" SQ.). SEE DETAIL 1/A-1.
4. SAFETY GLASS:
 - A. EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED. TEMPERED SPANDREL GLASS IS EXEMPTED FROM PERMANENT LABELING BUT SUCH GLASS SHALL BE IDENTIFIED BY THE MANUFACTURER WITH A REMOVABLE PAPER LABEL. PROVIDE SAFETY GLASS AT THE FOLLOWING LOCATIONS:
 - A. WINDOWS ADJACENT TO A DOOR, WHERE EXPOSED EDGE IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR.
 - B. ALL GLASS IN DOORS.
5. VERIFY ROUGH OPENING SIZES FOR ALL DOORS AND WINDOWS AND COORDINATE WITH SUPPLIER.
6. GENERAL CONTRACTOR IS TO VERIFY ALL DOOR SIZES (INCLUDING SL. GL. DRs.) PRIOR TO ORDERING.
7. WINDOW SIZES ARE SHOWN ON PLANS, IN ACCORDANCE WITH ARCH. MANUF. ASSOC. STDS. UNLESS OTHERWISE NOTED ON PLANS.
8. WEATHER STRIP ALL EXTERIOR DOORS.
9. PROVIDE INTERNATIONAL ACCESSIBILITY SYMBOL AT RESTROOMS. SEE SHEET A-2.1
10. TOILET ROOMS TO MEET CURRENT ACCESSIBILITY REQUIREMENTS. SEE SHEET A-2.1
11. USE MINIMUM 60" X 60" LANDINGS AT ALL EXTERIOR DOORS SWINGING ONTO A LANDING AND 48" X 48" LANDING AT A DOOR THAT SWINGS AWAY FROM LANDING. DOOR LANDINGS SHALL HAVE A SURFACE THAT IS STABLE, FIRM, AND SLIP RESISTANT. SLOPE AT LANDINGS TO BE 1:48 (2% SLOPE) MAX. IN ANY DIRECTION. CHANGES IN LEVEL 3/4" HIGH MAX. CHANGE IN LEVEL AT DOOR THRESHOLD ARE NOT PERMITTED. (CBC 2019 SECTION 11B-302.1 AND 11B-404.2.4.4)
12. FOR TYPICAL ACCESSIBILITY AND ARCHITECTURAL DETAILS SEE SHEET A-5
13. COORDINATE ROOM FINISHES W/ OWNER.
14. PROVIDE FIRE EXTINGUISHERS PER NFPA 10 AT A RATE OF 1 PER 3000 W/ A MAXIMUM TRAVEL DISTANCE OF 75' FROM ANY POINT TO FIRE EXTINGUISHER (30 REQUIRED) 2A10B.C MIN. RATED EXTINGUISHERS.
15. A PERMANENT SUITE NUMBER SHALL BE POSTED AT THE ENTRY TO THE SUITE BEFORE THE FIRE DEPARTMENT WILL GRANT "SAFE TO OCCUPY".
16. THE ADDRESS SHALL BE POSTED ON THE BUILDING SO THAT IT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
17. PROVIDE A READILY VISIBLE, DURABLE SIGN POSTED ON THE EGRESS SIDE OR ADJACENT TO THE MAIN EXIT DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". THE SIGN SHALL BE IN (1) INCH HIGH LETTERS ON A CONTRASTING BACKGROUND. (CBC 2019 SECTION 1009.13.2.2)
18. ALL HOSE BIBBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS.
19. COORDINATE EXACT LOCATION OF HALL DOORS WITH THE OWNER AND CONTRACTOR.
20. INTERNATIONAL "NO SMOKING" SYMBOL IN RED OR 1 INCH HIGH LETTERS SAYING "NO SMOKING". THE SIGN SHALL BE A MINIMUM OF 40 SQUARE INCHES IN SIZE AND LOCATED 60 INCHES ABOVE THE FINISHED FLOOR.
22. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED.
23. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
24. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAX. (2019 CBC SECTION 11B-504.4 AND 11B-404.2.1)
25. NO THUMB LATCHES OR KEYPED CYLINDER DEAD BOLTS ALLOWED ON ANY DOORS ALLOWED UNLESS OPERATED BY A SINGLE ACTION WITH A LEVER FROM THE INSIDE OF THE AREA SERVED. (2019 CBC)
26. EXIT DOORS USED AS PAIRS WITH APPROVED AUTOMATIC FLUSH BOLTS SHALL NOT HAVE DOOR KNOBS OR SURFACE-MOUNTED HARDWARE ON THE INACTIVE LEAF.
27. SIGNS WITH RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED 48" MINIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60" MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. MOUNTING LOCATION SHALL BE SUCH THAT A PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.
28. THE COLOR AND DESIGN OF LETTERING, ARROWS AND OTHER SYMBOLS ON EXIT SIGNS SHALL BE IN HIGH CONTRAST WITH THEIR BACKGROUND. WORDS OF THE SIGN SHALL BE IN BLOCK LETTERS 6" IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4". SIGNS SHALL BE INTERNALLY ILLUMINATED OR SHALL BE OF AN APPROVED SELF-LUMINOUS TYPE. WHEN THE LUMINANCE ON THE FACE OF AN EXIT SIGN IS FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5.0 FOOT-CANDLES FROM EITHER LAMP. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE. MIN. 40 MINUTE BACK-UP POWER REQUIRED.
29. THE ADDRESS SHALL BE POSTED ON THE BUILDING SO THAT IT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
30. PROVIDE AN EMERGENCY SOURCE OF POWER FOR EXIT ILLUMINATION PER (2019 CBC SECTION 1006.3, AND 1011.5.3)
31. THE PATH OF TRAVEL TO ANY EXIT SHALL NOT BE BLOCKED. (2019 CBC SECTION 1009.6)
32. ALL PERIMETER WALLS AND CEILING NEXT TO UNCONDITIONED SPACES AND RESTROOMS WALLS SHALL BE INSULATED.
33. PROVIDE FIRE BLOCKING AT 10'-0" o.c. MAX. IN WOOD STUD WALLS

