



# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## Planning Commission Staff Report Agenda Item No. 2 April 27, 2023

**SUBJECT:** Conditional Use Permit No. 3732 and Initial Study Application No. 8182

Allow a (value added agricultural use and facilities) 2,400 square foot cold storage facility and a 300 square foot storage building on a 5.0-acre parcel within the AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District.

**LOCATION:** The project site is located on the south side of W. North Ave. 750 feet east of S. Fruit Ave. 887 feet west of the City of Fresno (APN: 328-102-09) (1315 W. North Ave.) (Sup. Dist. 1).

**OWNER:** Chou Xiong

**APPLICANT:** GMA Engineering (Sean Odom)

**STAFF CONTACT:** Elliot Racusin, Planner  
(559) 600-4245

David Randall, Senior Planner  
(559) 600-4052

### RECOMMENDATION:

- Adopt the Mitigated Negative Declaration prepared for the project based on Initial Study No. 8182; and
- Approve Conditional Use Permit No. 3732 with recommended Findings and Conditions; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

**EXHIBITS:**

1. Mitigation Monitoring, Conditions of Approval and Project Notes
2. Location Map
3. Existing Zoning Map
4. Existing Land Use Map
5. Site Plans, Floor Plans, and Elevations
6. Applicant's Operational Statement
7. Summary of Initial Study No. 8182
8. Draft Mitigated Negative Declaration
9. Site Photos

**SITE DEVELOPMENT AND OPERATIONAL INFORMATION:**

<b>Criteria</b>	<b>Existing</b>	<b>Proposed</b>
General Plan Designation	Agricultural	No Change
Zoning	AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District.	No Change
Parcel Size	5.0-acre parcel	No Change
Project Site	Vacant land	Construct a 2,400 square foot cold storage facility and 300 square foot storage building for agricultural related use.
Structural Improvements	None Existing	See above
Nearest Residence	208-feet east of the project site	No Change
Surrounding Development	Agricultural	No Change
Operational Features	None Existing	Year-round operation 6 days a week 8 hours per day
Employees	None Existing	2 employees
Customers	None Existing	None
Traffic Trips	None Existing	Two (2) daily trips via delivery truck.

Criteria	Existing	Proposed
Hours of Operation	None Existing	Monday - Saturday 8 am to 5 pm

**EXISTING VIOLATION (Y/N) AND NATURE OF VIOLATION: N**

**ENVIRONMENTAL ANALYSIS:**

Initial Study No. 8182 was prepared for the project by County Staff in conformance with the provisions of the California Environmental Quality Act (CEQA). Based on the Initial Study, staff has determined that a Mitigated Negative Declaration is appropriate. A summary of the Initial Study is included as Exhibit 8.

A Notice of Intent to adopt a Mitigated Negative Declaration was published on March 10, 2023.

**PUBLIC NOTICE:**

Notices were sent to 48 property owners within 1,320 feet of the subject parcel, exceeding the minimum notification requirements prescribed by the California Government Code and County Zoning Ordinance.

**PUBLIC COMMENT:**

No public comments were received as of the date of preparation of this report.

**PROCEDURAL CONSIDERATIONS:**

A Conditional Use Permit may be approved only if five Findings specified in the Fresno County Zoning Ordinance, Section 873-F are made by the Planning Commission.

The decision of the Planning Commission on a CUP is final, unless appealed to the Board of Supervisors within 15 days of the Commission’s action.

**BACKGROUND INFORMATION:**

The application proposes to allow the construction of a 2,400 square foot cold storage facility and a 300 square foot storage building on a 5.0-acre parcel. The subject parcel is currently vacant. According to the Applicant’s Operational Statement (Exhibit 8), the company desires to construct the buildings to provide cold storage for the produce that they grow on surrounding parcels and accessory storage of other items used in their farming operations.

***Finding 1: That the site of the proposed use is adequate in size and shape to accommodate said use and all yards, spaces, walls and fences, parking, loading, landscaping, and other features required by this Division, to adjust said use with land and uses in the neighborhood***

	Current Standard:	Proposed Configuration:	Is Standard Met (y/n):
Setbacks	<u>AE-20</u> Front: 35 feet Side: 20 feet Rear: 20 feet	No change	Y

	<b>Current Standard:</b>	<b>Proposed Configuration:</b>	<b>Is Standard Met (y/n):</b>
Parking	One parking space for every two permanent employees and one parking space for each company-owned vehicle	To meet the current standards as stipulated by the Fresno County Zoning Ordinance	Y
Lot Coverage	No Requirement	No Requirement	N/A
Separation Between Buildings	No requirement except Structures used to house animals must be located a minimum of 40 feet from any human-occupied building	N/A	Y
Wall Requirements	Per Section 855-H.2 of the County Ordinance Code	No change	Y
Septic Replacement Area	100 percent of the existing system	No change	Y
Water Well Separation	Septic tank: 50 feet Disposal field: 100 feet Seepage pit: 150 feet		Y

**Reviewing Agency/Department Comments Regarding Site Adequacy:**

No significant comments specific to the adequacy of the site were expressed by reviewing Agencies or Departments.

**Finding 1 Analysis:**

Staff review of the site plan demonstrates that all the proposed improvements will satisfy the minimum setback requirements from adjacent property boundaries and County Road rights-of-way. The project is provided with adequate number of parking for the proposed operation.

**Recommended Conditions of Approval:**

*See recommended Conditions of Approval attached as Exhibit 1.*

**Finding 1 Conclusion:**

Finding 1 can be made as project site is adequate in size and shape to accommodate the proposed use.

**Finding 2:** *That the site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use.*

		Existing Conditions	Proposed Operation
Private Road	No	N/A	N/A
Public Road Frontage	Yes	North Ave- Good condition	No change
Direct Access to Public Road	Yes	North Ave- Good condition	No change
Road Classification		Arterial	No change
Road Width		North Ave: 60 feet.	23-foot offer of dedication required.
Traffic Impact Study (TIS) Prepared		No	A Traffic Impact Study was not required for this project.
Road Improvements Required	N/A	Not required at this time	No change

**Reviewing Agency/Department Comments Regarding Adequacy of Streets and Highways:**

Fresno County Road Maintenance & Operations Division:

- The applicant will need to dedicate 23 feet of additional road right-of-way across the parcel frontage on W. North Avenue to comply with the General Plan.
- The site plan shows two new proposed driveways. Due to the arterial classification of W. North Avenue, the applicant shall be restricted to one driveway access point.
- The driveway approach shall be limited to a maximum width of 35 feet.

No other significant comments specific to the adequacy of streets and highways were expressed by reviewing Agencies or Departments.

**Finding 2 Analysis:**

As stated by Fresno County Transportation Division, a Traffic Impact study (TIS) was not required based on the low volumes of project trips and low traffic volumes on the adjacent streets.

The 5-acre project site has road frontage on North Avenue which is classified as arterial in the County General Plan. As stated above, the applicant will need to dedicate 23 feet of additional road right-of-way across the parcel frontage on W. North Avenue to comply with the General Plan.

**Recommended Conditions of Approval:**

See recommended Conditions of Approval attached as Exhibit 1 (Right-of-way dedication and driveway width limitation).

**Finding 2 Conclusion:**

Finding 2 can be made based on the above information, staff believes with the required dedication (stipulated in the Conditions of Approval) North Avenue will be adequate in width and pavement to accommodate the traffic generated by this proposal.

***Finding 3: That the proposed use will have no adverse effect on abutting property and surrounding neighborhood or the permitted use thereof.***

**Surrounding Parcels**

	Size:	Use:	Zoning:	Nearest Residence:
North	13.77 acres	Agricultural	AE-20	480 feet
South/ West	19.1 acres	Agricultural	AE-20	650 feet
East	2.31 acres	Fallowed	AE-20	N/A

**Reviewing Agency/Department Comments:**

No significant comments specific to land use compatibility were expressed by reviewing Agencies or Departments. Comments on regulatory provisions applicable to the project have been included under the Project Notes in Exhibit 1.

**Finding 3 Analysis:**

The review of the Project and proposed site plan has not identified any adverse impact on surrounding area.

**Recommended Conditions of Approval:**

None.

**Finding 3 Conclusion:**

Finding 3 can be made as the proposed use will have no adverse effect on abutting property and surrounding neighborhood.

***Finding 4: That the proposed development is consistent with the General Plan.***

Relevant Policies:	Consistency/Considerations:
<p><b>General Plan Policy LU-A.3:</b> County may allow by discretionary permit in areas designated Agriculture, certain agricultural uses and agriculturally-related activities, including certain non-agricultural uses, subject to the following Criteria:</p> <p>a) Use shall provide a needed service</p>	<p>a. This proposal entails the construction of a cold storage building and a storage building that directly provide services to the surrounding agricultural area.</p> <p>b. The subject site is currently sited for agricultural production. However, there was no less-productive agricultural land</p>

<b>Relevant Policies:</b>	<b>Consistency/Considerations:</b>
<p><i>to surrounding agricultural area, which cannot be provided within urban areas;</i></p> <p><i>b) Use shall not be sited on productive agricultural lands if less productive lands available;</i></p> <p><i>c) Use shall not have a detrimental impact on water resources or the use or management of surrounding properties within ¼-mile radius;</i></p> <p><i>d) Probable workforce located nearby or readily available.</i></p>	<p>identified in the vicinity of the site.</p> <p>c. Water and Natural Resources Division has determined that the proposal will have a less than significant impact on the existing water levels in the area.</p> <p>d. There is sufficient workforce available from the City of Fresno (City limit 887 feet from Project).</p>
<p><b>Policy PF-D.6:</b>  <i>The County shall permit individual on-site sewage disposal systems on parcels that have the area, soils, and other characteristics that permit installation of such disposal facilities without threatening surface or groundwater quality or posing any other health hazards and where community sewer service is not available and cannot be provided.</i></p>	<p>Department of Public Health, Environmental Health Division has reviewed the proposal and have determined the project is expected to comply with the health and safety standards. The proposal is consistent with this Policy.</p>
<p><b>General Plan Policy PF-C.17:</b> <i>County shall undertake a water supply evaluation, including determinations of water supply adequacy, impact on other water users in the County, and water sustainability.</i></p>	<p>This proposal was reviewed by the Water/Geology/Natural Resources Section of the Fresno County Department of Public Works and Planning Department, which determined the proposal will have a less than significant impact on the existing water levels in the area. In addition, the subject parcel is not located in a water-short area and anticipated water usage is limited to restrooms and drinking fountains that will be supplied by an existing on-site well. The proposal is consistent with this Policy.</p>

**Reviewing Agency Comments:**

No significant comments specific to General Plan Policy issues were expressed by reviewing Agencies or Departments.

**Finding 4 Analysis:**

The proposed use as a value-added processing facility is allowed in the AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District which is consistent zoning with General Plan Land use designation of “Agriculture”. The proposed project is consistent with the applicable General Plan policies as described in the table above the.

**Recommended Conditions of Approval:**

None

**Finding 4 Conclusion:**

Finding 4 can be made as the proposed development is consistent with the General Plan.

***Finding 5: That the conditions stated in the resolution are deemed necessary to protect the public health, safety, and general welfare.***

**Finding 5 Analysis:**

The proposed mitigation measures and conditions of approval were developed based on studies and consultation with specifically qualified staff, consultants, and outside agencies. They were developed to address the specific impacts of the proposed project and were designed to address the public health, safety, and welfare. Additional comments and project notes have been included to assist in identifying existing non-discretionary regulations that also apply to the project. The Applicant has signed an acknowledgement agreeing to the proposed mitigation measures and has not advised staff of any specific objection to the proposed conditions of approval.

**Finding 5 Conclusion:**

Finding 5 can be made based on staff's analysis. The conditions stated in the resolution are deemed necessary to protect the public health, safety, and general welfare.

**SUMMARY CONCLUSION:**

Based on the factors cited in the analysis, staff believes the required Findings for granting the Conditional Use Permit can be made. Staff therefore recommends approval of Use Permit No. 3732, subject to the recommended Conditions.

**PLANNING COMMISSION MOTIONS:**

**Recommended Motion** (Approval Action)

- Move to adopt the Mitigated Negative/Negative Declaration prepared for Initial Study Application No. 3732; and
- Move to determine the required Findings can be made and move to approve Conditional Use No. 3732, subject to the Mitigation Measures, Conditions of Approval and Project Notes listed in Exhibit 1; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.

**Alternative Motion** (Denial Action)

- Move to determine that the required Findings cannot be made (state basis for not making the Findings) and move to deny Conditional Use Permit Application No. 3732; and
- Direct the Secretary to prepare a Resolution documenting the Commission's action.



**Mitigation Measures, Recommended Conditions of Approval and Project Notes:**

Unanticipated human remains, Rights-of-Way dedication, and driveway limitations; see attached Exhibit 1.

ER:jp

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EXHIBIT 1

**Mitigation Monitoring and Reporting Program  
Initial Study Application No. 8182 and Unclassified Conditional Use Permit Application No. 3732  
(Including Conditions of Approval and Project Notes)**

Mitigation Measures					
Mitigation Measure No.*	Impact	Mitigation Measure Language	Implementation Responsibility	Monitoring Responsibility	Time Span
1.	Cultural Resources	In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground-disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures should be followed by photos, reports, video, etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.	Applicant	Applicant/PW&P	During ground-disturbing activities

Conditions of Approval	
1.	The applicant shall provide the County an irrevocable offer of dedication of 23 feet of additional road right-of-way across the parcel frontage on W. North Avenue.
2.	The site plan shows two new proposed driveways. Due to the arterial classification of W. North Avenue, the applicant shall be restricted to one driveway approach which cannot exceed 35 feet Per County Standard.

Project Notes	
<b>The following Notes reference mandatory requirements of Fresno County or other Agencies and are provided as information to the project Applicant.</b>	
1.	The proposed driveway approach along W. North Ave. shall not disrupt existing roadway drainage plans.
2.	The driveway approach shall be limited to a maximum of 35 feet.
3.	Subject's parcel is within Fresno Metropolitan Flood Control District boundaries, any permanent drainage improvements should be in accordance with FMFCD master plan.

EXHIBIT 1

<b>Project Notes</b>	
4.	All proposed gates at the driveway shall be set back a minimum of 20 feet from the right-of-way or such other extra depth, in order to eliminate the largest vehicle from idling in the road right-of-way when stopped to open the gate.
5.	An encroachment permit is needed from the Road Maintenance and Operations Division for any work done within the road right-of-way of County of Fresno.
6.	The subject property borders on W. North Ave., which is a county-maintained road.
7.	North Ave. is classified as an Arterial in the General Plan, with a recommended right-of-way width of 106 feet. Records for existing right-of-way show a right-of-way width for North Ave. of 60 feet.
8.	It is recommended that the applicant consider having the existing septic tank pumped and have the tank and leach lines evaluated by an appropriately licensed contractor if it has not been serviced and/or maintained within the last five years. The evaluation may indicate possible repairs, additions, or require the proper destruction of the system.
9.	Any proposal for a new sewage disposal system shall meet setbacks, be approved and installed under permit from the Department of Public Works and Planning, Building and Safety Section. The applicant's consultant shall contact the Department of Public Works and Planning Building and Safety Section at (559) 600-4540 for more information.
10.	Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan electronically pursuant to the HSC, Division 20, Chapter 6.95 ( <a href="http://cers.calepa.ca.gov/">http://cers.calepa.ca.gov/</a> ). For more information please contact the local Hazmat Compliance Program at (559) 600-3271. The default State reporting thresholds that apply are: >55 gallons (liquids), >500 pounds (solids), >200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances.
11.	If any underground storage tank(s) are found during construction, the applicant shall apply for and secure an Underground Storage Tank Removal Permit from the Fresno County Department of Public Health, Environmental Health Division. Contact the Fresno County Hazmat Compliance Program at (559) 600-3271 for more information.
12.	The proposed project shall comply with the noise elements of the Fresno County Noise Ordinance Codes and the City of Fresno Municipal Code. Due to the location of the proposed project near residential uses, all equipment shall be maintained according to the manufacturer's specifications, and that noise generating equipment be equipped with mufflers.
13.	The applicant should be advised of the State of California Public Resources Code, Division 30; Waste Management, Chapter 16; Waste Tire Facilities and Chapter 19; Waste Tire Haulers and facilities, will require the Owner/Operator to obtain a Tire Program Identification Number (TPID) and possibly a waste and used tire hauler permit from the California

<b>Project Notes</b>	
	Department of Resources Recycling and Recovery (CalRecycle). Contact the local Tire Enforcement Agency at (559) 600-3271 for additional information.
14.	FMFCD: Recommend that the County require a temporary on-site storm water storage facility for any additional development or street improvements. Said facility should be located and constructed so that once permanent FMFCD facilities become available, drainage can be directed to the street.
15.	FMFCD: The minimum finish floor elevation shall be 268.70 (U.S.G.S. Datum).
16.	To improve storm runoff quality, outdoor storage areas shall be constructed and maintained such that material that may generate contaminants will be prevented from contact with rainfall and runoff and thereby prevent the conveyance of contaminants in runoff into the storm drain system.
17.	The District encourages, but does not require that roof drains from non-residential development be constructed such that they are directed onto and through a landscaped grassy swale area to filter out pollutants from roof runoff.
18.	<p>Runoff from areas where industrial activities, product, or merchandise meet and may contaminate storm water must be treated before discharging it off-site or into a storm drain. Roofs covering such areas are recommended. Cleaning of such areas by sweeping instead of washing is to be required unless such wash water can be directed to the sanitary sewer system.</p> <p>Storm drains receiving untreated runoff from such areas shall not be connected to the District's system. Loading docks, depressed areas, and areas servicing or fueling vehicles are specifically subject to these requirements. The District's policy governing said industrial site NPDES program requirements is available on the District's website at: <a href="http://www.fresnofloodcontrol.org">www.fresnofloodcontrol.org</a> or contact the District's Environmental Department for further information regarding these policies related to industrial site requirements.</p>
19.	Prior to site development, all survey monumentation – Property Corners, Centerline Monumentation, Section Corners, County Benchmarks, Federal Benchmarks and Triangulation Stations, etc. within the subject area shall be preserved in accordance with Section 8771 of the Professional Land Surveyors Act and Section 6730.2 of the Professional Engineers Act.

# LOCATION MAP

CUP 3732

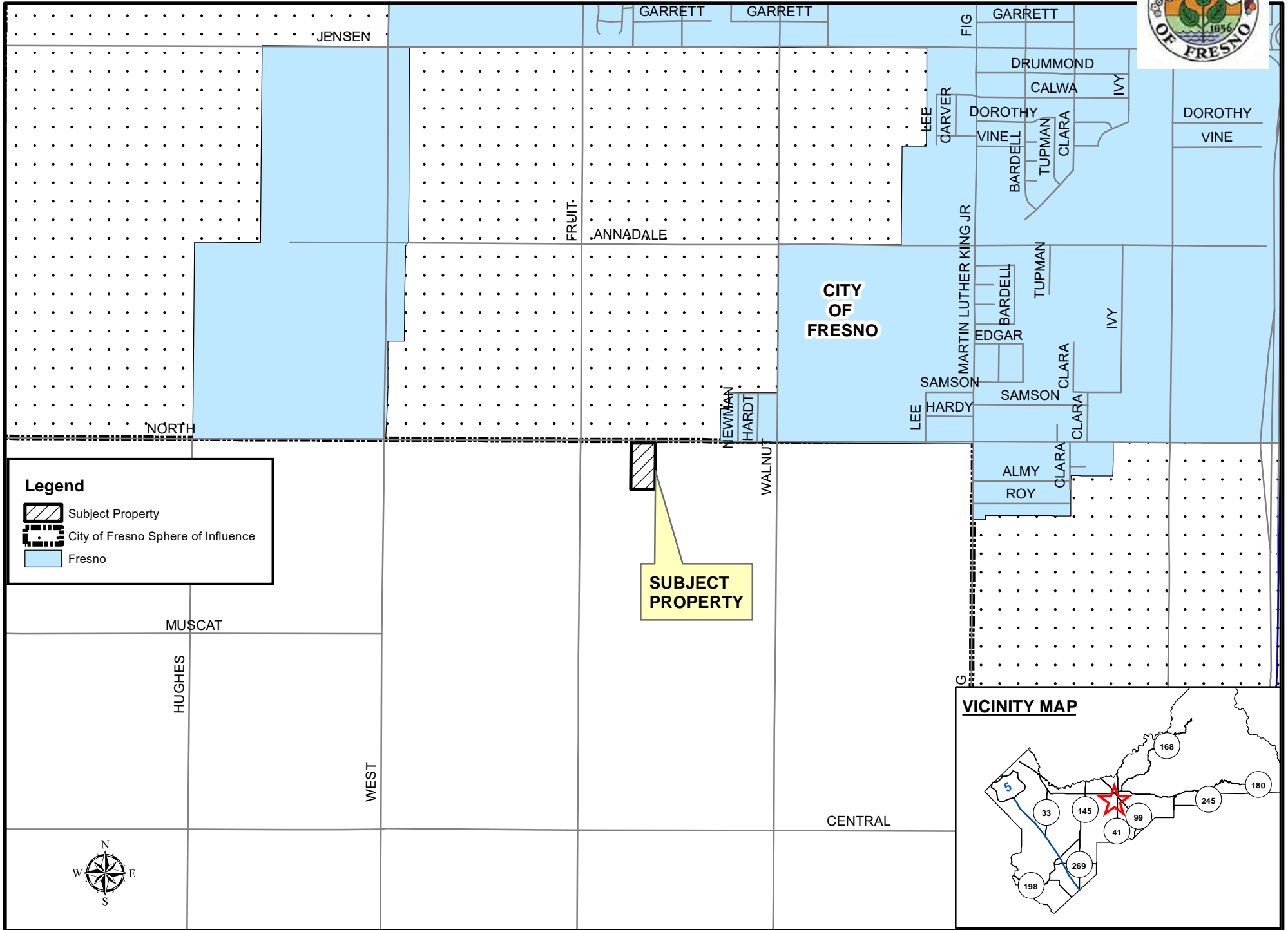


EXHIBIT 2

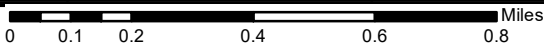


EXHIBIT 3  
**EXISTING ZONING MAP**

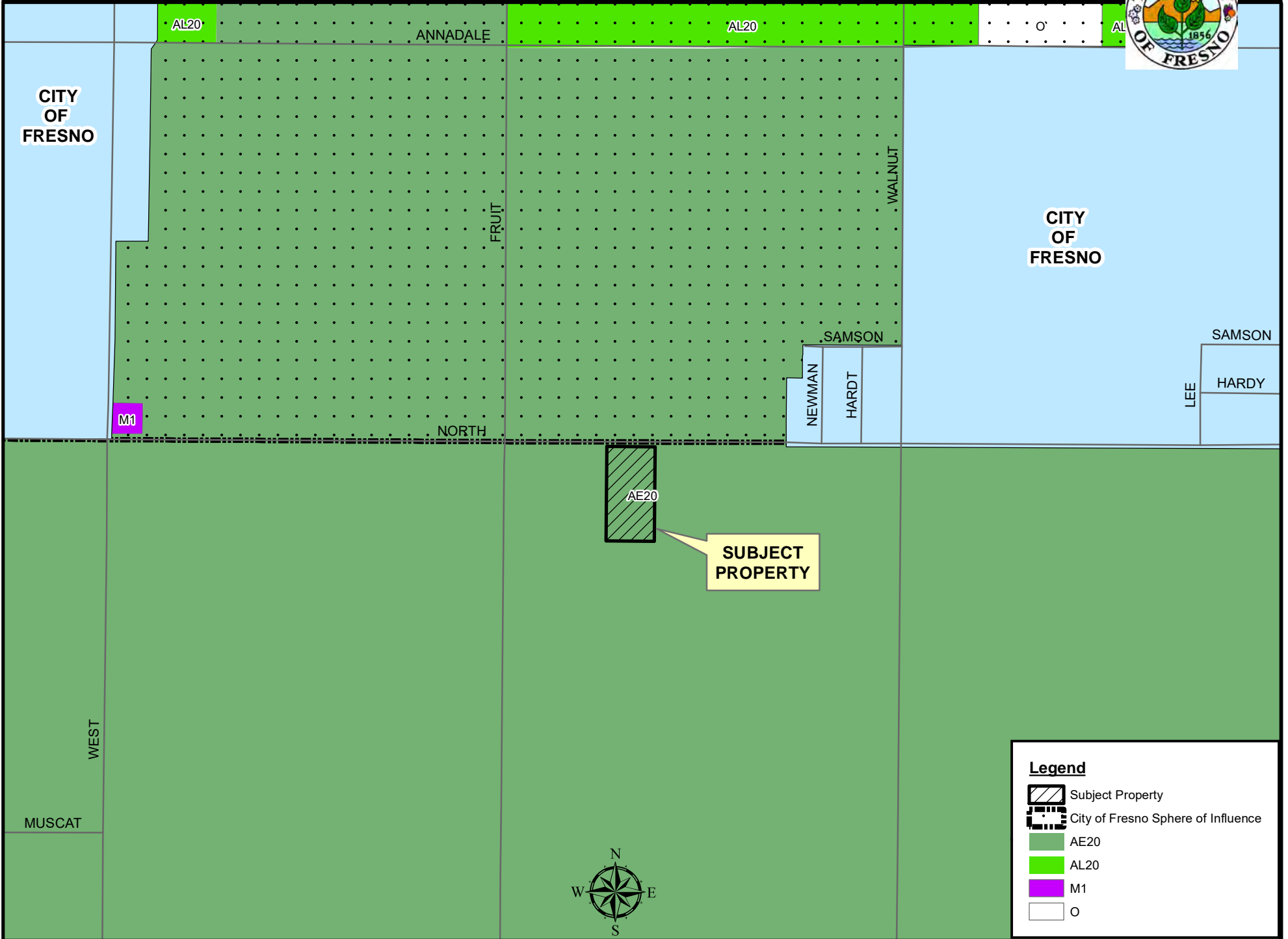


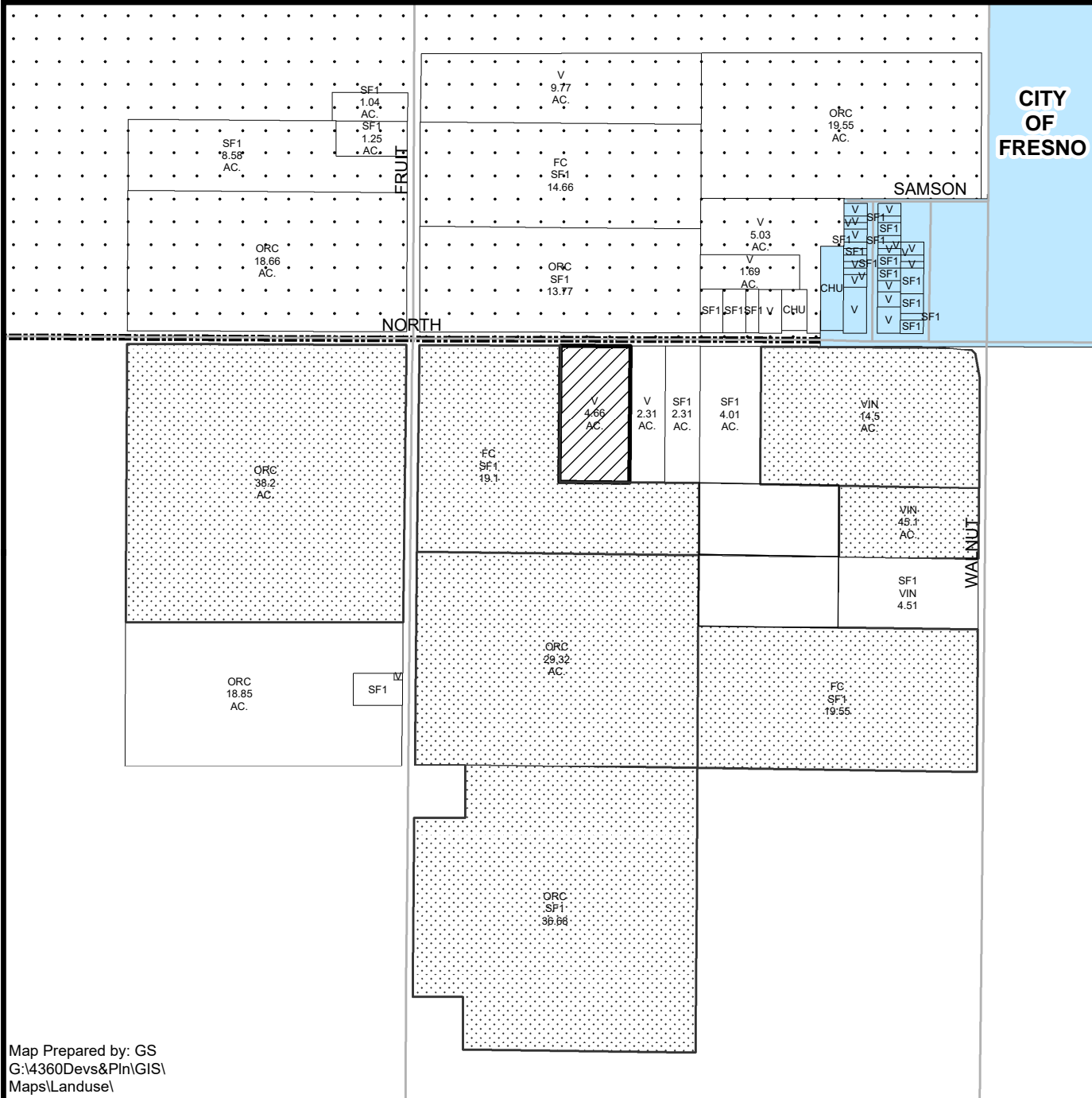
EXHIBIT 3

**Legend**

- Subject Property
- City of Fresno Sphere of Influence
- AE20
- AL20
- M1
- O


# EXISTING LAND USE MAP

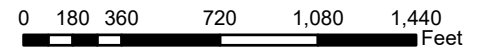
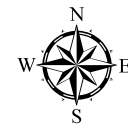
CUP 3732



LEGEND	
CHU	- CHURCH
FC	- FIELD CROP
ORC	- ORCHARD
SF#	- SINGLE FAMILY RESIDENCE
V	- VACANT
VIN	- VINEYARD

## Legend

-  Subject Property
-  Ag Contract Land
-  City of Fresno Sphere of Influence



Department of Public Works and Planning  
Development Services Division

# EXHIBIT 5

## SITE NOTES :

1. A) THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE INCH VERTICAL IN 20 INCHES HORIZONTAL (5%) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL OR AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION SHALL BE USED 5/8" PER FOOT = 5%
- B) SHALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2% WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION (CBC 1804.3) (4" PER FOOT = 2%)
2. NO WATER SHALL DRAIN TO ADJACENT PROPERTY WITH NO ON-SITE WATER RETENTION.
3. ALL GRADING SHALL COMPLY WITH SECTION 1804 AND APPENDIX J OF THE 2019 CALIFORNIA BUILDING CODE.
4. COMPACTION REPORT SHALL BE PREPARED BY AN APPROVED TESTING AGENCY UPON COMPLETION OF GRADING.
5. PROVIDE SOIL COMPACTION FROM AN APPROVED TESTING LAB FOR ALL AREAS WHERE LOOSE FILL IS USED OR WHERE BUILDING FOOTING WILL OCCUR.
6. ANY SURVEY POINTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A PERSON LICENSED TO PRACTICE LAND SURVEYING IN THE STATE OF CALIFORNIA.
7. INSTALL STREET ADDRESS NUMERALS AT LEAST FOUR (4) INCHES HIGH WITH MINIMUM 1/2"-INCH STROKE MOUNTED ON A CONTRASTING BACKGROUND CLEARLY VISIBLE FROM THE STREET (CBC 901.2)
8. LIGHTING WHERE PROVIDED TO ILLUMINATE PARKING, SALES OR DISPLAY AREAS SHALL BE HOODED AND SO ARRANGED AND CONTROLLED SO AS NOT TO CAUSE A NUISANCE EITHER TO HIGHWAY TRAFFIC OR TO THE LIVING ENVIRONMENT. THE AMOUNT OF LIGHT SHALL BE PROVIDED ACCORDING TO THE STANDARDS OF THE DEPARTMENT OF PUBLIC WORKS.
9. SUITABLE TOILET FACILITIES SHALL BE PROVIDED AND MAINTAINED IN A SANITARY CONDITION FOR THE USE OF WORKERS DURING CONSTRUCTION (CBC SECTION 412.7)
10. FINISH FLOOR ELEVATION TO BE 6" ABOVE THE CROWN OF THE STREET.
11. DRIVEWAYS AND PRIVATE ROADS SHALL HAVE A MAXIMUM SLOPE OF 12%. THE GRADE MAY BE INCREASED TO A MAXIMUM OF 20% FOR PAVED SURFACES.
12. IF ARCHAEOLOGICAL AND/OR ANIMAL FOSSIL MATERIAL IS ENCOUNTERED DURING PROJECT SURVEYING, EXCAVATING, OR CONSTRUCTION WORK SHALL STOP IMMEDIATELY.
13. IF THERE ARE SUSPECTED HUMAN REMAINS, THE TULARE COUNTY CORONER SHALL BE IMMEDIATELY CONTACTED. IF THE REMAINS OR OTHER ARCHAEOLOGICAL MATERIAL IS POSSIBLY NATIVE AMERICAN IN ORIGIN THE NATIVE AMERICAN HERITAGE COMMISSION (PH: (916) 375-3100) SHALL BE IMMEDIATELY CONTACTED, AND THE CALIFORNIA ARCHAEOLOGICAL INVENTORY/ SOUTHERN SAN JOAQUIN VALLEY INFORMATION CENTER (PH: (661) 654-2284) SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF ARCHAEOLOGISTS. AN ARCHAEOLOGICAL ASSESSMENT SHALL BE CONDUCTED FOR THE PROJECT, THE SITE SHALL BE FORMALLY RECORDED, AND RECOMMENDATIONS MADE TO THE COUNTY AS TO ANY FURTHER SITE INVESTIGATION OR SITE AVOIDANCE/PRESERVATION.
14. IF ANIMAL FOSSILS ARE UNCOVERED, THE MUSEUM OF PALEONTOLOGY, U.C. BERKELEY SHALL BE CONTACTED TO OBTAIN A REFERRAL LIST OF RECOGNIZED PALEONTOLOGISTS, A PALEONTOLOGIST SHALL CONDUCT AN ASSESSMENT AND REPORT. IF THE PALEONTOLOGIST DETERMINES THE MATERIAL TO BE SIGNIFICANT, IT SHALL BE PRESERVED.
15. TEMPORARY FENCES TO SECURE PROJECTS UNDER CONSTRUCTION ARE ALLOWED. ANY TEMPORARY FENCE SHALL BE ADEQUATELY SECURED AND CONSTRUCTED TO PREVENT OVERTURNING DUE TO WIND, VANDALISM AND/OR CASUAL CONTACT BY THE GENERAL PUBLIC. THE CONSTRUCTION SHALL BE PERFORMED IN SUCH A MANNER AS TO MINIMIZE ANY POTENTIAL SAFETY HAZARD WHICH MAY OCCUR AS A RESULT OF IMPROPER FENCE INSTALLATION OR DAMAGE TO THE FENCE.