LEGEND :

- GIRTS - BY OTHERS
- INSULATED METAL PANEL - BY M.B.M.
- CHEMICAL STORAGE CAGE
- F.E. PORTABLE FIRE EXTINGUISHERS PER NFPA-10, 2A10B.C - SEE GEN. FLOOR PLAN NOTE 14/A-2
- F.D. INDICATES FLOOR DRAIN - SEE PLUMBING PLAN
- E.F. INDICATES EXHAUST FAN - MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- P.E. INDICATES PRIMARY ENTRANCE
- XXX DOOR MARK - SEE SCHEDULE ON SHEET A-5
- XXX ROOM FINISH MARK - SEE SCHEDULE ON SHEET A-5
- XXX WINDOW MARK - SEE SCHEDULE ON SHEET A-5
- EXIT INDICATES ILLUMINATED EXIT SIGN - SEE GENERAL FLOOR PLAN NOTE 28/A-2
- E.T. INDICATES TACTILE EXIT SIGN - SEE DETAIL 2/A-10
- E.R.T. INDICATES TACTILE EXIT ROUTE SIGN - SEE DETAIL 2/A-10



BUILDING COORDINATION PLAN

CONTRACTOR:
DBKO
 DESIGN ARCHITECTS
 8839 NORTH CEDAR #374
 FRESNO, CA 93720
 (559) 930-DBKO

DESIGNER:
GMA
 GERALD MELE & ASSOCIATES, INC.
 7337 N FIRST ST, SUITE 110
 FRESNO, CA 93720
 559-435-1411

ENGINEERS - ARCHITECTS

OWNER:

DATE: 12/20/2021

SCALE: 1" = 20'-0"

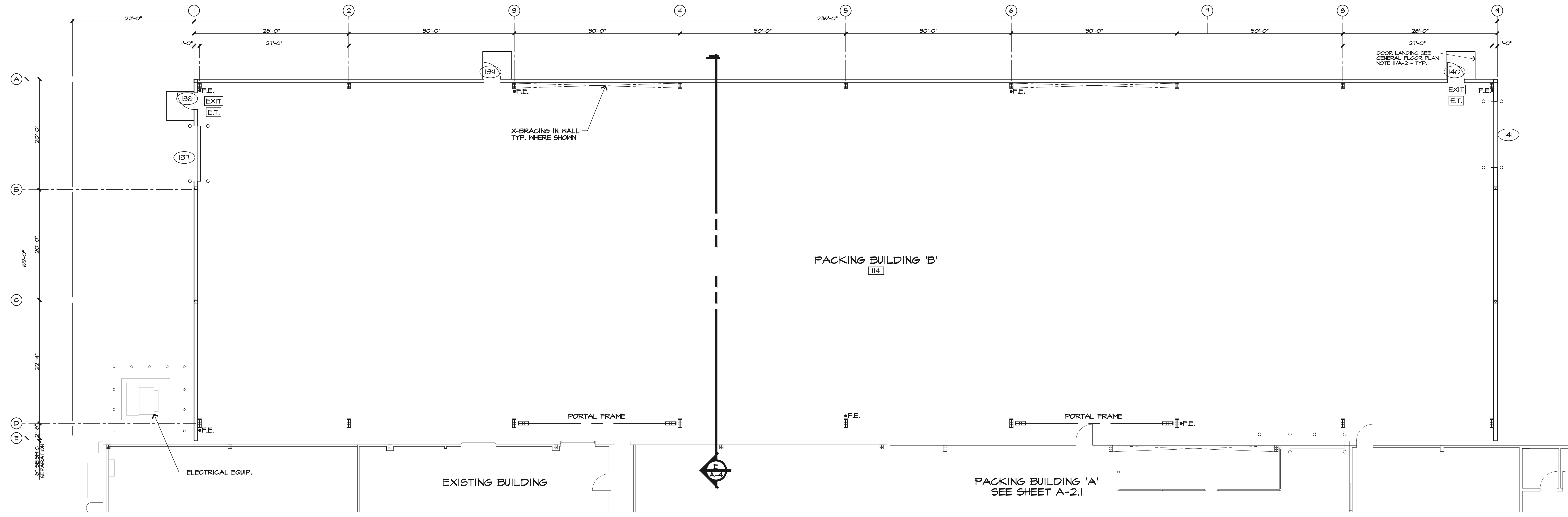
DRAWN BY: M. NERI

JOB NUMBER: 2021.070

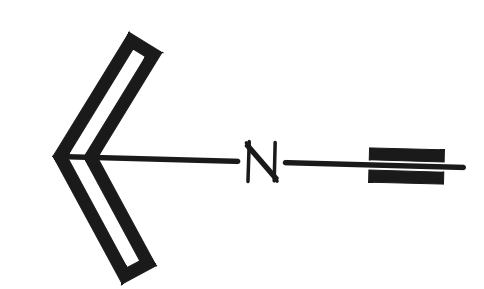
SHEET NUMBER: A-2

BUILDING COORDINATION PLAN
 LEE FARMING
 5555 SOUTH HILL AVENUE
 ORANGE COVE, CA 93646

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- LEGEND :**
- GIRTS - BY OTHERS
 - ▨ INSULATED METAL PANEL - BY M.B.M.
 - - - - CHEMICAL STORAGE CAGE
 - ☉ F.E. PORTABLE FIRE EXTINGUISHERS PER NFPA-10, 2A:10B.C - SEE GEN. FLOOR PLAN NOTE 14/A-2
 - F.D. INDICATES FLOOR DRAIN - SEE PLUMBING PLAN
 - ☉ E.F. INDICATES EXHAUST FAN - MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
 - P.E. INDICATES PRIMARY ENTRANCE
 - XXX DOOR MARK - SEE SCHEDULE ON SHEET A-5
 - XXX ROOM FINISH MARK - SEE SCHEDULE ON SHEET A-5
 - XXX WINDOW MARK - SEE SCHEDULE ON SHEET A-5
 - EXIT INDICATES ILLUMINATED EXIT SIGN - SEE GENERAL FLOOR PLAN NOTE 28/A-2
 - E.T. INDICATES TACTILE EXIT SIGN - SEE DETAIL 2/A-10
 - E.R.T. INDICATES TACTILE EXIT ROUTE SIGN - SEE DETAIL 2/A-10



**PACKING BUILDING 'B'
 PARTIAL FLOOR PLAN**

NO.	REVISION	DATE	SCALE

PACKING BUILDING 'B' PARTIAL FLOOR PLAN
 LEE FARMING
 5555 SOUTH HILL AVENUE
 ORANGE COVE, CA 93646

JOB NUMBER 2021.070
 SCALE 1/8" = 1'-0"
 DRAWN BY M. NERI
 DATE 12/20/2021

SHEET NUMBER
A-2.2



GERALD MELE & ASSOCIATES, INC.

7337 N. FIRST ST., SUITE 110 FRESNO, CA. 93720 (559)435-1411 FAX (559)435-1169

CONSULTING ENGINEERS AND ARCHITECTS

GERALD A. MELE, PE, SE
MARTIN R. INESS, PE, SE
ROBERT A. SANDERS, ARCHITECT
BRAD S. EDWARDS, PE, SE
JACOB G. KENNINGTON, PE
LUIS A. GOMEZ, PE

**County of Fresno
Planning Department**

2220 Tulare St.
Fresno, CA 93721

Lee Farming- Facility Additions
Operational Statement

To whom it may concern,

The project will be located at 5555 South Hill Avenue, Orange Cove, CA 93646 on the lot with the Assessor's Parcel Number of 373-032-07. The parcel has a current zoning of AE-20 – Exclusive Agricultural. The project will consist of construction of Packing Building 'A' which will be 21,450 sq. ft., Packing Building 'B' which will be 15,458 sq. ft., a cold storage building which will be 33,674 sq. ft., Canopy 'A' which will be 14,173 sq. ft., and Canopy 'B', which will be 3,500 sq. ft., and a 256 sq. ft. fire pump house as additions to an existing fruit packing and cold storage facility. The proposed construction will also include a 135,000 gallon fire water storage tank.