## ACCESSIBILITY NOTES :

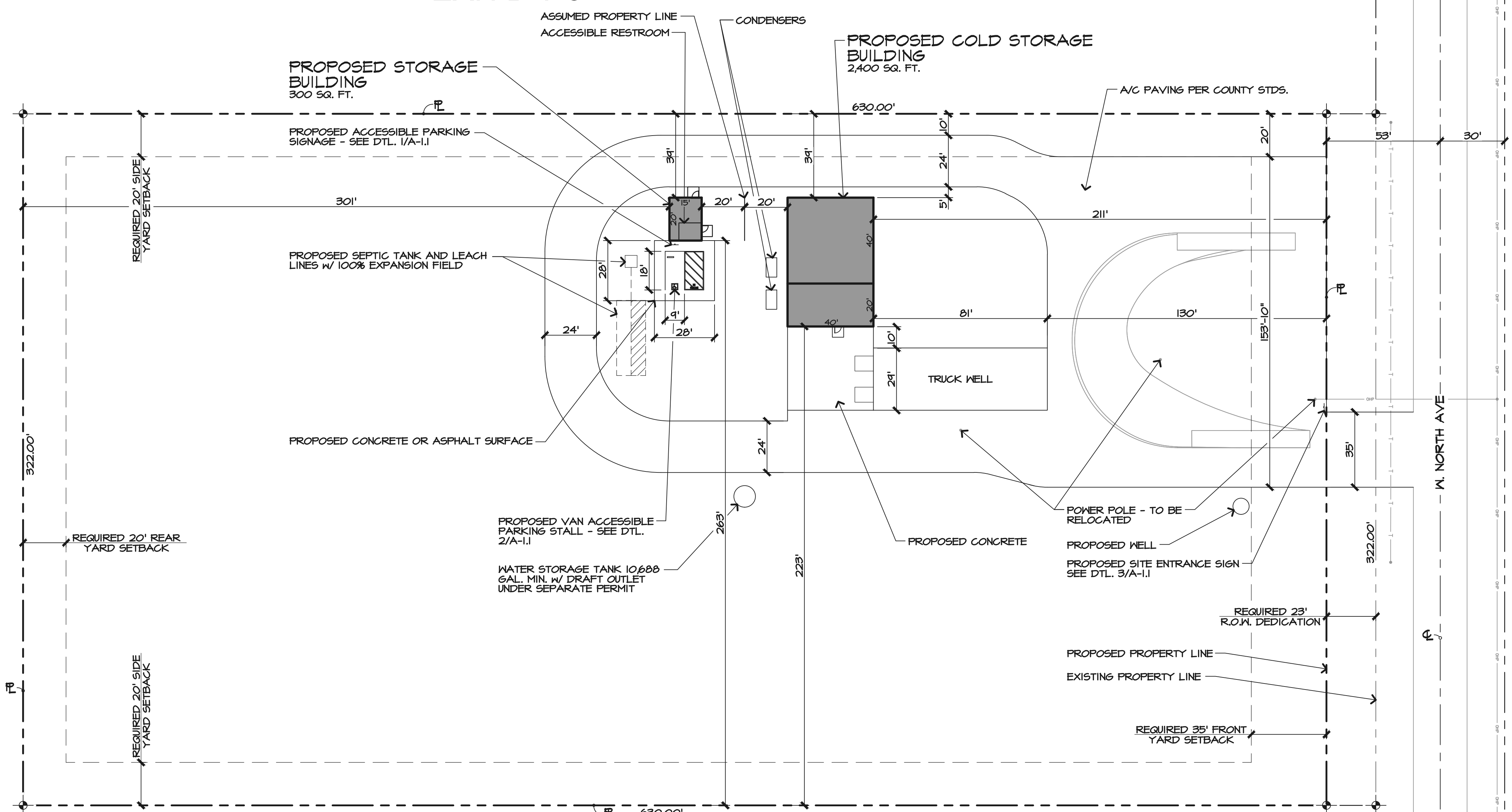
1. AT LEAST ONE ACCESSIBLE ROUTE SHALL BE PROVIDED WITHIN THE SITE FROM ACCESSIBLE PARKING SPACES AND ACCESSIBLE PASSENGER LOADING ZONES, PUBLIC STREETS AND AND SIDEWALKS, AND PUBLIC TRANSPORTATION STOPS TO THE ACCESSIBLE BUILDING OR FACILITY ENTRANCE THEY SERVE. WHERE MORE THAN ONE ROUTE IS PROVIDED, ALL ROUTES MUST BE ACCESSIBLE (2019 CBC 11B-206.2.1)
2. AT LEAST ONE ACCESSIBLE ROUTE SHALL CONNECT ACCESSIBLE BUILDINGS, ACCESSIBLE FACILITIES, ACCESSIBLE ELEMENTS AND ACCESSIBLE SPACES THAT ARE ON THE SAME SITE, UNLESS THE ONLY MEANS OF ACCESS BETWEEN THEM IS A VEHICULAR WAY NOT PROVIDING PEDESTRIAN ACCESS. (2019 CBC 11B-206.2.2)
3. ACCESSIBLE ROUTES SHALL COINCIDE WITH OR BE LOCATED IN THE SAME AREA AS GENERAL CIRCULATION PATHS, WHERE CIRCULATION PATHS ARE INTERIOR, REQUIRED ACCESSIBLE ROUTES SHALL ALSO BE INTERIOR. (2019 CBC 11B-206.3)
4. DIRECTIONAL SIGNS COMPLYING W/ 2019 CBC SECTION 11B-103.5, INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING W/ 2019 CBC SECTION 11B-103.1.2.1, INDICATING THE ACCESSIBLE ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE SHALL BE PROVIDED AT JUNCTIONS WHEN THE ACCESSIBLE ROUTE DIVERGES FROM THE REGULAR CIRCULATION PATH. (2019 CBC SECTION 11B-216.6)
5. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48 (2%). WHEN THE SLOPE OF ANY WALKING SURFACE EXCEEDS 1:20 (5%), IT SHALL COMPLY WITH THE PROVISIONS OF 2019 CBC SECTION 11B-405.1 AND 11B-405.3.
6. THE RUNNING SLOPE OF CURB RAMPS SHALL NOT BE STEEPER THAN 1:12 (8.33%) THE RUNNING SLOPE OF BLENDED TRANSITIONS SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF CURB RAMPS AND BLENDED TRANSITIONS SHALL BE 1:48 (2%) MAX. (2019 CBC SECTION 11B-406.2.1, 11B-406.3.1, 11B-406.4.1 AND 11B-406.3.1)
7. THE SURFACE OF EACH CURB RAMP AND ITS FLARED SIDES, WHERE APPLICABLE, SHALL COMPLY WITH 2019 CBC SECTION 11B-302, FLOOR AND GROUND SURFACES, 11B-405.4 AND 11B-405.10. (2019 CBC SECTION 11B-406.3.4 AND 11B-406.3.5)
8. DETECTABLE WARNINGS AT CURB RAMPS SHALL EXTEND 36 INCHES IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE RAMP RUN LESS 2 INCHES MAX. ON EA. SIDE, EXCLUDING ANY FLARED SIDES AND BE LOCATED SO THE EDGE NEAREST THE CURB IS 6 INCHES MIN. AND 8 INCHES MAX. FROM THE LINE AT THE FACE OF THE CURB MARKING THE TRANSITION BETWEEN THE CURB AND GUTTER, STREET OR HIGHWAY. ON PARALLEL CURB RAMPS, DETECTABLE WARNINGS SHALL BE PLACED ON THE TURNING SPACE AT THE FLUSH TRANSITION BETWEEN STREET AND SIDEWALK. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRIANGULAR DOWNS PER 2019 CBC SECTION 11B-105.1.1 AND FIGURE 11B-105.1, AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES. (2019 CBC SECTION 11B-406.5.2, 11B-105.1.1.3, AND 11B-105.1.2.2)
9. ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING OR FACILITY SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTE FROM PARKING TO AN ACCESSIBLE ENTRANCE. (2019 CBC SECTION 11B-208.3.1)
10. PROVIDE THE APPROPRIATE NUMBER OF ACCESSIBLE PARKING SPACES AS REQUIRED BY 2019 CBC TABLE 11B-208.2.
11. ONE IN EVERY SIX ACCESSIBLE PARKING SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE AISLE 48 INCHES WIDE MINIMUM PLACED ON THE SIDE OPPOSITE THE DRIVER'S SIDE WHEN THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE AND SHALL BE DESIGNATED VAN ACCESSIBLE AS REQUIRED BY 2019 CBC SECTION 11B-302 (2019 CBC SECTION 11B-208.2.4)
12. PARKING SPACES AND ACCESSIBLE AISLES SHALL BE DESIGNED SO THAT PERSONS USING THEM ARE NOT REQUIRED TO TRAVEL BEHIND PARKING SPACES OTHER THAN TO PASS BEHIND THE PARKING SPACE IN WHICH THEY PARKED. (2019 CBC SECTION 11B-302.7.1)
13. THE MAXIMUM CROSS SLOPE IN ANY DIRECTION OF AN ACCESSIBLE PARKING SPACE OR THE ADJACENT ACCESSIBLE AISLE SHALL NOT EXCEED 1:48 (2%). (2019 CBC SECTION 11B-302.4)
14. PROVIDE THE FOLLOWING INFORMATION FOR ACCESSIBLE PARKING :
  - A. EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED PARKING SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE, OR PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE CONSISTING OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN BELOW THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250". SIGNS SHALL BE 60 INCHES MIN. ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. SIGNS LOCATED WITHIN AN ACCESSIBLE ROUTE SHALL BE A MIN. OF 80 INCHES ABOVE THE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. (2019 CBC SECTION 11B-302.6)
  - B. THE SURFACE OF EACH ACCESSIBLE STALL SHALL HAVE A SURFACE IDENTIFICATION COMPLYING WITH EITHER 2019 CBC SECTION 11B-302.6.4.1 OR 11B-302.6.4.2 (2019 CBC SECTION 11B-302.6.4)
  - C. AN APPROVED SIGN TO BE POSTED IN CONSPICUOUS PLACE AT EACH ENTRANCE TO THE OFF-STREET PARKING FACILITY OR IMMEDIATELY ADJACENT TO ON-SITE ACCESSIBLE PARKING AND VISIBLE FROM EA. PARKING SPACE WHICH DISPLAYS THE TOW-AWAY WARNINGS PER 2019 CBC SECTION 11B-302.8.2. (2019 CBC SECTION 302.8)
15. THRESHOLDS, IF PROVIDED AT DOORWAYS, SHALL BE 1/2 INCH HIGH MAX. CHANGE IN LEVEL BETWEEN 1/4 INCH HIGH MIN. AND 1/2 INCH HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 (50%). CHANGE IN LEVEL GREATER THAN 1/2 INCH HIGH SHALL BE RAMPED, AND SHALL COMPLY WITH 2019 CBC SECTION 11B-405 OR 11B-406. (2019 CBC SECTION 11B-404.2.5, 11B-302, AND 11B-303)

## FIRE NOTES:

1. AN APPROVED KNOX BOX SHALL BE INSTALLED IN AN APPROVED LOCATION AT A HEIGHT OF APPROXIMATELY 5 FEET ABOVE GRADE NEAR THE MAIN ENTRANCE TO THE BUILDING. OBTAIN AN ORDER FORM FROM FRESNO COUNTY FIRE PROTECTION DISTRICT. THE BOX SHALL CONTAIN LABELED KEYS TO GAIN ACCESS INTO ALL PORTIONS OF THE BUILDING OR SPECIFIC PORTIONS OF THE BUILDING AS REQUIRED BY THE FIRE CODE OFFICIAL. THE OPERATOR OF THE BUILDING SHALL IMMEDIATELY NOTIFY THE FIRE CODE OFFICIAL AND PROVIDE A NEW KEY WHEN A LOCK IS CHANGED OR REKEYED. THE KEY TO SUCH LOCK BE SECURED IN THE KEY BOX BY THE FIRE CODE OFFICIAL. (CFC 506)
2. THE FIRE ALARM PLANS WILL BE A SEPARATE SUBMITTAL.
3. THE FIRE UNDERGROUND WATER SUPPLY SYSTEM PLANS WILL BE A SEPARATE SUBMITTAL.
4. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED SO THAT THE TOP IS NOT MORE THAN 5 FEET ABOVE THE FLOOR. THE CLEARANCE BETWEEN THE FLOOR AND THE BOTTOM OF THE PORTABLE FIRE EXTINGUISHER SHALL NOT BE LESS THAN 4 INCHES.
5. PORTABLE FIRE EXTINGUISHERS SHALL BE CURRENTLY SERVICED AND HAVE A CALIFORNIA STATE FIRE MARSHAL SERVICE TAG AFFIXED TO THEM.
6. PROVIDE A FLOW TEST ON THE EXISTING HYDRANT LOCATED ADJACENT THE PROPOSED BUILDING ADDITION.
7. "LAYOUT AND DETAILS OF THE FIRE SPRINKLER SYSTEM SHALL BE SUBMITTED TO AND APPROVED BY THE FIRE PREVENTION BUREAU PRIOR TO SUBMITTING TO THE COUNTY OF FRESNO FOR PERMIT AND INSTALLATION. ONE SET OF APPROVED PLANS SHALL BE MAINTAINED ON THE JOB SITE AND ONE SET RETAINED BY THE COUNTY OF FRESNO". THE SPRINKLER SYSTEM SHALL BE INSTALLED BY THE LICENSED SPRINKLER CONTRACTOR, AND INSPECTED AND APPROVED BY THE FIRE PREVENTION BUREAU PRIOR TO ISSUANCE OF OCCUPANCY PERMIT. THIS PROJECT HAS BEEN DESIGNED WITH A UNIFORM LOAD OF 5.0 POUNDS/S.F. TO SUPPORT THE FIRE SPRINKLER SYSTEM. ADDITIONALLY, I HAVE DESIGNED THE MAIN SUPPORT MEMBERS (PURLINS, FRAMES, JOIST, ETC.) TO SUPPORT CONCENTRATED LOADS OF LARGER SPRINKLER LINES.

SIGNED ENGINEER LIC. #2663

## VICINITY MAP :



## LEGEND :

- PROPOSED
- EXISTING
- EXISTING OVERHEAD POWER LINE
- EXISTING OVERHEAD TELEPHONE LINE

## MASTER SITE DEVELOPMENT PLAN

DESIGNED BY  
**GMA**  
 GERALD MELE & ASSOCIATES, INC.  
 7337 N. FIRST ST., SUITE 110 FRESNO, CA 93720 (509)435-1411 FAX (509)435-1188  
 CONSULTING ENGINEERS AND ARCHITECTS