Future phases of the project will include the construction of a 24,763 sq. ft. solar farm. The company desires to construct the additions to enable them to modernize their packing line to utilize automation and to allow them to consolidate their cold storage needs to the site. This will enable them to operate in an environmentally friendly way by reducing the amount of emissions within the Central Valley. The company uses the facility for cold storage and packing of their fruit grown in their own farming operation. Access to the site is provided off South Hill Avenue by way of a paved drive.

The company tends to have an average of approximately 1-2 visitors a day with no anticipated increase with the proposed addition. They currently have a total of 30 employees. The proposed construction will not cause an increase in employees. The facility operates from October to May, Monday through Sunday, from 7 a.m. to 4 p.m. for a total of 8 hours a day. The employees in this type of facility normally carpool with an average of 3 employees per car making the trip number for employees being 10 trips one way for a total of 20 trips daily.

The company has 5 to 8 delivery trucks to the site per day. There will be no change in the number of trucks coming to the site with the proposed project. The max number of truck trips will be 16 trips per day. This with the vehicle trips for the employees gives them a total of 36 trips per day.



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JACOB G. KENNINGTON, PE
LUIS A. GOMEZ, PE

The proposed construction will result in the relocation of 13 existing parking stalls and adding additional stalls, resulting to a total of 75 parking stalls. Proposed project also includes the addition of 5 truck parking spaces on-site in the proposed loading docks.

No product will be sold on-site.

The proposed building addition will not cause an unsightly appearance or produce dust, noise, glare or any odors. The company does not use an outdoor sound amplification system. No new landscaping is proposed at this time.

There are no caretakers living on-site.

Respectfully submitted,

Sean Odom
Gerald Mele & Associates, Inc.



County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING
STEVEN E. WHITE, DIRECTOR

EVALUATION OF ENVIRONMENTAL IMPACTS

- APPLICANT:** GMA Engineering (Sean Odom)
- APPLICATION NOS.:** Initial Study No. 8186 and Classified Conditional Use Permit No. 3733
- DESCRIPTION:** The project proposes proposing to allow the expansion of an existing fruit packing and cold storage facility. The project will consist of constructing, two packing buildings 'A & B', a cold storage building, two canopies 'A & B', a 355 sq. ft. addition to existing restrooms (within exist. Building), fire pump house, and a fire water storage tank, a 27,763 sq. ft. solar facility. The subject parcel size is 59.85-acres in size within the AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District.
- LOCATION:** The project site is located on the west side of Hill Ave., 0.25-miles south of E American Ave. approximately 1.74-miles west of the City of Orange Cove. (APN: 373-032-07) (5555 Hill Ave.) (Sup. Dist.: 4).

I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or
- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway; or

FINDING: NO IMPACT:

Per Figure OS-2 of the Fresno County General Plan, the project site is not located along any identified scenic roadways. The proposed expansion will include construction and placement of new tanks and a containment unit. There are no identified scenic resources or vistas that would be damaged from the project proposal.

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized

area, would the project conflict with applicable zoning and other regulations governing scenic quality; or

D.

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project will include the construction and placement of additional storage facility and a containment unit. The proposed tanks and containment unit could potentially be seen from public right-of-way degrading the visual character or quality of public views of the site and its surrounding. The proposed improvements, however, will not have a significant impact on the existing visual character as the existing site is already improved.

E. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION
INCORPORATED:

Per the Applicant's Operational Statement, the operation utilizes outdoor lighting for normal operations and will extend to the proposed containment unit and tanks for safety and security purposes. With the utilization of outdoor lighting, a mitigation measure will be implemented to reduce impacts outdoor lighting may have on adjacent properties and public right-of-way. *The proposed use is characteristic of the existing use and structures, and therefore, will not degrade the existing visual character or quality of site and surroundings.*

* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed so as not to shine toward adjacent properties and public streets.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use; or

FINDING: NO IMPACT:

According to the 2016 Fresno County Important Farmland Map produced by the California Department of Conservation, the project site is designated as Built-Up Land. The project site is an existing fruit packing and cold storage facility operation and proposes to expand the operation through the construction of new agricultural buildings inside the containment unit. The project will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance as the site will be used for agricultural purposes. The project does not conflict with existing zoning for agricultural use as the use is allowed per Section 816.3-I of the Fresno County Zoning Ordinance, subject to a Conditional Use Permit.

- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract; or

FINDING: NO IMPACT:

The subject parcel is zoned AE-20 (Exclusive Agricultural, 20-acre minimum parcel size). The subject parcel is not subject to a Williamson Act Contract. The project will not conflict with the existing zoning for agricultural use and would not conflict with the Williamson Act Contract.

- C. Conflict with existing zoning for forest land, timberland, or timberland zoned Timberland Production; or
- D. Result in the loss of forest land or conversion of forest land to non-forest use; or

FINDING: NO IMPACT:

The project site is not zoned or located in forest land, timberland, or timberland zoned Timberland Production. The project proposal will not result in the loss of forest land or convert forest land to non-forest use.

- E. Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of farmland to non-agricultural use or conversion of forestland to non-forest use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The parcel on which the proposed project will be located is not located forest land, timberland, or land zoned Timberland Production. It is zoned AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District and is designated Agricultural in the Fresno County General Plan. The proposed project is a use that is allowed on land zoned AE-20 with approval of a Conditional Use Permit.

III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or
- B. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project has been routed to the San Joaquin Valley Air Pollution Control District (SJVAPCD) for review and comment. The SJVAPCD did not express concern with the project to indicate that the project would result in a conflict with an applicable Air Quality Plan or result in cumulatively considerable net increase of any criteria pollutant. Project construction is anticipated to result in minor temporary increases in criteria pollutants, however, the minor increases resulting from construction are not anticipated to result in a significant impact. Several advisory statements, regarding best practices were provided and will be incorporated as recommendations reflected in the project notes.

- C. Expose sensitive receptors to substantial pollutant concentrations; or
- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The San Joaquin Valley Air Pollution Control District reviewed the proposed project and expressed no concerns with the proposal. The plan does not conflict with the Air Quality Plan, does not violate any air quality standard, will not result in a cumulative net increase of any criteria pollutant, nor does it expose sensitive receptors to substantial pollutant concentrations or create objectionable odors.

IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to the California Natural Diversity Database (CNDDDB) there are no identifiable species within close proximity of the subject parcel.

- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or

FINDING: NO IMPACT:

According to the National Wetlands Inventory, there are no wetlands or riparian habitats located on or near the project site. The project site is improved with an existing fruit packaging operation and will not have an impact on wetlands or riparian habitats.

- C. Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means; or

FINDING: NO IMPACT:

The project site is improved and fenced, with an established cold storage operation. This implies that the site experiences human disturbance daily that would deter wildlife species from occupying or moving through the site. There are no migratory wildlife corridors or nursery sites identified on the project site. Therefore, the proposed expansion will not have an impact on movement of wildlife species or with any wildlife corridors or nursery sites.

- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites; or
- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or
- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: NO IMPACT:

The proposed project was referred to the US Fish and Wildlife Service and the California Department of Fish and Wildlife for review and comments. No concerns were expressed by either agency. According to the California Natural Diversity Database, the project site is not located in any reported occurrence areas of a special status species. Therefore, this analysis identified no impacts regarding: 1.) any candidate, sensitive, or special-status species; 2.) any riparian habitat or other sensitive natural community; 3.)

any federally protected wetlands; nor 4.) any native resident or migratory fish or wildlife species, migratory wildlife corridors, or wildlife nursery sites.

The proposed project will neither conflict with any local policies or ordinances protecting biological resources, nor will it conflict with the provisions of any conservation plan.

V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or
- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION
INCORPORATED:

The parcel on which the proposed project will be sited is located within proximity area designated to be moderately or highly sensitive for archeological resources. A mitigation measure will be implemented to address cultural resources in the event that they are unearthed during ground-disturbing activities related to the project.

* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures shall be followed by photos, reports, video, and etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site will utilize existing buildings which are subject to local and state standards for building and energy efficiency. The project is expected to have a less than significant impact on energy resources. The project will not conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

VII. GEOLOGY AND SOILS

Would the project:

A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:

1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
2. Strong seismic ground shaking?
3. Seismic-related ground failure, including liquefaction?
4. Landslides?