SEE DTL. 1/A-1  
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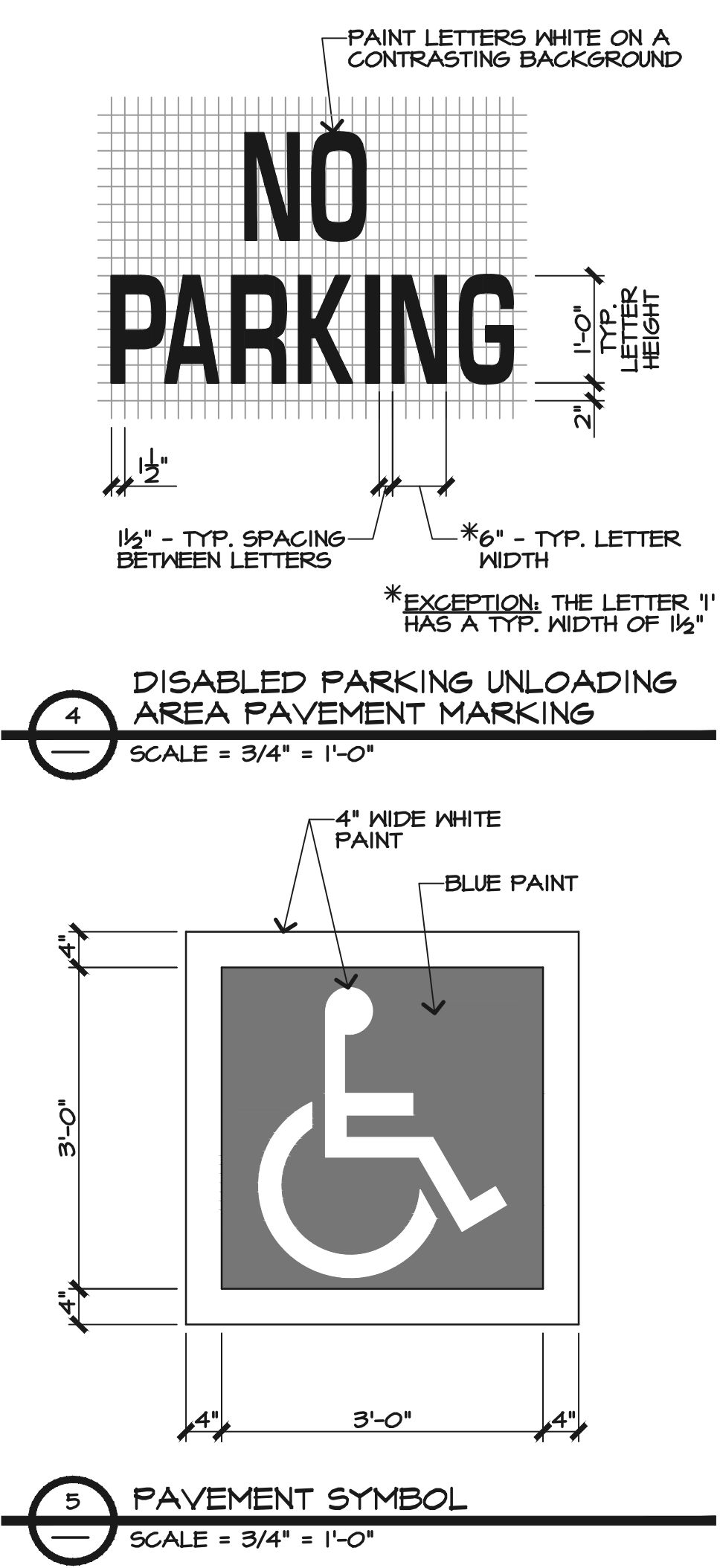
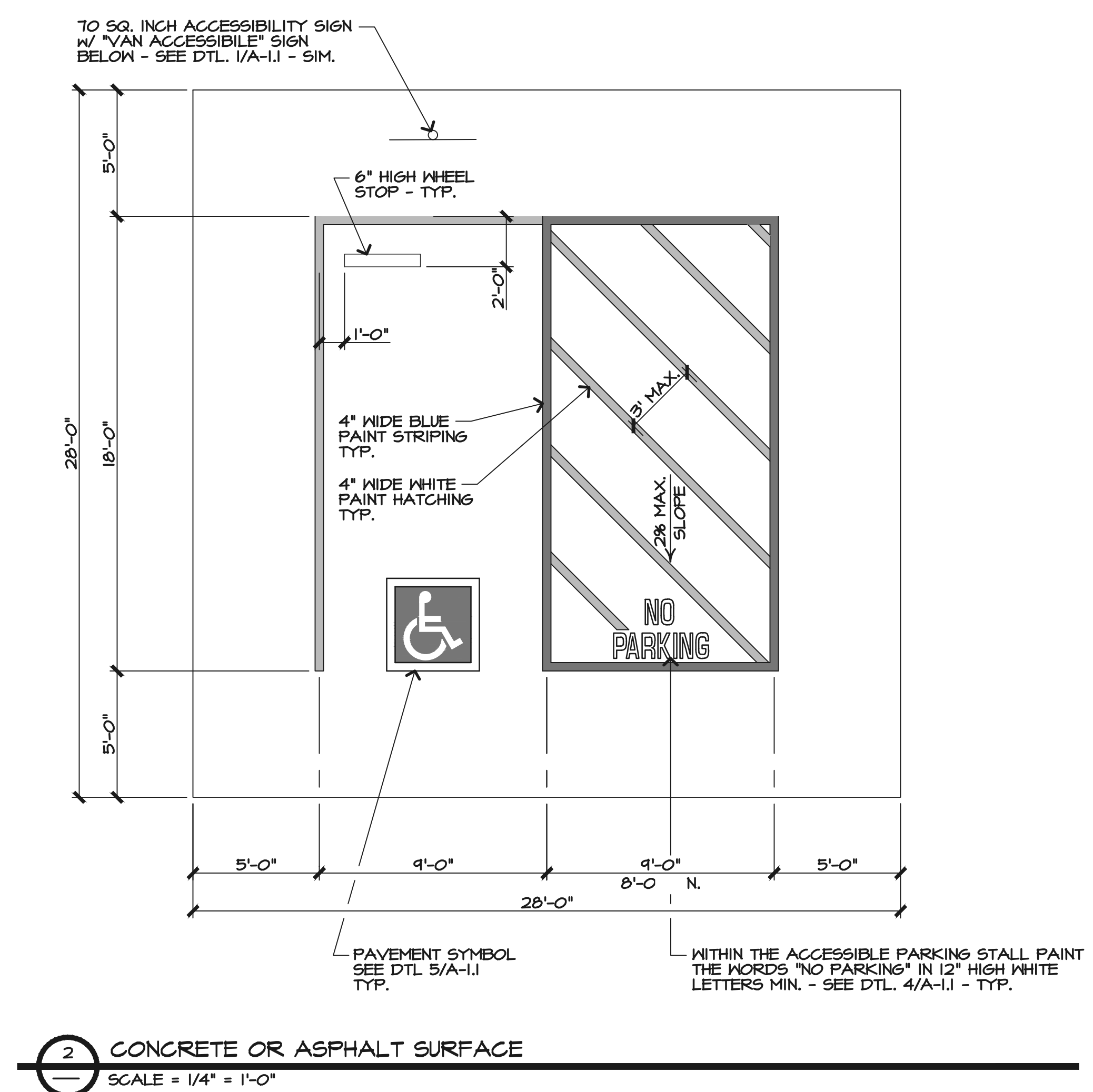
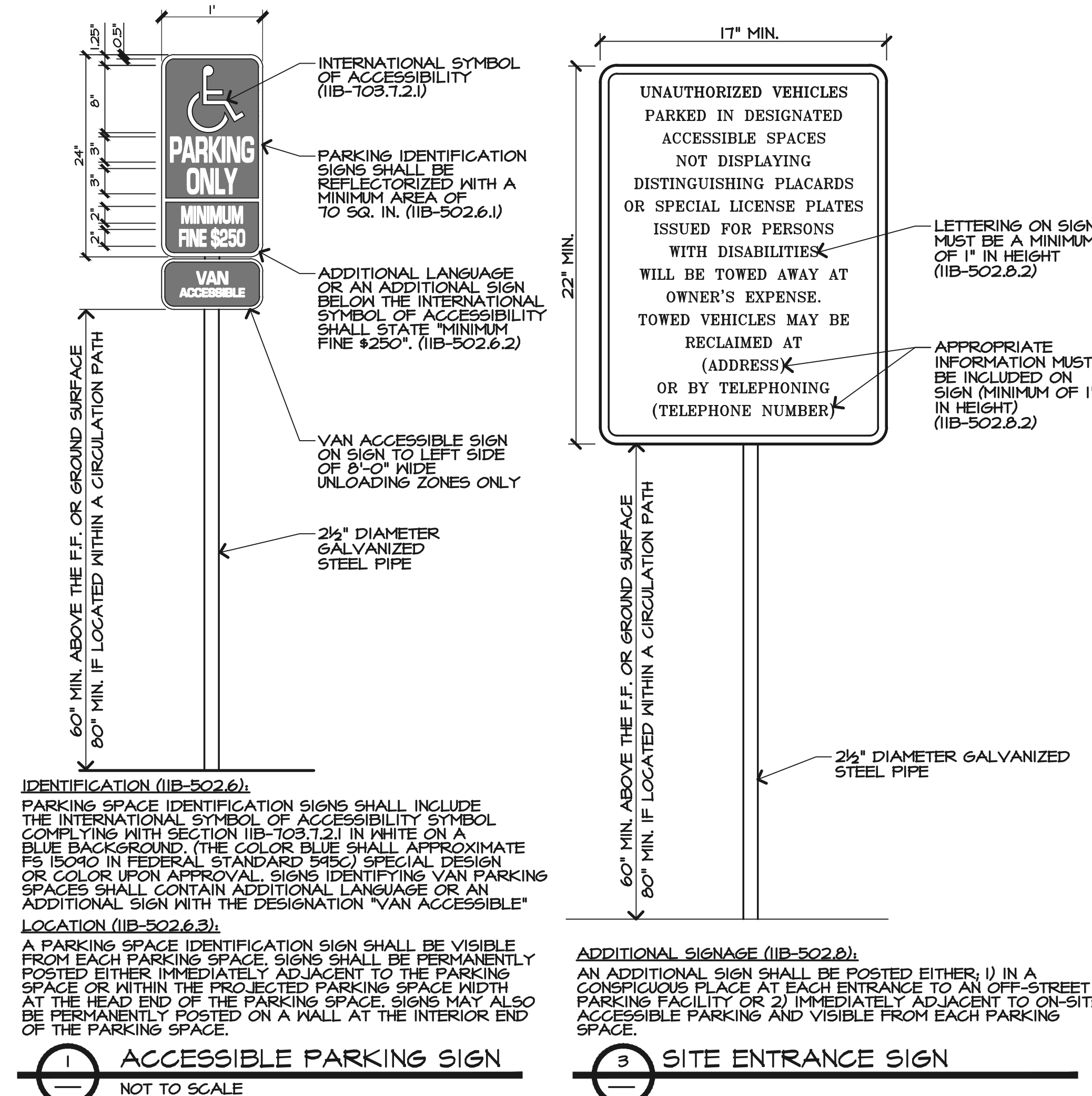
PROJECT  
**COLD STORAGE BUILDING**

PROPOSED PROJECT FOR  
**THE SIX BROTHER TRADING CO.**  
 1915 WEST NORTH AVENUE  
 FRESNO, CA 93706  
 (509) 215-6680

No.	Issue/Revision	Date

Date	10/19/22
Scale	1" = 30'-0"
Dr. By	M. MOHAMMED
Job No.	2021.154
Dwg. No.	21154M5D
Sheet	A-1
Revision No.	





DESIGNED BY **GMA** GERALD MELE & ASSOCIATES, INC. 7307 N. IRISH ST., SUITE 110 FRESNO, CA 93720 (509)435-1188 (509)435-1189  
CONSULTING ENGINEERS AND ARCHITECTS

PROJECT **COLD STORAGE BUILDING**

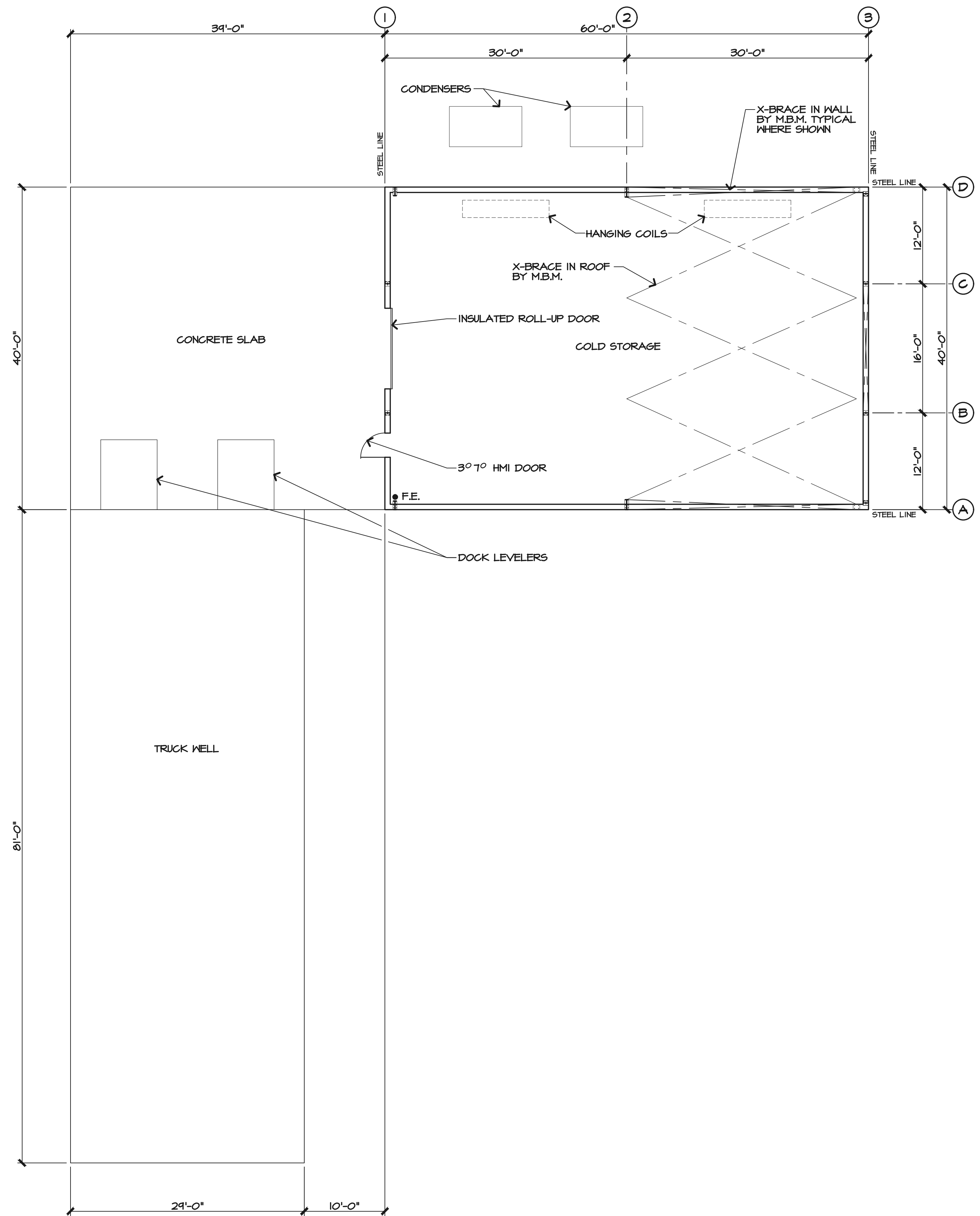
PROPOSED PROJECT FOR **KX PRODUCE** 1315 WEST NORTH AVENUE FRESNO, CA 93706 (509) 275-8880

No.	Issue/Revision	Date

Date 12/28/21  
Scale 1" = 1'-0" UNO.  
Dr. By N. MOHAMMED  
Job No. 2021.154  
Dwg. No. 2115495PD  
Sheet **A-1.1**  
Revision No.

**GENERAL FLOOR PLAN NOTES :**

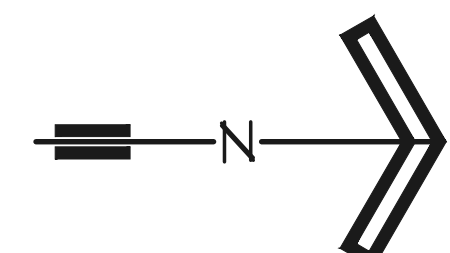
1. ALL REQUIRED EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. (CBC 100B.1.4)
2. ALL DOOR OPENING HARDWARE SHALL BE EITHER LEVER, PANIC, PUSH/PULL OR A SIMILAR TYPE.
3. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY (DECAL) AT MAIN ENTRANCE DOOR (5" SQ.). SEE DETAIL 2/A-5.
4. SAFETY GLASS:  
EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED. TEMPERED SPANDREL GLASS IS EXEMPTED FROM PERMANENT LABELING BUT SUCH GLASS SHALL BE IDENTIFIED BY THE MANUFACTURER WITH A REMOVABLE PAPER LABEL. PROVIDE SAFETY GLASS AT THE FOLLOWING LOCATIONS:  
A. WINDOWS ADJACENT TO A DOOR, WHERE EXPOSED EDGE IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR.  
B. ALL GLASS IN DOORS.
5. VERIFY ROUGH OPENING SIZES FOR ALL DOORS AND WINDOWS AND COORDINATE WITH SUPPLIER.
6. GENERAL CONTRACTOR IS TO VERIFY ALL DOOR SIZES (INCLUDING SL. GL. DRS.) PRIOR TO ORDERING.
7. WINDOW SIZES ARE SHOWN ON PLANS, IN ACCORDANCE WITH ARCH. MANUF. ASSOC. STDS. UNLESS OTHERWISE NOTED ON PLANS.
8. WEATHER STRIP ALL EXTERIOR DOORS.
9. PROVIDE INTERNATIONAL ACCESSIBILITY SYMBOL AT RESTROOMS. SEE SHEET A-2.1
10. TOILET ROOMS TO MEET CURRENT ACCESSIBILITY REQUIREMENTS. SEE SHEET A-2.1
11. USE MINIMUM 60" X 60" LANDING AT ALL EXTERIOR DOORS SWINGING ONTO A LANDING AND A 48" X 48" LANDING AT A DOOR THAT SWINGS AWAY FROM LANDING. DOOR LANDINGS SHALL HAVE A SURFACE THAT IS STABLE, FIRM, AND SLIP RESISTANT. SLOPE AT LANDINGS TO BE 1:40 (2% SLOPE) MAX. IN ANY DIRECTION. CHANGES IN LEVEL OTHER THAN THE 1" HIGH MAX. CHANGE IN LEVEL AT DOOR THRESHOLD ARE NOT PERMITTED. (CBC 2019 SECTION IIB-302.1 AND IIB-404.2.4.4)
12. FOR TYPICAL ACCESSIBILITY AND ARCHITECTURAL DETAILS SEE SHEET A-5
13. COORDINATE ROOM FINISHES W/ OWNER.
14. PROVIDE FIRE EXTINGUISHERS PER N.F.P.A. 10 AT A RATE OF 1 PER 3000 W/ A MAXIMUM TRAVEL DISTANCE OF 75' FROM ANY POINT TO FIRE EXTINGUISHER (4 REQUIRED) 2A:10B:C MIN. RATED EXTINGUISHERS.
15. A PERMANENT SUITE NUMBER SHALL BE POSTED AT THE ENTRY TO THE SUITE BEFORE THE FIRE DEPARTMENT WILL GRANT "SAFE TO OCCUPY".
16. THE ADDRESS SHALL BE POSTED ON THE BUILDING SO THAT IT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
17. PROVIDE A READILY VISIBLE, DURABLE SIGN POSTED ON THE EGRESS SIDE OR ADJACENT TO THE MAIN EXIT DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". THE SIGN SHALL BE IN (1) INCH HIGH LETTERS ON A CONTRASTING BACKGROUND. (CBC 2019 SECTION 100B.1.4.3.2.2)
18. ALL HOSE BIBBS SHALL BE EQUIPPED WITH NON-REMOVABLE BACK FLOW PREVENTERS.
19. COORDINATE EXACT LOCATION OF WALK DOORS WITH THE OWNER AND CONTRACTOR.
20. INTERNATIONAL "NO SMOKING" SYMBOL IN RED OR 1 INCH HIGH LETTERS SAYING "NO SMOKING". THE SIGN SHALL BE A MINIMUM OF 40 SQUARE INCHES IN SIZE AND LOCATED 60 INCHES ABOVE THE FINISHED FLOOR.
21. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED.
22. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
23. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5 POUNDS MAX. (2019 CBC SECTION IIB-309.4 AND IIB-404.2.1)
24. NO THUMB LATCHES OR KEYPED CYLINDER DEAD BOLTS ALLOWED ON ANY DOORS ALLOWED UNLESS OPERATED BY A SINGLE ACTION WITH A LEVER FROM THE INSIDE OF THE AREA SERVED. (2019 CBC)
25. EXIT DOORS USED AS PAIRS WITH APPROVED AUTOMATIC FLUSH BOLTS SHALL NOT HAVE DOOR KNOBS OR SURFACE-MOUNTED HARDWARE ON THE INACTIVE LEAF.
26. SIGNS WITH RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED 48" MINIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST LINE OF BRAILLE AND 60" MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST LINE OF RAISED CHARACTERS. MOUNTING LOCATION SHALL BE SUCH THAT A PERSON MAY APPROACH WITHIN 3" OF THE SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.
27. THE COLOR AND DESIGN OF LETTERING, ARROWS AND OTHER SYMBOLS ON EXIT SIGNS SHALL BE IN HIGH CONTRAST WITH THEIR BACKGROUND. WORDS ON THE SIGN SHALL BE IN BLOCK LETTERS 6" IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/4". SIGNS SHALL BE INTERNALLY ILLUMINATED OR SHALL BE OF AN APPROVED SELF-LUMINOUS TYPE. WHEN THE LUMINANCE ON THE FACE OF AN EXIT SIGN IS FROM AN EXTERNAL SOURCE, IT SHALL HAVE AN INTENSITY OF NOT LESS THAN 5.0 FOOTCANDLES FROM EITHER LAMP. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUIVALENT LUMINANCE. MIN. 90 MINUTE BACK-UP POWER REQUIRED.
28. THE ADDRESS SHALL BE POSTED ON THE BUILDING SO THAT IT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
29. PROVIDE AN EMERGENCY SOURCE OF POWER FOR EXIT ILLUMINATION PER (2019 CBC SECTION 1006.3. AND 1011.5.3)
30. THE PATH OF TRAVEL TO ANY EXIT SHALL NOT BE BLOCKED. (2019 CBC SECTION 1003.6)
31. ALL PERIMETER WALLS AND CEILINGS NEXT TO UNCONDITIONED SPACES AND RESTROOMS WALLS WILL SHALL INSULATED.
32. PROVIDE FIRE BLOCKING AT 10'-0" o.c. MAX. IN WOOD STUD WALLS



**LEGEND :**

- 6" METAL BUILDING WALL
- F.E. — PORTABLE FIRE EXTINGUISHERS PER N.F.P.A.-10, 2A:10B:C SEE GENERAL FLOOR PLAN NOTE 14/A-2

NOTE: SPRAY FOAM INSULATION IN WALLS AND CEILINGS TO RECEIVE A CODE APPROVE ZONOLITE THERMAL BARRIER 1/2" THICK.



**FLOOR PLAN**  
COLD STORAGE BUILDING

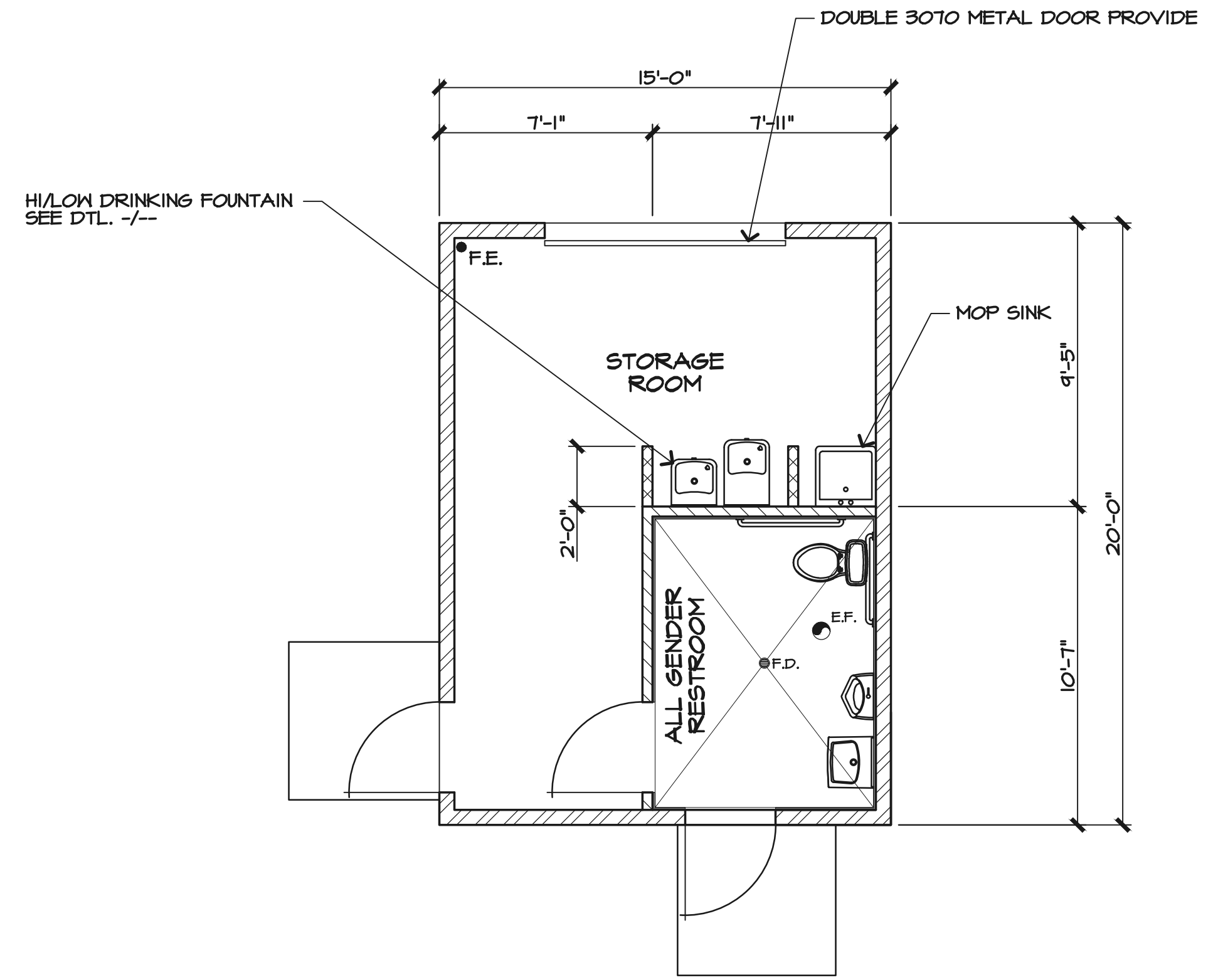
DESIGNED BY  
**GMA**  
 GERALD MELE & ASSOCIATES, INC.  
 7037 N. IRISH ST., SUITE 110 FRESNO, CA 93726 (509)365-1188  
 CONSULTING ENGINEERS AND ARCHITECTS  
 GERALD A. MELE, P.E., SE  
 ROBERT K. SANDERS, ARCHITECT  
 BRAD S. EDWARDS, P.E., SE  
 LUIS A. GOMEZ, P.E.

PROJECT  
**COLD STORAGE BUILDING**

PROPOSED PROJECT FOR  
**KX PRODUCE**  
 1315 WEST NORTH AVENUE  
 FRESNO, CA 93706  
 (504) 275-8880

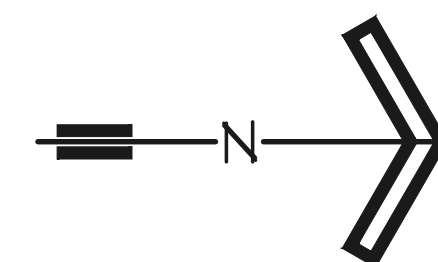
No.	Issue/Revision	Date

Date	12/28/21
Scale	1/8" = 1'-0"
Dr. By	N. MOHAMMED
Job No.	2021.154
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Sheet	<b>A-2</b>
Revision No.	



**LEGEND :**

- 2x6 DF-L #2 GRADE WOOD STUD WALLS AT 16"o.c. w/ DF-L #2 GRADE DBL. TOP-PLATES AND w/ METAL SIDING EXTERIOR AND 3/8" GYP BD. INTERIOR
- 2x4 DF-L #2 GRADE WOOD STUD WALLS AT 16"o.c. w/ DF-L #2 GRADE DBL. TOP-PLATES AND 3/8" GYP BD. INTERIOR EA. SIDE
- 2x4 DF-L #2 GRADE WOOD STUD WALLS AT 16"o.c. w/ DF-L #2 GRADE DBL. TOP-PLATES AND 3/8" GYP BD. INTERIOR EA. SIDE - PARTIAL HT. - T.O. WALL (+) 3'-6"
- F.E. — PORTABLE FIRE EXTINGUISHERS PER NFPA-10, 2A:10B.C SEE GENERAL FLOOR PLAN NOTE 14/A-2 - (I) REQUIRED
- F.D. — INDICATES FLOOR DRAIN - SEE PLUMBING PLAN
- ⊙ E.F. — INDICATES EXHAUST FAN - MECHANICALLY OPERATED EXHAUST SYSTEM CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. SUCH MECHANICALLY OPERATED EXHAUST SYSTEMS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE, AND THE POINT OF DISCHARGE SHALL BE AT LEAST 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.



**FLOOR PLAN**  
STORAGE BUILDING

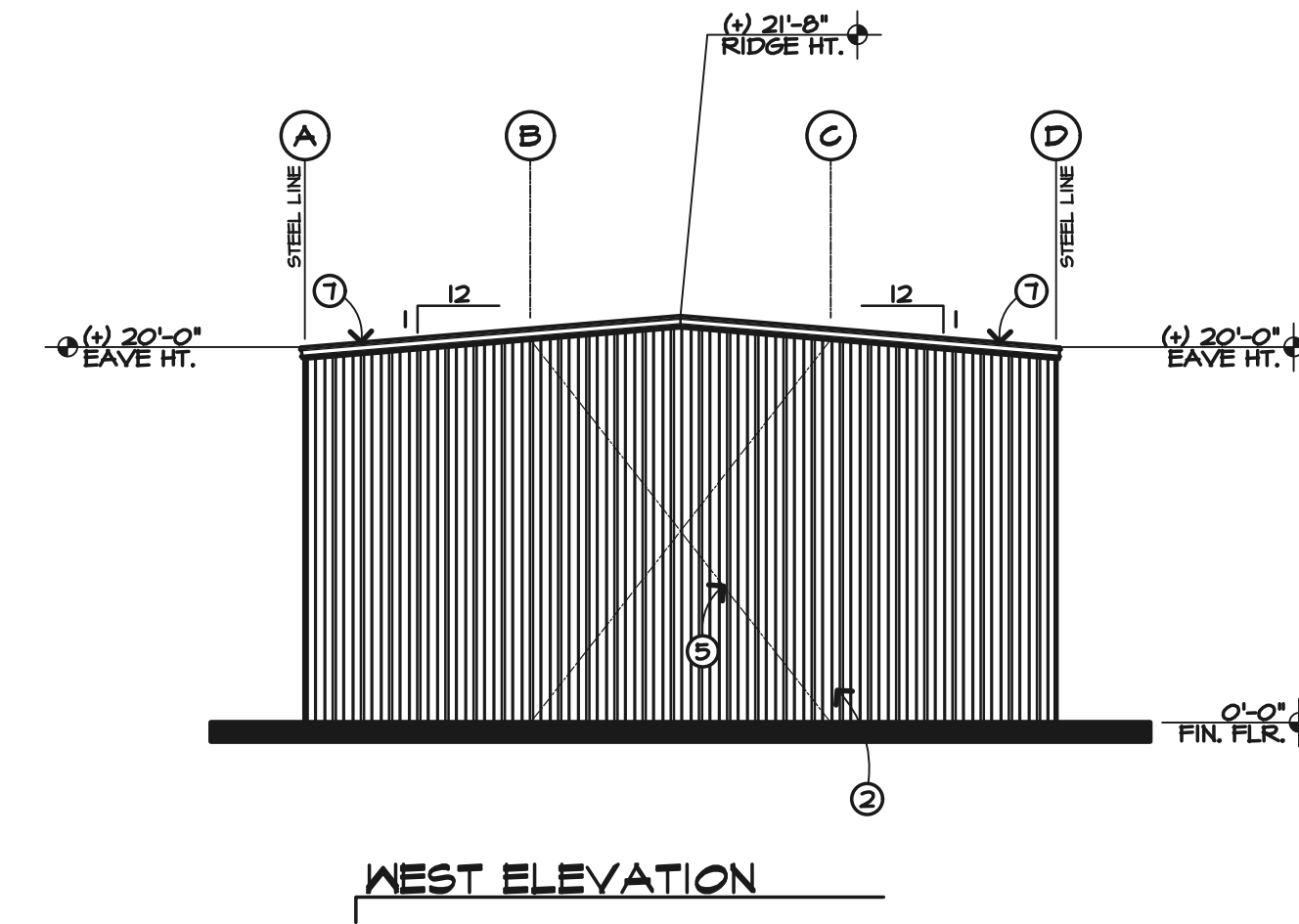
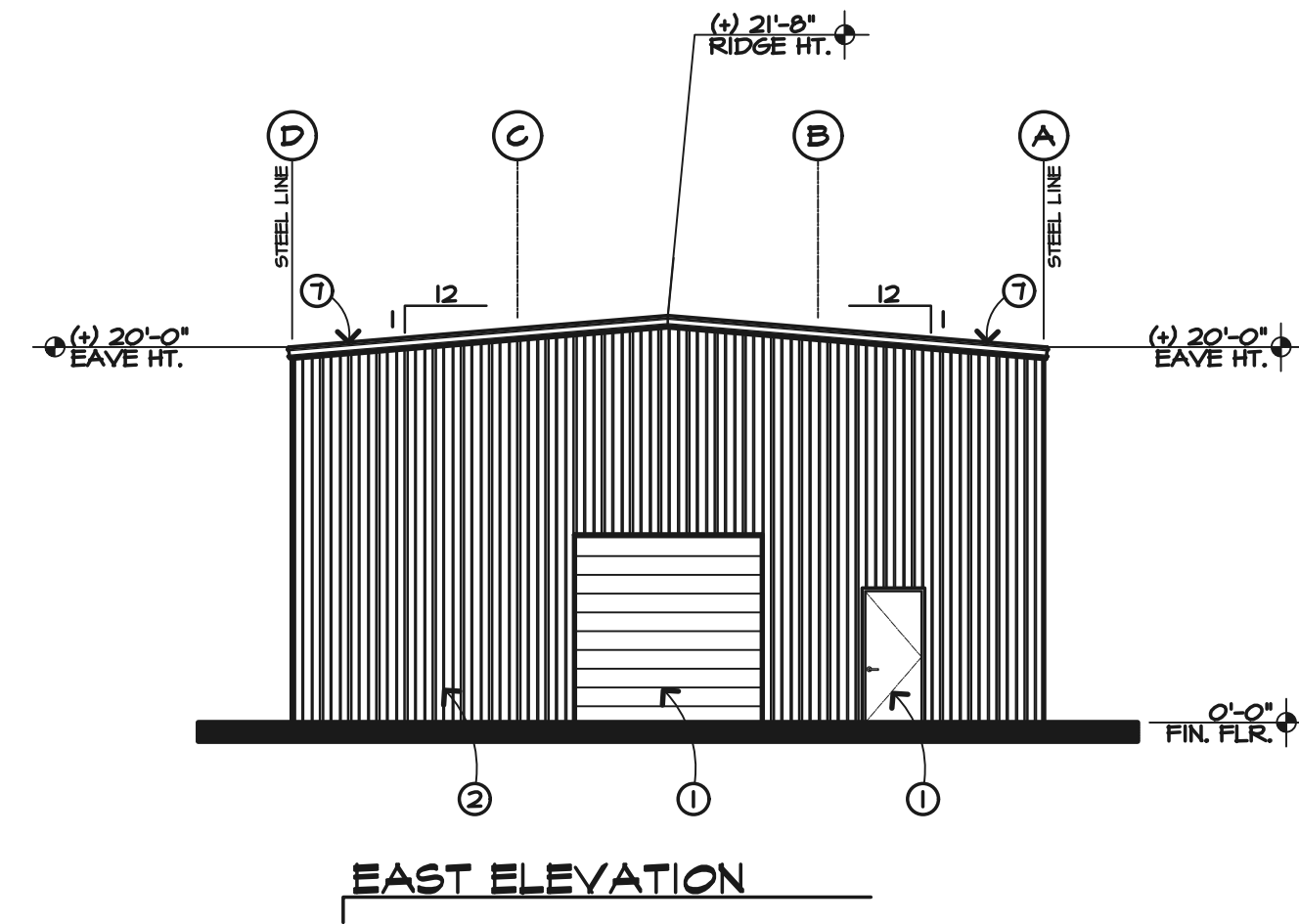
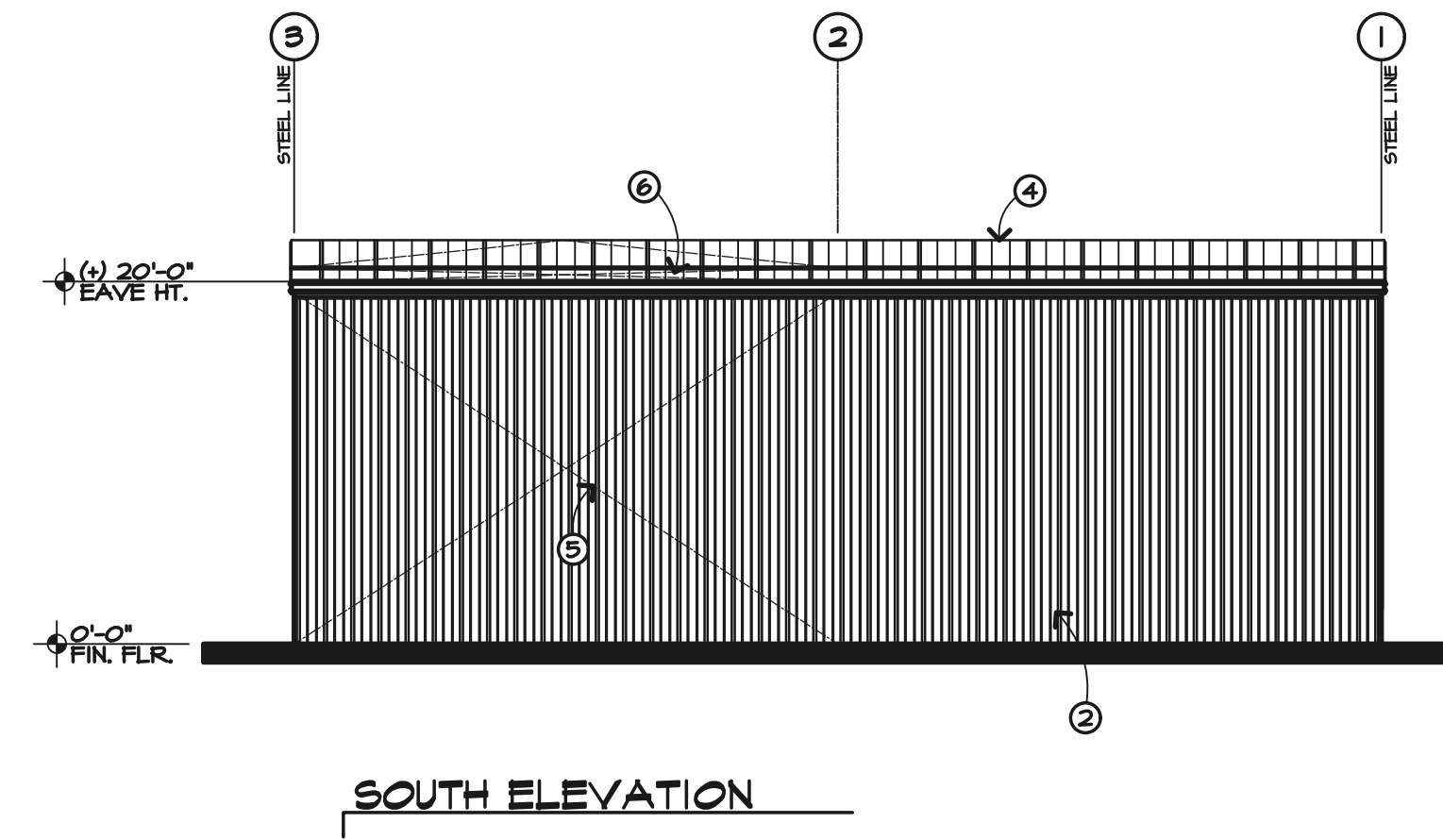
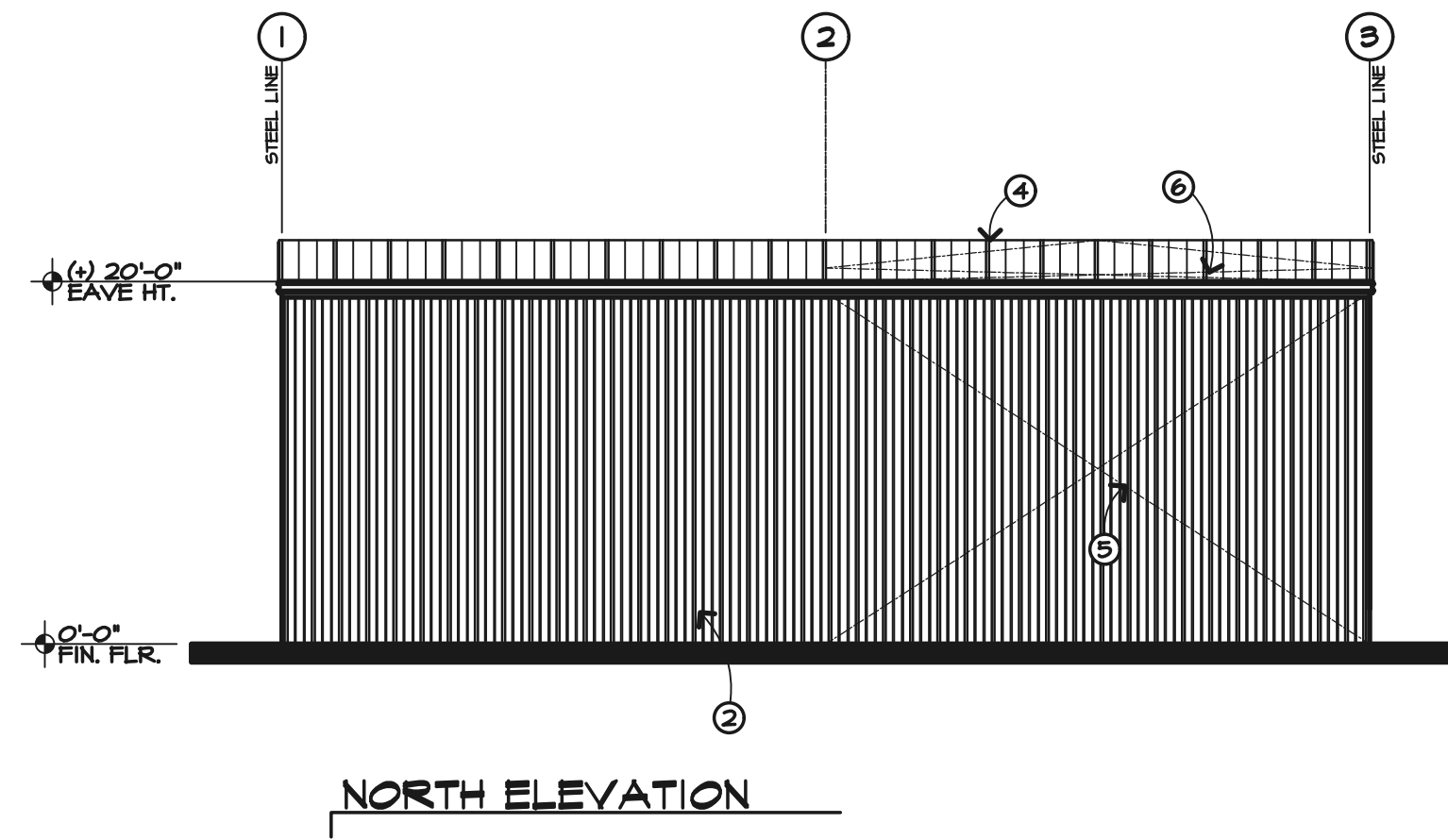
DESIGNED BY  
**GMA**  
GERALD A. MELE, P.E., SE  
ROBERT K. SANDERS, P.E., ARCHITECT  
BRAD S. EDWARDS, P.E., SE  
LUCAS A. GOMEZ, P.E.