FINDING: LESS THAN SIGNIFICANT IMPACT:

According to Figure 8-3 of the Fresno County General Plan Background Report (FCGPBR) and the California Department of Conservation, Earthquake Hazard Zone Application (EQ Zapp), the project site is not located on or near identified earthquake hazard zone areas. The area of the proposed project is not identified as an area which by nature is subject to these types of seismic effects. No agencies expressed any concerns related to ground shaking, ground failure, liquefaction, or landslides. Construction of the proposed project will be subject to seismic design standards.

B. Result in substantial soil erosion or loss of topsoil; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

No geologic unit or unstable soil was identified on the project site. The site comprises of existing buildings, with most of the area paved area which lies within a paved parking lot. Therefore, the project will not result in substantial soil erosion or loss of topsoil.

C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

Landslides and other forms of slope failure form in response to long-term uplift, mass wasting, and disturbance of slopes. The project site contains naturally flat relief (slopes of no more than three percent), which precludes the possibility of land sliding on-site.

The potential for seismic-related ground failure (lateral spreading and liquefaction) occurring on the project site is minimal because of the absence of high groundwater levels and saturated loose granular soil. The project site is not in an area identified by Fresno County as being susceptible to liquefaction. In addition, the intensity of ground shaking from a large, distant earthquake is expected to be relatively low on the project site and, therefore, would not be severe enough to induce liquefaction on-site.

The San Joaquin Valley in which Fresno County is located is known to experience subsidence. However, the Water, Geology, and Natural Resources Section of the Fresno County Department of Public Works and Planning reviewed the project and expressed no concerns to the proposed project.

- D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property; or

FINDING: NO IMPACT:

Per Figure 7-1 of the FCGPBR, Fresno County General Plan Background Report, the project site is not located within an area of known risk of expansive soils.

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater; or

FINDING: NO IMPACT:

The project will utilize an on-site sewage disposal system. No concerns related to soil capabilities and the septic systems were expressed by the Fresno County Department of Public Health, Environmental Health Division.

- F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

The parcel on which the proposed project will be sited is not located within proximity of any area designated to be moderately or highly sensitive for archeological resources. No historical or paleontological resources, unique geological features, or evidence of possible human remains were identified in this analysis. As such, no impact on historical, archeological, or paleontological resources would result from this proposal. A mitigation measure will be implemented to address cultural resources in the unlikely event that they are unearthed during ground-disturbing activities related to the project.

VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject application is proposing to expand its operation through the construction of additional storage capacity for an existing cold storage facility. The increase in capacity may generate an increase in greenhouse gas emissions through operation of the facility and increased mobile sources, but the increase will not have a significant impact on the environment. According to the Greenhouse Gas report conducted by Johnson, Johnson and Miller Air Quality Consulting Services stated "taking into account the proposed project's design features and the progress being made by the State towards reducing emissions in key sectors such as transportation, industry, and electricity, the proposed project would be consistent with State GHG Plans and would further the State's goals of reducing GHG emissions 40 percent below 1990 levels by 2030, and 80 percent below 1990 levels by 2050, and does not obstruct their attainment. The proposed project's GHG impacts would be less than significant. The San Joaquin Valley Air Pollution Control District was notified of the subject application and did not express concerns that GHG emission increases would have a significant impact on the environment and did not indicate that the project would conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases.

IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County Department of Public Health, Environmental Health Division (EHD) has reviewed the subject application. EHD states that the facility is listed as a Large Hazardous Materials Handler. Mitigation recommended by EHD will be implemented to address the proposed expansion which includes the update of a Hazardous Materials Business Plan and the handling of hazardous waste in accordance with State regulations.

- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school; or
 - D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment; or
- FINDING: NO IMPACT:

The subject parcel is not located within one-quarter mile of a school. The closest school (MC Cord Elementary) is located 2.20- miles southeast of the subject parcel. The proposed project site is not listed on the Hazardous Waste and Substances Site List (Cortese List) which is maintained by the California Department of Toxic Substances Control. There are no listed sites located within a half-mile radius of the proposed project site.

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area; or
- FINDING: LESS THAN SIGNIFICANT IMPACT:

The Fresno County Department of Public Health, Environmental Health Division review of the proposal states: The potential adverse impacts caused by this project could include (but are not limited to) water quality degradation, odors, noise, and vectors however there are not health issues significant enough to warrant the preparation of an EIR.

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan; or
- FINDING: NO IMPACT:

Per the Fresno County General Plan, Hill Avenue is a County maintained road classified as a local road with an existing 60' of road right-of-way and an ultimate right-of-way of 60' per the Fresno County General Plan. In addition, the Fresno County Department of Public Health, Environmental Health Division which administers the Office of Emergency Services to coordinate planning and preparedness, response and recovery efforts for disasters did not express any concerns regarding emergency response or evacuation plans.

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?
- FINDING: NO IMPACT:

The project site is in an area zoned AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) located approximately 1.74-miles west of the City of Orange Cove.,

which is not in a wildland fire area, precluding the site from impacts caused by wildland fires.

X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality; or
 - B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin; or
- FINDING: LESS THAN SIGNIFICANT IMPACT:

The Water and Natural Resources Division has reviewed the attached project and believes the proposed expansion will result in a minimal increase in water usage. Although the subject property is located within a low water area, staff believes the impact to water levels will be less than significant.

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:
 - 1. Result in substantial erosion or siltation on or off site?
 - 2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site?
 - 3. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or
 - 4. Impede or redirect flood flows?
- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation; or
- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel will not conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan. No departments expressed any concern that would substantially alter the existing drainage pattern of the site or area that would result in flooding on and offsite. In addition, FEMA'S National Flood Hazard Database FIRM Panel No 2214H and 2225H, the southeast portion of the area

of the subject property is found to be under Flood Zone A subject to flooding from the 100-year storm. Any development within the Special Flood Hazard Area shall conform to provisions established in Fresno County Ordinance Code Title 15, CHAPTER 15.48 Flood hazards Area.

XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community; or
- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: NO IMPACT:

The proposed project will not physically divide an established community nor cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation. The project proposes proposing to allow the expansion of an (E) fruit packing and cold storage facility which is allowed within the agricultural zone district.

XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: NO IMPACT:

No mineral resource impacts were identified in the analysis. The site is not located in a mineral resource area identified in Policy OS-C.2 of the General Plan.

XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels; or

- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

Per Fresno County Noise Ordinance and the City of Fresno Municipal code, the proposed project has the potential to expose nearby residents to elevated noise levels.

"Ambient noise" is the all-encompassing noise associated with a given environment, being usually a composite of sounds from many sources near and far. Ambient noise level is the level obtained when the noise level is averaged over a period of fifteen minutes, without inclusion of the offending noise, at the location and time of day at which a comparison with the offending noise is to be made. Where the ambient noise level is less than that designated in this section, however, the noise level specified herein shall be deemed to be the ambient noise level for that location (Chapter 10-Regulations Regarding Public Nuisances and Real Property Conduct and Use. Article 1-Noise Regulations. Section 10-102 (b)).

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?; or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

The proposed project will not induce population growth, nor will it displace housing or people. The project consists of utilizing an existing location for the purpose of processing solid waste. It will not induce substantial unplanned population growth in an area directly nor indirectly.

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:

1. Fire protection;
2. Police protection;
3. Schools;
4. Parks; or
5. Other public facilities?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject parcel is zoned agricultural according to the Fresno County Zoning Ordinance. The proposal will not have substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities. In addition, the Fresno County General Plan.

XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

The project is not located near any neighborhood or regional parks or recreational centers and does not propose any new recreational facilities or require the construction of such facilities.

XVII. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle, and pedestrian facilities; or
- B. Be in conflict or be inconsistent with the California Environmental Quality Act (CEQA) Guidelines Section 15064.3, subdivision (b); or

FINDING: NO IMPACT:

The aforementioned CEQA Guideline subdivision determines projects within one-half mile of an existing major transit stop to cause less than significant transportation impact” The subject parcel meets the criteria specified.

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment); or
- D. Result in inadequate emergency access?

FINDING: NO IMPACT:

The Fresno County Design Division and the Fresno County Road Maintenance and Operations Division expressed no concerns as the proposed project meets all set back requirements and does not have any major construction that would affect emergency access.

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
 - 1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k); or
 - 2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION
INCORPORATED:

The subject site has been previously developed and surrounds areas zoned for agricultural use, suggesting minimal chance of a cultural resources occurring on the project site. Under the provisions of Assembly Bill 52 (AB 52), Participating California Native American Tribes did not enter into consultation with the County on the project however expressing interest regarding the project and requested a cultural resource report given April 25th 2022. Based upon the known archaeological sensitivity of the

region, prehistoric or historic cultural resources may be present within the project site. A new archaeological survey should be done by a professional archaeologist prior to approval of project plans. In addition, professional archaeologist should be retained to monitor any ground disturbance activities (to be placed as a Mitigation Measure).*

Mitigation Measure(s)

In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures shall be followed by photos, reports, video, and etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.