PROJECT  
**COLD STORAGE BUILDING**

PROPOSED PROJECT FOR  
**KX PRODUCE**  
1315 WEST NORTH AVENUE  
FRESNO, CA 93706  
(559) 275-8880

No.	Issue/Revision	Date

Date	12/28/21
Scale	1/4" = 1'-0"
Dr. By	N. MOHAMMED
Job No.	2021.154
Dwg. No.	2021.154BCP
Sheet	<b>A-2.1</b>
Revision No.	



**EXTERIOR MATERIAL LIST:**

- | MARK | DESCRIPTION                |
|------|----------------------------|
| ①    | DOOR - SEE FLOOR PLAN      |
| ②    | METAL SIDING - BY M.B.M.   |
| ③    | NOT USED                   |
| ④    | METAL ROOFING - BY M.B.M.  |
| ⑤    | WALL X-BRACING - BY M.B.M. |
| ⑥    | ROOF X-BRACING - BY M.B.M. |
| ⑦    | RAKE TRIM - BY M.B.M.      |

**EXTERIOR ELEVATIONS**  
COLD STORAGE BUILDING

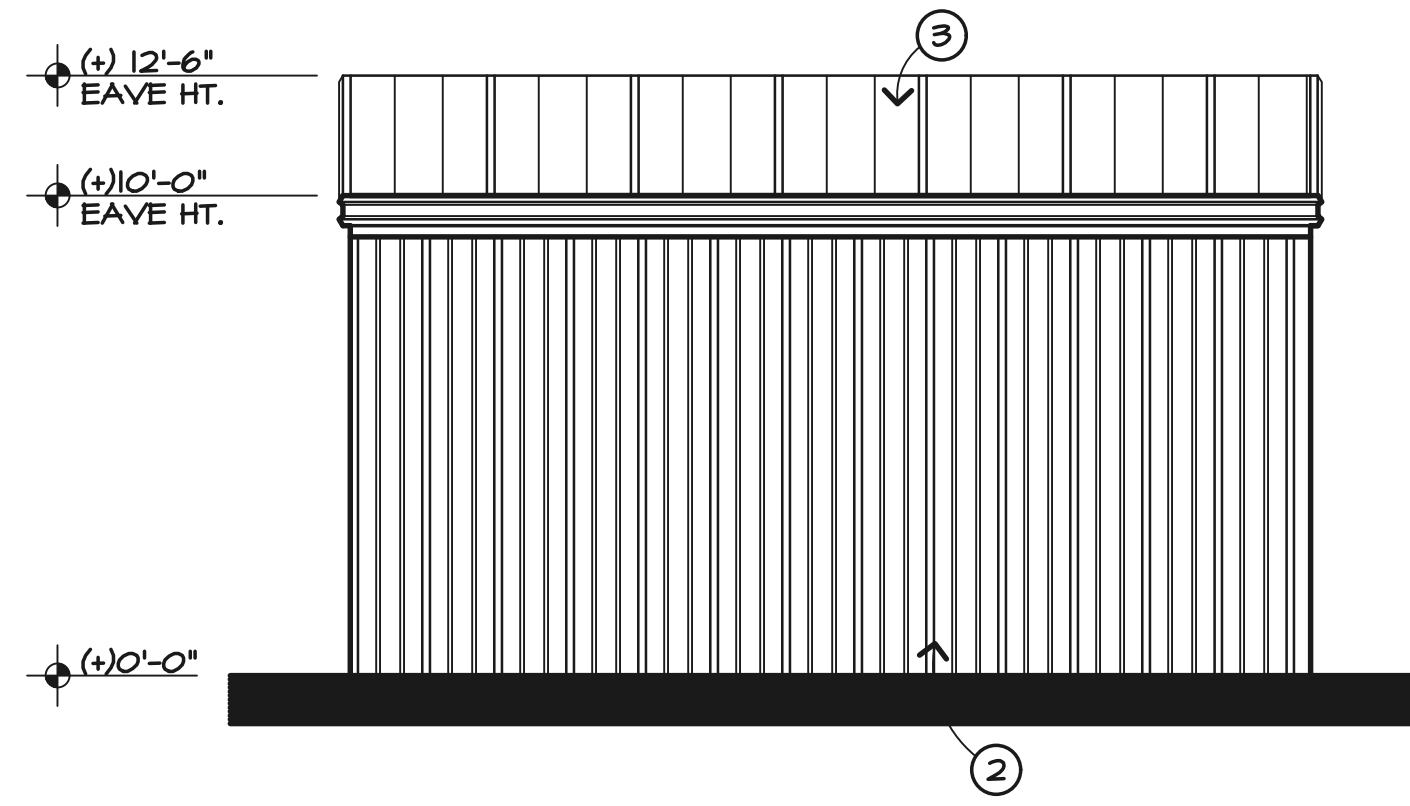
DESIGNED BY  
**GMA**  
 GERALD MELE & ASSOCIATES, INC.  
 7307 N. FIRST ST., SUITE 110 FRESNO, CA 93720 (509)435-1111 FAX (509)435-1188  
 GERALD A. MELE, P.E., SE  
 ROBERT A. SANDERS, P.E., ARCHITECT  
 BRAD S. EDWARDS, P.E., SE  
 LUIS A. GOMEZ, P.E.

PROJECT  
**COLD STORAGE BUILDING**

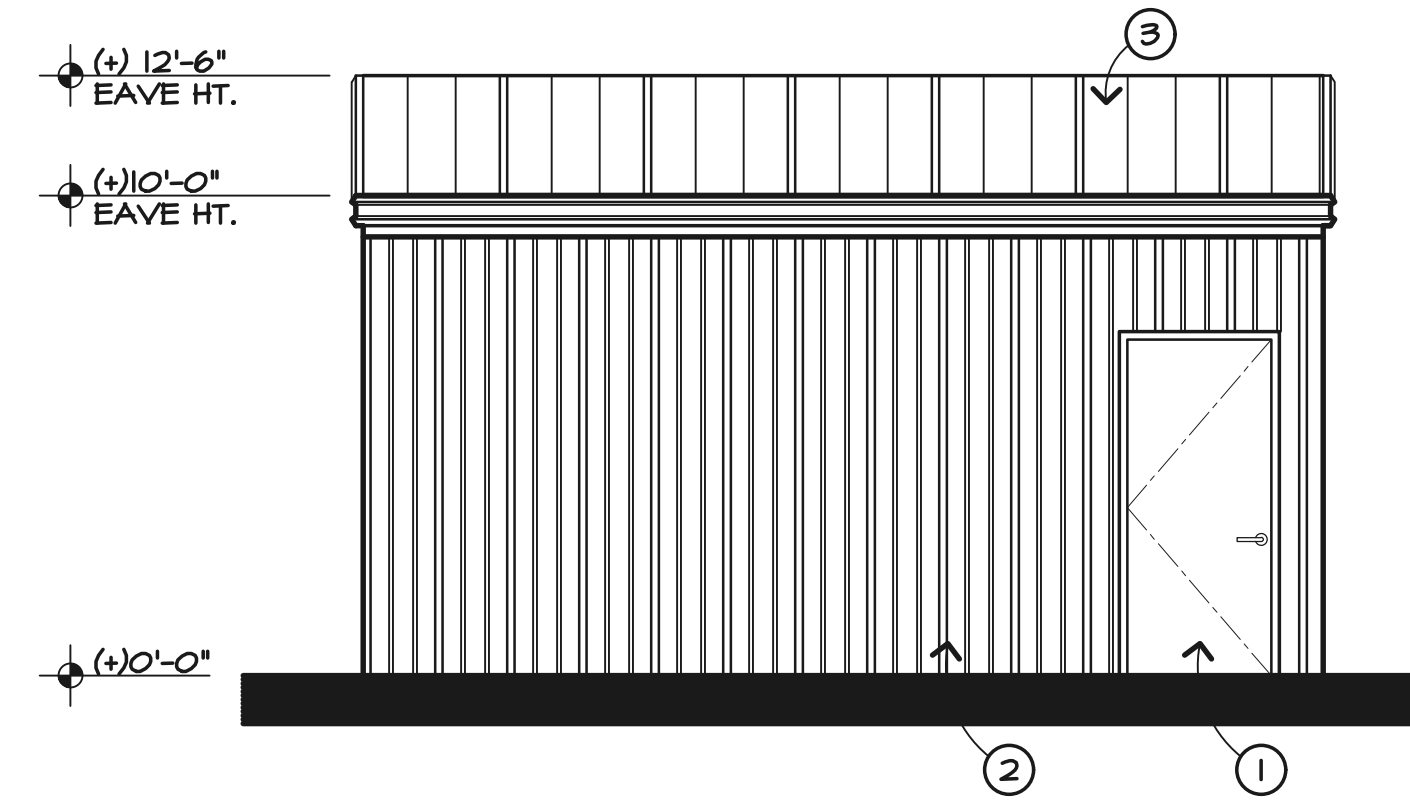
PROPOSED PROJECT FOR  
**KX PRODUCE**  
 1309 S. MARKS  
 FRESNO, CA 93706  
 PHONE: (554) 994-1876

No.	Issue/Revision	Date

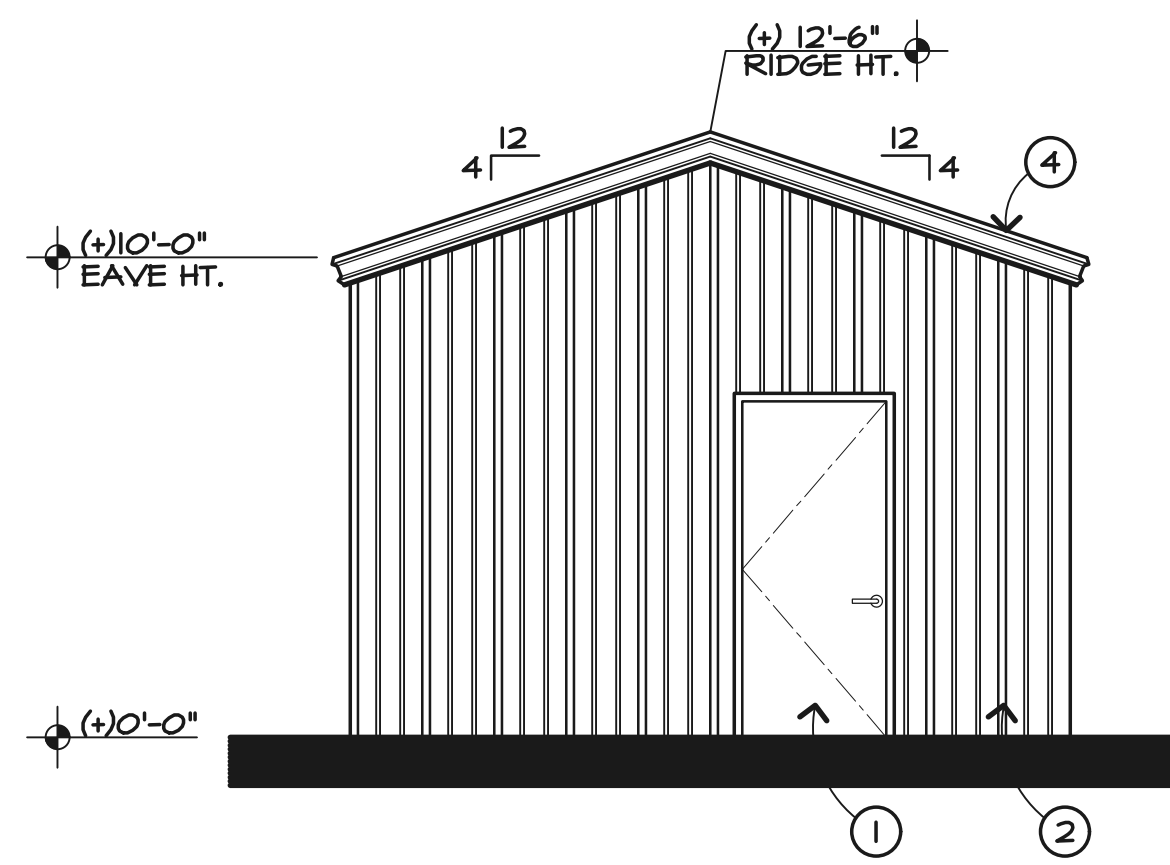
Date	12/28/21
Scale	1" = 10'-0"
Dr. By	N. MOHAMMED
Job No.	2021.154
Dwg. No.	21154ELV
Sheet	<b>A-3</b>
Revision No.	



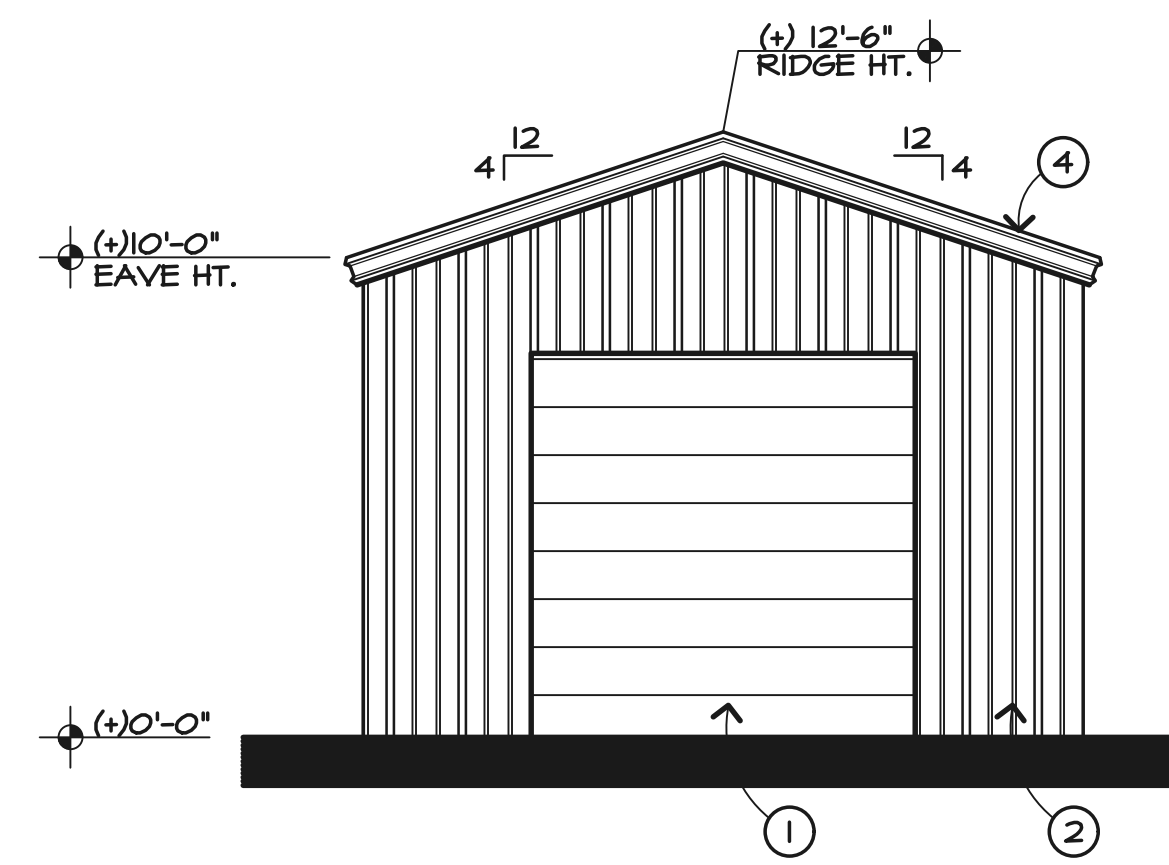
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

**EXTERIOR MATERIAL LIST:**

- | MARK | DESCRIPTION               |
|------|---------------------------|
| ①    | DOOR - SEE FLOOR PLAN     |
| ②    | METAL SIDING - BY M.B.M.  |
| ③    | METAL ROOFING - BY M.B.M. |
| ④    | RAKE TRIM - BY M.B.M.     |

DESIGNED BY  
**GMA**  
 GERALD MELE & ASSOCIATES, INC.  
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PROJECT  
**STORAGE BUILDING**

PROPOSED PROJECT FOR  
**KX PRODUCE**  
 1305 S. MARKS  
 FRESNO, CA 93706  
 PHONE: (554) 994-1876

No.	Issue/Revision	Date

Date	12/28/21
Scale	1/4" = 1'-0"
Dr. By	N. MOHAMMED
Job No.	2021.154
Dwg. No.	21154ELV
Sheet	<b>A-3.1</b>
Revision No.	

**EXTERIOR ELEVATIONS**  
 STORAGE BUILDING



**GERALD MELE & ASSOCIATES, INC.**

7337 N. FIRST ST., SUITE 110 FRESNO, CA. 93720 (559)435-1411 FAX (559)435-1169

**CONSULTING ENGINEERS AND ARCHITECTS**

GERALD A. MELE, PE, SE  
MARTIN R. INESS, PE, SE  
ROBERT A. SANDERS, ARCHITECT  
BRAD S. EDWARDS, PE, SE  
JACOB G. KENNINGTON, PE  
LUIS A. GOMEZ, PE

**County of Fresno**  
**Planning Department**  
2220 Tulare St.  
Fresno, Ca 93721

The Six Brother Trading Cold Storage Facility  
Operational Statement

To whom it may concern,

The project will be located on the parcel with the APN of 328-102-09 which has a current zoning designation of AE-20 – Exclusive Agricultural – 20 Acres and has an address of 1315 West North Avenue, Fresno, CA 93706. The site is currently undeveloped and vacant land.

**1. Nature of the operation:**

The project will consist of the construction of a 2,400 sq. ft. cold storage building and a 300 sq ft. storage building. The company desires to construct the buildings to provide cold storage for the produce that they grow on surrounding parcels and accessory storage of other items used in their farming operations. The site will be further developed according to County standards as needed.

**2. Operational time limits:**

The company intends on operating the cold storage year-round. The company is a small family owned and operated farming company, as such they currently have no employees outside of their own family members. They work approximately 6 days a week for a total of 8 hours a day. However, that time will not necessarily be spent on-site, as they may be in their fields on other parcels.

**3. Number of customers or visitors:**

The company anticipates no visitors to the site each day and will have no outside delivery truck trips.

**4. Number of employees:**

The company is a small family owned and operated farming company, as such they currently have no employees outside of their own family members. They anticipate the possibility of adding 1 to 2 employees in the future.

**5. Service and Delivery vehicles:**

The company operates 1 delivery truck that they will use to bring the produce to the cold storage and to take the produce to market. They anticipate 1 to 2 trips daily to the site with the delivery truck. There will be no caretaker living on-site.



GERALD A. MELE, PE, SE  
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**6. Access to the site:**

Access to the site is provided off North Avenue by way of a paved drive.

**7. Number of parking stalls for employees, customers, and service/delivery vehicles:**

One accessible parking stall is being added with this project There will also be a loading dock to provide parking for the delivery truck operated by the concern.

**8. Are any goods sold on site?**

No.

**9. What equipment will be used?**

The company will utilize typical equipment for cold storage and loading/unloading produce on and off of trucks. Forklift, pallet jack.

**10. What supplies and materials are used and how are they stored?**

The company will utilize the typical materials used for cold storage of produce. They will be stored according to industry and FDA standards and requirements.

**11. Does the use cause any unsightly appearance?**

Noise? – No.

Glare? – No.

Dust? – No.

Odor? – No.

**12. List any solid or liquid wastes to be produced:**

The solid wastes will be typical trash as well as recyclables for this type of facility. The trash will be removed by a private trash company.

Liquid waste will be in the form of sewer from the restroom which will be handled by the on-site septic system.

**13. Estimated volumes of water to be used (volumes per day):**

The estimated volume of water to be used on the site will be minimal as used in the restroom.

**14. Describe any proposed advertising:**

None.



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**15. Will existing buildings be used or will new buildings be constructed?**

Both of the storage buildings on the site will be newly constructed.

**16. Explain which buildings or portions of the buildings will be used in this operation:**

All of them.

**17. Will any outdoor lighting or outdoor sound amplification system be used?**

No.

**18. Landscaping or fencing proposed:**

A combination of 6' chain link fencing combined with a security system that includes cameras will be used to secure the property.

**19. Any additional information:**

None.

**20. Identify all owners, etc.:**

Chou Xiong – See Deed.

Respectfully submitted,

Sean Odom  
Gerald Mele & Associates, Inc.





# County of Fresno

DEPARTMENT OF PUBLIC WORKS AND PLANNING  
STEVEN E. WHITE, DIRECTOR

## EVALUATION OF ENVIRONMENTAL IMPACTS

APPLICANT: GMA Engineering (Sean Odom)

APPLICATION NOS.: Initial Study Application No. 8182 and Unclassified  
Conditional Use Permit Application No. 3732

DESCRIPTION: Allow a (value added agricultural use and facilities) with the construction of a 2,400 sq. ft. cold storage building and a 300 sq ft. storage building on a 5.0-acre parcel within the AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District.

LOCATION: The project site is located on the south side of W. North Ave. between S. Fruit Ave. and S. Walnut Ave., approximately 887 feet west of the city limits of the City of Fresno. (APN: 328-102-09) (1315 W. North Ave.) (Sup. Dist. 1).

### I. AESTHETICS

Except as provided in Public Resources Code Section 21099, would the project:

- A. Have a substantial adverse effect on a scenic vista; or

FINDING: NO IMPACT:

*Per Figure OS-2 of the Fresno County General Plan, there are no scenic roadways fronting the project site. Therefore, the project will not have a substantial adverse effect on a scenic vista or scenic resource.*

- B. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway; or

FINDING: NO IMPACT:

*Per Figure OS-2 of the Fresno County General Plan, there are no scenic resources fronting the project site. Therefore, the project will not have a substantial adverse effect on a scenic vista or scenic resource.*

- C. In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage points.) If the project is in an urbanized

area, would the project conflict with applicable zoning and other regulations governing scenic quality; or

FINDING: NO IMPACT:

*The site of the proposed project is in an Agricultural. No scenic vistas that may be impacted by the proposed project were identified on or near the site. Per Figure OS-2 of the Fresno County General Plan, the site is not located along or near a state scenic highway. The proposed use is characteristic of the existing use and structures, and therefore, will not degrade the existing visual character or quality of site and surroundings.*

- D. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION  
INCORPORATED:

*The applicant does not propose to include a new source of substantial light or glare as the project location is already existing however in the case of any new sources of lighting shall be hooded and directed downward so as not to shine toward adjacent properties and public streets. With the inclusion of a mitigation measure requiring that outdoor lighting be hooded and directed downward, any potential additional lighted area will not adversely affect day or nighttime views in the area.*

\* **Mitigation Measure(s)**

1. *All outdoor lighting shall be hooded and directed so as not to shine toward adjacent properties and public streets.*

II. AGRICULTURAL AND FORESTRY RESOURCES

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology in Forest Protocols adopted by the California Air Resources Board. Would the project:

- A. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance, as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use; or
- B. Conflict with existing zoning for agricultural use, or a Williamson Act Contract; or

- C. Conflict with existing zoning for forest land, timberland, or timberland zoned Timberland Production; or

FINDING: NO IMPACT:

The parcel on which the proposed project will be located is not located on or near farmland, forest land, timberland, or land zoned Timberland Production. It is zoned AE-20 (Exclusive Agricultural, 20-acre minimum) and is designated Agricultural in the Fresno County General Plan. The proposed project is a use that is allowed on land zoned AE-20 with approval of a Conditional Use Permit.

- D. Result in the loss of forest land or conversion of forest land to non-forest use; or

FINDING: NO IMPACT:

The subject parcel is not zoned for forest land or timberland, and therefore will not result in the loss of forest land or the conversion of forest land or farmland to incompatible uses.

- E. Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of farmland to non-agricultural use or conversion of forestland to non-forest use?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The proposed project will be placed on an existing disturbed site. Given its limited scope, this proposed project is not expected to significantly affect farmland nor forest.

### III. AIR QUALITY

Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied upon to make the following determinations. Would the project:

- A. Conflict with or obstruct implementation of the applicable Air Quality Plan; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project has been routed to the San Joaquin Valley Air Pollution Control District (SJVAPCD) for review and comment. The SJVAPCD did not express concern with the project to indicate that the project would result in a conflict with an applicable Air Quality Plan or result in cumulatively considerable net increase of any criteria pollutant. Project construction is anticipated to result in minor temporary increases in criteria pollutants, however, the minor increases resulting from construction are not anticipated to result in a significant impact.

- B. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard; or

FINDING: Choose an item.

- C. Expose sensitive receptors to substantial pollutant concentrations; or

FINDING: Choose an item.

- D. Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?

FINDING: Choose an item.

The San Joaquin Valley Air Pollution Control District reviewed the proposed project and expressed no concerns with the proposal. The plan does not conflict with the Air Quality Plan, does not violate any air quality standard, will not result in a cumulative net increase of any criteria pollutant, nor does it expose sensitive receptors to substantial pollutant concentrations or create objectionable odors.

#### IV. BIOLOGICAL RESOURCES

Would the project:

- A. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special-status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- B. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service; or
- C. Have a substantial adverse effect on state or federally-protected wetlands (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means; or
- D. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites; or

FINDING: NO IMPACT:

According to the National Wetlands Inventory mapper web application, the project site does not contain wetlands. The project will not be located or affect any wetlands. No riparian habitat or other sensitive natural community was identified on the project site.

- E. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

*Reviewing Agencies and Departments did not identify a local policy or ordinance adopted for the protection of a biological resource that would conflict with the project proposal. No Habitat Conservation Plan, Natural Community Conservation Plan or other approved local, regional, or state Habitat Conservation Plans were identified as conflicting with the project proposal.*

- F. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state Habitat Conservation Plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

*The proposed project was referred to the US Fish and Wildlife Service and the California Department of Fish and Wildlife for review and comments. No concerns were expressed by either agency. According to the California Natural Diversity Database, the project site is not located in any reported occurrence areas of a special status species. Therefore, this analysis identified no impacts regarding: 1.) any candidate, sensitive, or special-status species; 2.) any riparian habitat or other sensitive natural community; 3.) any federally protected wetlands; nor 4.) any native resident or migratory fish or wildlife species, migratory wildlife corridors, or wildlife nursery sites.*

*The proposed project will neither conflict with any local policies or ordinances protecting biological resources, nor will it conflict with the provisions of any conservation plan.*

## V. CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a historical resource pursuant to Section 15064.5; or
- B. Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5; or
- C. Disturb any human remains, including those interred outside of formal cemeteries?

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION  
INCORPORATED:

*The parcel on which the proposed project will be sited is not located within proximity of any area designated to be moderately or highly sensitive for archeological resources. No historical or paleontological resources, unique geological features, or evidence of*

*possible human remains were identified in this analysis. As such, no impact on historical, archeological, or paleontological resources would result from this proposal. A mitigation measure will be implemented to address cultural resources in the unlikely event that they are unearthed during ground-disturbing activities related to the project.*

\* **Mitigation Measure(s)**

1. *In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures shall be followed by photos, reports, video, and etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

VI. ENERGY

Would the project:

- A. Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources during project construction or operation; or
- B. Conflict with or obstruct a state or local plan for renewable energy or energy efficiency?

FINDING: LESS THAN SIGNIFICANT IMPACT:

The project site will construct buildings which are subject to local and state standards for building and energy efficiency. The project is expected to have a less than significant impact on energy resources. The project will not conflict with or obstruct a state or local plan for renewable energy or energy efficiency.

VII. GEOLOGY AND SOILS

Would the project:

- A. Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
  1. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?
  2. Strong seismic ground shaking?
  3. Seismic-related ground failure, including liquefaction?

#### 4. Landslides?

FINDING: NO IMPACT:

*According to Figures 9-4 & 9-5 of the Fresno County General Plan Background Report (FCGPBR) and the California Department of Conservation, Earthquake Hazard Zone Application (EQ Zapp), the project site is not located on or near identified earthquake hazard zone areas. The area of the proposed project is not identified as an area which by nature is subject to these types of seismic effects. No agencies expressed any concerns related to ground shaking, ground failure, liquefaction, or landslides. Construction of the proposed project will be subject to seismic design standards.*

#### B. Result in substantial soil erosion or loss of topsoil; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

*No geologic unit or unstable soil was identified on the project site. The surrounding area is comprised of established buildings and is in close proximity within the City of Fresno, of which the area is disturbed. Therefore, the project will not result in substantial soil erosion or loss of topsoil.*

#### C. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction, or collapse; or

FINDING: NO IMPACT:

*Landslides and other forms of slope failure form in response to long-term uplift, mass wasting, and disturbance of slopes. The project site contains naturally flat relief (slopes of no more than three percent), which precludes the possibility of land sliding on-site.*

*The potential for seismic-related ground failure (lateral spreading and liquefaction) occurring on the project site is minimal because of the absence of high groundwater levels and saturated loose granular soil. The project site is not in an area identified by Fresno County as being susceptible to liquefaction. In addition, the intensity of ground shaking from a large, distant earthquake is expected to be relatively low on the project site and, therefore, would not be severe enough to induce liquefaction on-site.*

*The San Joaquin Valley in which Fresno County is located is known to experience subsidence. However, the Water, Geology, and Natural Resources Section of the Fresno County Department of Public Works and Planning reviewed the project and expressed no concerns to the proposed project.*

#### D. Be located on expansive soil as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property; or

FINDING: NO IMPACT:

*Per Figure 7-1 of the FCGPBR, Fresno County General Plan Background Report, the project site is not located within an area of known risk of expansive soils.*

- E. Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater; or

FINDING: NO IMPACT:

*The project will utilize an on-site sewage disposal system. No concerns related to soil capabilities and the septic systems were expressed by the Fresno County Department of Public Health, Environmental Health Division.*

- F. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?

FINDING: NO IMPACT:

*The parcel on which the proposed project will be sited is not located within proximity of any area designated to be moderately or highly sensitive for archeological resources. No historical or paleontological resources, unique geological features, or evidence of possible human remains were identified in this analysis. As such, no impact on historical, archeological, or paleontological resources would result from this proposal. A mitigation measure will be implemented to address cultural resources in the unlikely event that they are unearthed during ground-disturbing activities related to the project.*

## VIII. GREENHOUSE GAS EMISSIONS

Would the project:

- A. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment; or
- B. Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

FINDING: LESS THAN SIGNIFICANT IMPACT:

*The proposed project's GHG impacts would be less than significant. The San Joaquin Valley Air Pollution Control District was notified of the subject application and did not express concerns that GHG emission increases would have a significant impact on the environment and did not indicate that the project would conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases.*



IX. HAZARDS AND HAZARDOUS MATERIALS

Would the project:

- A. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials; or
- B. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

*The Fresno County Department of Public Health, Environmental Health Division review of the proposal requires that prior to the issuance of building permits, the applicant shall comply with public health standards:*

- Facilities proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code (HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan electronically pursuant to the HSC, Division 20, Chapter 6.95 (<http://cers.calepa.ca.gov/>). For more information please contact the local Hazmat Compliance Program at (559) 600-3271. The default State reporting thresholds that apply are: >55 gallons (liquids), >500 pounds (solids), >200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances.
- C. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school; or
- D. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment; or

FINDING: NO IMPACT:

*The subject parcel is not located within one-quarter mile of a school. The proposed project site is not listed on the Hazardous Waste and Substances Site List (Cortese List) which is maintained by the California Department of Toxic Substances Control. There are no listed sites located within a half-mile radius of the proposed project site.*

- E. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, result in a safety hazard or excessive noise for people residing or working in the project area; or

FINDING: LESS THAN SIGNIFICANT IMPACT:

*The Fresno County Department of Public Health, Environmental Health Division review of the proposal states:*

*The proposed project has the potential to expose nearby residents to elevated noise levels. Consideration should be given to the County of Fresno Noise Ordinance and the City of Fresno Municipal Code.*

- F. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan; or

FINDING: Choose an item.