Forty-eight (48) hours prior to any ground-disturbing activities within the Area of Potential Effect (APE), such as digging, trenching, or grading, the Applicant shall notify all tribes that participated in consultation of the opportunity to have a certified Native American Monitor inspect the site prior to and be present during all ground-disturbing activities both during construction and decommissioning. The certified Native American Monitor may provide pre-construction briefings to supervisory personnel and any excavation contractor, which will include information on potential cultural material finds and, on the procedures, to be enacted if resources are found. The notification shall be by email to the following person: Robert Pennell, Tribal Cultural Resources Director, at rpennell@tmr.org. The tribal monitors shall be independently insured to enter the construction zone.

See the Archeological Analysis (if completed) and correspondence with the Tribes (AB 52). Taylor the discussion in this section to specifically mention impacts to Tribes.

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years; or
- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments; or

- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project proposal was routed to the Fresno County Department of Public Health, Environmental Health Division which expressed no concerns with wastewater treatment. No concerns were expressed from expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities.

XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or
- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The subject site is already improved with structures that are proposed to be utilized with the subject operation and fall outside a wildfire zoned area. The project will not substantially degrade the quality of the environment or substantially reduce the habitat of a fish or wildlife species.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop

below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number, or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory; or

- B. Have impacts that are individually limited, but cumulatively considerable (“cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects); or
- C. Have environmental effects which will cause substantial adverse effects on human beings either directly or indirectly?

FINDING: NO IMPACT:

The subject site is not within an area of fish or wildlife species area that would cause a decrease in the wildlife population. The project will not substantially degrade the quality of the environment nor substantially reduce the habitat of a fish or wildlife species. Responsible agencies and departments concurred with the findings and conclusions of the prepared technical studies and determined that no substantial adverse impacts on human beings would occur.

CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Classified Conditional Use Permit No. 3733, staff has concluded that the project will not have a significant effect on the environment.

It has been determined that there would be no impacts to Biological Resources, Energy, Mineral Resources, Population and Housing, Public Services, Recreation, Transportation, Wildfire.

Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Hydrology and Water Quality, Hazards and Hazardous Materials, Land Use Planning, Noise, Greenhouse Gas Emissions, Utilities and Service Systems have been determined to be less than significant.

Potential impacts relating to Aesthetics, Cultural Resources, and Tribal Cultural Resources have determined to be less than significant with compliance with implementation of recommended mitigation measures.

A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and “M” Street, Fresno, California.

ER

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EXHIBIT 8

File original and one copy with: Fresno County Clerk 2221 Kern Street Fresno, California 93721		Space Below For County Clerk Only. CLK-2046.00 E04-73 R00-00	
Agency File No: IS 8186	LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION	County Clerk File No: E-20231000058	
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Elliot Racusin	Area Code: 559	Telephone Number: 600-4245	Extension: N/A
Project Applicant/Sponsor (Name): Sean Odom		Project Title: Initial Study No. 8186 and Classified Conditional Use Permit No. 3733	
Project Description: Allow the expansion of an (E) fruit packing and cold storage facility. The project will consist of constructing: 21,450 sq. ft. Packing Building 'A'; 15,458 sq. ft., Packing Building 'B'; 33,674 sq. ft. cold storage building; 14,173 sq. ft., Canopy 'A'; 3,500 sq. ft. Canopy 'B'; a 355 sq. ft. addition to (E) Restrooms (within exist. Building); 256 sq. ft. fire pump house; and a 135,000 sq. ft. fire water storage tank. Future phases will include the construction of a 24,763 sq. ft. solar array. The subject parcel size is 59.85-acres in size within the AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District.			
Justification for Negative Declaration: Based upon the Initial Study prepared for Classified Conditional Use Permit No. 3733, staff has concluded that the project will not have a significant effect on the environment. It has been determined that there would be no impacts to Biological Resources, Energy, Mineral Resources, Population and Housing, Public Services, Recreation, Transportation, Wildfire. Potential impacts related to Agricultural and Forestry Resources, Air Quality, Geology and Soils, Hydrology and Water Quality, Hazards and Hazardous Materials, Land Use Planning, Noise, Greenhouse Gas Emissions, Utilities and Service Systems have been determined to be less than significant. Potential impacts relating to Aesthetics, Cultural Resources, and Tribal Cultural Resources have determined to be less than significant with compliance with implementation of recommended mitigation measures. A Mitigated Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – March 10, 2023		Review Date Deadline: Planning Commission – April 27, 2023	
Date: March 13, 2023	Type or Print Signature: David Randall Senior Planner	Submitted by (Signature): Elliot Racusin Planner	

State 15083, 15085

County Clerk File No.: E-20231000058

**LOCAL AGENCY
MITIGATED NEGATIVE DECLARATION**

EAST



NORTH



NORTHWEST



SOUTH



WEST