*Per the Fresno County General Plan, W North Ave is a Fresno County maintained road classified as an Arterial Road with an existing 60' of road right-of-way and an ultimate right-of-way of 106', requiring an additional 23' of right of way as to allow for emergency response plan and/ or emergency evacuation plan. In addition, the Fresno County Department of Public Health, Environmental Health Division which administers the Office of Emergency Services to coordinate planning and preparedness, response and recovery efforts for disasters did not express any concerns regarding emergency response or evacuation plans.*

- G. Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires?

FINDING: NO IMPACT:

*The project site is located in an area of Agricultural Use approximately 2.5 miles from downtown Fresno, which is not in a wildland fire area, precluding the site from impacts caused by wildland fires.*

#### X. HYDROLOGY AND WATER QUALITY

Would the project:

- A. Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality; or
- B. Substantially decrease groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin; or

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION

INCORPORATED:

*The project site is southerly adjacent from the City of Fresno and receives water from the Fresno Irrigation District Division #3. Fresno County Environmental Health Division Facilities states proposing to use and/or store hazardous materials and/or hazardous wastes shall meet the requirements set forth in the California Health and Safety Code*

*(HSC), Division 20, Chapter 6.95, and the California Code of Regulations (CCR), Title 22, Division 4.5. Any business that handles a hazardous material or hazardous waste may be required to submit a Hazardous Materials Business Plan electronically pursuant to the HSC, Division 20, Chapter 6.95 (<http://cers.calepa.ca.gov/>). For more information, please contact the local Hazmat Compliance Program at (559) 600-3271. The default State reporting thresholds that apply are: >55 gallons (liquids), >500 pounds (solids), >200 cubic feet (gases), or at the threshold planning quantity for extremely hazardous substances.*

- C. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river or through the addition of impervious surfaces, in a manner which would:
  - 1. Result in substantial erosion or siltation on or off site?
  - 2. Substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off site?
  - 3. Create or contribute runoff water which would exceed the capacity of existing or planned storm water drainage systems or provide substantial additional sources of polluted runoff; or
  - 4. Impede or redirect flood flows?
- D. In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation; or
- E. Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan?

FINDING: LESS THAN SIGNIFICANT IMPACT:

*Fresno Metropolitan Flood Control District (FMFCD) states the District's Master Plan can accommodate the proposed land use. The District bears responsibility for storm water management within the Fresno-Clovis metropolitan area, including the area of the proposed subject site. Within the metropolitan area, storm runoff produced by land development is to be controlled through a system of pipelines and storm drainage retention basins. FMFCD recommends that the County require a temporary on-site storm water storage facility for any additional development or street improvements. Said facility should be located and constructed so that once permanent FMFCD facilities become available, drainage can be directed to the street. In addition, FEMA'S National Flood Hazard Database FIRM Panel No. 06019C2125H indicates the area is not subject to flood conditions.*

## XI. LAND USE AND PLANNING

Would the project:

- A. Physically divide an established community; or
- B. Cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect?

FINDING: NO IMPACT:

The proposed project will not physically divide an established community nor cause a significant environmental impact due to a conflict with any land use plan, policy, or regulation.

## XII. MINERAL RESOURCES

Would the project:

- A. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state; or
- B. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local General Plan, Specific Plan or other land use plan?

FINDING: NO IMPACT:

*No mineral resource impacts were identified in the analysis. The site is not located in a mineral resource area identified in Policy OS-C.2 of the General Plan.*

## XIII. NOISE

Would the project result in:

- A. Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies; or
- B. Generation of excessive ground-borne vibration or ground-borne noise levels; or
- C. For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels; or

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION  
INCORPORATED:

*Per Fresno County Noise Ordinance and the City of Fresno Municipal code, the proposed project has the potential to expose nearby residents to elevated noise levels.*

*"Ambient noise" is the all-encompassing noise associated with a given environment, being usually a composite of sounds from many sources near and far. Ambient noise level is the level obtained when the noise level is averaged over a period of fifteen minutes, without inclusion of the offending noise, at the location and time of day at which a comparison with the offending noise is to be made. Where the ambient noise level is less than that designated in this section, however, the noise level specified herein shall be deemed to be the ambient noise level for that location (Chapter 10-Regulations Regarding Public Nuisances and Real Property Conduct and Use. Article 1-Noise Regulations. Section 10-102 (b).*

\* **Mitigation Measure(s)**

1. *Adherence to the Fresno County Noise Ordinance and the City of Fresno Municipal code shall be followed. Industrial districts sound level decibels shall not exceed 70 at any time.*

XIV. POPULATION AND HOUSING

Would the project:

- A. Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?; or
- B. Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere?

FINDING: NO IMPACT:

*The proposed project will not induce population growth, nor will it displace housing or people. The project consists of utilizing an existing location for the purpose of storing cold produce. It will not induce substantial unplanned population growth in an area directly nor indirectly.*

XV. PUBLIC SERVICES

Would the project:

- A. Result in substantial adverse physical impacts associated with the provision of new or physically-altered governmental facilities, or the need for new or physically-altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:
  1. Fire protection;
  2. Police protection;

3. Schools;
4. Parks; or
5. Other public facilities?

FINDING: NO IMPACT:

*The subject parcel is zoned AE-20 (Exclusive agricultural, 20-acre minimum) according to the Fresno County Zoning Ordinance. The proposal will not have substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities. In addition, the Fresno County General Plan.*

#### XVI. RECREATION

Would the project:

- A. Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated; or
- B. Include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?

FINDING: NO IMPACT:

*The project is not located near any neighborhood or regional parks or recreational centers and does not propose any new recreational facilities or require the construction of such facilities.*

#### XVII. TRANSPORTATION

Would the project:

- A. Conflict with a program, plan, ordinance, or policy addressing the circulation system, including transit, roadway, bicycle and pedestrian facilities; or
- B. Be in conflict or be inconsistent with the California Environmental Quality Act (CEQA) Guidelines Section 15064.3, subdivision (b); or

FINDING: NO IMPACT:

*The aforementioned CEQA Guideline subdivision determines projects within one-half mile of an existing major transit stop to cause less than significant transportation impact” The subject parcel meets the criteria specified.*

- C. Substantially increase hazards due to a geometric design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment); or

D. Result in inadequate emergency access?

FINDING: LESS THAN SIGNIFICANT IMPACT:

*The Fresno County Design Division and the Fresno County Road Maintenance and Operations Division states the applicant will need to dedicate 23 feet of additional road right-of-way across the parcel frontage on W North Ave to comply with the General Plan. Once these measures are followed, the proposed project will then comply with all set back and emergency access requirements.*

XVIII. TRIBAL CULTURAL RESOURCES

Would the project:

- A. Cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:
1. Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code Section 5020.1(k); or
  2. A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? (In applying the criteria set forth in subdivision (c) of Public Resource Code Section 5024.1, the lead agency shall consider the significance of the resource to a California Native American tribe.)

FINDING: LESS THAN SIGNIFICANT IMPACT WITH MITIGATION  
INCORPORATED:

*The subject site has been previously developed and surrounds areas zoned for Agricultural Use, suggesting minimal chance of a cultural resources occurring on the project site. Under the provisions of Assembly Bill 52 (AB 52), participating California Native American Tribes were notified of the project proposal and given the opportunity to enter into consultation with the County on addressing potential tribal cultural resources. No concerns were expressed by notified California Native American Tribes and no consultation request was received. Therefore, mitigation will be implemented to address tribal cultural resources in the unlikely event they are unearthed during ground-disturbing activities related to the project.*

\* **Mitigation Measure(s)**

*1. In the event that cultural resources are unearthed during ground-disturbing activities, all work shall be halted in the area of the find. An Archeologist shall be called to evaluate the findings and make any necessary mitigation recommendations. If human remains are unearthed during ground disturbing activities, no further disturbance is to occur until the Fresno County Sheriff-Coroner has made the necessary findings as to origin and disposition. All normal evidence procedures shall be followed by photos, reports, video, and etc. If such remains are determined to be Native American, the Sheriff-Coroner must notify the Native American Commission within 24 hours.*

XIX. UTILITIES AND SERVICE SYSTEMS

Would the project:

- A. Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years; or
- C. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments; or
- D. Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals; or
- E. Comply with federal, state, and local management and reduction statutes and regulations related to solid waste?

FINDING: LESS THAN SIGNIFICANT IMPACT:

*The project proposal was routed to the Fresno County Department of Public Health, Environmental Health Division which expressed no concerns with wastewater treatment. Water and sewer services are provided by Fresno County Water District. FMFCD recommend that the County require a temporary on-site storm water storage facility for any additional development or street improvements. Said facility should be located and constructed so that once permanent FMFCD facilities become available, drainage can be directed to the street. This is included under Project Notes*



XX. WILDFIRE

If located in or near state responsibility areas or lands classified as very high fire hazard severity zones, would the project:

- A. Substantially impair an adopted emergency response plan or emergency evacuation plan, or telecommunications facilities, the construction or relocation of which could cause significant environmental effects; or
- B. Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to pollutant concentrations from a wildfire or the uncontrolled spread of a wildfire; or
- C. Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment; or
- D. Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes?

FINDING: NO IMPACT:

*The subject site is not near state responsibility areas nor lands classified as very high fire hazard severity zones. The project will not substantially degrade the quality of the environment or substantially reduce the habitat of a fish or wildlife species.*

XXI. MANDATORY FINDINGS OF SIGNIFICANCE

Would the project:

- A. Have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number, or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory; or
- B. Have impacts that are individually limited, but cumulatively considerable (“cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects); or
- C. Have environmental effects which will cause substantial adverse effects on human beings either directly or indirectly?

## FINDING: LESS THAN SIGNIFICANT IMPACT:

*The subject site is not within an area of fish or wildlife species area that would cause a decrease in the wildlife population. The project will not substantially degrade the quality of the environment nor substantially reduce the habitat of a fish or wildlife species. Responsible agencies and departments concurred with the findings and conclusions of the prepared technical studies and determined that no substantial adverse impacts on human beings would occur.*

## CONCLUSION/SUMMARY

Based upon the Initial Study prepared for Unclassified Conditional Use Permit Application No. 3732, staff has concluded that the project will not/will have a significant effect on the environment. It has been determined that there would be no impacts to Hydrology, Land Use Planning, Mineral Resources, Population and Housing, Public Services, Recreation, Transportation, and Utilities and Service Systems.

Potential impacts related to Aesthetics, Agricultural and Forestry, Biological Resources, Energy, Geology and Soils, Green House Gas Emissions, Hazards and Hazardous Materials, Noise, Wildfire, and Mandatory Findings of Significance have been determined to be less than significant.

Potential impacts relating to Cultural Resources have determined to be less than significant with mitigation.

A Mitigated Negative Declaration/Negative Declaration is recommended and is subject to approval by the decision-making body. The Initial Study is available for review at 2220 Tulare Street, Suite A, street level, located on the southwest corner of Tulare and "M" Street, Fresno, California.

ER

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**EXHIBIT 8**

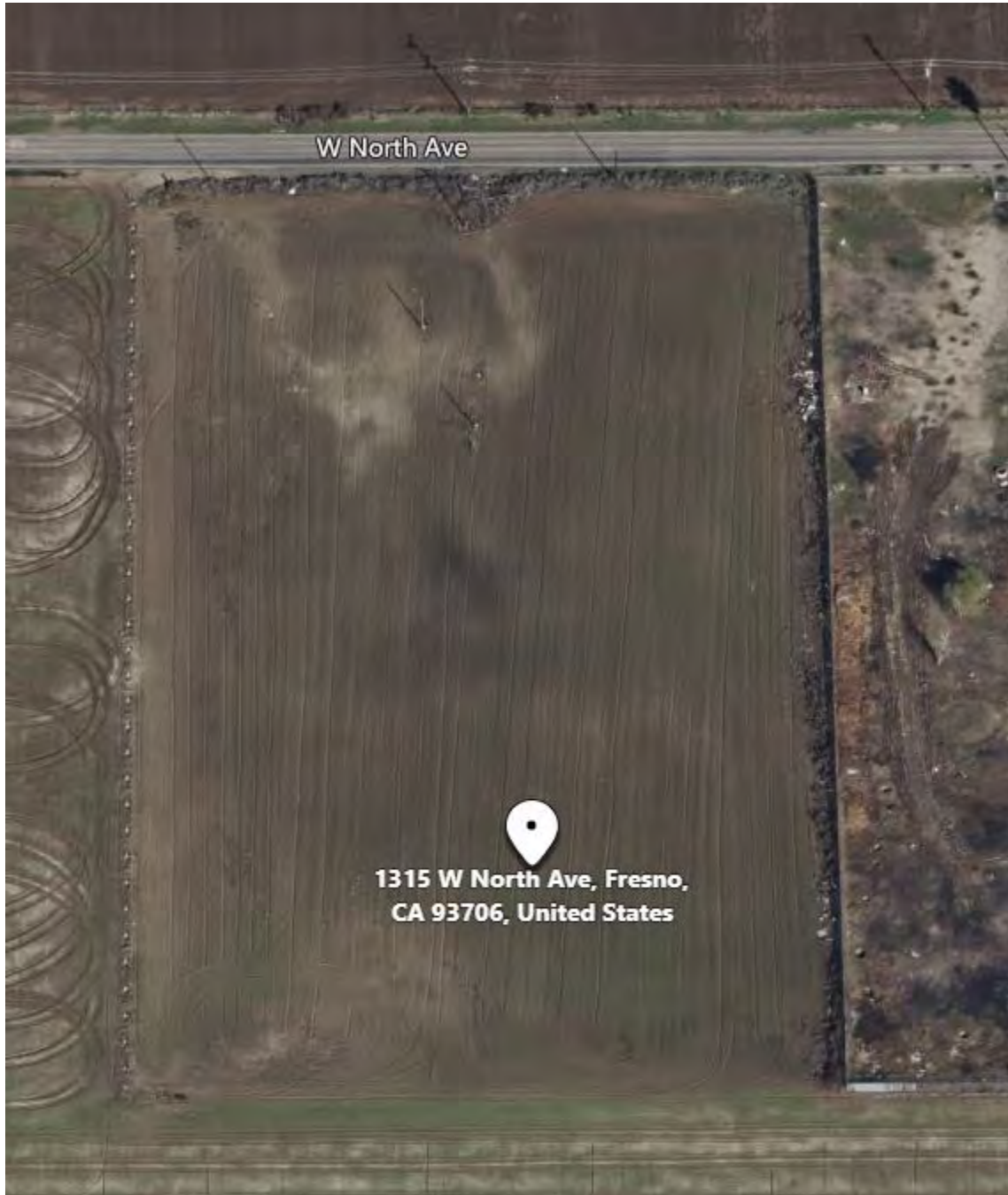
File original and one copy with: <b>Fresno County Clerk 2221 Kern Street Fresno, California 93721</b>		Space Below For County Clerk Only.  CLK-2046.00 E04-73 R00-00	
Agency File No: <b>IS 8182</b>	<b>LOCAL AGENCY PROPOSED MITIGATED NEGATIVE DECLARATION</b>	County Clerk File No: <b>E- 202310000057</b>	
Responsible Agency (Name): Fresno County	Address (Street and P.O. Box): 2220 Tulare St. Sixth Floor	City: Fresno	Zip Code: 93721
Agency Contact Person (Name and Title): Elliot Racusin, Planner	Area Code: 559	Telephone Number: 600-4245	Extension: N/A
Project Applicant/Sponsor (Name): GMA <b>Engineering (Sean Odom)</b>	Project Title: <b>Initial Study No. 8182, Classified Conditional Use Permit Application No. 3732</b>		
Project Description: Allow a (value added agricultural use and facilities) with the construction of a 2,400 sq. ft. cold storage building and a 300 sq ft. storage building on a 5.0-acre parcel within the AE-20 (Exclusive Agricultural, 20-acre minimum acre parcel size) Zone District.			
Justification for Negative Declaration:  Based upon the Initial Study prepared for 8182 and Classified Conditional Use Permit Application No. 3732, staff has concluded that the project will not/will have a significant effect on the environment. It has been determined that there would be no impacts to Hydrology, Land Use Planning, Mineral Resources, Population and Housing, Public Services, Recreation, Transportation, and Utilities and Service Systems.  Potential impacts related to Aesthetics, Agricultural and Forestry, Biological Resources, Energy, Geology and Soils, Green House Gas Emissions, Hazards and Hazardous Materials, Noise, Wildfire, and Mandatory Findings of Significance have been determined to be less than significant.  Potential impacts relating to Cultural Resources have determined to be less than significant with mitigation.			
FINDING: The proposed project will not have a significant impact on the environment.			
Newspaper and Date of Publication: Fresno Business Journal – March 10, 2023		Review Date Deadline: Planning Commission – April 27, 2023	
Date: March 13, 2023	Type or Print Signature: David Randall Senior Planner	Submitted by (Signature): Elliot Racusin Planner	

State 15083, 15085

County Clerk File No.: E-202310000057

**LOCAL AGENCY  
MITIGATED NEGATIVE DECLARATION**

NORTHBOUND



EASTBOUND



SOUTHBOUND



WESTBOUND

